

ISSUED FOR TENDER

2013 / 08 / 30

MAISON CHARRON REHABILITATION

GATINEAU, QUEBEC



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- M001 PLUMBING AND DRAINAGE, DEMOLITION & NEW.
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- M004 CONTROLS, DEMOLITION & NEW.

LEGEND

- (X) CONSTRUCTION NOTE.
- (Wx) WALL TYPE.
- (XX) DEMOLITION NOTE.
- (X/X) SECTION MARKER.
- (X/XX) ELEVATION MARKER.
- (X/X.X) DETAIL MARKER.
- (###) WINDOW / DORMER NUMBER.
- X No. ROOM INDICATOR.
- N.I.C. NOT IN CONTRACT.
- SIM. SIMILAR
- TYP. TYPICAL
- S/S STAINLESS STEEL



Real Estate Management, Design and Construction Branch
Direction de la gestion de l'immobilier, design et construction

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project
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MAISON CHARRON
REHABILITATION

drawing
dessin

COVER SHEET

approved by
approuvé par

designed by
conçu par R.MARTIN , J.MADDIGAN

drawn by
dessiné par C.U. , S.S.

date AUGUST 2013 scale AS NOTED
échelle

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DC-4080 A-000

	Detail Item/ Détail de l'item	Phase I	Phase II
Windows (exterior/interior)/ Fenêtres (extérieur/intérieur)			
	Make hardware operable/ Rendre la quincaillerie fonctionnelle.	I	
	Replace defective/missing hardware / Remplacer la quincaillerie défectueuse/manquante.	I	
	Restore wood shutter/ Restaurer le volet de bois.	I	
	Replicate muntin bar + trim/ Reproduire les meneaux verticaux et les moulures.	I	
	Replace brick mould/ Remplacer les moulures à brique.	I	
	Restore dormer windows and woodwork/ Restaurer les fenêtres et les moulurations des lucarnes.	I	
	Repaint windows (including frames, sills, trim and shutters)/ Repeinturer les fenêtres (incluant les cadres, les seuils, les moulures et les volets).	I	
	Reapply sealant on perimeter of windows/ Réappliquer un scellant au périmètre des fenêtres.		II

WINDOW SCHEDULE

No.	LOCATION	WINDOW		MAT.	FINISH	FRAME		GLAZING	OPERABLE	SHUTTER		NOTES
		WIDTH	HEIGHT			MAT.	FINISH			MAT.	FINISH	
B100	KITCHEN 005	1000	1300	WD	PT	WD	PT	EX	OP			1, 3, 4
W101	102 FOOD SERVICE	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W102	STAIR B	1000	1300	WD	PT	WD	PT	EX		WD	PT	1, 4
W103	STAIR B	1000	1300	WD	PT	WD	PT	EX		WD	PT	1, 4
W104	102 FOOD SERVICE (INTERIOR)	1000	1300	WD	PT	WD	PT	EX	OP			1, 4
W105	103 VESTIBULE	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W106	102 FOOD SERVICE	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W107	101 DISPLAY AREA	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W108	101 DISPLAY AREA	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W109	101 DISPLAY AREA	685	760	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W110	101 DISPLAY AREA	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W111	102 FOOD SERVICE	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 4
W112	102 FOOD SERVICE	1000	1300	WD	PT	WD	PT	EX	OP	WD	PT	1, 2, 4
W201	DORMER	740	1000	WD	PT	WD	PT	EX				1, 4
W202	DORMER	740	1000	WD	PT	WD	PT	EX				1, 4
W203	102 FOOD SERVICE	900	1200	WD	PT	WD	PT	EX				1, 4
W204	ATTIC SPACE	1000	1200	WD	PT	WD	PT	EX				1, 4

LEGEND - WINDOW SCHEDULE		NOTES - WINDOW SCHEDULE
EX	EXISTING	1- REVIEW HARDWARE ON WINDOWS AND SHUTTERS. ADJUST HARDWARE TO GIVE SMOOTH OPERATION, OIL MOVING PARTS. ALLOW FOR REPLACEMENTS OF DEFECTIVE, DETERIORATED AND MISSING PARTS: 6 HINGES, 2 TALL SURFACE BOLTS, 2 SHORT SURFACE BOLTS, 6 SURFACE BOLTS KEEPERS, 8 HOOK + EYELET SETS AND 1 SHUTTER DOG.
WD	WOOD	2 - REPLICATE AND INSTALL MISSING WOOD MUNTIN BARS + TRIM.
PT	PAINT - PATCH AND REPAIR ALL SURFACES BEFORE REPAINTING. EXTERIOR FACES ONLY EXCEPT WINDOWS WITH INTERIOR REPAIRS.	3 - REPLACE BRICK MOULD.
OP	OPERABLE	4 - INSTALL SEALANT TO PERIMETER OF WINDOW TRIM AND STUCCO.
NOTE: ALL DIMENSIONS ARE APPROXIMATE.		

DOOR SCHEDULE

No.	LOCATION	WINDOW		MAT.	FINISH	FRAME		NOTES
		WIDTH	HEIGHT			MAT.	FINISH	
D101	101 DISPLAY AREA	1000	2030	WD	PT	WD	PT	1, 2, 4, 7
D102	102 FOOD SERVICE	1000	2030	WD	PT	WD	PT	1, 2, 4, 7
D103	103 VESTIBULE	1000	2030	WD	PT	WD	PT	3, 7
D104	104 WASHROOM A	1000	2030	WD	PT	WD	PT	5
D105	105 WASHROOM B	1000	2030	WD	PT	WD	PT	
D106	106 WASHROOM C							6, 7
D107	107 WASHROOM D							6, 7

LEGEND - DOOR SCHEDULE		NOTES - DOOR SCHEDULE
WD	WOOD	1- RESTORE. SEE SPECIFICATIONS.
PT	PAINT - PATCH AND REPAIR ALL SURFACES BEFORE REPAINTING. EXTERIORS EXCEPT D101 AND D102 TO HAVE INTERIOR FACES REPAINTED ALSO.	2- INTERIOR FACE AND DOOR EDGES STAIN FINISH EXTERIOR FACE PAINT.
NOTES - DOOR SCHEDULE		3- UPGRADE DOOR WITH POWERED BARRIER FREE OPERATOR. SEE SPECS FOR HARDWARE.
		4- BOTTOM OF DOOR TO BE MODIFIED TO SUIT NEW THRESHOLD. SEE 1/A500 FOR DETAILS.
		5- REPLACE EXISTING LOCK. SEE SPECIFICATIONS FOR DETAIL.
		6- REPLACE EXISTING DOOR HANDLE. SEE SPECIFICATIONS FOR DETAIL.
		7- INSTALL SEALANT TO PERIMETER OF DOOR TRIM AND ADJOINING SURFACE.
		NOTE: DIMENSIONS ARE APPROXIMATE.



D102 (D101 SIM.)



D103



INTERIOR ELEVATION



EXTERIOR ELEVATION

TYPICAL WINDOW ELEVATIONS

1	TYPICAL DOOR AND WINDOW ELEVATION
A001	N.T.S.

WORK PHASING SCHEDULE

	Detail Item/ Détail de l'item	Phase I	Phase II
Doors (exterior/interior) / Portes (extérieur/ intérieur)			
	Main door modifications for barrier-free access/ Modifications de la porte principale pour accès universel.	I	
	Restore rear patio doors (including modifications for new threshold)/ Restaurer les portes du patio arrière (incluant les modifications pour le nouveau seuil).	I	
	Paint doors/ Peinturer les portes.	I	
	Apply sealant on perimeter/ Appliquer un scellant au périmètre.		II
	Wireless barrier free operator for door D103/ Opérateur sans fil pour accessibilité universelle à la porte D103.	I	
	Replace lock for door D104/ Remplacer la serrure pour la porte D104.	I	
	Replace door handle for door D106 and D107/ Remplacer les poignées des portes D106 et D107.	I	

	Detail Item/ Détail de l'item	Phase I	Phase II
Interior Work/ Travaux intérieurs			
	Masonry Repairs at exposed masonry wall (including raking and repointing joints, removing and resetting loose stone, fabricating missing stones, including stone cutting and installation)/ Réparations de la maçonnerie murale apparente (incluant le dégarnissage et le rejointoiement des joints; l'enlèvement et le repositionnement des pierres désertées; et la fabrication des pierres manquantes - incluant le taillage et l'installation)	I	
	Refinish interior floors/ Refinition des planchers	I	
	Install ramp and thresholds/ L'installation des rampes et des seuils	I	
	Sand and refinish existing wood floors/ ponçage et refinition des planchers de bois	I	
	Paint all first floor walls/ Peinturer toutes les cloisons du premier étage	I	
	Interior lights (pot lights, track lights) /Appareils d'éclairage intérieurs (encastrés, sur rails)	I	
	Patch and repair walls at thermostat and interior light installations / Ragréer et réparer les cloisons aux thermostats et aux installations des appareils d'éclairage intérieurs.	I	
	Reset and anchor interior panels/ Repositionner et fixer les panneaux intérieurs	I	
	Paint all first floor gypsum ceilings/ Peinturer tout les plafonds au premier étage.	I	
	Patch and repair ceiling at track lighting installation/ Ragréer et réparer le plafond aux installations des rails pour l'éclairage sur rail.	I	
	Sand and restain display area ceiling/ Poncer et reteindre le plafond de la zone d'exposition.	I	
	Install custom damper in fireplaces/ Installer les régulateurs de tirage fabriqués sur mesure aux foyers.	I	
	Upgrade sprinkler system/ Valorisation du système de gicleurs.	I	
	Washroom thermostat/ Thermostat de salle de toilette.	I	
	Washroom trap guards/ Plaques de garde pour siphons des salles de toilettes.	I	
	Cabinet unit heater temporary relocation/ Repositionnement temporaire de l'aérotherme en coffet.	I	
	Fumace service/ Service de la chaudière	I	
	Heat pump service/ Service de la pompe à chaleur.	I	
	Ventilator service / Service du ventilateur.	I	
	Duct cleaning/ Nettoyage des gaines.	I	
Stucco (exterior)/ Stucco (extérieur)			
	Stucco repairs and cleaning/ Réparation et nettoyage du stucco.		II
	Mineral paint application / Application de la peinture minérale.		II
	Anchor removals and repairs/ Enlèvement et réparation des fixations.		II

ROOM FINISH SCHEDULE

No.	LOCATION	FLOOR		BASE		NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		CEILING		NOTES
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	
001	MECHANICAL	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
002	STORAGE ROOM A	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
003	CORRIDOR	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
004	STORAGE ROOM B	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
005	KITCHEN	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
006	ELECTRICAL	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
100	TERRACE	-	ASC	-	-	-	PT	-	PT	-	PT	-	PT	N/A	N/A	
101	DISPLAY AREA	-	ST	-	-	-	PT	-	PT	-	PT	-	PT	WD	ST	1, 2, 3
102	FOOD SERVICE	-	ST	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	1, 3, 4
103	VESTIBULE	-	ST	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	5, 6
104	WASHROOM A	-	-	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	7, 8
105	WASHROOM B	-	-	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	7, 8
106	WASHROOM C	-	-	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	7, 8
107	WASHROOM D	-	-	-	-	-	PT	-	PT	-	PT	-	PT	-	PT	7, 8
108	TERRACE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	

LEGEND - ROOM FINISH SCHEDULE	
WD	WOOD - INSERTS TO MATCH EXISTING CEILING.
ST	STAIN - ALL EXISTING HARDWOOD FLOORING TO BE HAND SANDED AND REFINISHED TO MATCH EXISTING. SEE SPECS FOR FINISHING DETAILS.
PT	PAINT - PATCH AND REPAIR ALL SURFACES BEFORE REPAINTING.
ASC	ANTI-SLIP COATING - SEE SPECS FOR DETAILS.
NOTES - ROOM FINISH SCHEDULE	
1. NEW HARDWOOD RAMPS AT DOORS TO BE FINISHED WITH EXISTING HARDWOOD FLOOR.	
2. PATCH, REPAIR AND STAIN EXISTING CEILING AND NEW DETAILS TO MATCH EXISTING AS REQUIRED. SEE DETAIL2/A500, ELECTRICAL AND SPECS FOR DETAILS.	
3. PATCH, REPAIR AND PAINT WALLS AND CEILINGS AFFECTED BY NEW EXTERIOR LIGHTING INSTALLATION, SEE DETAIL4/A502 FOR DETAILS.	
4. PATCH, REPAIR AND PAINT CEILINGS AFFECTED BY TRACK LIGHTING INSTALLATION.	
5. PATCH, REPAIR AND PAINT WALLS AFFECTED BY DOOR OPERATOR INSTALLATION.	
6. PATCH, REPAIR AND PAINT WALLS AFFECTED BY RECESSED LIGHT INSTALLATION.	
7. PATCH, REPAIR AND PAINT WALLS AND CEILINGS AFFECTED BY THERMOSTAT INSTALLATION. THRU HOLES IN TILE PERMITTED ONLY IN COVERED LOCATIONS.	
8. REPAINT WALLS ABOVE EXISTING TILE.	

	Detail Item/ Détail de l'item	Phase I	Phase II
Exterior Work / Travaux extérieurs			
	Install exterior lighting/ Installer les appareils d'éclairage extérieurs.	I	
	Install exterior receptacle (power)/ Installer les prises de courant extérieures.	I	
	Remove and reinstall receptacle (power) and lights to allow stucco repairs and application of mineral paint/ Enlever and re-installer la prise de courant (appareil électrique) et les lumières pour effectuer les réparations de stuc et l'application de la peinture minérale.		II
	Install garbage cans (supplied by NCC)/ Installer les poubelles (fournies par la CCN)		II
	Grout and plaster stone walls for new exterior light/ Sceller au coulis de plâtre les murs de pierres pour les nouveaux appareils d'éclairage extérieurs.	I	
	Repaint exterior wall siding/ Repeinturer le recouvrement mural extérieur.	I	
	Clean and sand existing wood deck / Nettoyer et poncer le bois de la terrasse existante.		II
	Apply slip resistant coating to wood deck/ Appliquer une couche anti-dérapante au bois de la terrasse.		II
Re-grading (exterior)/			
	Regrading/ Terrassement		II
	Relay existing flagstone patio on compacted base/ Repositionner les dalles de pierre du patio sur une base compactée		II
	Repave existing (including new asphalt ramps) / Revêtir l'existant (incluant de nouvelles rampes en asphalte).		II
	New riverstone swale / Fosse végétalisée avec galets		II
	Plant new perennial grass/ Planter des nouvelles graminées vivaces		II
	Transplant and reinstall existing plants/ Transplanter et réinstaller les plantes existantes.		II
	Install below grade drainage pipe for down pipe/ Installer un tuyau dessous le niveau du sol pour le tuyau d'évacuation.		II
	Install drainage pipe below deck (2 locations)/ Installer un tuyau d'évacuation dessous la terrasse (2 endroits).		II
Roof (exterior)/ Toit (extérieur)			
	Remove wood shingles and install new ventilated cedar roof system/ Enlever les bardeaux de bois et installer le nouveau système de toit ventilé en cède.		II
	Remove chimneys flue caps; replace with ventilated chimney caps/ Enlever les couronnements de cheminées; les remplacer avec des couronnements ventilés.		II
	Replace roof decking/ Remplacer le platelage du toit.		II
	Install new down spouts, eaves troughs and miscellaneous flashings/ Installer les nouveaux tuyaux de descente, les gouttières et la solins divers.		II
	Install ice and water membrane & breathable membrane/ Installer la membrane anti-givrage perméable à l'air		II
	Fascia and soffit modifications/ Modifications aux panneaux et au sous-face.		II
	Restore fascia, soffit and trim/ Restaurer les panneaux, le sous-face et les moulures.		II

ASSEMBLY SCHEDULE

ROOF	
R1	ROOF R1: <ul style="list-style-type: none">CEDAR SHINGLES SYSTEM.39mm X 76mm WOOD STRAPPING PERPENDICULAR TO ROOF SLOPE.19mm X 92mm WOOD STRAPPING AT 400mm O.C. PARALLEL TO ROOF SLOPE.VAPOUR PERMEABLE WATER PROOF MEMBRANE.EXISTING ROOF DECK, STRUCTURE AND FINISHES
R2	ROOF R2: <ul style="list-style-type: none">CEDAR SHINGLES SYSTEM.39mm X 76mm WOOD STRAPPING PERPENDICULAR TO ROOF SLOPE.19mm X 92mm WOOD STRAPPING AT 400mm O.C. PARALLEL TO ROOF SLOPE.ICE AND DAM WATER PROOF MEMBRANE.EXISTING ROOF DECK, STRUCTURE AND FINISHES



