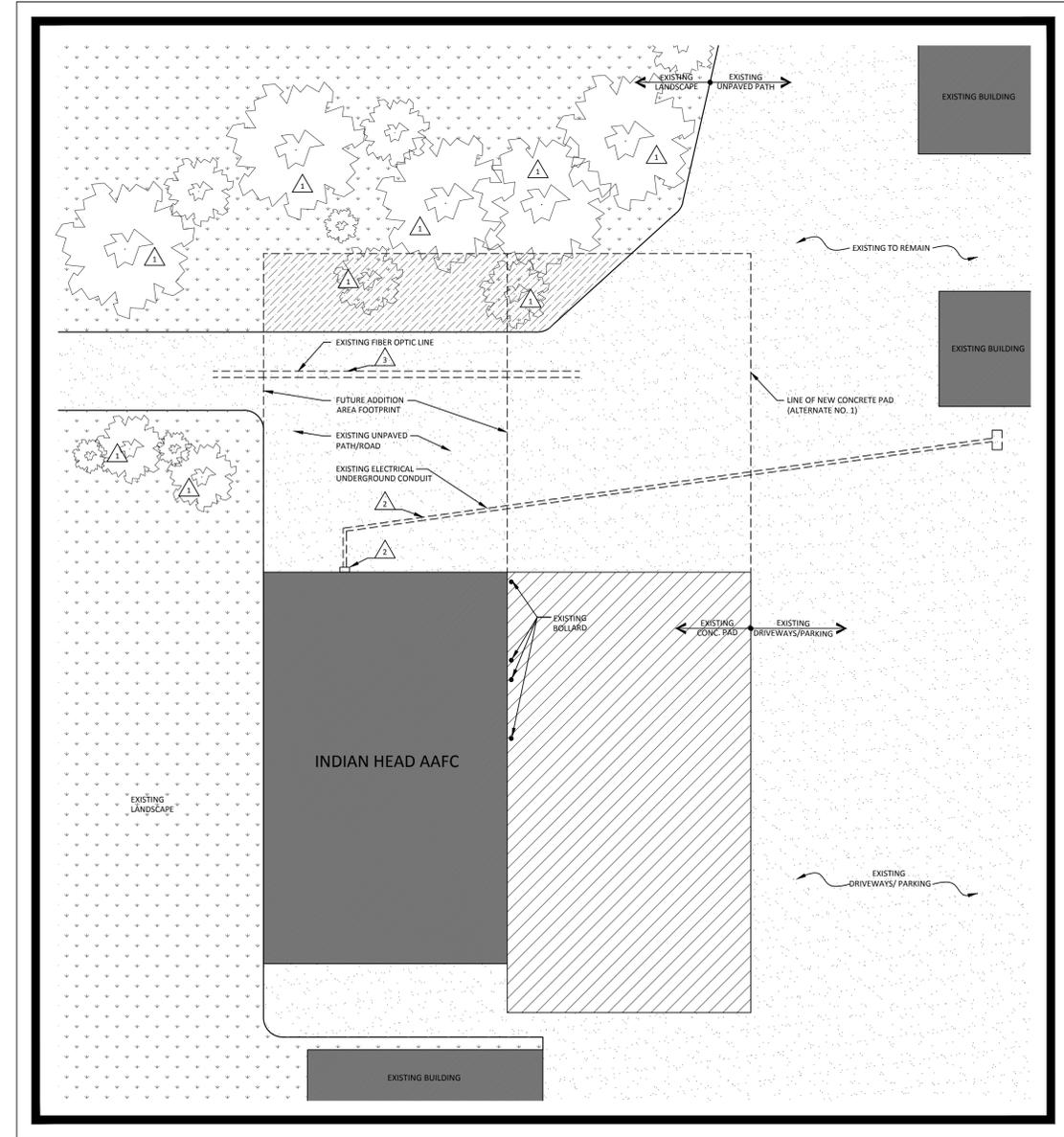
