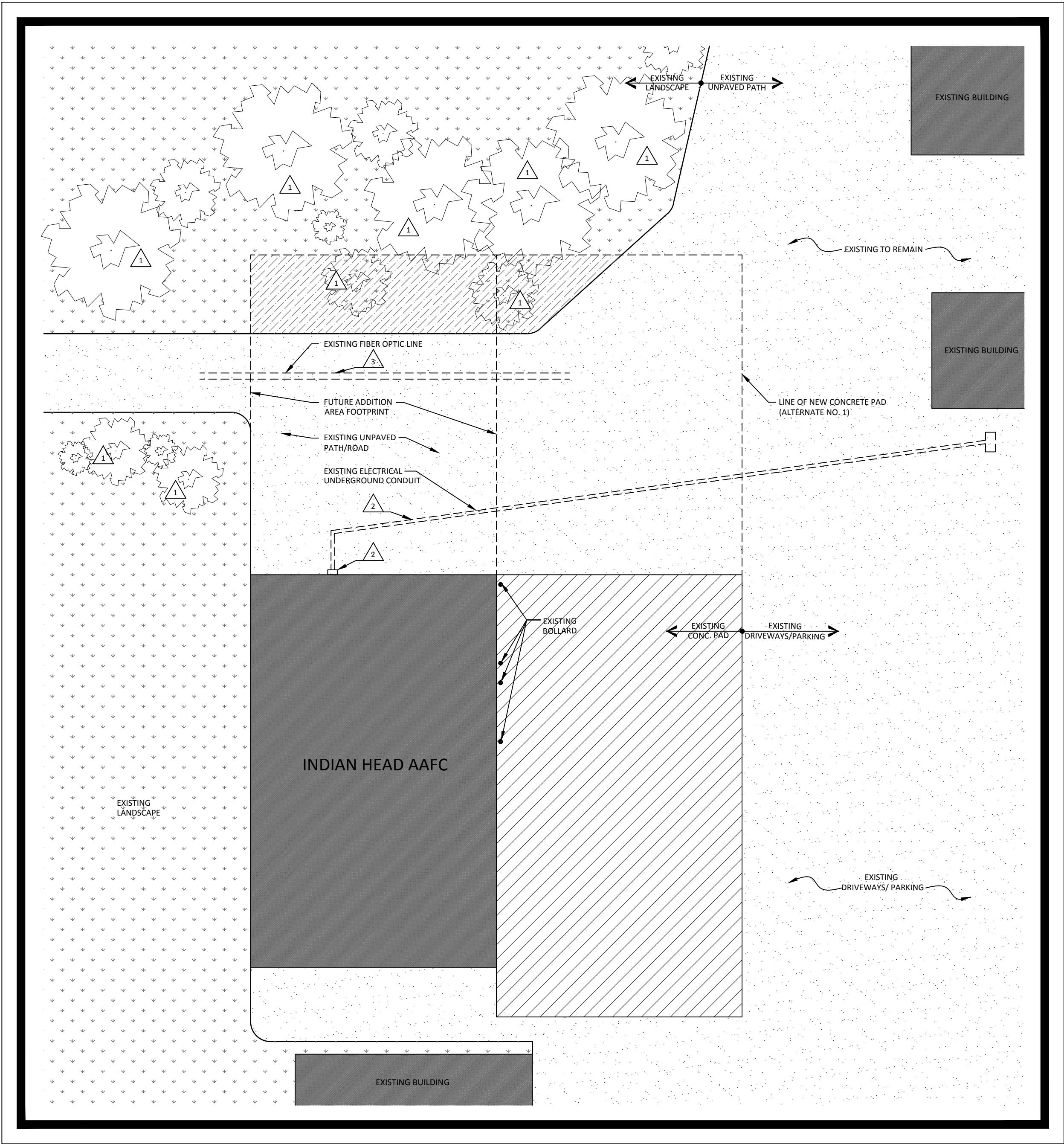