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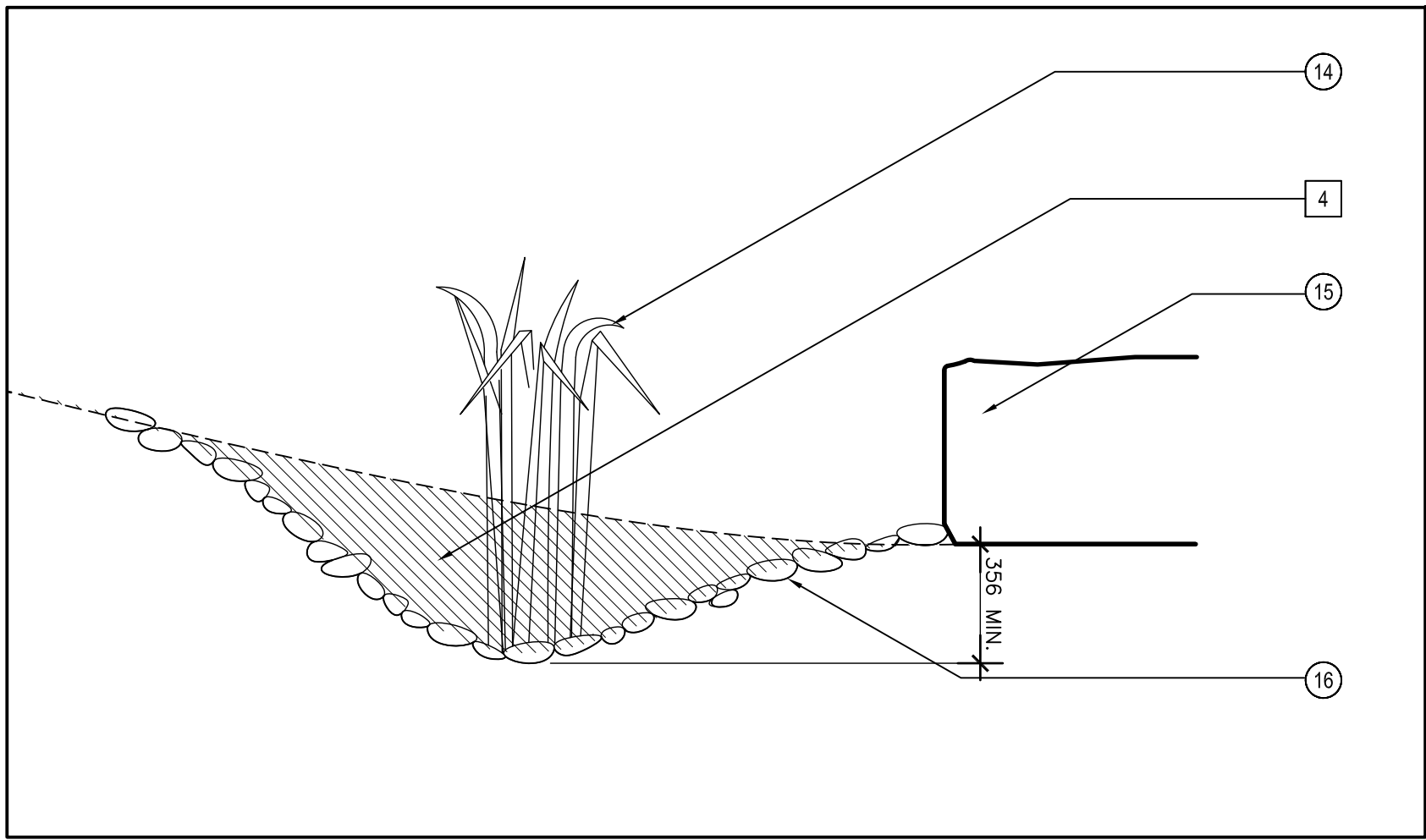
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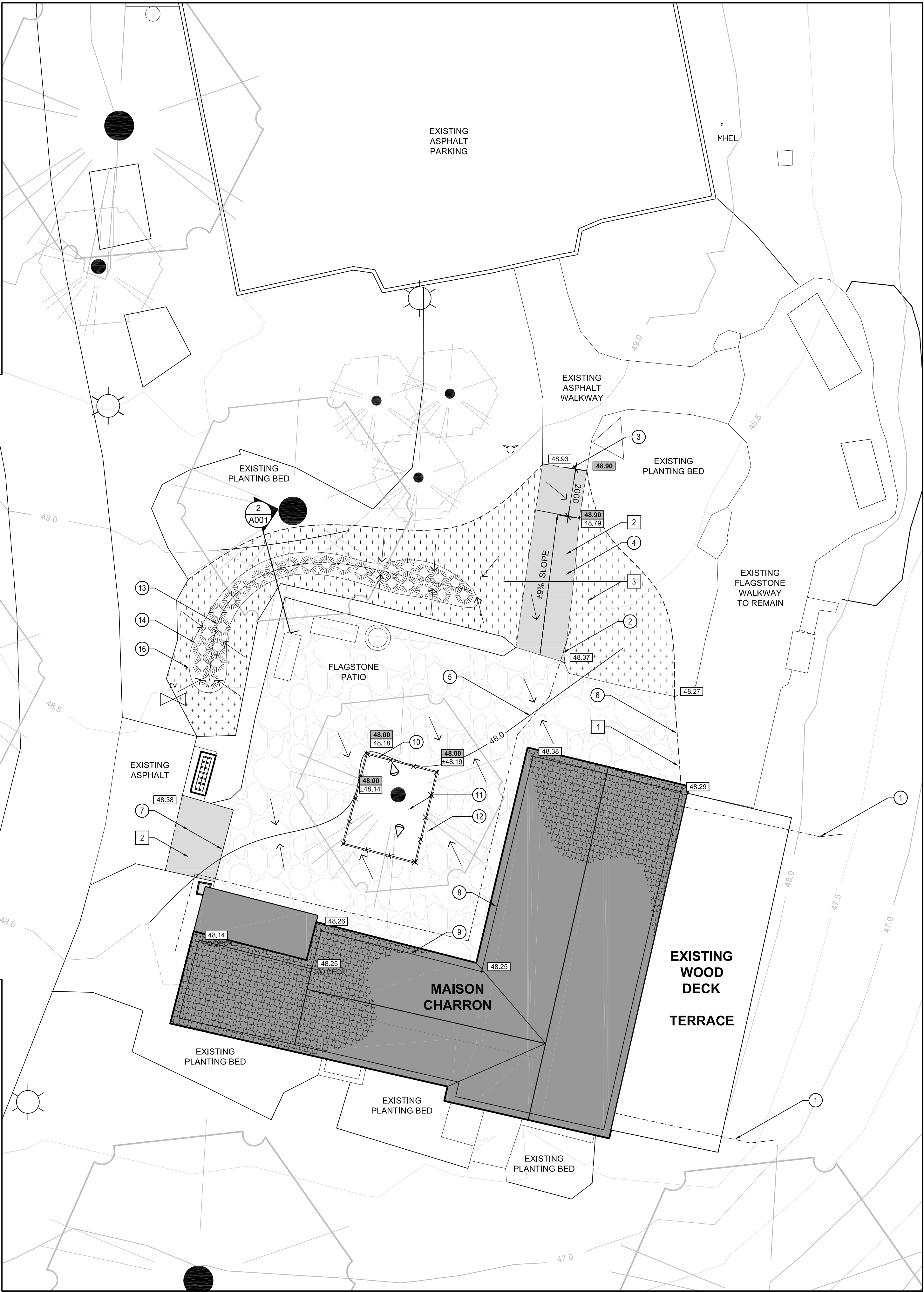
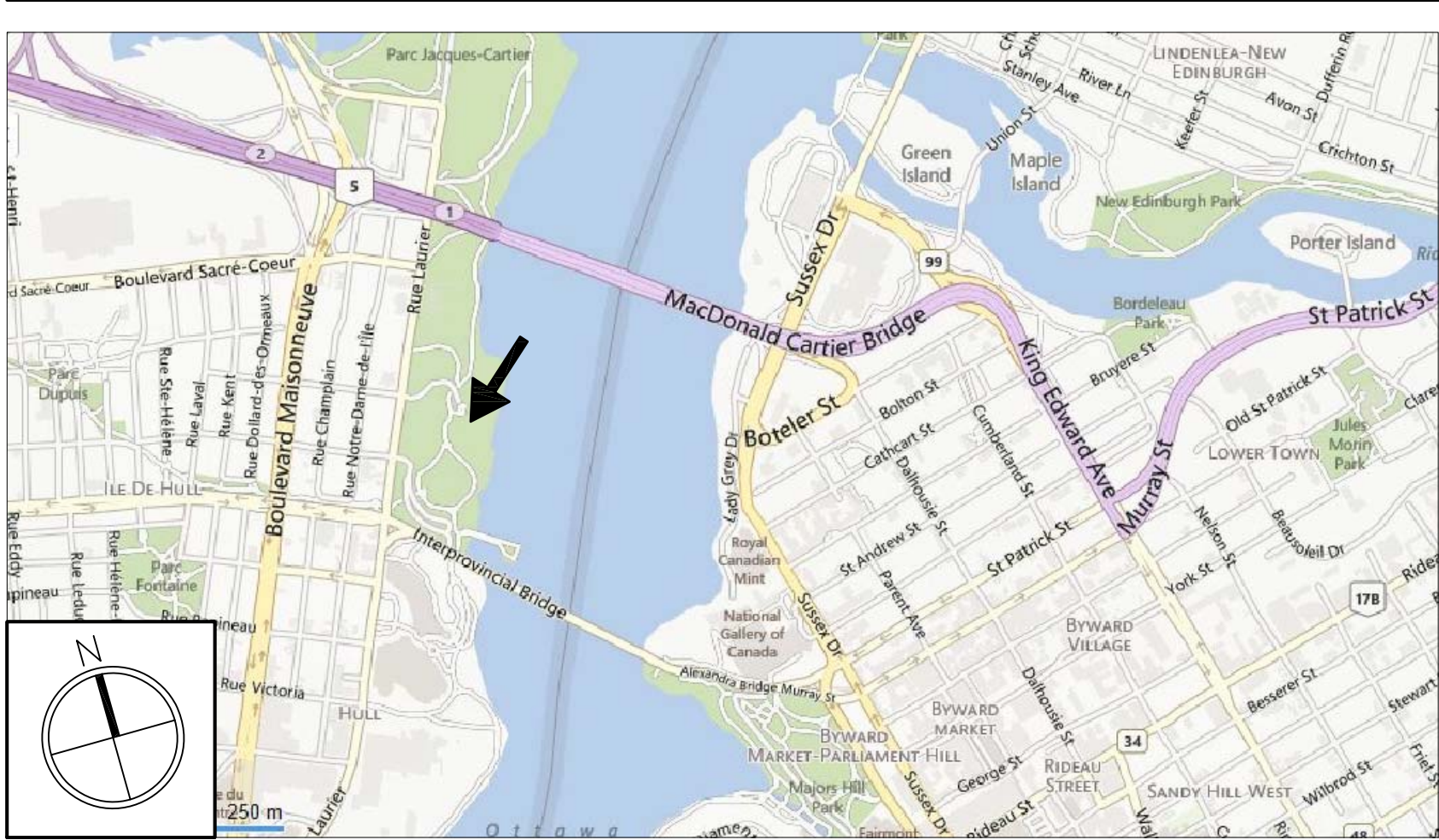
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SCHEDULES

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2
A002 SWALE DETAIL
1:20



1
A002 SITE PLAN
1:100

DEMOLITION NOTES

- 1 EXTENT OF EXISTING FLAGSTONES TO BE REMOVED AND STORED IN GOOD CONDITION FOR REINSTALLATION.
- 2 EXTENT OF EXISTING ASPHALT TO BE REMOVED.
- 3 EXTENT OF EXISTING VEGETATION TO BE REMOVED AND PLANTED IN SUITABLE AREA AS DIRECTED BY NCC REPRESENTATIVE FOR FUTURE REINSTATEMENT.
- 4 EXTENT OF GRADE TO BE CUT FOR NEW SWALE.

CONSTRUCTION NOTES

- 1 INSTALL 150mm DIAMETER DRAIN PIPE BELOW WOOD DECK AND BELOW GRADE. TO DRAIN DOWN PIPE TO DAYLIGHT. BURY DRAIN PIPE MINIMUM 300mm BELOW GRADE WITH MINIMUM 2% SLOPE. AT EXPOSED END OF DRAIN PIPE INSTALL A PERFORATED CAP. MAKE GOOD DECK AND GRADE. SEE DETAIL 9/A-503 FOR ADDITIONAL INFORMATION.
- 2 INSTALL 150mm DIAMETER DRAIN PIPE BELOW GRADE. TO DRAIN DOWN PIPE TO DAYLIGHT. BURY DRAIN PIPE MINIMUM 300mm BELOW GRADE WITH MINIMUM 2% SLOPE. AT EXPOSED END OF DRAIN PIPE INSTALL A PERFORATED CAP. MAKE GOOD GRADE. SEE DETAIL 9/A-503 FOR ADDITIONAL INFORMATION.
- 3 CREATE NEW FLAT PORTION IN ASPHALT WALK TO DIRECT WATER INTO PLANTING BED.
- 4 NEW ASPHALT RAMP. ADJUST PLANTING BED HEIGHTS AT EDGES TO SUIT.
- 5 NEW GRADING CONTOUR TO CREATE POSITIVE DRAINAGE AWAY FROM BUILDING.
- 6 EXTENT OF EXISTING FLAGSTONES TO BE REINSTALLED.
- 7 NEW ASPHALT PORTION. HEIGHT AT PATIO EDGE TO SUIT NEW FLAGSTONE PATIO.
- 8 MAINTAIN EXISTING GRADE AT BUILDING, EXCEPT AS DESCRIBED IN NOTE 9.
- 9 LOCALIZED GRADE BUILD-UP AT DOOR NOT TO EXCEED 1:20 SLOPE TO ACHIEVE MAX. 6mm RISE AT DOOR THRESHOLD.
- 10 PROTECTIVE BARRIER FENCE TO BE ERRECTED AROUND TREE PRIOR TO COMMENCING ANY WORK. NO MATERIALS OR EQUIPMENT ALLOWED WITHIN FENCE LIMITS AT ANY TIME.
- 11 EXISTING GRADE WITHIN FENCE LIMITS TO BE MAINTAINED.
- 12 CLEANLY CUT WITH DISINFECTED SAW ANY TREE ROOTS ENCOUNTERED OUTSIDE OF FENCE THAT CANNOT BE MAINTAINED DUE TO GRADING CHANGE AND COVER IMMEDIATELY.
- 13 CENTRELINE OF NEW SWALE. SEE 2/A-002 FOR DETAILS.
- 14 NEW PANICUM VIRGATUM 'HEAVY METAL' MAX. 1220mm HIGH PLANTED @ ±750mm O.C. LAYER PLANTING IN A DIAMOND PATTERN WHERE MORE THAN ONE ROW IS SHOWN.
- 15 EXISTING QUARRY STONE PLANTING BARRIER TO REMAIN.
- 16 NEW RIVERSTONE BED INSTALLED OVER NEW SWALE. COORDINATE INSTALLATION WITH PLANTING. SEE NOTE 14.

LEGEND

- PROPOSED GRADE
- EXISTING GRADE
- DIRECTION OF DRAINAGE
- NEW GRADING CONTOUR
- PROTECTIVE BARRIER FENCE
- EXISTING ASPHALT TO BE REPLACED TO SUIT NEW GRADING
- EXISTING FLAGSTONE TO BE REMOVED AND STORED ON SITE. REINSTALL TO SUIT NEW GRADE.
- EXISTING PLANTING BED TO BE ADJUSTED TO SUIT NEW ADJACENT GRADING. REMOVE AND TEMPORARILY TRANSPLANT ALL EXISTING PLANTS.
- EXTENT OF GRADE TO CUT FOR NEW SWALE. SEE DETAIL 2/A001



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SITE PLAN

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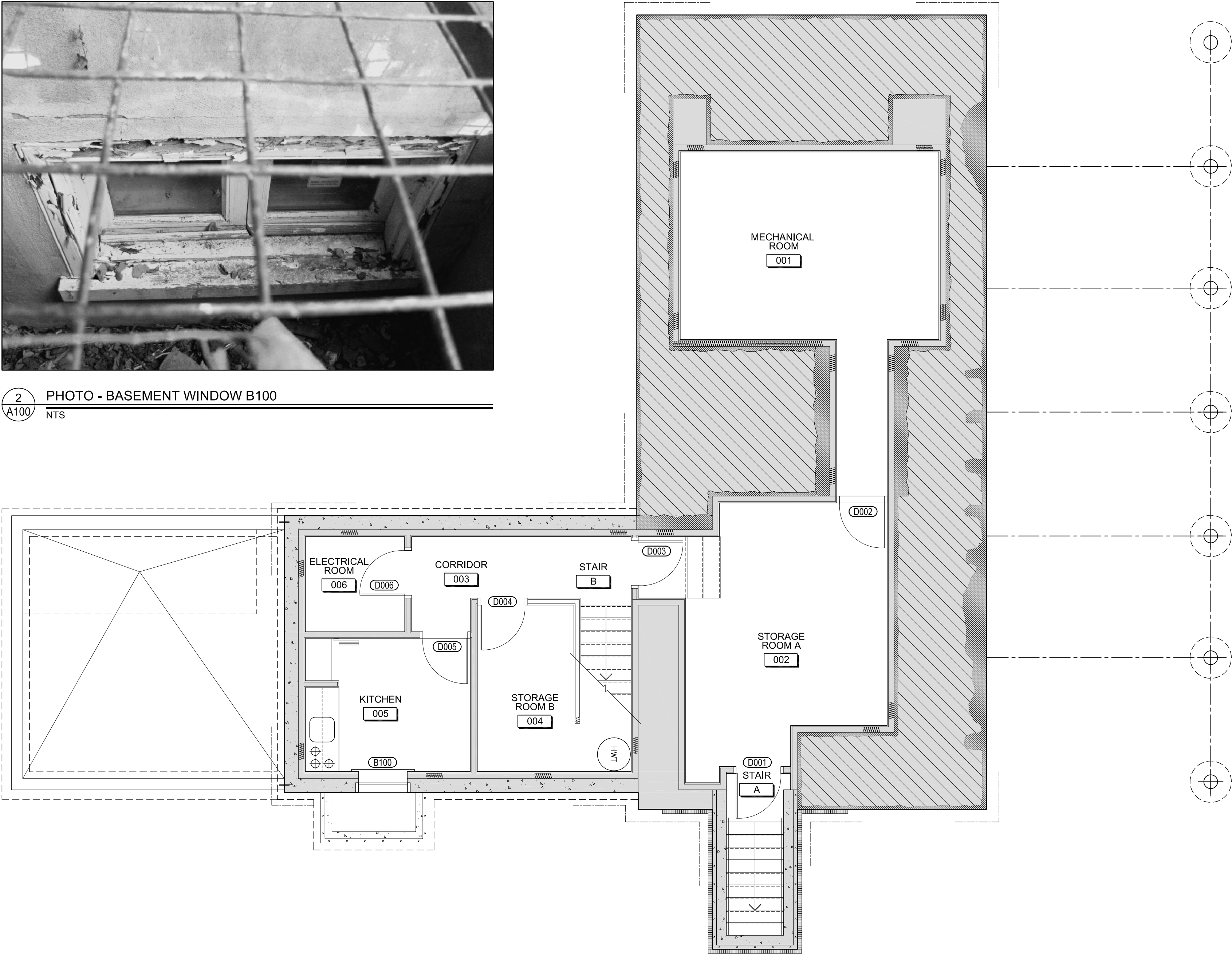
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DC-4080 A-002



2 PHOTO - BASEMENT WINDOW B100
A100 NTS



1 BASEMENT PLAN
A100 1 : 50

DEMOLITION NOTES

CONSTRUCTION NOTES



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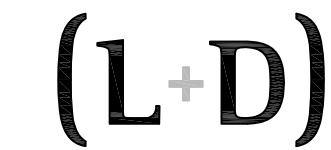
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projet

MAISON CHARRON
REHABILITATION

drawing
dessin

BASEMENT PLAN

approved by
approuvé par

designed by
conçu par R.MARTIN , J.MADDIGAN

drawn by
dessiné par C.U. , S.S.

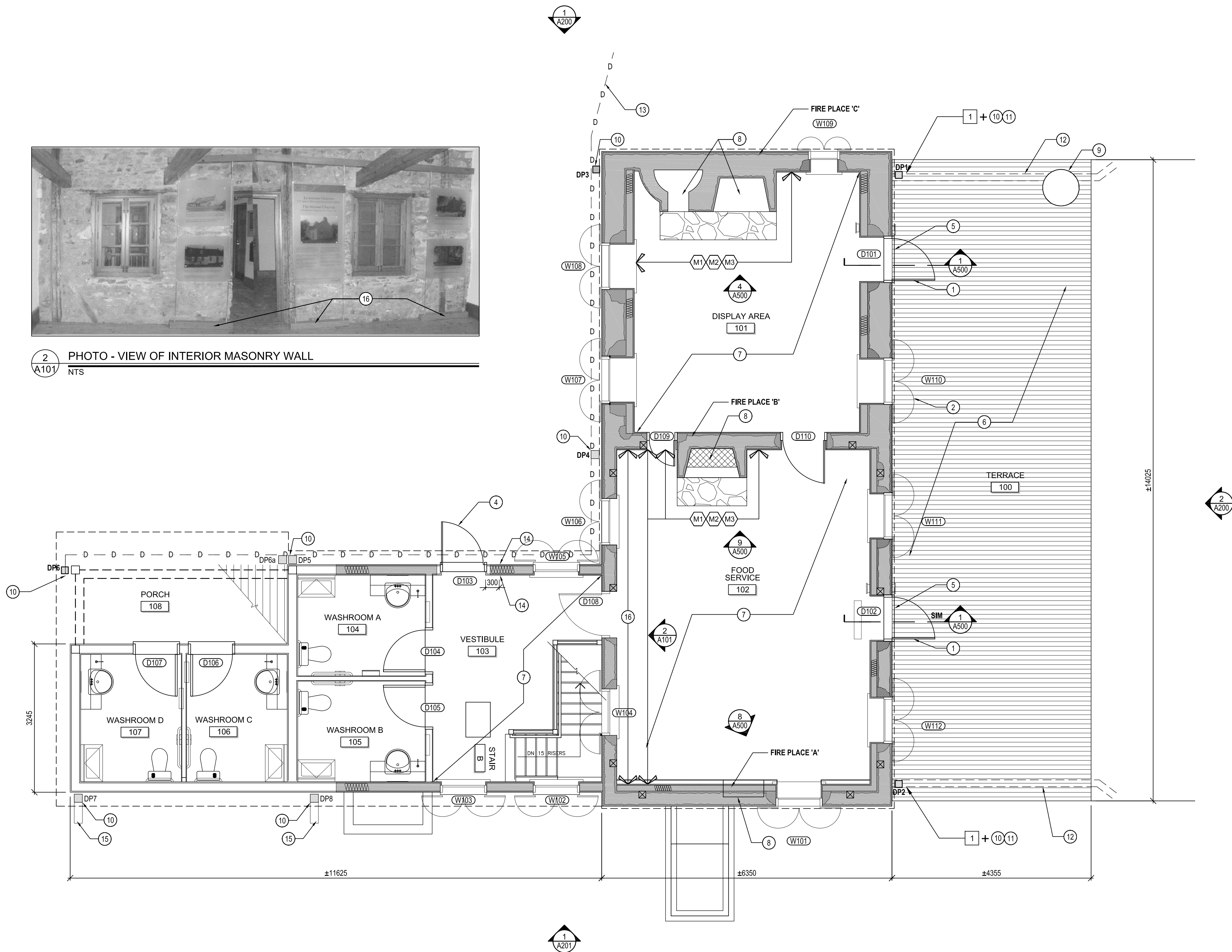
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A-100



2
A101/1
PHOTO - VIEW OF INTERIOR MASONRY WALL
NTS



1
A101/1
FIRST FLOOR PLAN
1: 50

DEMOLITION NOTES

- 1 REMOVE DECK BOARDS TO PASS DOWN PIPE AND DRAINAGE PIPE. RETAIN FOR REINSTALLATION.

CONSTRUCTION NOTES

- 1 REMOVE DOOR, RESTORE AND REINSTALL.
2 REMOVE WOOD SHUTTER, RESTORE AND REINSTALL. SEE DETAIL 7/A503
3 RESERVED.
4 MODIFY DOOR FOR IMPROVED BARRIER FREE ACCESS AND UPGRADE HARDWARE.
5 REPLACE WOOD DOOR SILLS AND MINI-RAMPS.
6 REFINISH WOOD DECK TO IMPROVE SLIP RESISTANCE. SEE ROOM FINISH SCHEDULE
7 REFINISH WOOD FLOORS.
8 INFILL FIREPLACES ABOVE FIRE BOX. SEE DETAIL 3/A500
9 INSTALL GARBAGE CAN. SUPPLIED BY N.C.C. REPRESENTATIVE.
10 INSTALL DOWN PIPE. CONNECT TO BELOW GRADE DRAINAGE EXCEPT DP. 7 AND DP.8
11 INSTALL PTW BLOCKING AROUND DOWN PIPE AND RE-INSTALL WOOD DECKING.
12 INSTALL 150 Ø DRAINAGE PIPE. BELOW DECK AND THEN BELOW GRADE. 300mm DRAINING TO DAYLIGHT CAP WITH PERFORATED DRAIN CAP.
13 INSTALL BELOW GRADE 150mm Ø DRAINAGE PIPE TO DRAIN DOWN PIPES. EXIT DOWN SLOPE AT DAYLIGHT. CAP WITH PERFORATED DRAIN CAP.
14 SURFACE MOUNTED WIRELESS ACTUATOR 1000mm (MIN) TO 1100mm (MAX) MOUNTING HEIGHT. REFER TO SPECIFICATIONS.
15 EXTEND BOTTOMS OF DP.7 AND DO.8 TO 900mm AWAY FROM BUILDING.
16 RESET INFORMATION PANELS.

GENERAL NOTES

- A. TYPICAL REPAINT ALL WINDOWS, FRAMES, SILLS, TRIM AND SHUTTERS.

MASONRY REPAIR LEGEND

- M1 RAKE AND REPOINT 20% MORTAR JOINTS.
M2 REMOVE AND RESET LOOSE MASONRY 10% SURFACE.
M3 FILL IN MISSING STONES. 4 UNITS UP TO ±200 x 150 X 150mm.

