

# GENERAL SITE NOTES:

- CONTRACTOR TO REFER TO SPECIFICATION SECTION 01 50 00 - TEMPORARY FACILITIES FOR SITE RELATED BARRIERS, ENCLOSURES AND HOARDING.
- ALL BUILDING ENTRANCES, EXITS, DRIVEWAYS AND FIRE ROUTES MUST REMAIN OPEN AND ACCESSIBLE AT ALL TIMES DURING THE WORK. CONTRACTOR TO PROVIDE COVERED PROTECTED PEDESTRIAN WALKWAYS AT BUILDING ENTRANCES, EXITS AND ALONG SIDEWALK AREAS WHERE PEDESTRIAN TRAFFIC WILL OCCUR. PROVIDE MINIMUM 3.6 M CLEAR DRIVING LANE AND 3.0 M CLEAR HEIGHT.
- CONTRACTOR TO INCLUDE ALL COSTS RELATED TO STREET AND SIDEWALK USAGE AND PARKING METER FEES FOR THE DURATION OF THE CONTRACT. CONTRACTOR TO CONTACT CITY OF BATHURST FOR INFORMATION ON REQUIREMENTS, PERMITS, COSTS, ETC.
- CONTRACTOR TO PROTECT EXISTING MUNICIPAL SIDEWALKS WITHIN THE WORK SITE AREA AND BE RESPONSIBLE TO REPAIR, RESTORE AND MAKE GOOD ANY DAMAGE TO EXISTING SIDEWALKS TO SATISFACTION AND STANDARDS OF THE CITY OF BATHURST.
- CONTRACTOR WILL ENSURE ALL STREET SERVICES (SUCH AS, BUT NOT LIMITED TO, FIRE HYDRANTS, SEWERS, MANHOLES, WATER VALVES, ETC.) REMAIN ACCESSIBLE AT ALL TIMES DURING EXTENT OF THE CONTRACT.
- EXISTING ROOF AREAS WHERE CONTRACTOR IS EXPECTED TO TRAVERSE, OPERATE, SET UP SCAFFOLDING OR OTHERWISE PERFORM WORK ARE TO BE PROTECTED FROM ALL DAMAGE BY NEW WORK. PROPOSED PROTECTION MUST MEET APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE. SATISFACTION AND STANDARDS OF THE CITY OF BATHURST.
- THE BUILDING ELEVATORS ARE NOT AVAILABLE FOR USE BY THE CONTRACTOR. VERTICAL TRANSPORTATION FOR PERSONNEL AND/OR MATERIALS TO BE BY OTHER MEANS ON THE EXTERIOR OF THE BUILDING.
- ROOF AREAS CANNOT BE USED AS GENERAL STORAGE AREA. INCLUDE IN THE CONTRACT ALL COSTS FOR CAREFULLY LOWERING TO GRADE ALL MATERIAL REMOVED FROM BUILDING WHETHER INTENDED FOR REPAIR AND REASSEMBLY OR FOR RECYCLING AND REMOVAL FROM SITE.
- CONTRACTOR TO PROTECT TREES, SOD AND PLANTS WITHIN THE WORK SITE AREA AND TO BE RESPONSIBLE TO REPAIR, RESTORE AND MAKE GOOD ANY DAMAGE TO LANDSCAPING. SATISFACTION AND STANDARDS OF THE CITY OF BATHURST.
- PHOTOGRAPHICALLY RECORD EXISTING CONDITIONS PRIOR TO WORK AND SUBMIT RECORD TO DEPARTMENTAL REPRESENTATIVE.

## DEMOLITION GENERAL NOTES:

- DEMOLITION DRAWINGS ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE TO INDICATE THE GENERAL EXTENT OF DEMOLITION WORK AND AS SUCH DO NOT NECESSARILY INDICATE THE ENTIRE SCOPE OF WORK. THE EXTENT OF DEMOLITION WORK WILL BE THAT WHICH IS NECESSARY TO COMPLETE THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS.
- INFORMATION SHOWN ON DEMOLITION DRAWINGS IS TO BE COORDINATED AND READ IN CONJUNCTION WITH AS-BUILT/ EXISTING ARCHITECTURAL AND STRUCTURAL DRAWINGS, DETAILS AND SPECIFICATIONS.
- REFER TO EXISTING STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- REFER ALSO TO SPECIFICATIONS FOR INFORMATION ON ITEMS TO BE SALVAGED AND/OR HANDED OVER TO DEPARTMENTAL REPRESENTATIVE.
- MAKE GOOD ALL WORK, FINISHES, FITMENTS AND EQUIPMENT DAMAGED BY NEW WORK.