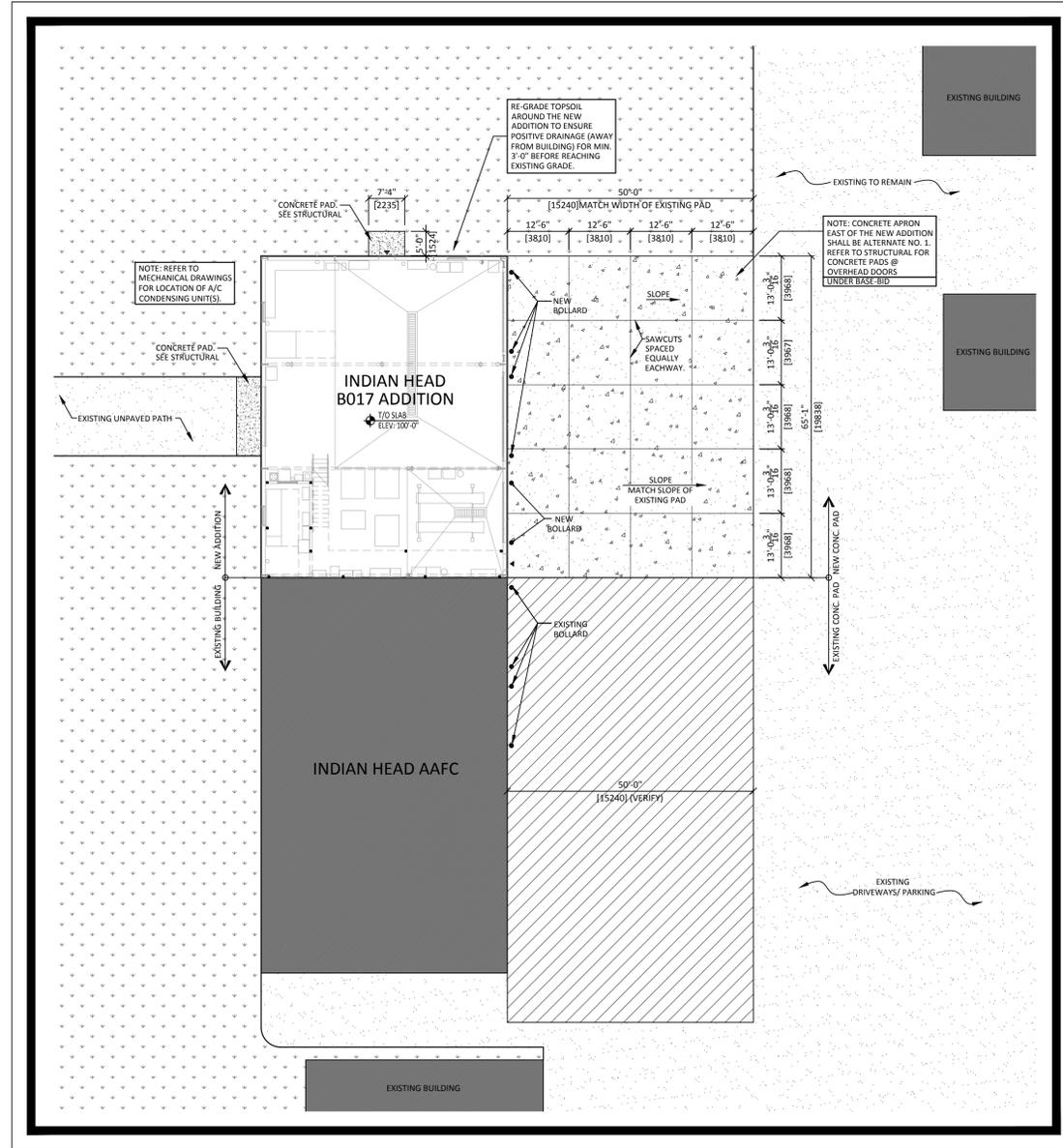