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MAISON CHARRON
REHABILITATION

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FIRST FLOOR PLAN

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conçu par R.MARTIN, J.MADDIGAN

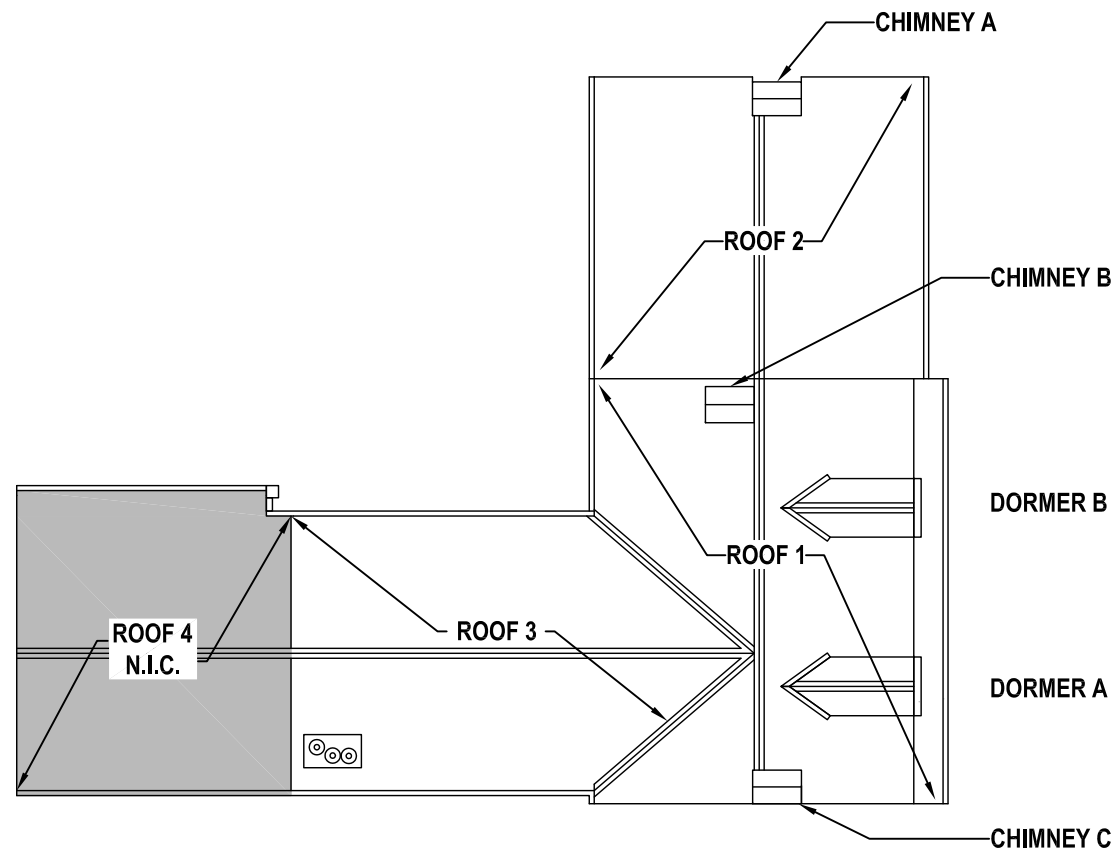
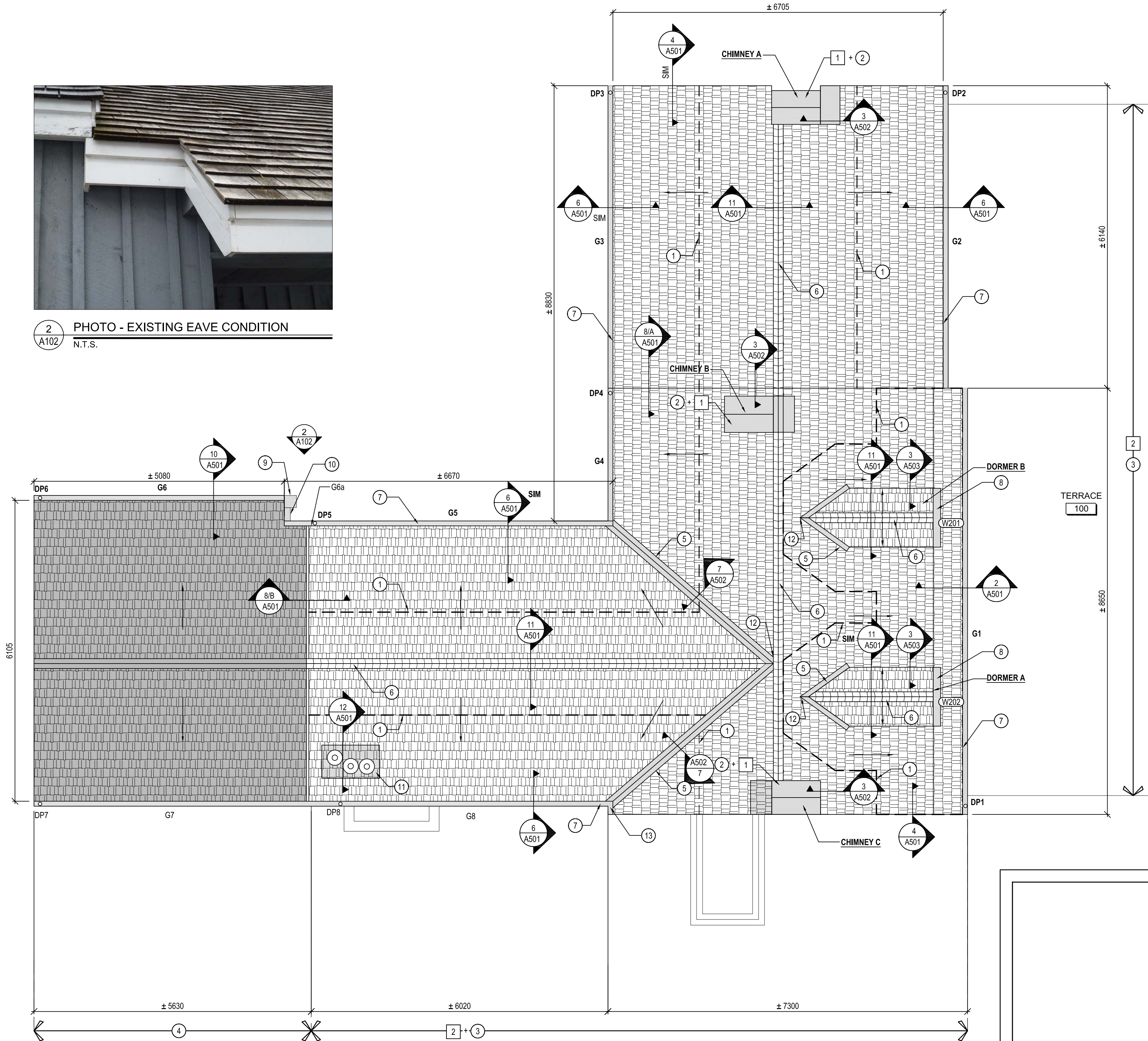
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2 PHOTO - EXISTING EAVE CONDITION
A102 N.T.S.



1 ROOF PLAN
A102 1: 50

3 ROOF - KEY PLAN
A102 N.T.S.

DEMOLITION NOTES

- 1 REMOVE CHIMNEY CAPS AND CUT DOWN FLUES.
- 2 REMOVE SHINGLE ROOF SYSTEM DOWN TO ROOF DECK AND FROM SIDES OF DORMERS TO WALL SHEATHING.

CONSTRUCTION NOTES

- 1 DASHED LINE INDICATES LIMIT OF ICE AND WATER MEMBRANE INSTALLATION. 2 X ROWS.
- 2 INSTALL VENTILATED METAL CHIMNEY CAPS.
- 3 INSTALL VENTILATED CEDAR ROOF SYSTEM.
- 4 RECENT CEDAR ROOF NIC.
- 5 INSTALL METAL VALLEY FLASHING.
- 6 INSTALL VENTILATED ROOF RIDGE.
- 7 MODIFY FASCIA TO PERMIT VENTILATION TO VENTILATED ROOF RIDGE.
- 8 INSTALL METAL APRON FLASHING AT BASE OF DORMERS.
- 9 EXTEND G6 TO COLLECT DRAINAGE FROM DP5/G6a
- 10 DP5 DRAINS G6a TO G6.
- 11 INSTALL METAL PLUMBING STACK FLASHINGS WITH ONE COMBINED METAL APRON FLASHING.
- 12 CAP JUNCTURES OF METAL VALLEY FLASHINGS WITH METAL APRON FLASHINGS.
- 13 INSTALL METAL DIVERTER AT CHANGE OF GUTTER DIRECTION.

LEGEND

- DP# = DOWNPIPE LOCATION.
G# = GUTTER.

GENERAL NOTES

- A. ALLOW FOR REPLACEMENT OF 20% ROOF DECKING AREA.
- B. ROOF 1 AND 2 WOOD DECK BOARDS $\pm 25\text{mm} \times 300\text{mm}$ BOARDS.
- C. ROOF 3 $\pm 16\text{mm}$ THICK PLYWOOD.

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REHABILITATION

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ROOF PLAN

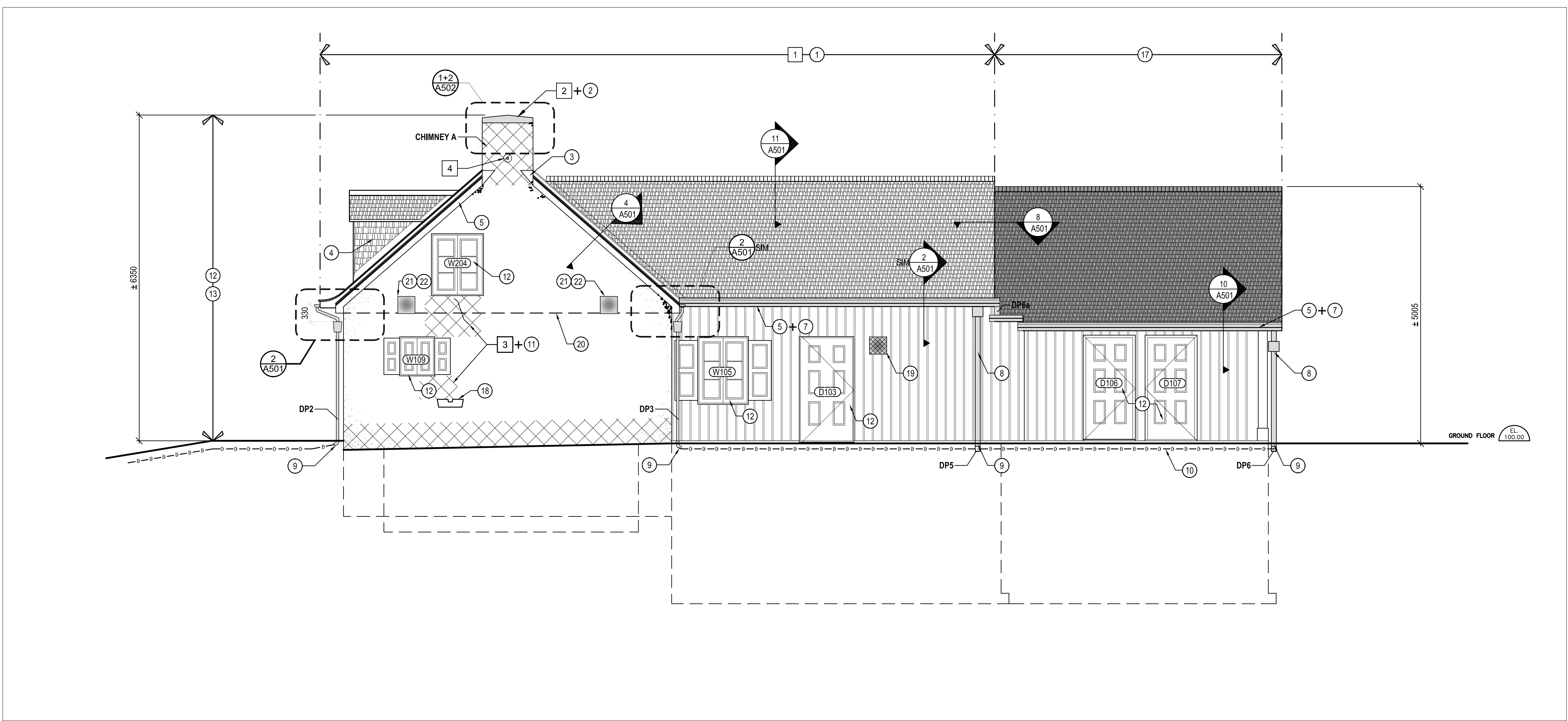
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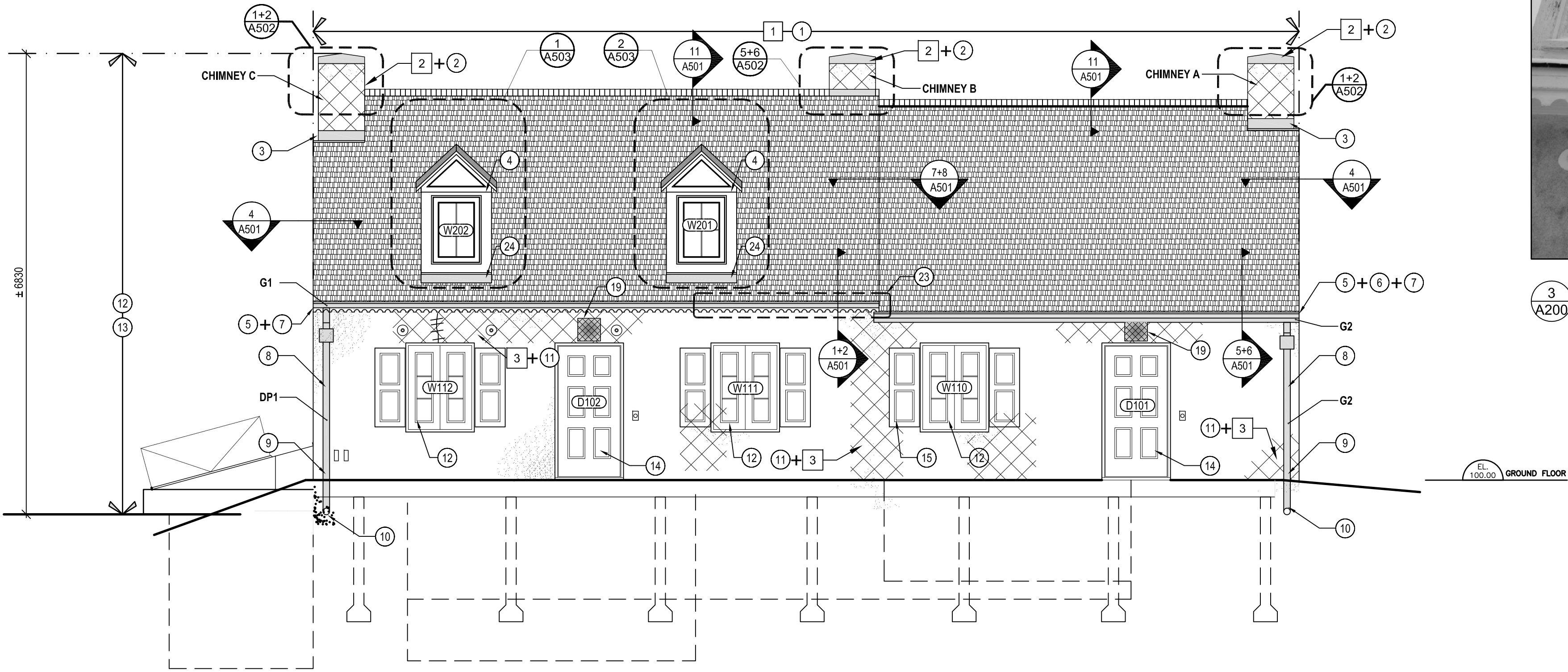
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1 NORTH ELEVATION
1:50



2 EAST ELEVATION
1:50

- # DEMOLITION NOTES
- 1 REMOVE WOOD SHINGLES COMPLETE WITH FASTENERS. FLASHING, UNDERLAY DOWN TO ROOF DECK AND FROM SIDES OF DORMERS.
 - 2 REMOVE CHIMNEY FLUE CAP.
 - 3 REMOVE STUCCO AT CRACKS TO SOUND MATERIAL.
 - 4 REMOVE ANCHOR AND FILL HOLE.
 - 5 DISMANTLE BUILDING SOFFIT. RETAIN BOARDS FOR REINSTALLATION.

- # CONSTRUCTION NOTES
- 1 INSTALL VENTILATED CEDAR ROOFING SYSTEM.
 - 2 INSTALL VENTILATED METAL CHIMNEY CAP.
 - 3 INSTALL METAL FLASHING.
 - 4 RESTORE WOOD WORK ON DORMERS AND WINDOWS.
 - 5 RESTORE WOOD FASCIA, SOFFIT AND TRIM.
 - 6 FILL IN UNDERSIDE OF WOOD SOFFIT.
 - 7 INSTALL GUTTER SYSTEM.
 - 8 INSTALL DOWN PIPE ASSEMBLY.
 - 9 CONNECT DOWN PIPE TO DRAINAGE PIPE PASSING BELOW WOOD PATIO/GRADE TO DAY LIGHT.
 - 10 INSTALL DRAINAGE PIPE.
 - 11 REPAIR STUCCO. SEE DETAIL 4/A-503.
 - 12 TYPICAL, REPAINT WINDOWS, SHUTTERS AND DOORS, INCLUDING TRIM.
 - 13 RESERVED.
 - 14 REMOVE DOOR, RESTORE, THEN REINSTALL.
 - 15 REMOVE SHUTTER, RESTORE, THEN REINSTALL.
 - 16 RESERVED.
 - 17 RECENT CEDAR ROOF NOT IN CONTRACT.
 - 18 STONE SINK DRAIN NOT IN CONTRACT.
 - 19 REPLACE EXISTING LIGHT.
 - 20 DASH LINE INDICATES TOP OF FLOOR BEAMS INSIDE.
 - 21 INSTALL LIGHT.
 - 22 SEE DETAIL 4 / A502 FOR PASSING CONDUIT THROUGH WALL.
 - 23 IN THIS AREA DISMANTLE SOFFIT AND REINSTALL FLAT. INCLUDE TO INSTALL ADDITIONAL 38mm THICK WOOD FRAMING TO REPLACE DETERIORATED WOOD. SEE PHOTO 3/A200.
 - 24 INSTALL APRON FLASHING.

- LEGEND
- LOCATION OF CRACKED, DELAMINATED, DETERIORATED STUCCO TO REMOVE AND REPLACE. SEE DETAIL 4/A503.
- DP# DOWN PIPE NUMBER.
- G# GUTTER NUMBER.
- EXISTING LIGHT FIXTURE.
- PROPOSED EXTERIOR LIGHT FIXTURE.

- GENERAL NOTES
- REPAINT EXTERIOR WOODWORK.
 - REPAINT WINDOWS, SHUTTERS AND DOORS.
 - REPAINT WOOD SIDING.
 - POWER WASH STUCCO BEFORE REPAIRS TO REMOVE SOILING AND STAINS.
 - PAINT ALL STUCCO WITH "LIMEWASH" MINERAL SILICATE PAINT AFTER STUCCO REPAIR WORK IS COMPLETED.
 - OBTAIN APPROVALS OF PAINT COLOURS FROM NCC REPRESENTATIVE BEFORE PURCHASING AND APPLICATION.