## TEST OPENING GENERAL NOTES:

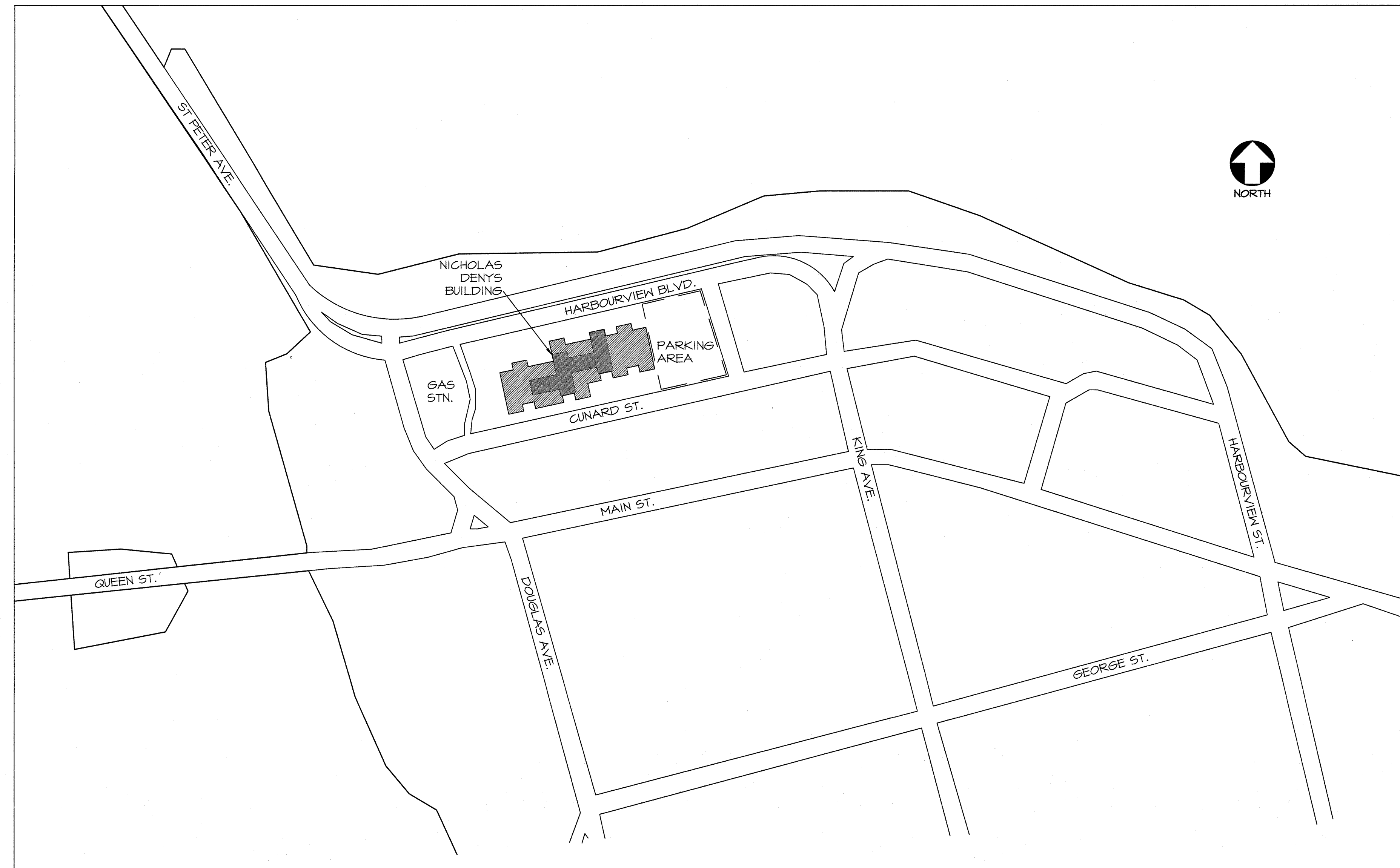
- RECONFIRM LOCATIONS OF TEST OPENINGS UPON COMPLETION OF SCAFFOLDING INSTALLATION. FIELD ADJUST AS REQUIRED TO PROVIDE ACCESS TO TEST OPENING LOCATIONS.
- LIFT ACCESS IS TO BE PROVIDED OUTSIDE THE SCOPE OF THESE TEST OPENINGS FOR DEPARTMENTAL REPRESENTATIVE TO VIEW CONDITION OF MORTAR AT UPPER TWO LEVELS, GRIDLINES 6-B/F.

