



Q&A #1

Date: April 7, 2014

Project: 01B46-13-0254 Exterior walls renovation

Bidders must make sure that their bids are based on the latest version of the tender documents published and take into consideration the following amendments and information, including any information provided on amendments or Q&As previously published for this project.

Bidders that do not comply with this requirement will be discarded.

Please note: In order to provide the integrity of the questions that AAFC has received from bidders, you will find in this document the questions in the language that they were asked.

Modifications :

1-Modification to the closing date as followed:

RFT Main page:

REPLACE:

" Tenders **must** be received **by: 2:00 PM**, Eastern Daylight Time
On: April 11, 2014 "

BY:

" Tenders **must** be received **by: 2:00 PM**, Eastern Daylight Time
On: April 16, 2014"

2-Modify RFT main document, Instructions to tenderers, section 3, Security requirement:

REPLACE:

The issuance of a contract is subject to a successful security screening by the Government of Canada security services.

BY:

The reliability screening is required for the foreman responsible for indoor works or each worker who will perform works inside the building. If workers don't have their Security Clearance, the foreman will need to obtain his and he will have to be present on a permanent basis whenever interior works are performed.

3- Modify the End date of work in the Tender form:

REPLACE:

We further agree that if awarded the contract, we will commence the work as specified and will complete the work on or before **June 30th, 2014**.

BY:

We further agree that if awarded the contract, we will commence the work as specified and will complete the work on or before **July 18, 2014**.



Questions and answers:

- Q1. It is specified in the plans that the blinds and the rails will be removed by the Contractor and hand over to the owner. Will the contractor need to reinstall them?
A1. Yes. See details attached on Addendum A-1
- Q2. Is the insulated shelter still required?
A2. No. See details attached on Addendum A-1
- Q3. Could the allowed timeframe (2 days) be extended for the sealed glazing works?
A3. Yes. See details attached on Addendum A-1
- Q4. Who will require the reliability clearance required in the documents (Security Requirements)?
A4. The foreman responsible for indoor works or each worker who will perform works inside the building. If workers don't have their Security Clearance, the foreman will need to obtain his and he will have to be present on a permanent basis whenever interior works are performed. (see modification above)
- Q5. Do marble window shelves on the first floor need to be replaced?
A5. Yes. Since they will break during their removal, they will need to be replaced by laminated shelves. The new shelves specifications will be described in an Addendum A-1 attached.
- Q6. Could the end date of works be extended over June 30, 2014?
A6. Yes. It will be extended until July 18, 2014. (See modification above)
- Q7. Will the painting of the rooms be included in the scope of work?
A7. Yes. These work details will be clarified in the attached Addendum A-1
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ALL OTHER TERMS AND CONDITIONS REMAIN UNCHANGED

Addendum, A-1

Architecture

Project : Exterior walls renovation – Administration building, Research Centre - CRDBLP
Agriculture and Agri-Food Canada

O/Réf. : 13060

Date : April 4th, 2014

TO ALL BIDDERS : Take note that this addendum is an integral part of the bidding documents. Please note the following modifications, made to the call for tenders documents.

Specification

1. Section 01005, Complimentary general conditions

6. Work calendar

Replace paragraph 2 by the following :

- .2 The owner grants the contractor a ten (10)-week period to complete the work.

7. Work Schedule

Replace paragraph 1 by the following :

- .1 Working hours for work performed inside the building : unless stated otherwise, work performed inside the building must be done between 8:00 and 17:00, Monday to Friday.

2. Section 01310, Work Calendar

2. Construction period

Replace paragraph 1 by the following :

- .1 The work should start immediately after emission of order form by the owner. The owner grants the contractor a ten (10)-week period to complete the work in view of a provisory reception.

Drawings

1. Sheet A010, Notes

1. Notes

- 1. *Add article 4 to the paragraph entitled « Air/vapour barrier membrane »:*

Air/vapour barrier membrane

- .4 All repairs and all new membranes are to be made with membrane adhered with primer.