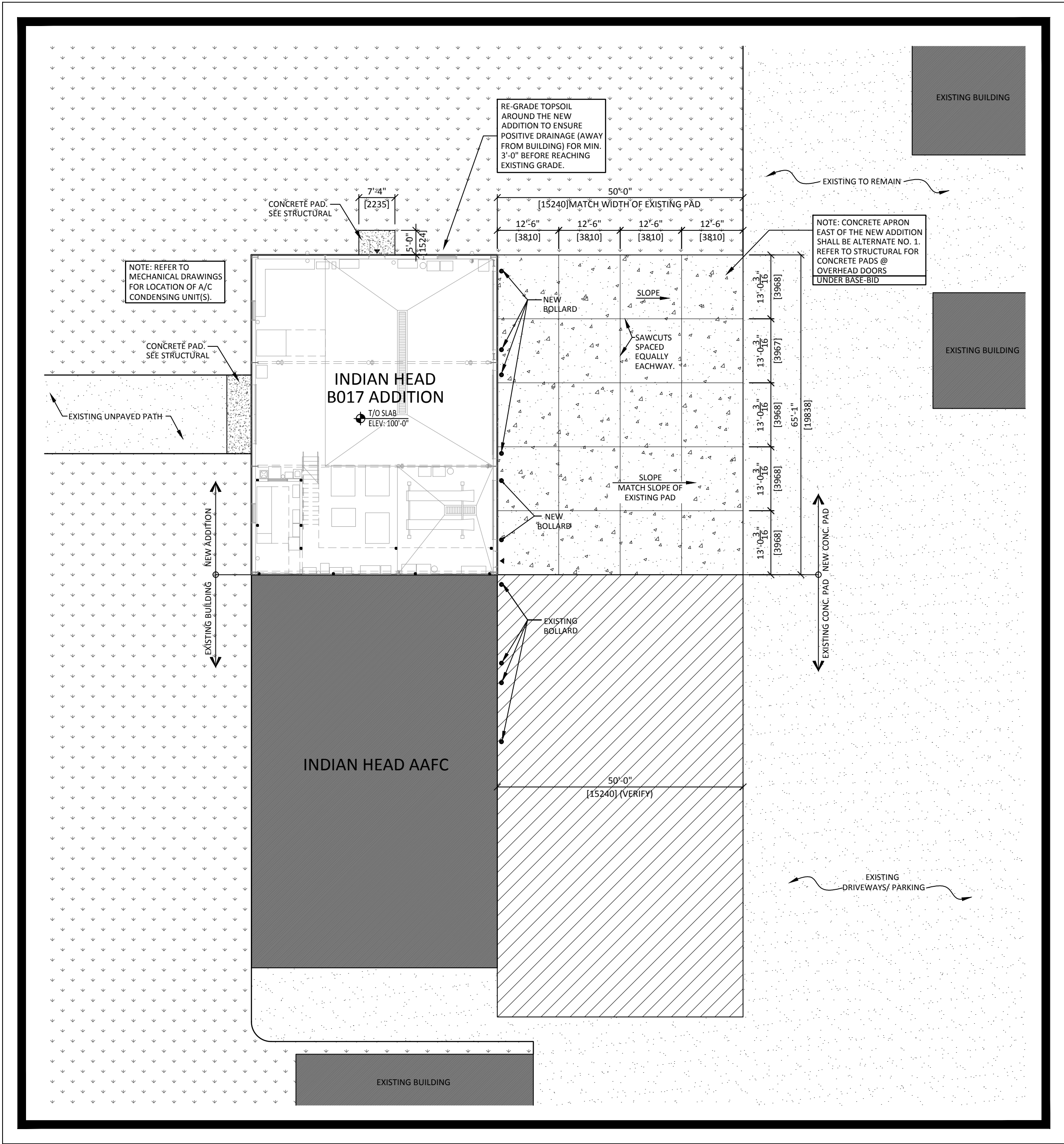