## TEST OPENING KEY

- DETAIL REFERENCE NUMBER (SEE DRAWING A3).
- LI Lintel Type 1 (SEE DRAWING S1).
- L2 Lintel Type 2 (SEE DRAWING S1).
- EXISTING TO BE REMOVED. REFER ALSO TO ARCHITECTURAL DRAWING A3, EXISTING DETAIL - PROPOSED EXPLORATORY OPENINGS.
- INSTALL AIR-VAPOUR BARRIER MEMBRANE. REFER ALSO TO TEST OPENING LEGEND "H".
- INSTALL PREFINISHED STEEL CLOSURE PANEL. REFER ALSO TO TEST OPENING NOTE "J".
- INSTALL THROUGH-WALL FLASHING. REFER ALSO TO TEST OPENING NOTE "L".

## TEST OPENING LEGEND

- REMOVE SURFACE CORROSION FROM HORIZONTAL LEG OF SHELF ANGLE AS DIRECTED BY THE DEPARTMENTAL REPRESENTATIVE TO FACILITATE MEASURING OF HORIZONTAL LEG THICKNESS BY OTHERS. PREPARE OPPOSING TOP AND BOTTOM SURFACES TO THE SOCIETY FOR PROTECTIVE COATINGS (SSPC) STANDARDS SSPC-SP2 HAND TOOL CLEANING OR SSPC-SP3 POWER TOOL CLEANING. REMOVING LOOSE MILL SCALE, LOOSE RUST, LOOSE PAINT, AND OTHER LOOSE DETRIMENTAL FOREIGN MATTER WITHOUT GOING INTO ANGLE LEG THICKNESS. LOCATIONS AS INDICATED ON ARCHITECTURAL DWG. A2.
- REMOVE INSULATION AND OTHER MATERIALS AS REQUIRED TO EXPOSE CONNECTION OF SHELF ANGLE TO SUPPORTING TRUSS AT LOCATIONS AS INDICATED ON ARCHITECTURAL DWG. A2.
- REMOVE CONCRETE BLOCK AND OTHER MATERIALS ENCLOSING THE STEEL COLUMN AS REQUIRED TO EXPOSE THE STEEL COLUMN AT LOCATIONS AS INDICATED ON ARCHITECTURAL DWG. A2. PROVIDE ADDITIONAL TEMPORARY SUPPORT TO FACE BRICK, CONCRETE BLOCK BACKING AND OTHER MATERIALS.
- REMOVE BRICK - CAREFULLY SAW CUT BRICK UNITS OUT SO NOT TO DAMAGE ADJACENT BRICKWORK.
- REMOVE AND SALVAGE WINDOW FACE PLATE, PRESSURE PLATE, METAL TRIM AND FLASHINGS FOR REINSTALLATION. ENSURE THAT METAL SURFACES ARE NOT DAMAGED DURING REMOVAL, STORAGE AND REINSTALLATION.
- REMOVE CAULKING AND BACKER ROD.
- REMOVE WOOD BLOCKING AND/ OR PLYWOOD SHEATHING. SALVAGE AND STORE WHERE WOOD HAS NOT BEEN IRREPARABLY DAMAGED FROM MOISTURE. REINSTATE OR REPLACE WITH NEW AS REQUIRED TO MAKE GOOD EXISTING CONSTRUCTION.
- INSTALL AIR-VAPOUR BARRIER MEMBRANE WHERE EXISTING AIR-VAPOUR BARRIER IS DAMAGED OR MISSING. WHERE AIR-VAPOUR BARRIER MEMBRANE REMOVED FOR TEST OPENING INVESTIGATION, INSTALL NEW AIR-VAPOUR BARRIER MEMBRANE COMPATIBLE WITH EXISTING. FIT INSULATION TIGHTLY TO AIR-VAPOUR BARRIER TO ENSURE NO AIR FLOW BEHIND INSULATION AND INNER MYTHE OF WALL.
- PROVIDE TEMPORARY SUPPORT AS REQUIRED. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR DEPARTMENTAL REPRESENTATIVE REVIEW AND COMMENT. REFER ALSO TO ARCH. DWG. A2 FOR LINTEL LOCATION AND TYPE.
- INSTALL PREFINISHED STEEL CLOSURE PANEL AS TEMPORARY CLOSURE. CAULK AROUND PERIMETER OF PANEL TO PROVIDE CONTINUOUS SEAL AND AT ALL FASTENERS. CLOSURE PANEL COLOUR TO MATCH EXISTING BRICK MASONRY. PROVIDE WOOD FRAMING AS REQUIRED WITHIN OPENING. REFER TO DETAIL 10/A2.
- REMOVE AND SALVAGE PREFINISHED METAL ROOF CAP FLASHING FOR REINSTALLATION. REINSTATE METAL FLASHING AT COMPLETION OF WORK. ENSURE THAT METAL FLASHING IS NOT DAMAGED DURING REMOVAL, STORAGE AND REINSTALLATION.
- REMOVE PORTION OF METAL THROUGH-WALL FLASHING. FOLLOWING INVESTIGATION REINSTATE METAL THROUGH-WALL FLASHING. LAP SHEET MEMBRANE AIR/VAPOUR BARRIER 75 MM MIN. AND EXTEND OVER METAL FLASHING TO DRIP EDGE - CONT. SEAL ALL LAPS AND TERMINATIONS.
- REMOVE AND SALVAGE PREFINISHED METAL SOFFIT FLASHING FOR REINSTALLATION. REINSTATE METAL FLASHING AT COMPLETION OF WORK. ENSURE THAT METAL FLASHING IS NOT DAMAGED DURING REMOVAL, STORAGE AND REINSTALLATION.