2. *Modify article 6 of paragraph entitled « Rubber sealer joint » by the following :*

Rubber sealer joint

- .6 Existing rubber joint from GAMMA Company are to removed, kept and reinstall. When reinstalling, minimize junctions and do not reinstall rubber pieces less than 1200mm long. All vertical joints must be continuous (made in one piece). Provide for the replacement of 50 linear meters of rubber joint by new rubber joint like the existing, or equivalent.

3. *Delete paragraph entitled « Permanent shelter ».*

4. *Modify article 6 of paragraph entitled « Rubber sealer joint » by the following :*

Rubber sealer joint

- .6 Existing rubber joint from GAMMA Company are to removed, kept and reinstall. When reinstalling, minimize junctions and do not reinstall rubber pieces less than 1200mm long. All vertical joints must be continuous (made in one piece). Provide for the replacement of 50 linear meters of rubber joint by new rubber joint like the existing, or equivalent.

5. *Replace paragraph entitled « Occupied building » by the following:*

Occupied building

- .1 The contractor must comply with exits and signalization in place because building will occupied during the whole period of the construction. When performing work inside the building, the owner will grant the contractor five (5) days per tower, where offices will be cleared so he can do interior work.

6. *Add the following paragraph :*

Window shelves level 1

In all rooms located in the construction site at level 1, instead of reinstalling window shelves, replace by new shelves made with 19mm thick chemical resistant solid-core laminate, such as Chemmtop2 from Formica.

7. *Add the following paragraph :*

Paint

Repair and paint all walls, except the doors and frames, in all rooms where construction work is performed. Don't paint level 1 rooms located in the East tower. Painting specifications :

System for gypsum board or general concrete and existing walls :

- .1 one (1) coat of 100% acrylic latex primer-sealer in compliance with Green Seal standard, certified GS-11, such as SICO EXPERT 870-177.
.2 two (2) coats of 100% acrylic latex paint, melamine finish, gloss level from 20% to 30%, in compliance with Green Seal standard, certified GS-11 et ONGC 1.209, such as SICO ECOSOURCE 855-60X, color to be chosen by the owner.

2. Demolition notes

1. *Replace note D12 by :*

D12 : Remove existing vapour barrier membrane.

2. *Replace note D20 by :*

D20 : Remove existing window blinds (rails and blinds) and reinstall when work is complete.

3. *Add note D28 :*

Note D28 : Existing vapour barrier membrane to remain.

2. Sheet A100, Plans

1. Drawing 1, East tower level 1 plan
 1. See sketch A100-1.

3. Sheet A400, Elevations

1. Elevation notes
 1. *Replace note 10 by :*
Remove existing safeguards and hand over to the owner. Clean and repair the concrete slab following the demolition work. Remove anchors and fill all the openings in the slab with sealant such as Sonolastic NP2 from BASF.
 2. *Replace note 12 by :*
Existing siamese connection and communication system to remain; keep at all times an access to those fire safety equipment and make sure they are visible. Remove the phone and the interphone from the communication systems, and remove all wires to the source; keep all pipes grommet. Install a cover plate made from material similar to the exterior panels to fill the openings left by the removed equipments.