INDIAN HEAD AAFC B017 ADDITION

INDIAN HEAD, SASKATCHEWAN

ISSUED FOR PERMIT

2015.06.15



1 NEW SITE PLAN
A1.0 SCALE 1:200

2 EXISTING SITE PLAN WITH DEMOLISHING
A1.0 SCALE 1:200

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201-120 FORT STREET TEL.: (204) 943-6142
WINNIPEG, MANITOBA FAX.: (204) 942-1276
R3C 1C7

BUILDING CODE MATRIX
REFERENCE: Part 3, National Building Code, 2010 Edition

Project Description	: Shop Addition & to Existing Shop Building
Civic Address	: Indian Head, SK
Building Area, Existing	: 371.60 sq.m.
Building Area, Addition	: 301.90 sq.m.
Total Building Area	: 673.50 sq.m.
Number of Storey	: 2 Storey
Access Route	: 2 Streets
Construction	: Combination C & NC

Descriptions	Requirements	Reference
1. Major Occupancy	: F2, Med. Industrial	: 3.1.2.1
	: D, Bus. & Personal	: 3.2.2.76
2. Building Classification	: F2, up to 2 Storeys	: 3.2.2.76
• Max. Building Area	: 750 sq.m.	
• Max. Number of Storeys	: 2 Storeys	
• Access Route	: 2 Street	
• Sprinkler System	: Not Required	
• Permitted Construction	: C/NC/Combination	: 3.2.4.1
3. Fire Alarm	: Not Required	: 3.2.4.1
4. Mezzanine Area	: 40% of open space below	: 3.2.1.1 (3, 4)
5. Mezz. Enclosed Space Area	: 10% of open space below	: 3.2.1.1 (7)
6. Fire Separation		
• Floor	: FRR - 3/4	: 3.2.2.76
• LBW & Columns	: FRR - 3/4	: 3.2.2.76
• Roof	: FRR - N/R	: 3.2.2.76
• Mezzanine	: FRR - N/R	: 3.2.2.76
7. Exit, Main Floor	: 2 Required	: 3.4.2.1
8. Exit, Mezzanine	: 1 Permitted	: 3.4.2.2
9. Barrier Free		
• Access	: Required	: 3.8
• Washroom	: Required	: 3.8.2.3 (2)
• Power Door Operator	: Required	: 3.8.3.3 (6)

FRR : Fire Resistance Rating
C : Combustible
NC : Non Combustible
N/R : Not Required

DEMOLITION NOTES

- REMOVE EXISTING TREES AND TOP LAYER OF EXISTING SOIL (APPROX. 1'-4") AS REQUIRED FOR THE CONSTRUCTION OF THE NEW ADDITION. TREES REMOVAL BY OWNER. TO INCLUDE REMOVAL OF ROOTS WITHIN THE PERIMETER OF THE FUTURE BUILDING ADDITION.
- ELECTRICAL CONTRACTOR TO REMOVE EXISTING ELECTRICAL CONDUIT AND RE-ROUTE UNDERGROUND TO SAME LOCATION AS REQUIRED BY THE ADDITION. COORDINATE WITH GENERAL CONTRACTOR AND CONCRETE (FOUNDATION) CONTRACTOR. REFER TO ELECTRICAL DRAWINGS.
- ELECTRICAL CONTRACTOR TO RE-ROUTE EXISTING FIBER OPTIC LINE AS REQUIRED BY THE BUILDING'S ADDITION. REFER TO ELECTRICAL DRAWINGS.

SITE LEGEND

	NEW CONCRETE PAD
	EXISTING DRIVEWAYS/ PARKING
	LANDSCAPING
	EXISTING LANDSCAPING TO BE REMOVED
	EXISTING BUILDING
	EXISTING TREES
	MAIN DOOR

DRAWING INDEX

ARCHITECTURAL	
A1.0	COVER SHEET, SITE PLAN, DEMOLISHING SITE PLAN
A2.1	MAIN, MEZZANINE & ROOF DEMO, REVISED PLANS
A2.2	STAIR DETAILS, DETAILS, WINDOW & DOOR SCHEDULE
A3.1	BUILDING ELEVATIONS & SECTIONS
A3.2	WALL SECTIONS & DETAILS
A3.3	SECTIONS DETAIL & WORK BENCH DETAIL
STRUCTURAL	
S5.1	FOUNDATION PLAN & DETAILS
S5.2	ROOF FRAMING PLAN, PROFILES & DETAILS
S5.3	MISCELLANEOUS DETAILS & SCHEDULES
S5.4	GENERAL NOTES
MECHANICAL	
M6.1	RENOVATED HVAC PLAN
M6.2	RENOVATED PLUMBING PLAN
M6.3	MECHANICAL SPECIFICATIONS AND DETAILS
ELECTRICAL	
E1.0	ELECTRICAL - LIGHTING, POWER AND SYSTEMS