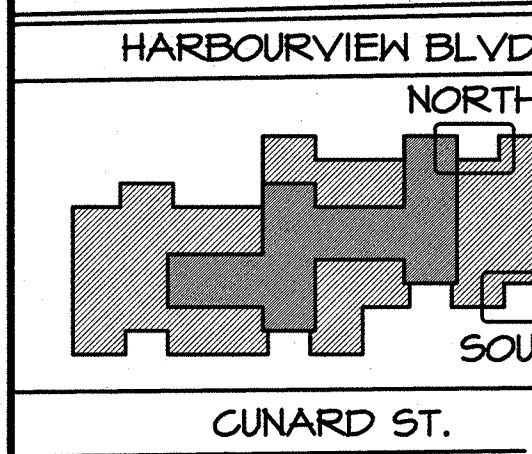
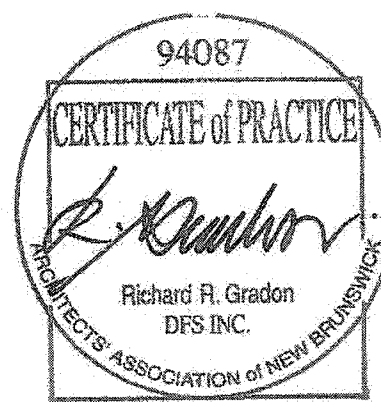


SITE PLAN  
N.T.C.



ROOF PLAN - EXISTING

SCALE: 1:200  
0m 5m 10m 15m 20m 25m



1	ISSUED FOR TENDER	MAY 31 2013
0	ISSUED FOR 99% REVIEW	MAR 28 2013
revisions		date

project  
**MASONRY WALL INVESTIGATION  
NICHOLAS DENYS BUILDING**  
120 HARBOURVIEW BLVD., BATHURST, NB

drawing  
**EXISTING ROOF PLAN -  
PROPOSED EXPLORATORY  
OPENINGS**

designed	conçu
date	
drawn	MP
date	MARCH 28, 2013
approved	RG
date	
Tender	2013/06/19
PWGC Project Manager	Administrateur de projets TPSCG
project number	R.051357.001
drawing no.	A1