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MAISON CHARRON
REHABILITATION

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NORTH AND EAST
ELEVATIONS

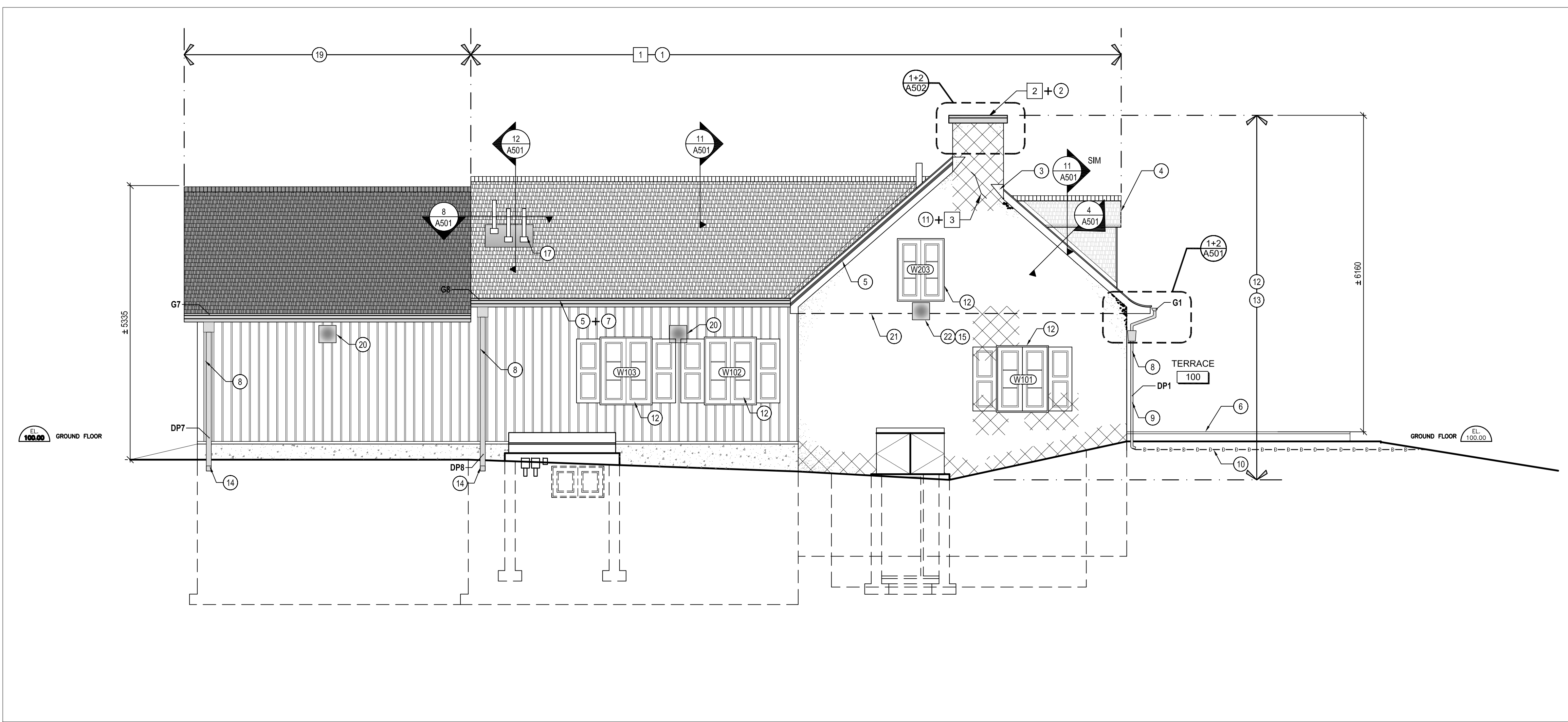
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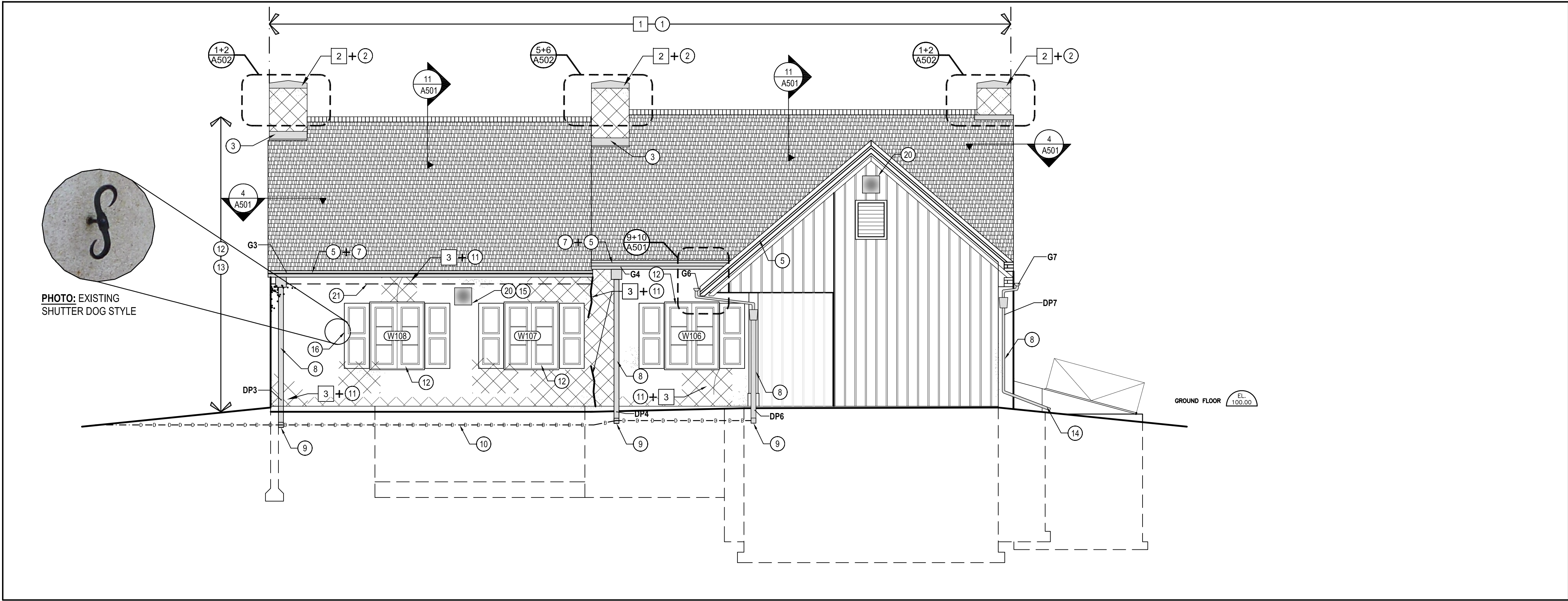
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1 SOUTH ELEVATION
A201 1:50



2 WEST ELEVATION
A201 1:50

DEMOLITION NOTES

- 1 REMOVE WOOD SHINGLES COMPLETE WITH FASTENERS, FLASHING, UNDERLAY DOWN TO ROOF DECK AND FROM SIDES OF DORMERS.
- 2 REMOVE CHIMNEY FLUE CAP.
- 3 REMOVE STUCCO AT CRACKS TO SOUND MATERIAL.

CONSTRUCTION NOTES

- 1 INSTALL VENTILATED CEDAR ROOFING SYSTEM.
- 2 INSTALL VENTILATED METAL CHIMNEY CAP.
- 3 INSTALL METAL FLASHING.
- 4 RESTORE WOOD WORK ON DORMERS AND WINDOWS.
- 5 RESTORE WOOD FASCIA, SOFFIT AND TRIM.
- 6 TERRACE.
- 7 INSTALL GUTTER SYSTEM.
- 8 INSTALL DOWN PIPE ASSEMBLY.
- 9 CONNECT DOWN PIPE TO DRAINAGE PIPE PASSING BELOW WOOD PATIO/GRADE TO DAY LIGHT.
- 10 INSTALL DRAINAGE PIPE.
- 11 REPAIR STUCCO. SEE DETAIL 4/A-503.
- 12 TYPICAL REPAIR WINDOWS, SHUTTERS AND DOORS INCLUDING TRIM.
- 13 RESERVED.
- 14 EXTEND DOWN PIPE OUT 900mm AND DRAIN TO GRADE.
- 15 SEE DETAIL 4/A502 FOR PASSING CONDUIT THROUGH STONE WALL.
- 16 INSTALL MISSING SHUTTER DOG. MATCH EXISTING.
- 17 PLUMBING STACKS.
- 18 RESERVED.
- 19 RECENT CEDAR ROOF NOT IN CONTRACT.
- 20 INSTALL LIGHTS.
- 21 DASH LINE INDICATES T.O. FLOOR BEAMS INSIDE BUILDING.
- 22 INSTALL LIGHT ABOVE FLOOR BEAM LINE.

LEGEND

- LOCATION OF CRACKED, DELAMINATED, DETERIORATED STUCCO TO REMOVE AND REPLACE. SEE DETAIL 4/A503.
- DP# DOWN PIPE NUMBER.
- G# GUTTER NUMBER.
- EXISTING LIGHT FIXTURE.
- PROPOSED EXTERIOR LIGHT FIXTURE.

GENERAL NOTES

- A. REPAINT EXTERIOR WOODWORK.
- B. REPAINT WINDOWS, SHUTTERS AND DOORS.
- C. REPAINT WOOD SIDING.
- D. POWER WASH STUCCO BEFORE REPAIRS TO REMOVE SOILING AND STAINS.
- E. PAINT ALL STUCCO WITH "LIMEWASH" MINERAL SILICATE PAINT AFTER STUCCO REPAIR WORK IS COMPLETED.
- F. OBTAIN APPROVALS OF PAINT COLOURS FROM NCC REPRESENTATIVE BEFORE PURCHASING AND APPLICATION.



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MAISON CHARRON
REHABILITATION

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SOUTH AND WEST
ELEVATIONS

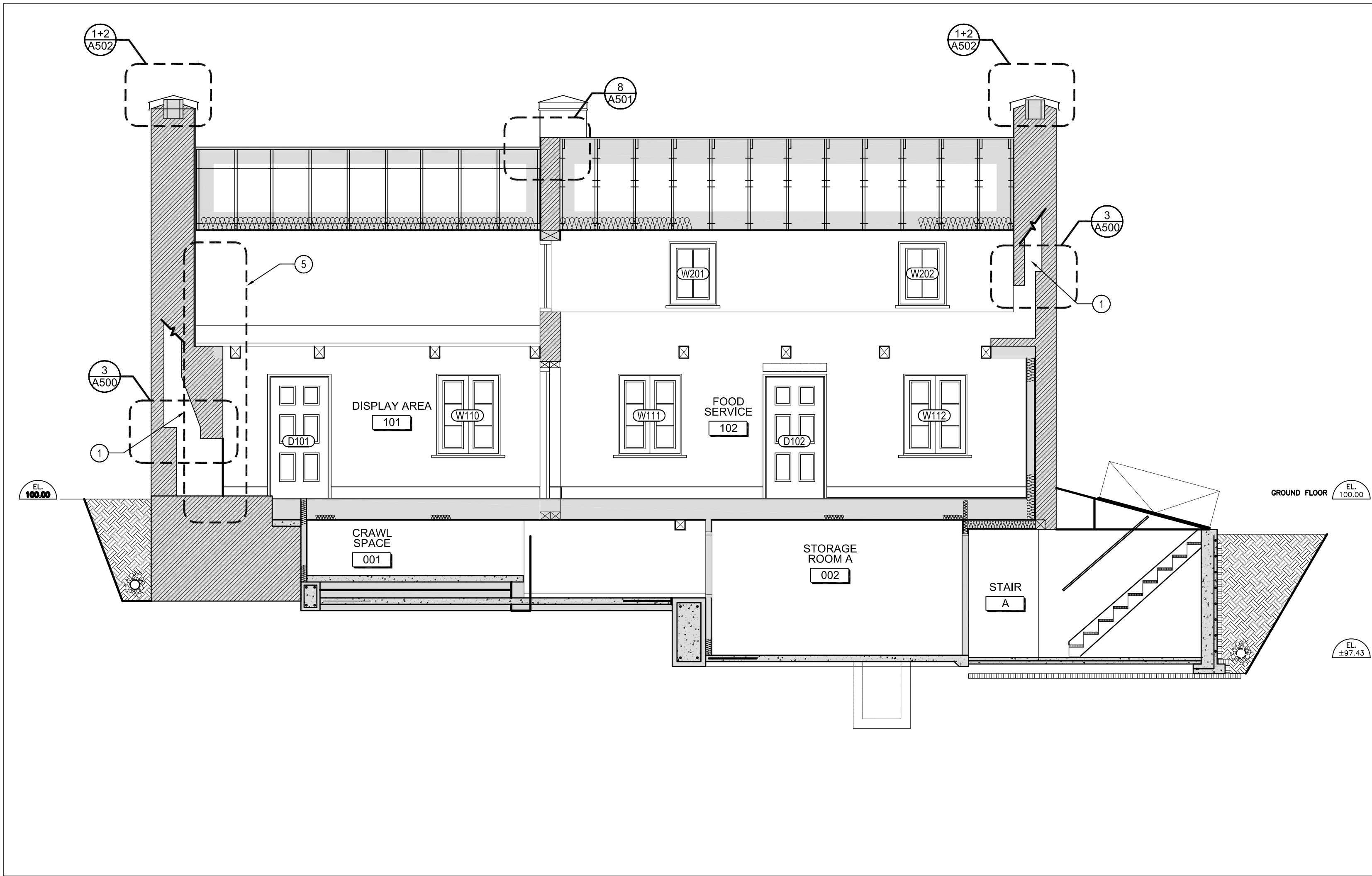
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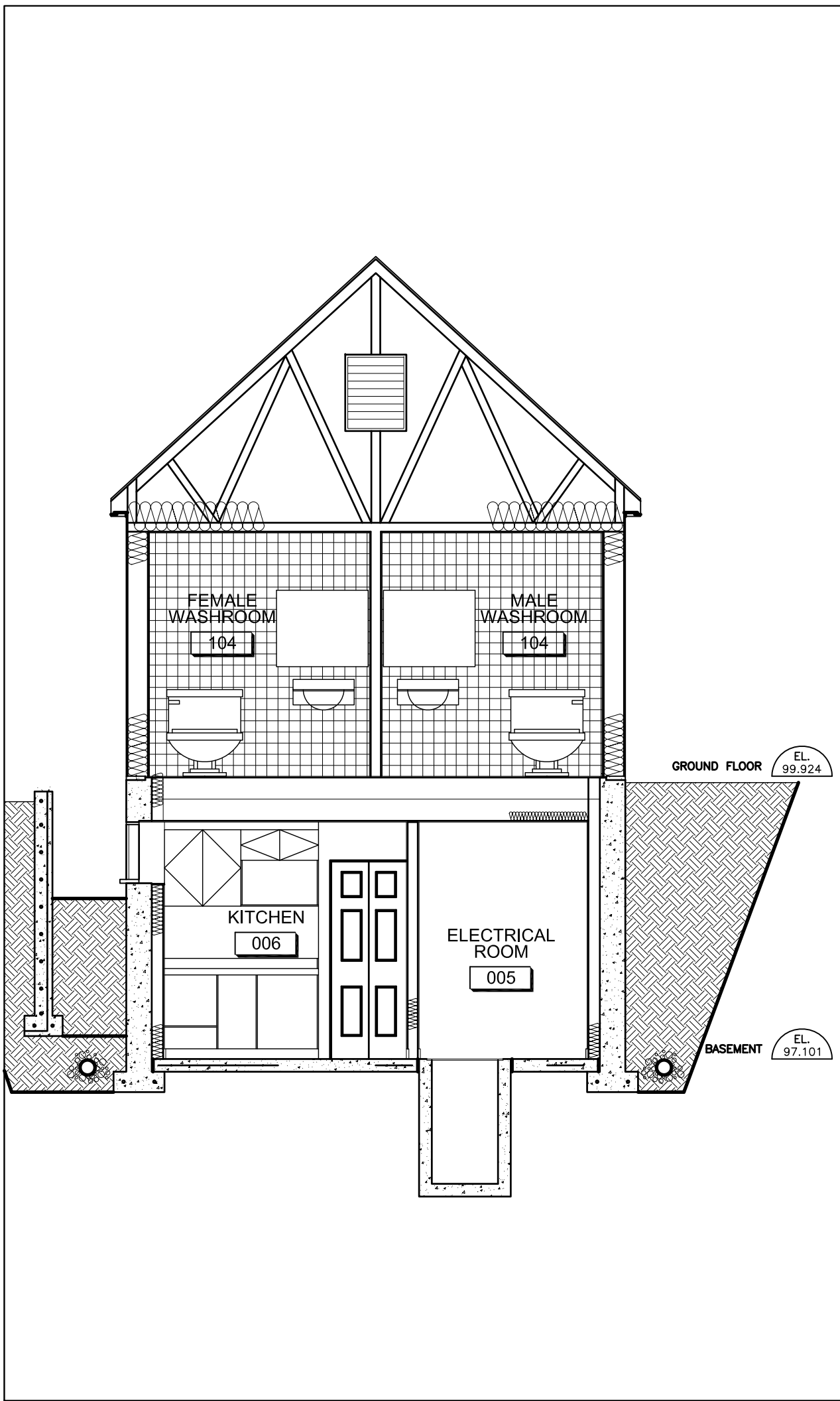
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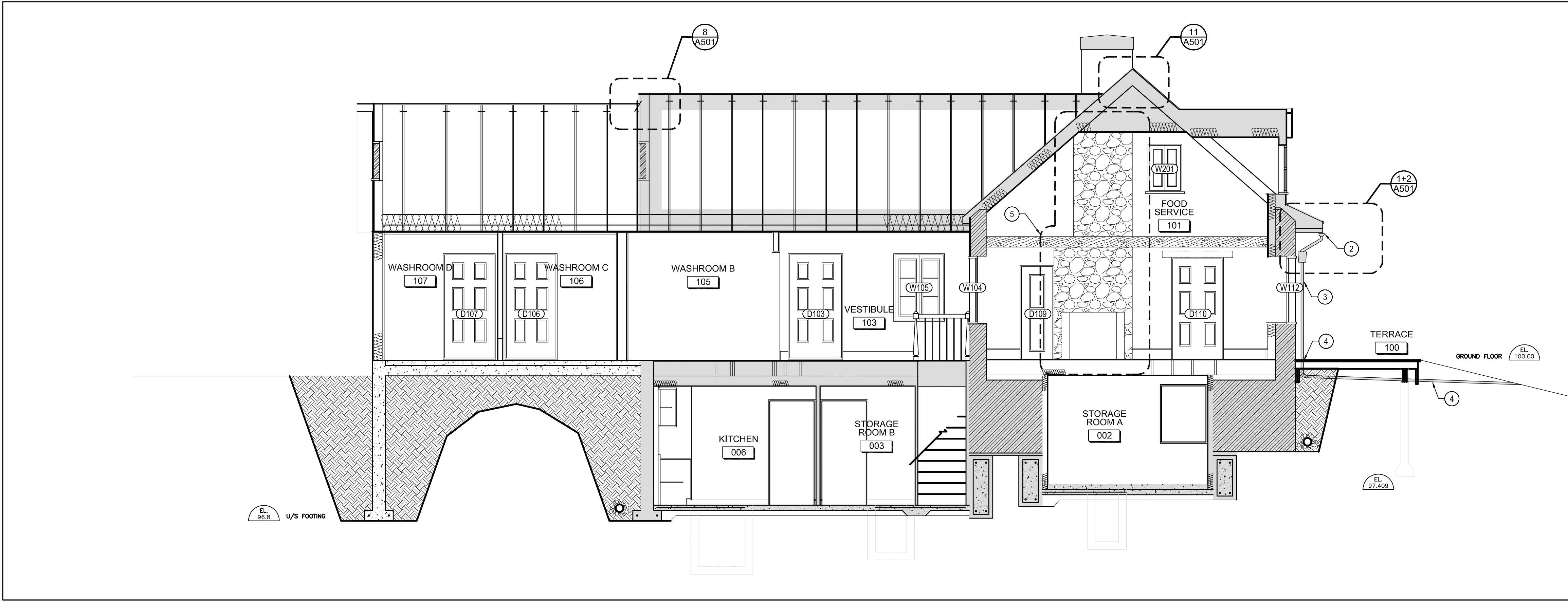
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1 BUILDING SECTION
A300 1:50



3 BUILDING SECTION
A300 1:50



2 BUILDING SECTION
A300 1:50

DEMOLITION NOTES

CONSTRUCTION NOTES

- 1 INFILL CHIMNEY ABOVE FIRE BOX.
- 2 INSTALL NEW GUTTER SYSTEM.
- 3 INSTALL NEW DOWN PIPE THROUGH WOOD DECK AND CONNECT TO DRAINAGE PIPE.
- 4 INSTALL DRAINAGE PIPE BELOW WOOD DECK AND EXTEND TO DAYLIGHT IN DOWN SLOPE.
- 5 FOR MASONRY REPAIRS SEE A101.

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BUILDING SECTIONS

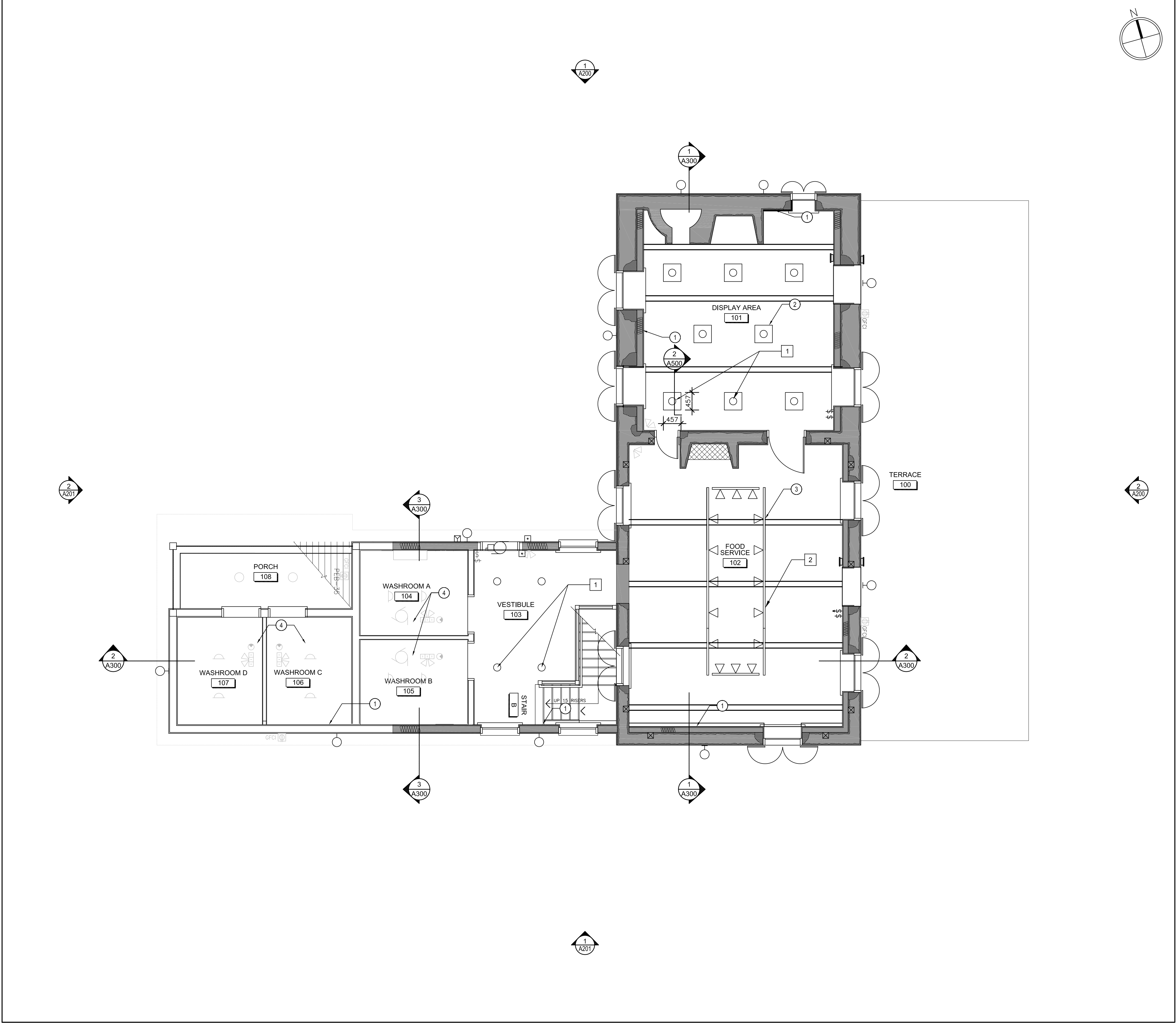
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1
A400
REFLECTED CEILING PLAN
1 : 50

- # DEMOLITION NOTES
- 1 ALL EXISTING RECESSED LIGHTS IN ROOM 101 AND 103 TO BE REMOVED AND REPLACED WITH NEW. SEE ELECTRICAL FOR DETAILS.
 - 2 EXISTING TRACK LIGHTING IN ROOM 100 TO BE REMOVED.
- # CONSTRUCTION NOTES
- 1 PATCH, REPAIR AND PAINT WALLS AND CEILINGS AFFECTED BY NEW EXTERIOR LIGHTING INSTALLATION, SEE DETAIL 4/A502 FOR STONE INFILL DETAIL.
 - 2 PROVIDE BLOCKING FOR NEW WOOD DETAIL AT NEW RECESSED LIGHTS, SEE 2-A500 FOR DETAILS.
 - 3 PATCH, REPAIR AND PAINT ALL CEILING AREAS AFFECTED BY NEW TRACK LIGHTING INSTALLATION TO MATCH EXISTING ADJACENT SURFACES, SEE ROOM SCHEDULE FOR DETAILS.
 - 4 PATCH, REPAIR AND PAINT ALL CEILING AND WALL AREAS IN ROOMS 103, 104, 105 AND 106 AFFECTED BY NEW THERMOSTAT INSTALLATION TO MATCH EXISTING ADJACENT SURFACES, SEE ROOM SCHEDULE FOR DETAILS.