4. Sheet A501, Details

1. Drawing 18, new plan detail
 1. *Replace note C3 by:*
D28: Existing vapour barrier membrane to remain.

5. Sheet A502, Details

2. Drawing 12, new detail
 1. *Replace note C3 by :*
D28: Existing vapour barrier membrane to remain.

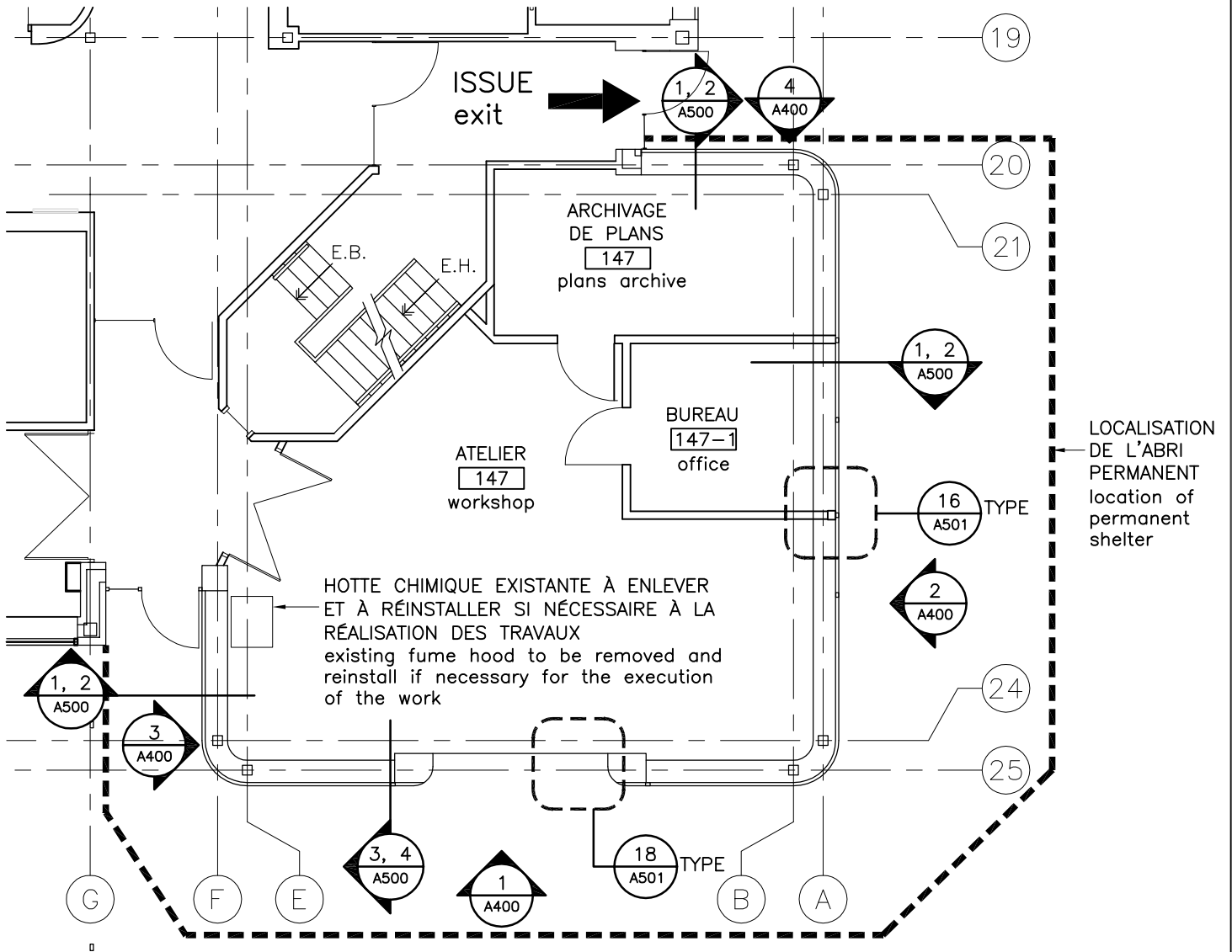
End of the addendum

Cimaise


Josiane Tardif, architect

JT/kc

Enc. Sketch A100-1



1 PLAN TOUR EST NIVEAU 1 / East tower level 1 plan
1:100

cimaise

Note
L'entrepreneur a la responsabilité de vérifier les dimensions
avant d'entreprendre les travaux et de faire rapport à
l'architecte de toutes contradictions ou omissions.



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EXTERIOR WALLS RENOVATION
ADMINISTRATION BUILDING



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RÉFECTION DE MURS EXTÉRIEURS
BÂTIMENT ADMINISTRATIF

MODIFICATION AU DESSIN 1/A100
PLAN TOUR EST NIVEAU 1 /
East tower level 1 plan

Dessiné par
13060
Préparé par
J.T.
Dessiné par
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Approuvé par
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Fichier électronique
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Date
4 AVRIL 2014
Discipline
ARCHITECTURE

Dessiné
A100-1
Fou/MC
1 DE 1