INDIAN HEAD AAFC B017 ADDITION

INDIAN HEAD, SASKATCHEWAN

ISSUED FOR PERMIT

2015.06.15



1 NEW SITE PLAN
A1.0 SCALE 1:200

2 EXISTING SITE PLAN WITH DEMOLISHING
A1.0 SCALE 1:200

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R3C 1C7

BUILDING CODE MATRIX

REFERENCE: Part 3, National Building Code, 2010 Edition

Project Description	: Shop Addition & to Existing Shop Building
Civic Address	: Indian Head, SK
Building Area, Existing	: 371.60 sq.m.
Building Area, Addition	: 301.90 sq.m.
Total Building Area	: 673.50 sq.m.
Number of Storey	: 2 Storey
Access Route	: 2 Streets
Construction	: Combination C & NC
Descriptions	: Requirements : Reference
1. Major Occupancy	: F2, Med. Industrial : 3.1.2.1
2. Building Classification	: D, Bus. & Personal : 3.2.2.76
• Max. Building Area	: 750 sq.m.
• Max. Number of Storeys	: 2 Storeys
• Access Route	: 2 Street
• Sprinkler System	: Not Required
• Permitted Construction	: C/NC/Combination
3. Fire Alarm	: Not Required : 3.2.4.1
4. Mezzanine Area	: 40% of open space below : 3.2.1.1 (3, a)
5. Mezz. Enclosed Space Area	: 10% of open space below : 3.2.1.1 (7)
6. Fire Separation	: Floor : FRR - 3/4 : 3.2.2.76
• Floor	: FRR - 3/4 : 3.2.2.76
• LBW & Columns	: FRR - N/R : 3.2.2.76
• Roof	: FRR - N/R : 3.2.2.76
• Mezzanine	: FRR - N/R : 3.2.2.76
7. Exit, Main Floor	: 2 Required : 3.4.2.1
8. Exit, Mezzanine	: 1 Permitted : 3.4.2.2
9. Barrier Free	: Access : Required : 3.8
• Access	: Required : 3.8.2.3 (2)
• Washroom	: Required : 3.8.3.3 (6)
• Power Door Operator	: Required
FRR : Fire Resistance Rating	
C : Combustible	
NC : Non Combustible	
N/R : Not Required	

DEMOLITION NOTES

- REMOVE EXISTING TREES AND TOP LAYER OF EXISTING SOIL (APPROX. 1'-4") AS REQUIRED FOR THE CONSTRUCTION OF THE NEW ADDITION. TREES REMOVAL BY OWNER. TO INCLUDE REMOVAL OF ROOTS WITHIN THE PERIMETER OF THE FUTURE BUILDING ADDITION.
- ELECTRICAL CONTRACTOR TO REMOVE EXISTING ELECTRICAL CONDUIT AND RE-ROUTE UNDERGROUND TO SAME LOCATION AS REQUIRED BY THE ADDITION. COORDINATE WITH GENERAL CONTRACTOR AND CONCRETE (FOUNDATION) CONTRACTOR. REFER TO ELECTRICAL DRAWINGS.
- ELECTRICAL CONTRACTOR TO RE-ROUTE EXISTING FIBER OPTIC LINE AS REQUIRED BY THE BUILDING'S ADDITION. REFER TO ELECTRICAL DRAWINGS.

SITE LEGEND

- NEW CONCRETE PAD
- EXISTING DRIVEWAYS/ PARKING
- LANDSCAPING
- EXISTING LANDSCAPING TO BE REMOVED
- EXISTING BUILDING
- EXISTING TREES
- MAIN DOOR

DRAWING INDEX

ARCHITECTURAL

- A1.0 COVER SHEET, SITE PLAN, DEMOLISHING SITE PLAN
- A2.1 MAIN, MEZZANINE & ROOF DEMO, REVISED PLANS
- A2.2 STAIR DETAILS, DETAILS, WINDOW & DOOR SCHEDULE
- A3.1 BUILDING ELEVATIONS & SECTIONS
- A3.2 WALL SECTIONS & DETAILS
- A3.3 SECTIONS DETAIL & WORK BENCH DETAIL

STRUCTURAL

- S5.1 FOUNDATION PLAN & DETAILS
- S5.2 ROOF FRAMING PLAN, PROFILES & DETAILS
- S5.3 MISCELLANEOUS DETAILS & SCHEDULES
- S5.4 GENERAL NOTES

MECHANICAL

- M6.1 RENOVATED HVAC PLAN
- M6.2 RENOVATED PLUMBING PLAN
- M6.3 MECHANICAL SPECIFICATIONS AND DETAILS

ELECTRICAL

- E1.0 ELECTRICAL - LIGHTING, POWER AND SYSTEMS