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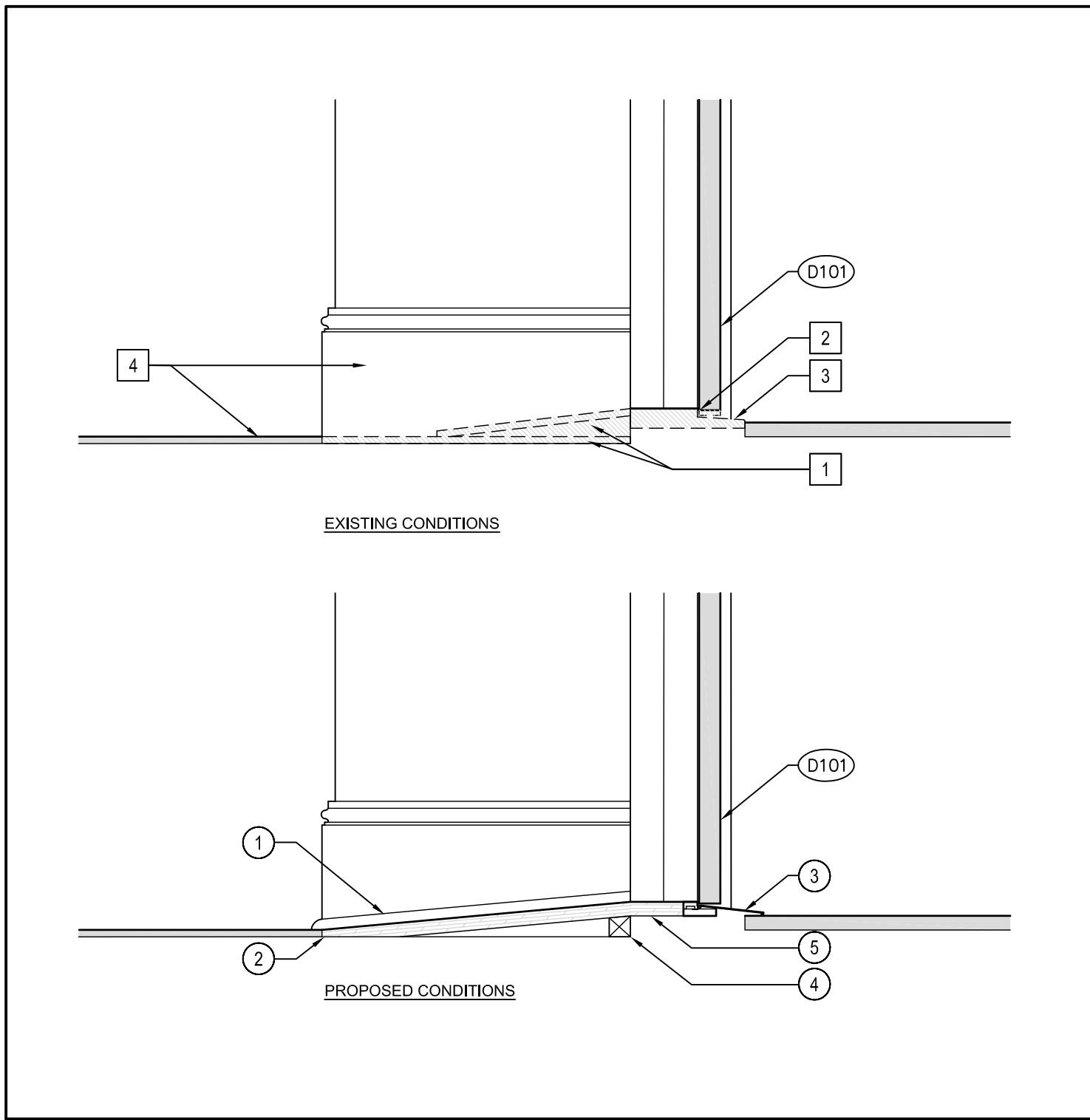
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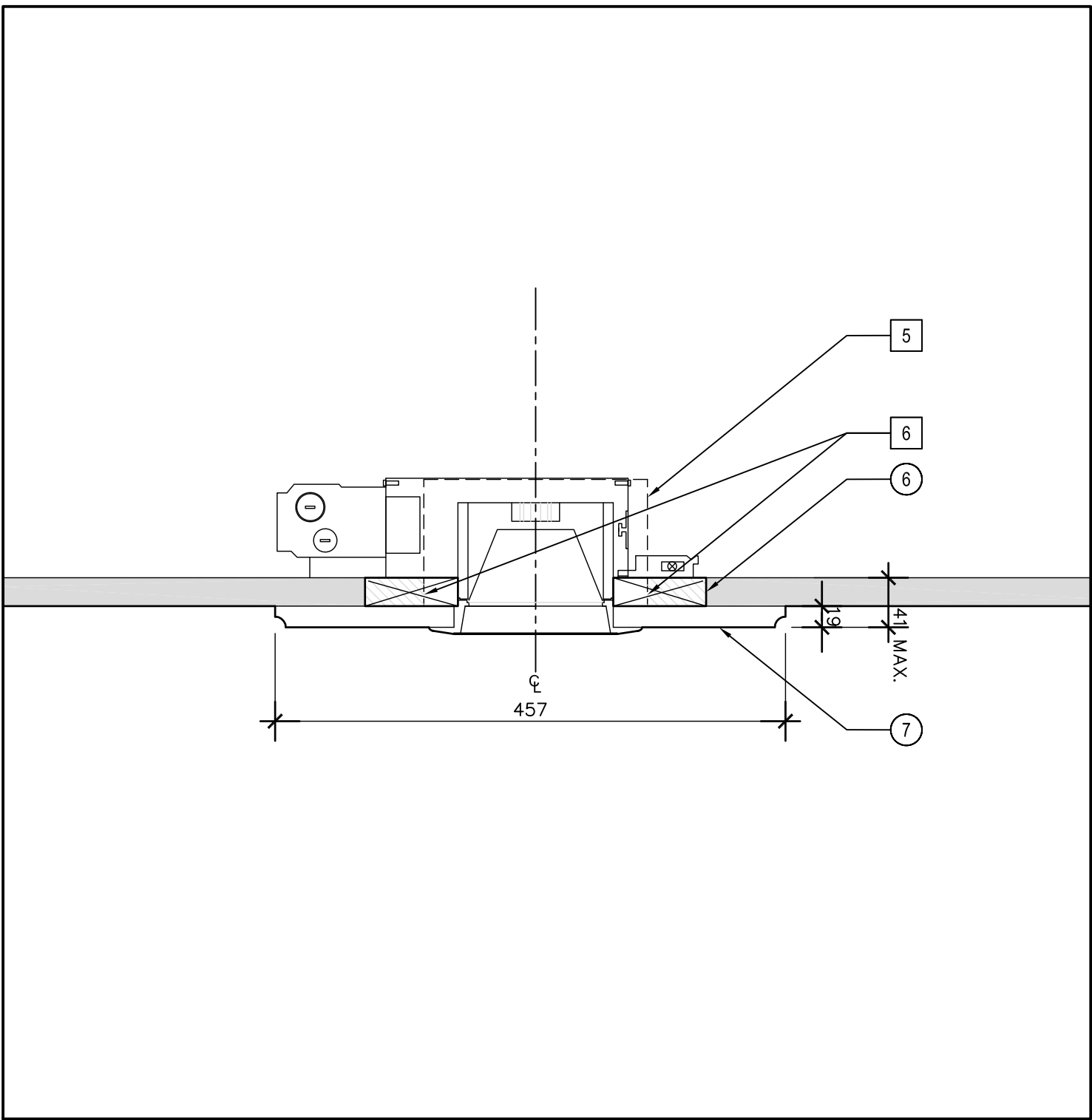
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REFLECTED CEILING PLAN

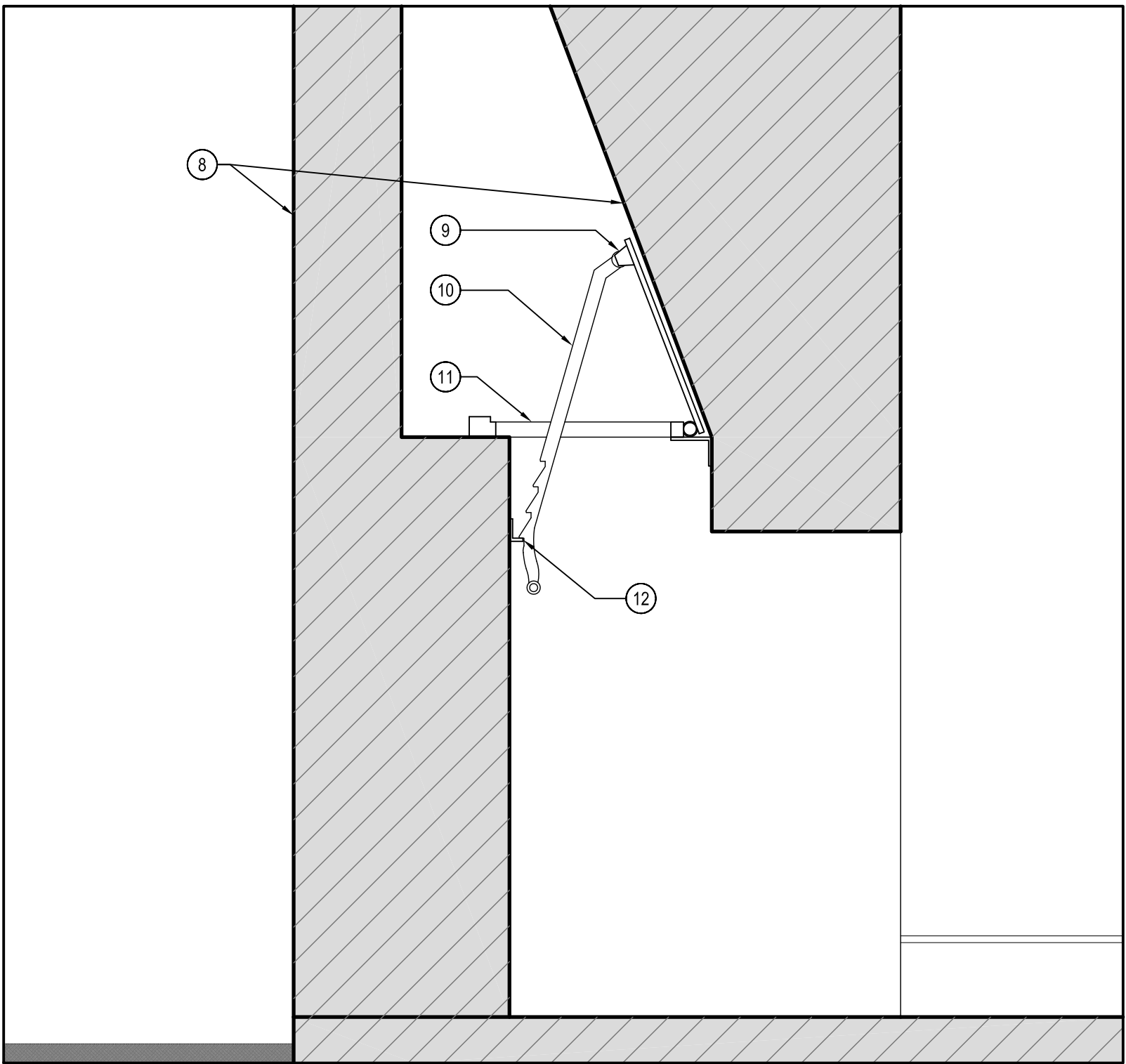
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1 DOOR THRESHOLD DETAIL
A500 1: 10



2 RECESSED LIGHT IN WOOD CEILING DETAIL
A500 1: 5



3 FIREPLACE DAMPER DETAIL
A500 1: 10

DEMOLITION NOTES

- 1 WOOD FLOORING AND ASSOCIATED FRAMING TO BE REMOVED.
- 2 EXISTING WOOD DOOR TO BE PLANED TO SUIT NEW THRESHOLD.
- 3 EXISTING WOOD THRESHOLD TO BE REMOVED.
- 4 MAINTAIN EXISTING HARDWOOD FLOORING AND BASEBOARDS IN GOOD CONDITION DURING REMOVALS.
- 5 REMOVE EXISTING SQUARE RECESSED LIGHTS. SEE ELECTRICAL FOR DETAILS.
- 6 CLEANLY CUT AND REMOVE PORTION OF EXISTING WOOD PANEL CEILING TO ACCOMMODATE NEW RECESSED LIGHT HOUSING.

CONSTRUCTION NOTES

- 1 INSTALL NEW QUARTER ROUND. MATERIAL AND STAIN TO MATCH EXISTING.
- 2 NEW HARDWOOD RAMP INSTALLED TO BE LEVEL WITH EXISTING FLOOR. HARDWOOD TO MATCH EXISTING. TAPER TO SUIT. SEE ROOM SCHEDULE FOR FINISH.
- 3 NEW ADJUSTABLE ALUMINUM AND OAK SILL THRESHOLD W/ MAXIMUM 1 IN 2 BEVEL., SEE SPECIFICATIONS FOR DETAILS.
- 4 INSTALL SLEEPERS/SHIM AS REQUIRED.
- 5 INSTALL NEW HARDWOOD TO ABUT NEW THRESHOLD.
- 6 INSTALL NEW WOOD BLOCKING TO SUIT THICKNESS OF EXISTING WOOD PANEL CEILING. ATTACH TO EXISTING JOISTS.
- 7 NEW PINE CEILING PANEL WITH ROUTER EDGES STAINED TO MATCH EXISTING CEILING.
- 8 EXISTING STONE MASONRY.
- 9 NEW CAST IRON THROAT DAMPER AT TOP OF FIREBOX. SIZE AND INSTALLATION TO SUIT EXISTING CONDITIONS AND MANUFACTURER'S INSTRUCTIONS.
- 10 CAST IRON "POKER STYLE" CONTROL ARM.
- 11 CONTINUOUS CAST IRON FRAMING TO SUIT EXISTING OPENING SET IN CONTINUOUS GROUT BED. FASTEN TO EXISTING STONE MASONRY & GROUT SEAL.
- 12 DAMPER BRACKET HANDLE.



4 PHOTO - FIREPLACE AND BAKE OVEN - FIREPLACE 'A'
A500 N.T.S.



5 PHOTO - MASONRY
A500 N.T.S.



6 PHOTO - FIREBOX
A500 N.T.S.



7 PHOTO - BRICK AND WOOD LINTEL
A500 N.T.S.



8 PHOTO - FIREPLACE 'C'
A500 N.T.S.



9 PHOTO - FIREPLACE 'B'
A500 N.T.S.



10 PHOTO - FIREPLACE 'B' THRESHOLD
A500 N.T.S.



11 PHOTO - CHIMNEY FLUE (OTHERS SIMILAR)
A500 N.T.S.

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2	ISSUED FOR 100% SUITE 102	2013/07/16
1	ISSUED FOR 99% REVIEW	2013/04/19
no.	description	date

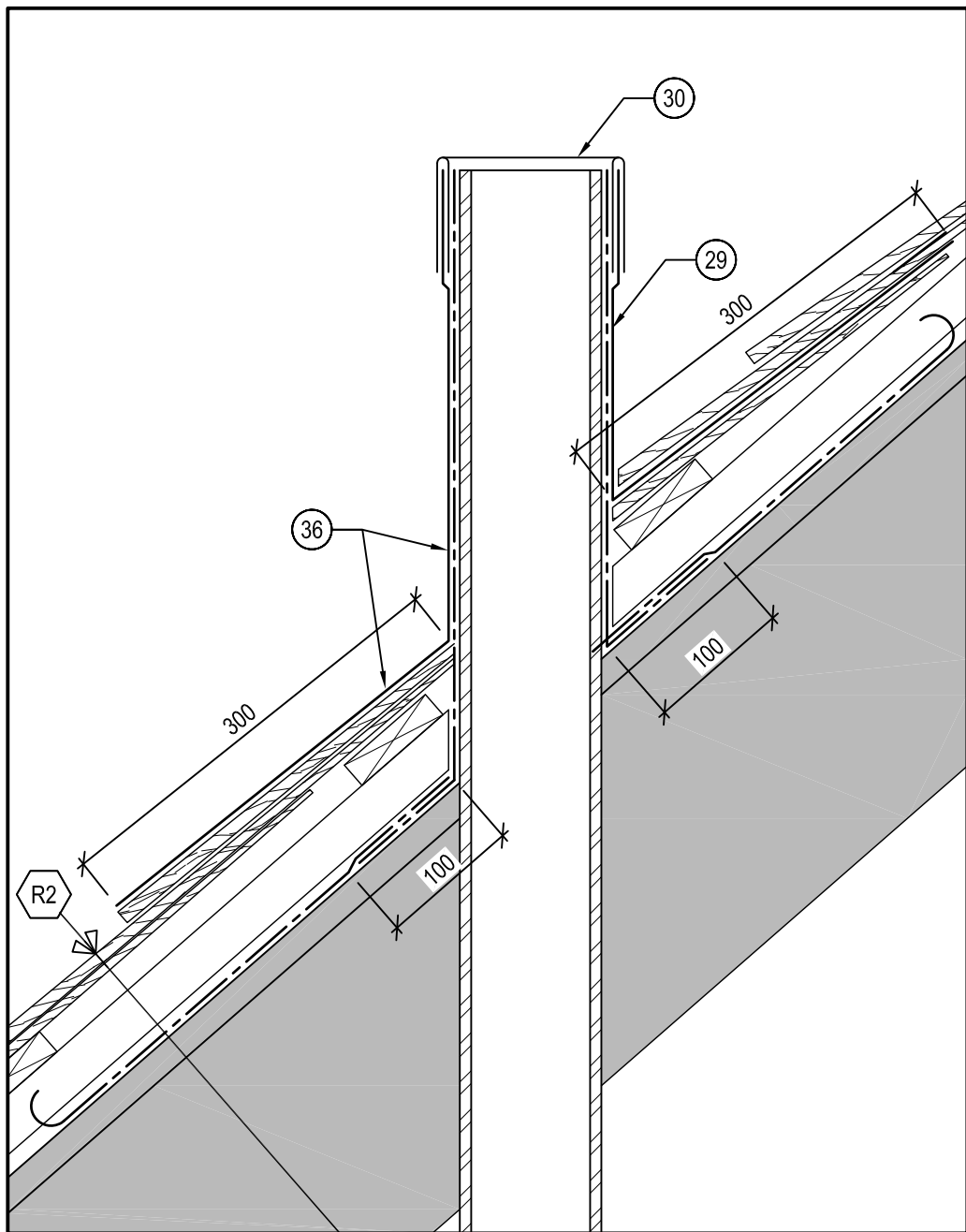
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MAISON CHARRON
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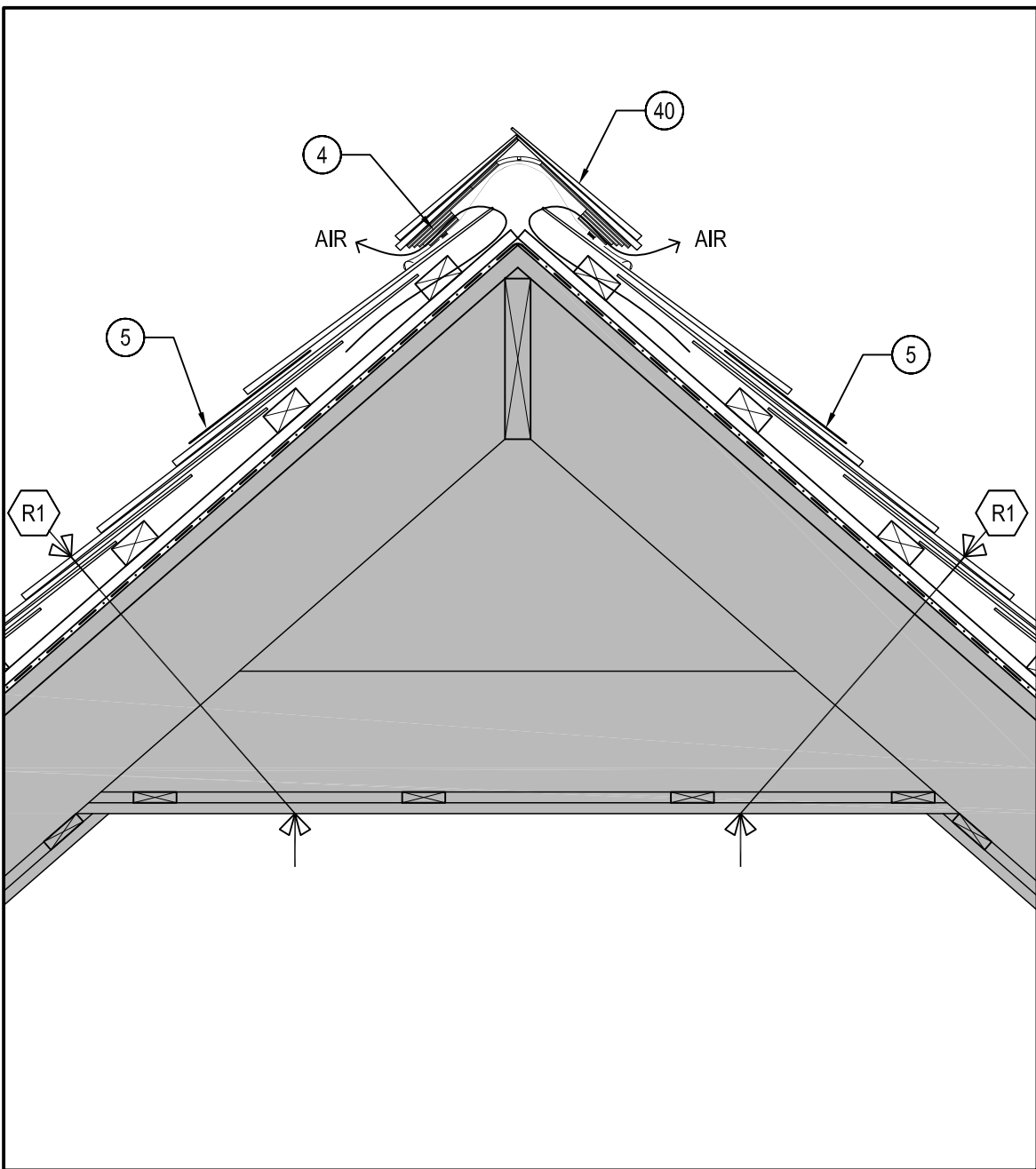
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DETAILS

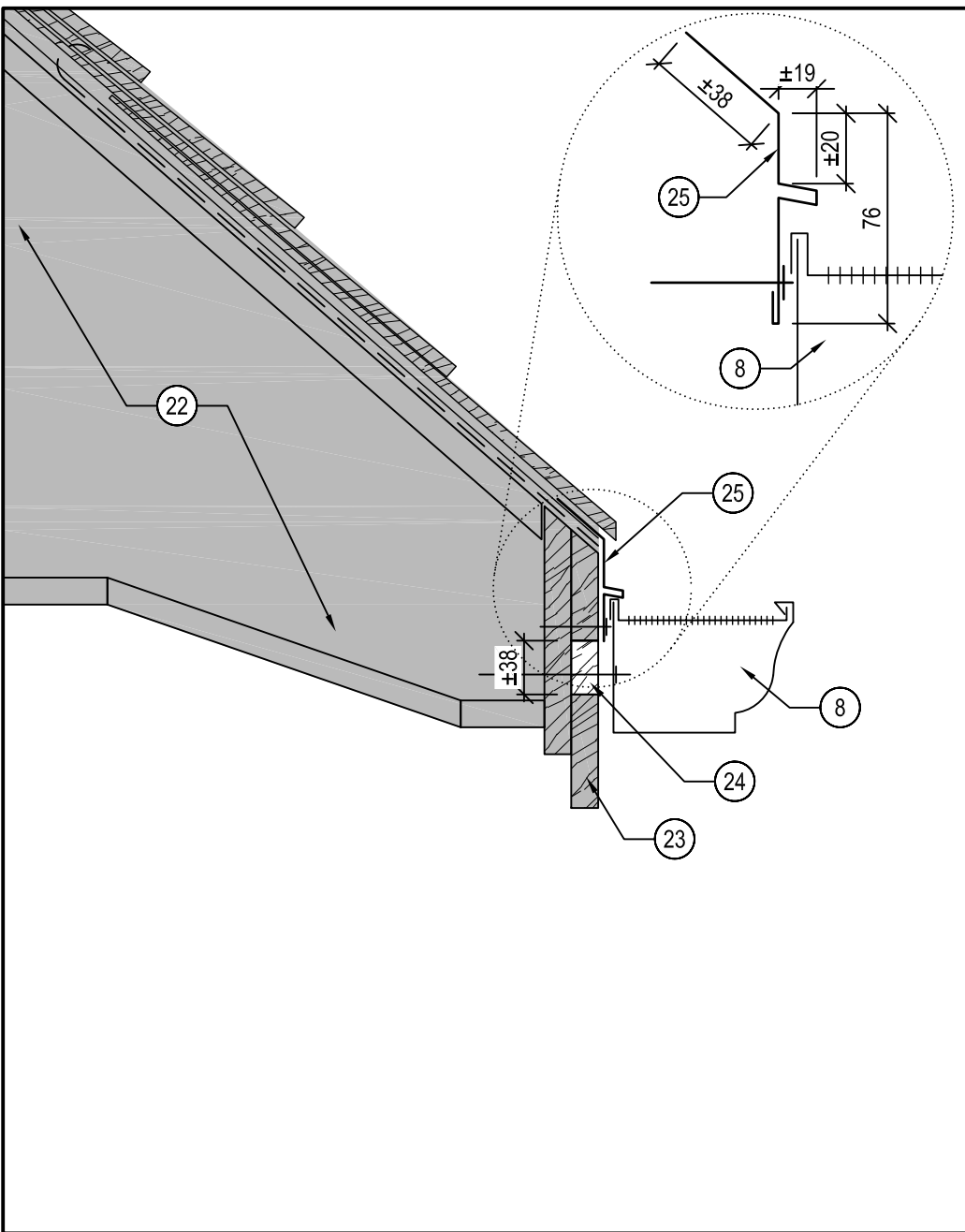
approved by
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designed by
conçu par L. LALANDE
drawn by
dessiné par R.J.
date AUGUST 2013 scale AS NOTED
no. du projet de la CCN sheet no.
no. de la feuille
DC-4080 A-500



12
A501
DETAIL - PLUMBING STACK PENETRATIONS
1 : 5



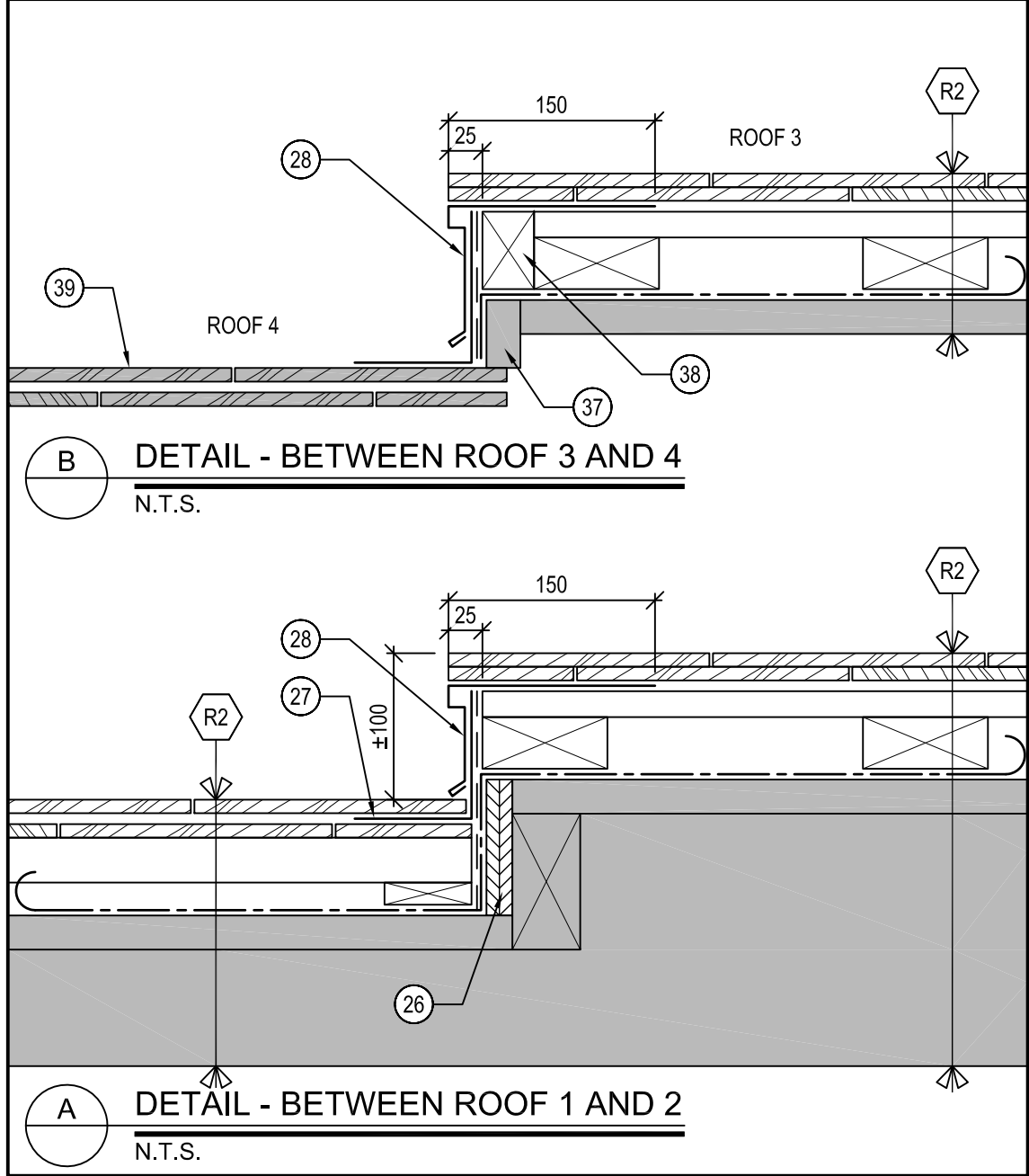
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DETAIL VENTILATED RIDGE
1 : 10



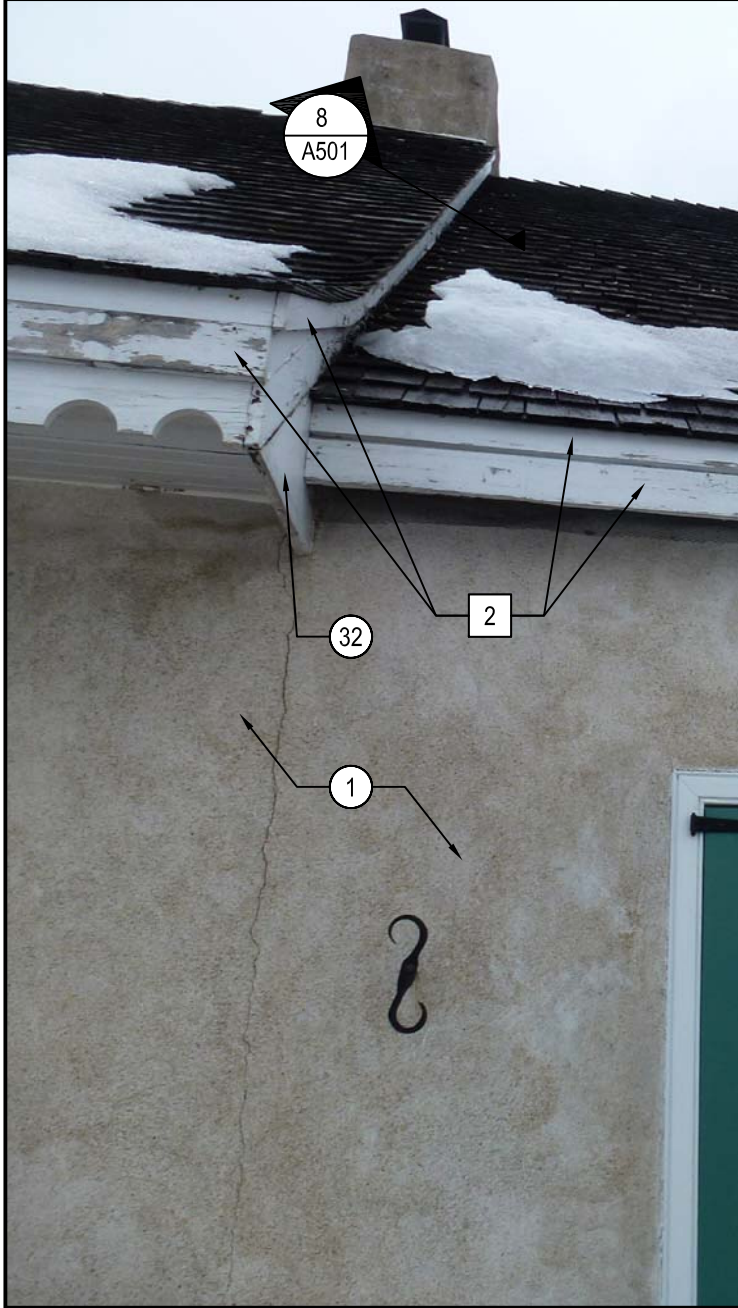
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A501
DETAIL - FASCIA AT WASHROOMS
1 : 5



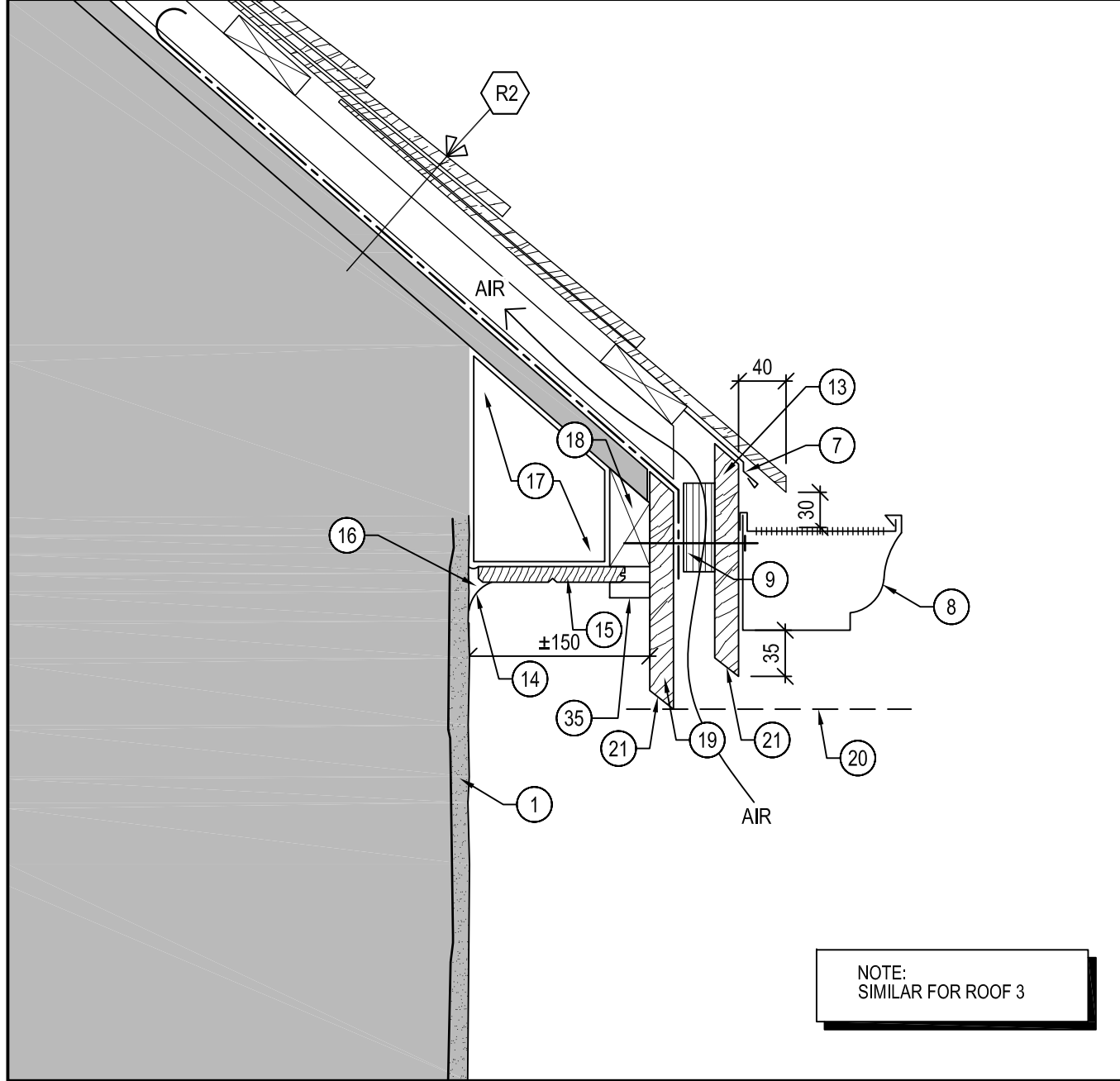
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A501
EXISTING FASCIA (WASHROOMS)
N.T.S.



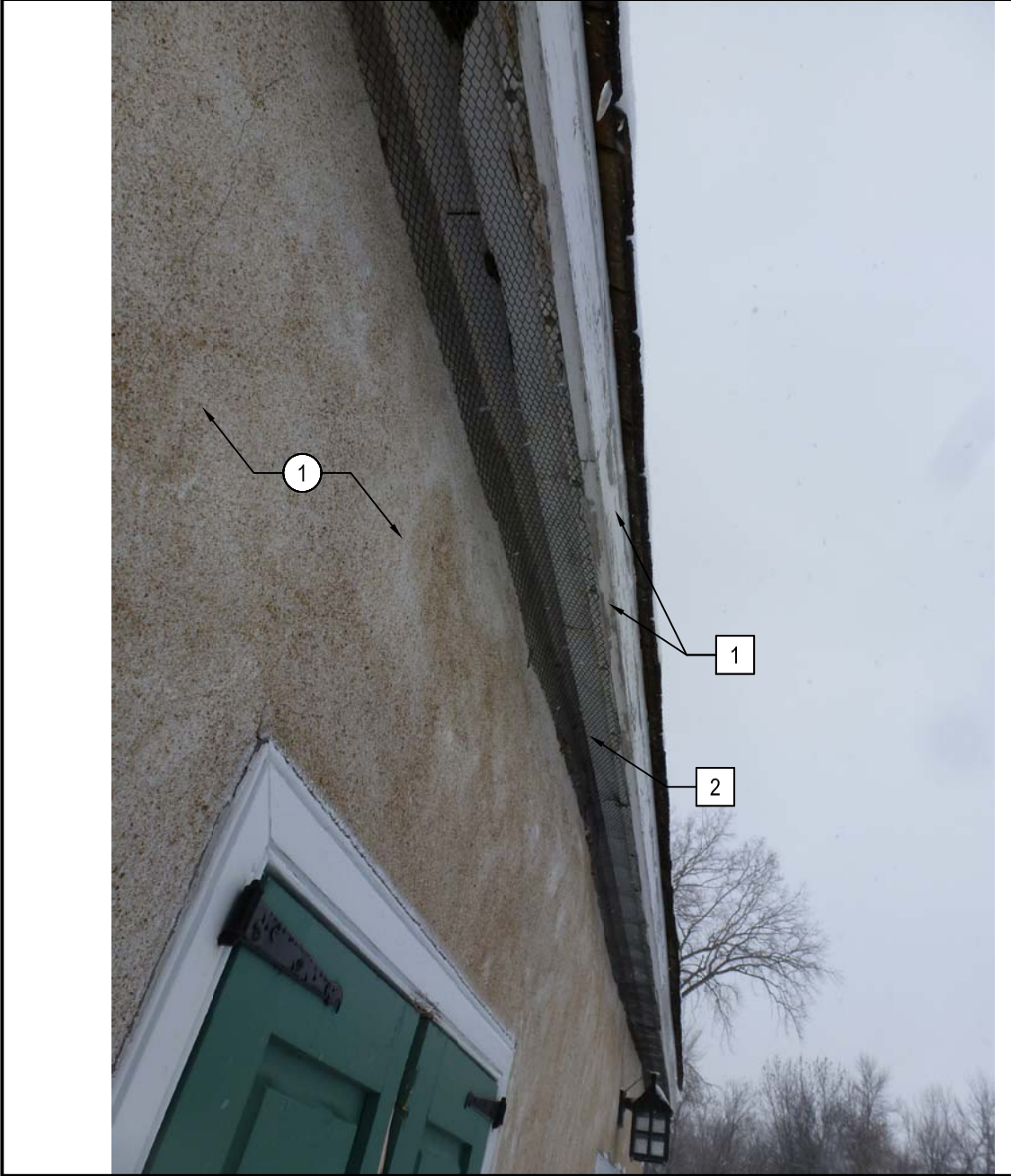
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DETAIL - BETWEEN ROOF 3 AND 4
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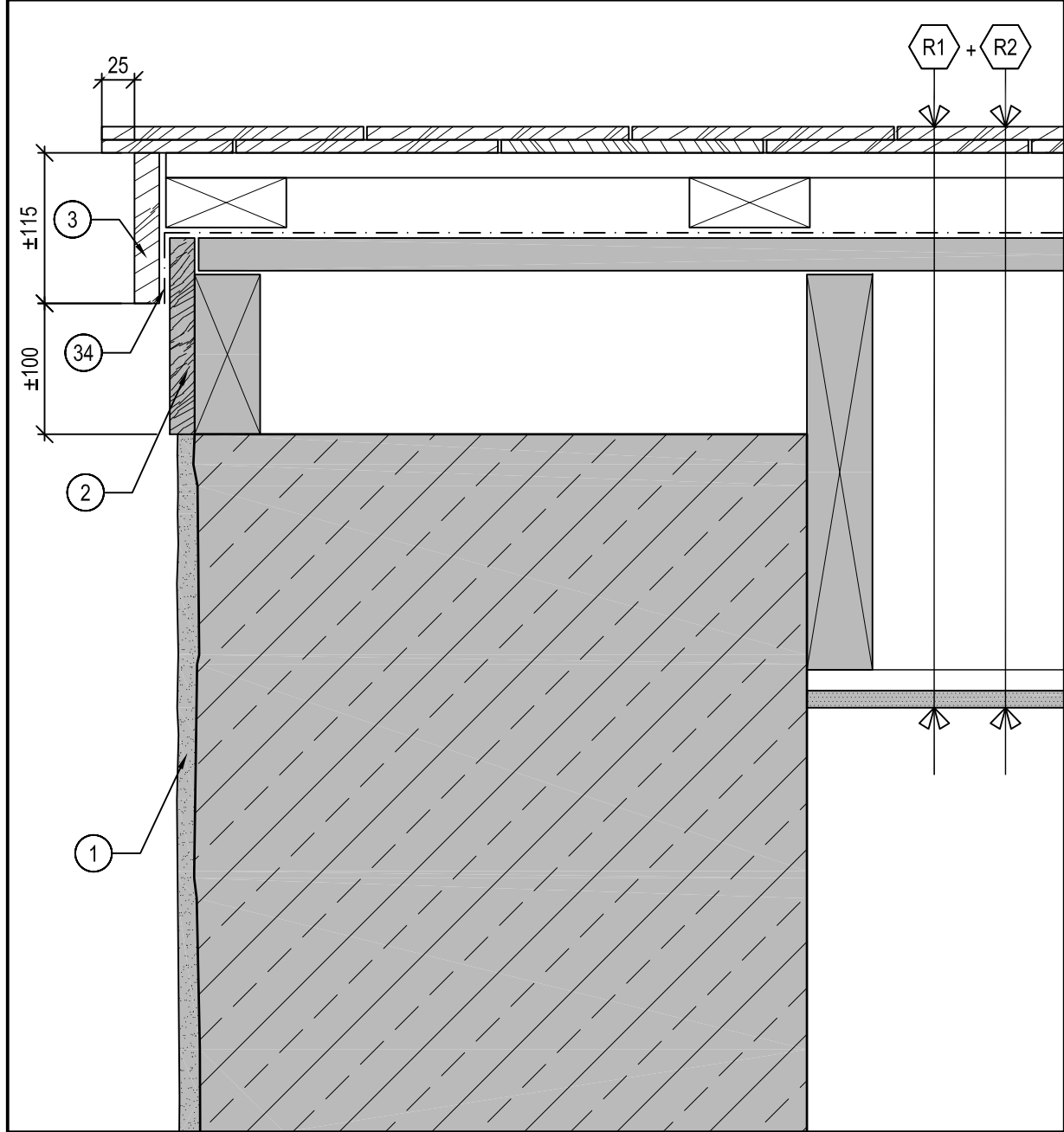
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A501
EXISTING ROOF TRANSITION
N.T.S.



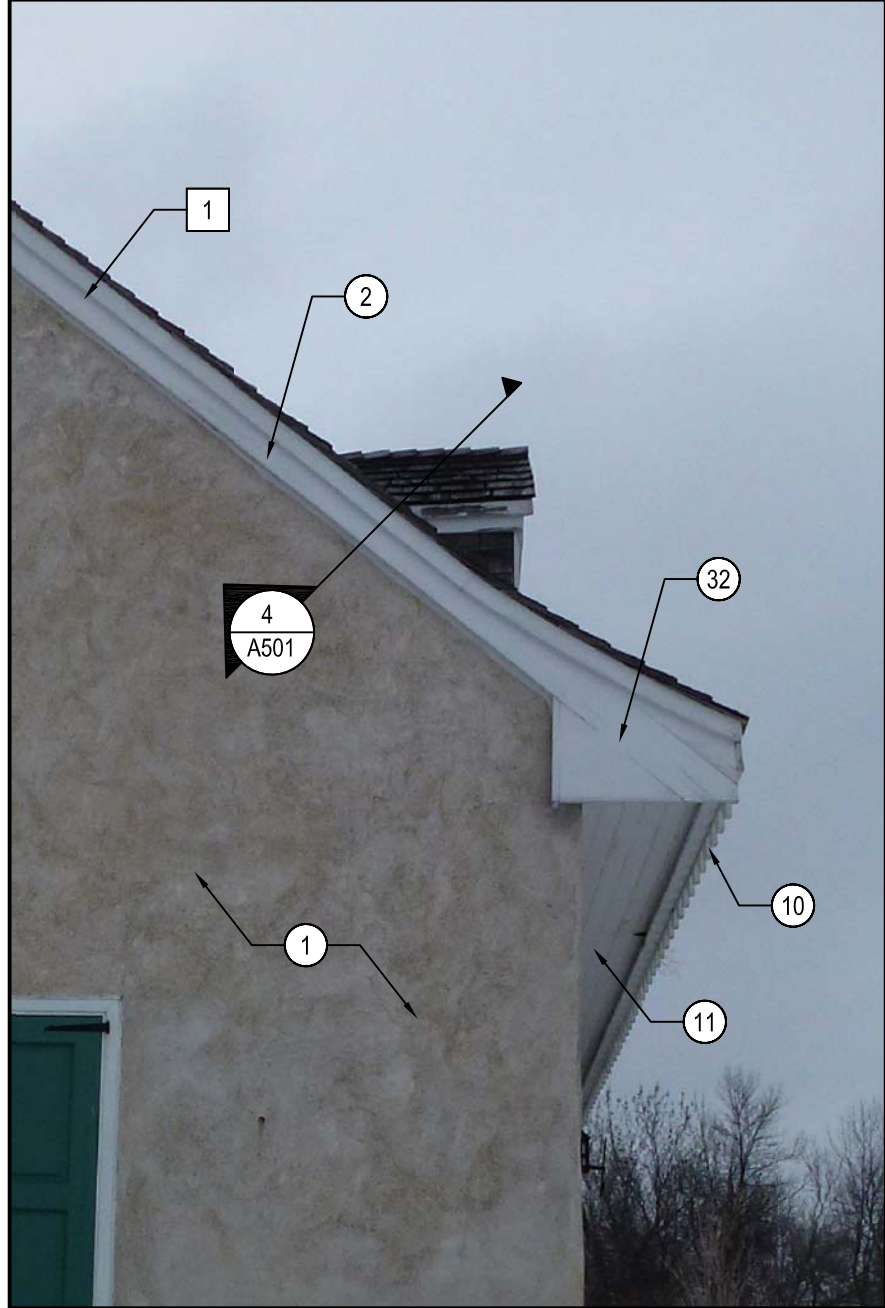
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A501
DETAIL - SOFFIT B
1 : 5



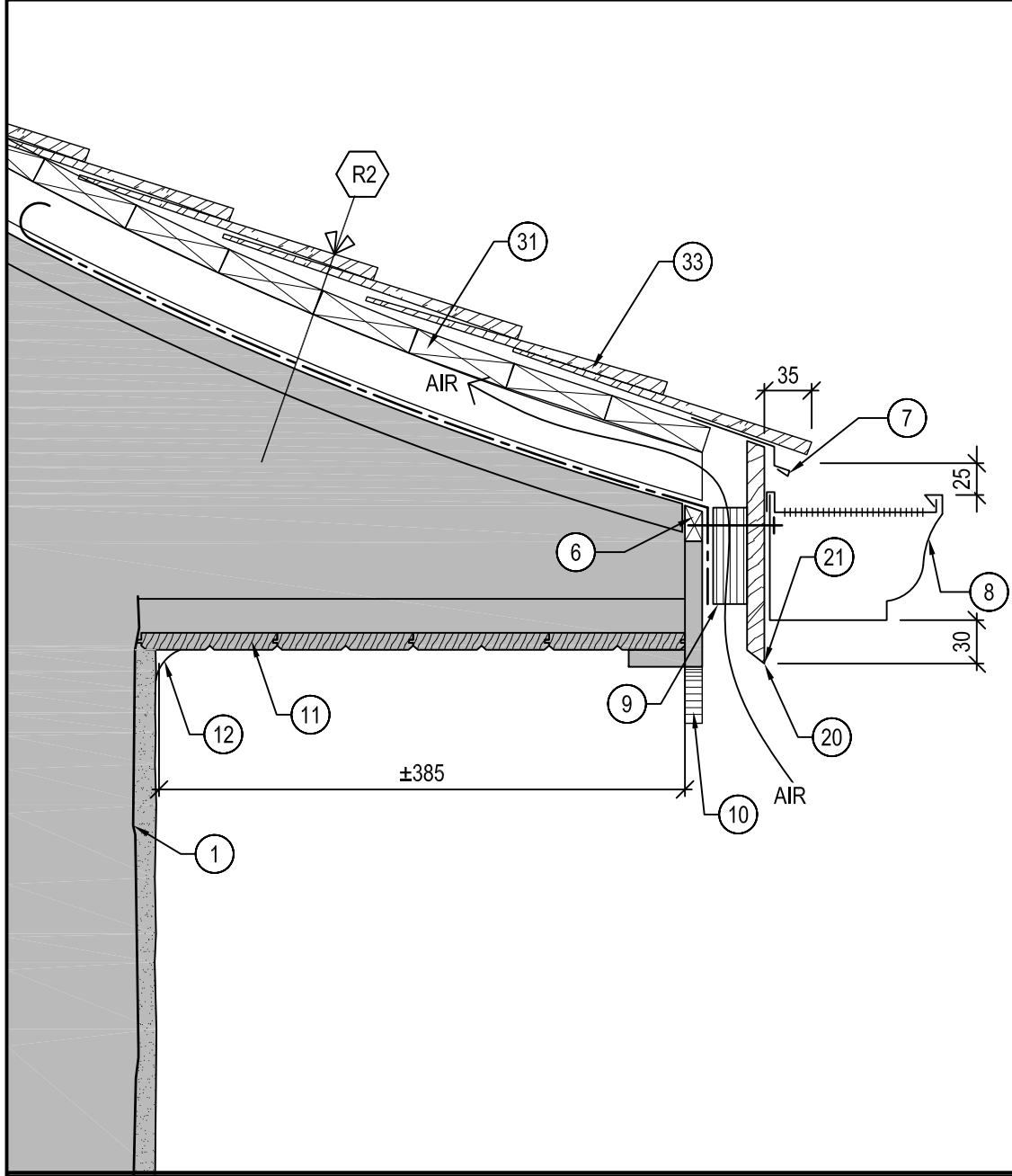
5
A501
PHOTO - EXISTING SOFFIT B
N.T.S.



4
A501
DETAIL - GABLE
1 : 5



3
A501
PHOTO - EXISTING GABLE
N.T.S.



2
A501
DETAIL - SOFFIT A
1 : 5



1
A501
PHOTO - EXISTING SOFFIT A
N.T.S.

DEMOLITION NOTES

- 1 REMOVE BOARDS TO DO NEW WORK.
- 2 REMOVE SOFFIT BOARDS AND MESH.

CONSTRUCTION NOTES

- 1 RESTORE EXISTING STUCCO ON MASONRY.
- 2 RESTORE EXISTING FASCIA BOARD.
- 3 INSTALL TALLER ROOF BOARD 19mm THICK TO HIDE EDGE OF VENTILATED ROOF DECK.
- 4 PRE MANUFACTURED RIDGE VENT SYSTEM.
- 5 TYPICAL CONTINUOUS 100mm WIDE ZINC STRIP WITH 50mm EXPOSURE.
- 6 INSTALL CONTINUOUS WOOD BLOCKING AS SCREW BASE FOR GUTTER ANCHORAGE.
- 7 CONTINUOUS METAL DRIP EDGE.
- 8 GUTTER SYSTEM.
- 9 CONTINUOUS VENT STRIP.
- 10 RESTORE EXISTING FASCIA BOARD.
- 11 RESTORE EXISTING WOOD SOFFIT AND TRIM.
- 12 REPLACE SEALANT.
- 13 19mm THICK TRIM BOARD.
- 14 INSTALL SEALANT.
- 15 INSTALL WOOD "V" GROOVE SOFFIT BOARD.
- 16 SCRIBE TIGHT TO FACE OF STUCCO / WOOD SIDING.
- 17 INSTALL 19mm THICK EXTERIOR GRADE PLYWOOD GABLES AT 400mm O.C. MAX.
- 18 INSTALL 38mm THICK WOOD BLOCKING BETWEEN EXISTING RAFTERS TO RECEIVE SCREWS FROM GUTTER SYSTEM.
- 19 INSTALL 19mm THICK WOOD FASCIA BOARD.
- 20 INSTALL TO SAME HEIGHT AS PREVIOUS FASCIA BOARD.
- 21 ANGLED CUT 5 DEGREES.
- 22 EXISTING ROOF ASSEMBLY AND SOFFIT.
- 23 EXISTING FASCIA BOARD.
- 24 INFILL EXISTING REVEAL WITH 19mm THICK WOOD BEHIND GUTTERS.
- 25 SLIP METAL FLASHING UNDER EDGE OF EXISTING SHINGLES AND SECURE TO THE EXISTING FASCIA.
- 26 19mm THICK EXTERIOR GRADE PLYWOOD.
- 27 INSTALL METAL STEP FLASHING.
- 28 INSTALL METAL COUNTER FLASHING.
- 29 FLEXIBLE RUBBER SLEEVE.
- 30 SHEET METAL OPEN COLLAR CAP.
- 31 INSTALL WOOD BLOCKING TIGHT AT ROOF BELL CURVE.
- 32 RESTORE EXISTING TRIM.
- 33 STEAM BEND WOOD SHINGLES AT ROOF BELL CURVE.
- 34 LAP ROOF MEMBRANE OVER EDGE.
- 35 WOOD TRIM ±16mm X 38mm.
- 36 METAL PLUMBING STACK FLASHING WITH INTEGRAL METAL APRON.
- 37 EXISTING TRIM.
- 38 INSTALL WOOD BLOCKING.
- 39 EXISTING SHINGLE ROOF.
- 40 SHINGLES IN "BOSTON HIP" STYLE.

GENERAL NOTES

- A. BACK PRIME WOOD PIECES BEFORE ASSEMBLY AND INSTALLATION.

Real Estate Management, Design and Construction Branch
Direction de la gestion de l'immobilier, design et construction

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5	ISSUED FOR TENDER	2013/08/30
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2	ISSUED FOR 40%	2013/03/29
1	ISSUED FOR COORDINATION	2013/03/20

project
projet

MAISON CHARRON
REHABILITATION

drawing
dessin

DETAILS
ROOF

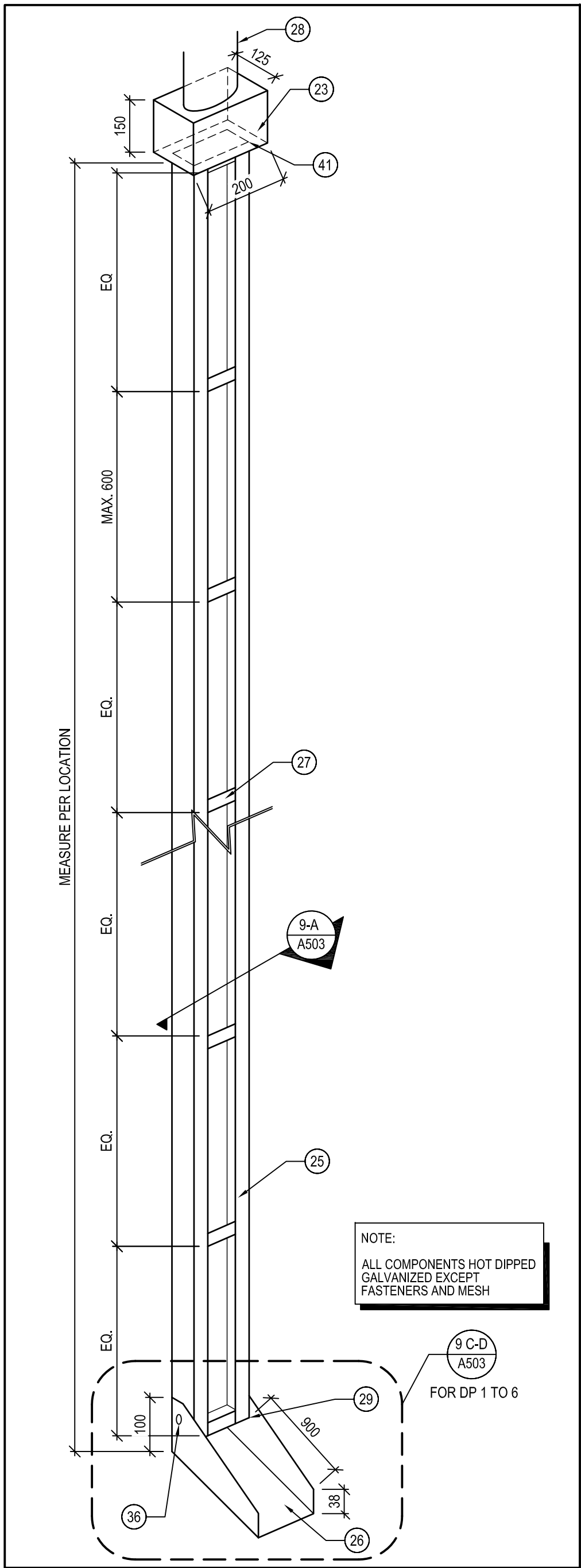
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designed by
conçu par J.M.

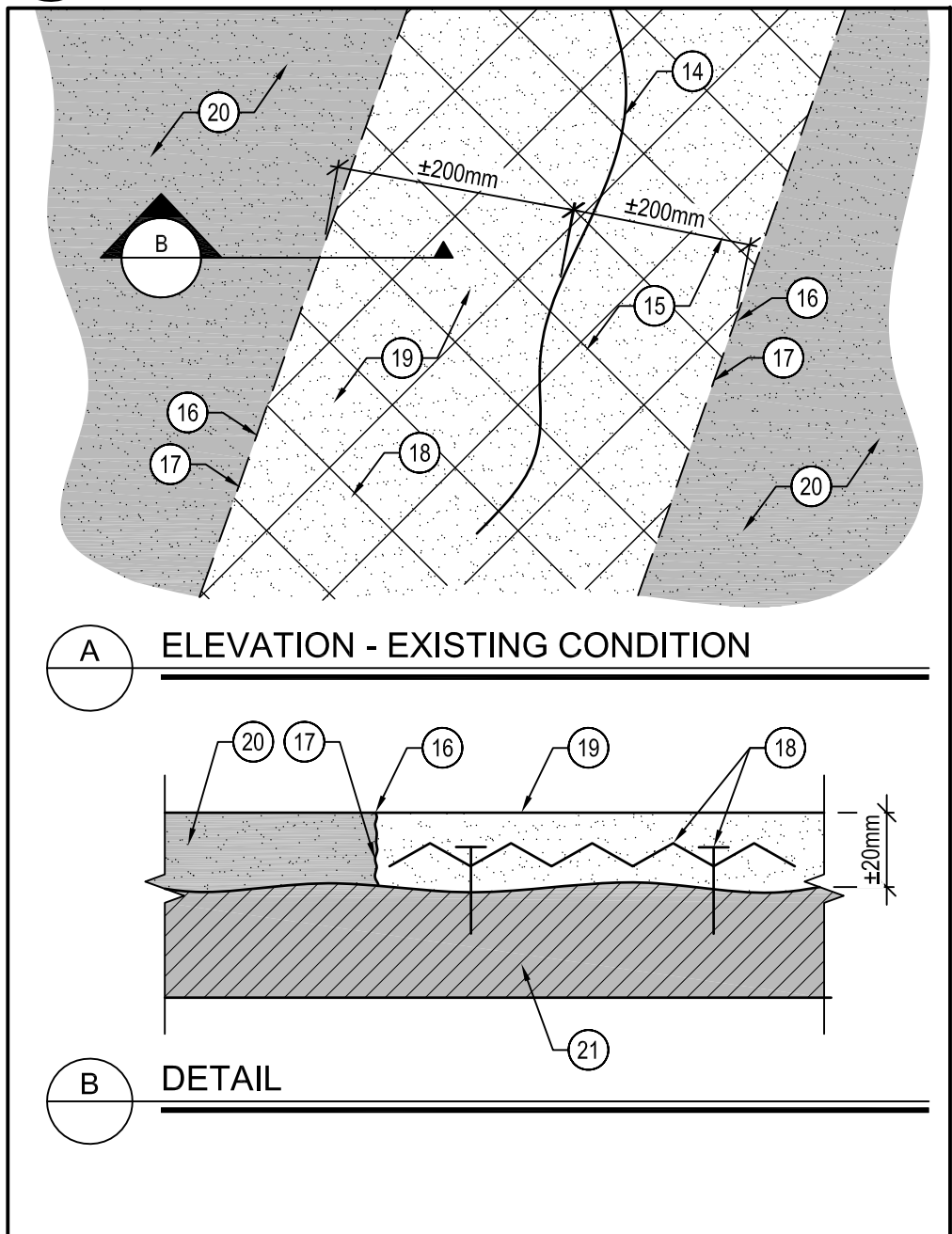
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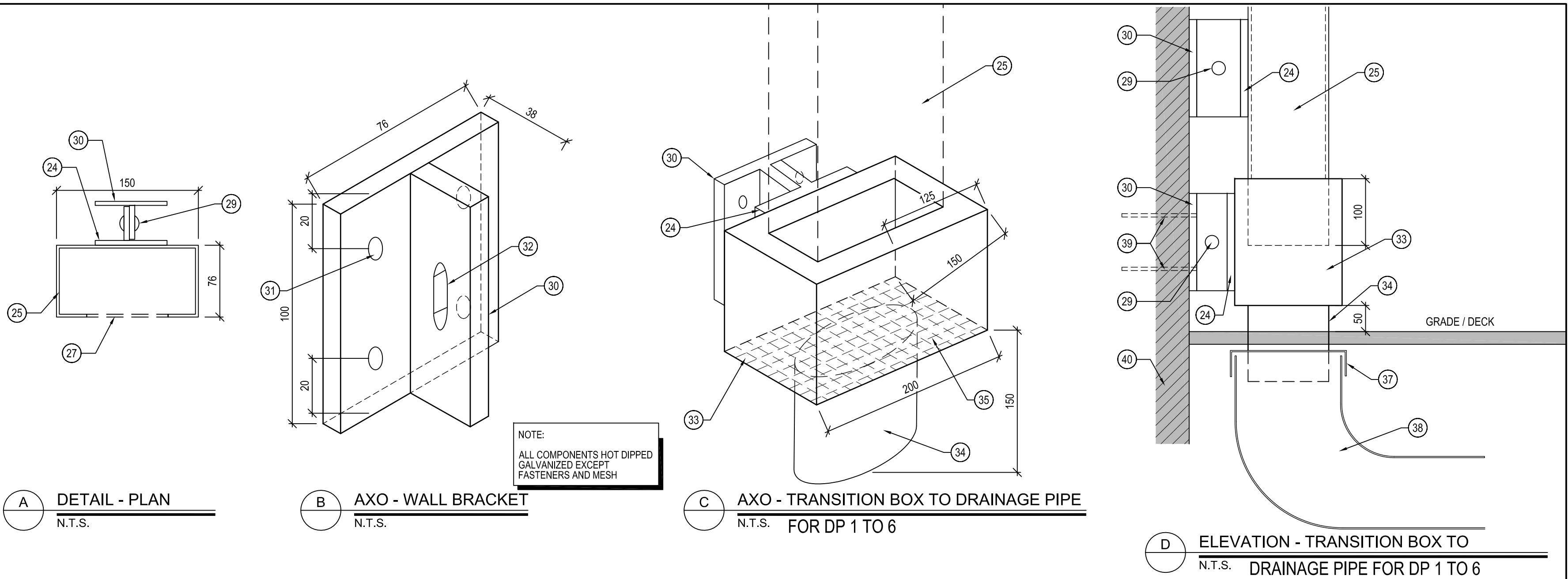
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DC-4080 A-501



8 DOWNSPOUT - AXO (DP 7 & 8 SHOWN)
N.T.S.



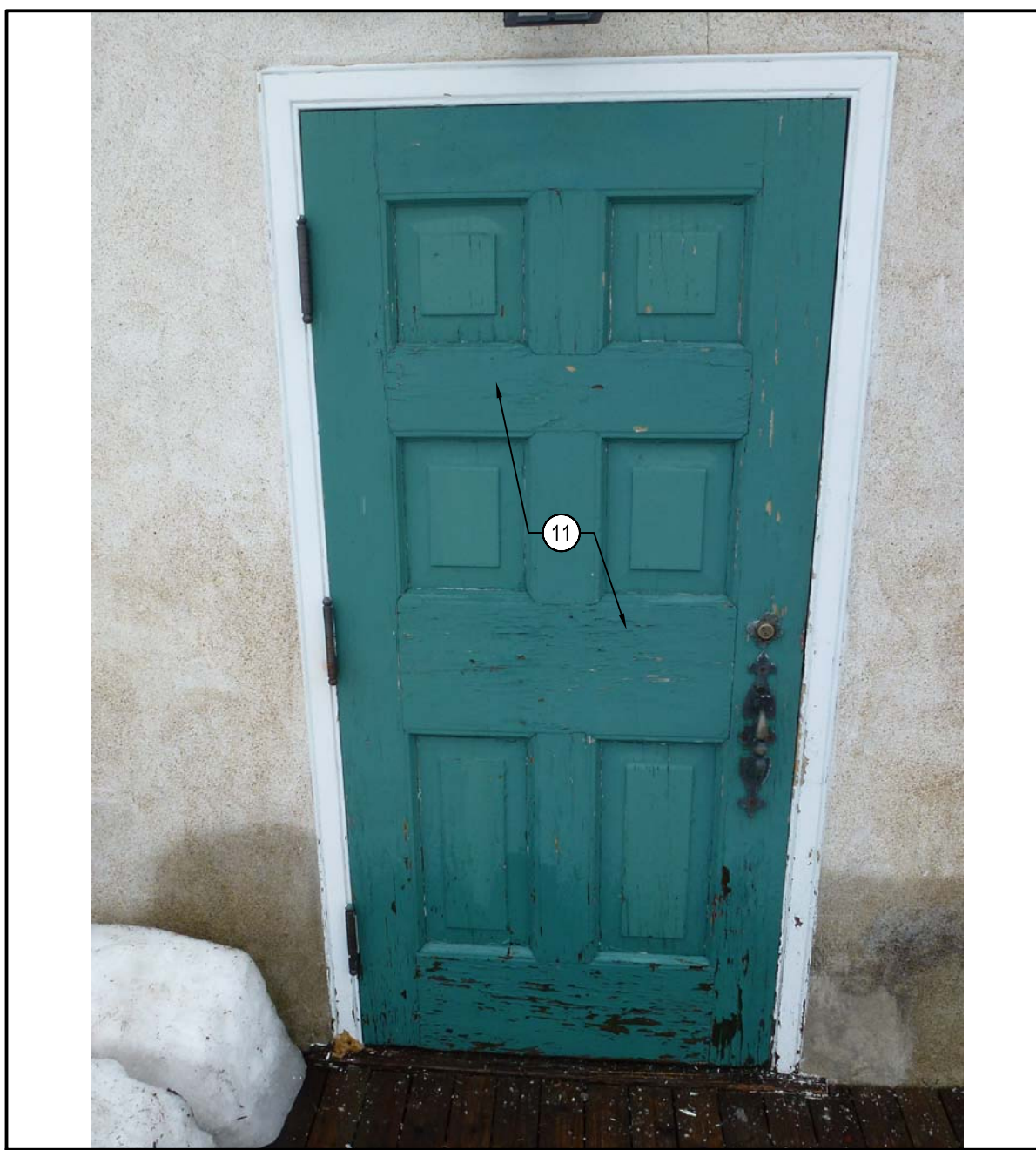
4 DETAIL - STUCCO REPAIR APPROACH
1:5



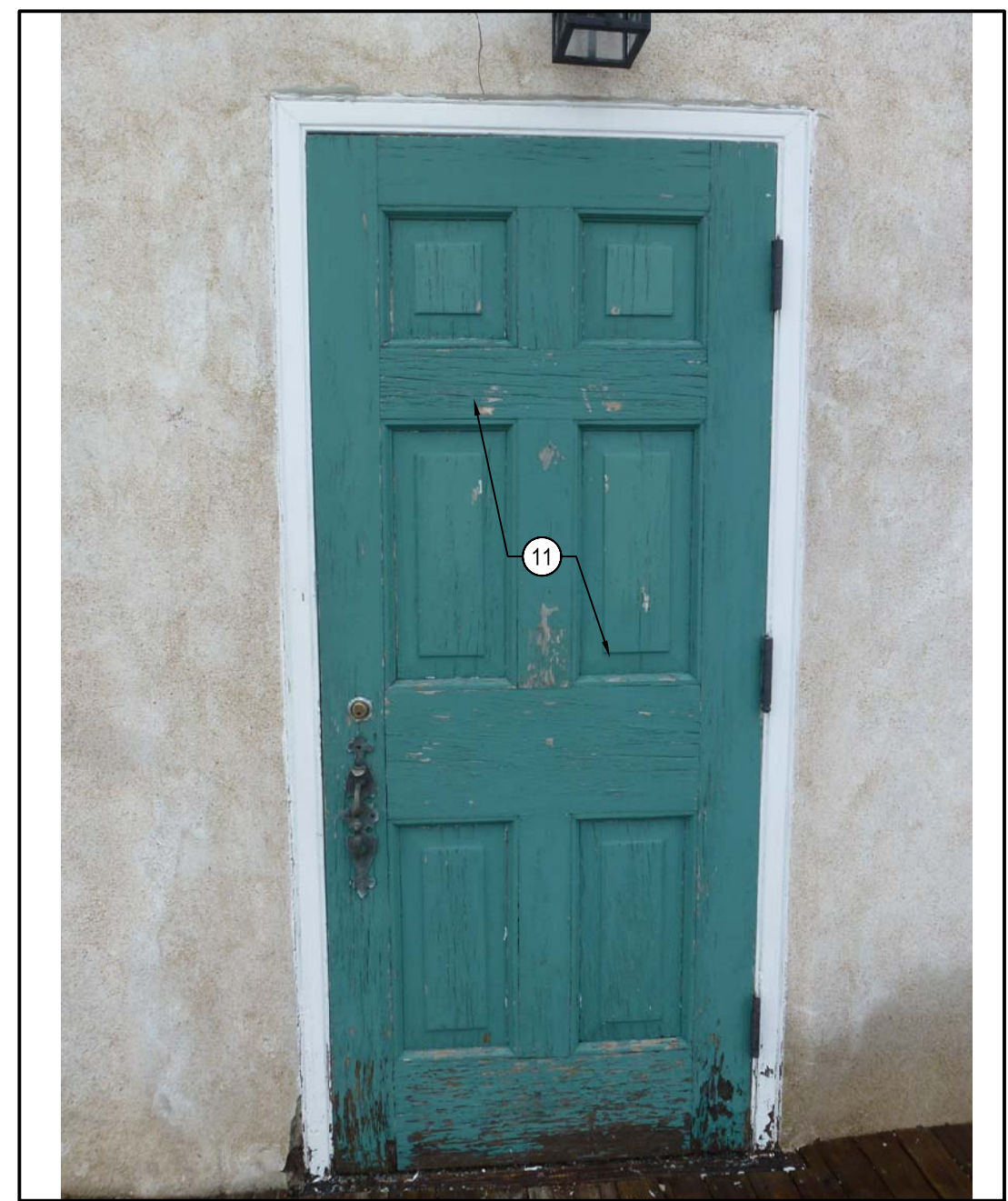
9 DOWNSPOUTS DETAILS
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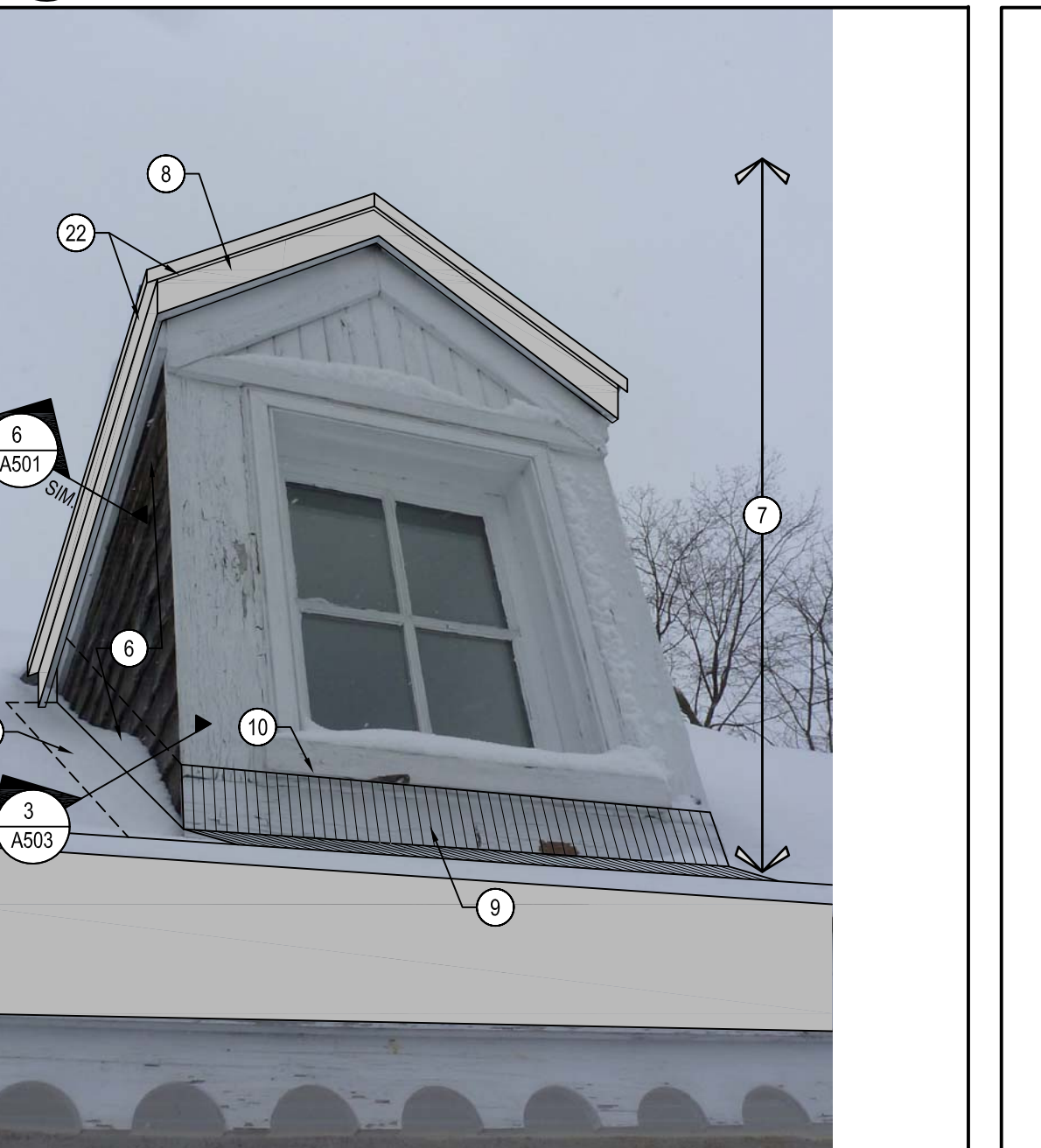
7 PHOTO - WINDOW 110 - SHUTTERS TO REPAIR
N.T.S.



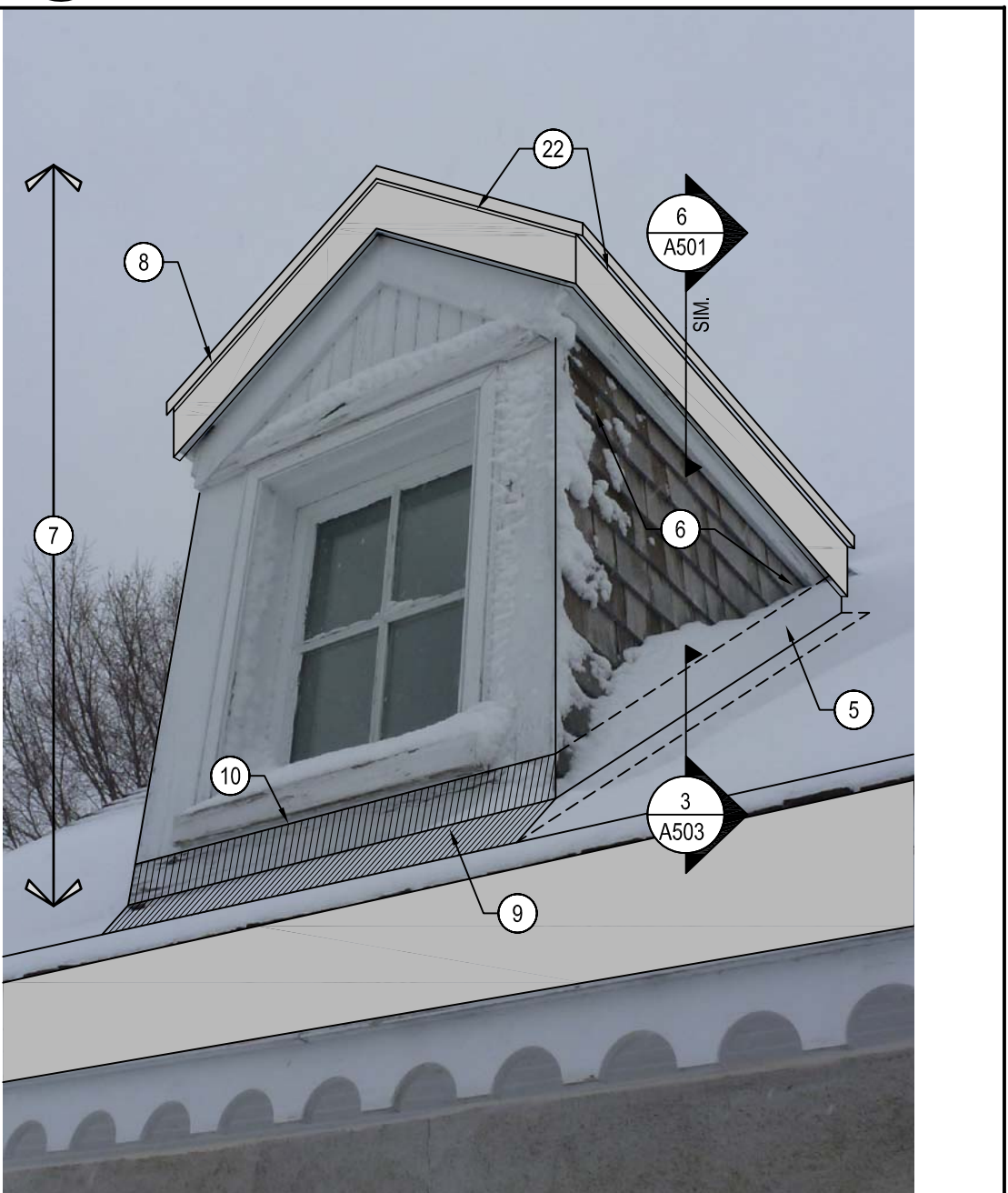
6 PHOTO - DOOR 102
N.T.S.



5 PHOTO - DOOR 101
N.T.S.



2 PHOTO - DORMER B
N.T.S.



1 PHOTO - DORMER A
N.T.S.

DEMOLITION NOTES

CONSTRUCTION NOTES

1 WOOD SHINGLES.
2 SHINGLE BREATHER MEMBRANE.
3 VAPOUR PERMEABLE WATER PROOF MEMBRANE.
4 LAP WATER PROOF MEMBRANE UP EXISTING SIDE WALL.
5 METAL STEP FLASHING.
6 REPLACE EXISTING WALL SHINGLE SYSTEM ON SIDE WALLS WITH VENTILATED SHINGLE SYSTEM.
7 RESTORE WOOD WORK AND WINDOW IN PHASE I. REPLACE WOOD TRIM AT EDGE OF ROOF IN PHASE II.
8 REPLACE EXISTING WOOD TRIM WITH WIDER WOOD TRIM TO COVER EDGE OF VENTILATED SHINGLE ROOF SYSTEM. PAINT. COMPLETE THIS WORK IN PHASE II.
9 INSTALL METAL APRON FLASHING.
10 SLIP TOP OF APRON FLASHING BEHIND EXISTING WOOD TRIM BOARDS AND BELOW EXISTING SILL.
11 REMOVE DOOR, RESTORE, THEN REINSTALL.
12 REMOVE SHUTTER, RESTORE THEN REINSTALL.
13 CUT AND SQUARE DAMAGED EDGES. FILL WITH WOOD DUTCHMAN.
14 EXISTING CRACK.
15 REMOVE UNSOUND STUCCO DOWN TO MASONRY.
16 ROUGHEN EDGES OF STUCCO TO REMAIN.
17 APPLY BOND ENHANCER TO CUT EDGE.
18 INSTALL S/S SELF FURRING LATH TO MASONRY SECURED WITH S/S FASTENERS INTO MORTAR JOINTS AT 200mm O/C MAX.
19 APPLY STUCCO. BLEND IN WITH EXISTING.
20 EXISTING STUCCO.
21 EXISTING MASONRY.
22 INSTALL METAL DRIP EDGE UNDER EDGE OF SHINGLES.
23 COLLECTOR BOX IN 2.6mm THICK STEEL PLATE.
24 6mm THICK x 38mm x 100mm LONG HIGH SUPPORT "T" BAR @ ±1500 O.C. MAX. WELDED IN PLACE OVERSIZE OVAL HOLES TO ALLOW ADJUSTMENTS.
25 DOWN PIPE, FLAT "C" SHAPE, IN 2.6mm THICK SHEEL PLATE.
26 FLAT "U" SHAPED DEFLECTOR COVER IN 2.6mm THICK SHEET STEEL PLATE FOR DP7 AND DP8 ONLY.
27 2.6mm x 38mm HIGH CROSS BAND WELDED TO DOWN PIPE.
28 OUTLET / LEADER FROM GUTTER.
29 VANDAL PROOF S/S NUT, BOLT AND WASHER FASTENER.
30 WALL BRACKET IN 6mm THICK STEEL.
31 COUNTER SUNK HOLES FOR S/S FASTENERS AND ANCHORS. QUANTITY 4 PER BRACKET.
32 OVERSIZED OVAL HOLE TO ALLOW ADJUSTMENT.
33 TRANSITION BOX IN 2.6mm STEEL PLATE FOR DP1 TO DP6. QUANTITY 6. WELD EXTENSION PIPE TO BOTTOM.
34 ROUND PIPE EXTENSION IN MIN 2.6mm THICK STEEL Ø100mm.
35 FASTEN STAINLESS STEEL MESH WITH 6mm MESH OVER BOTTOM.
36 MECHANICAL JOINT TO ALLOW ADJUSTMENT TO GRADE ANGLE.
37 SOLID DRAINAGE END CAP PUNCHED TO RECEIVE EXTENSION PIPE.
38 DRAINAGE PIPE.
39 COUNTER SUNK HEAD S/S FASTENER AND ANCHORS 100mm LONG QUANTITY 4 SETS PER WALL BRACKET.
40 SUPPORT SURFACE, WALL OR POST.
41 RETURN PLATE AT BOTTOM, WELD TO DOWN PIPE.

NCC
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project
projet

MAISON CHARRON
REHABILITATION

drawing
dessin

DETAILS
DORMER, WALL, WOOD

approved by
approuvé par L.L., R.M., J.M.

designed by
conçu par J.M.

drawn by
dessiné par C.U., S.S., N.B.

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