

Parking Lot Expansion

Central District Building

Saskatoon, SK


BUILDING ANALYSIS				
BUILDING ADDRESS:	400 BRAND PLACE, SASKATOON, SK			
LEGAL DESCRIPTION:	LOT 5, BLOCK 428, PLAN NO. 00SA01739			
BUILDING OWNER:	GOVERNMENT OF CANADA			
BUILDING AREA:	2471 SQ.M.			
STOREYS ABOVE GRADE:	EXT'G	STOREYS BELOW GRADE:	EXT'G	
NUMBER OF STREET (as defined by 3.2.2.10):	EXT'G			
USE(s) OF THE BUILDING:	EXT'G			
MAJOR OCCUPANCY CLASSIFICATIONS(s):	EXT'G			
BUILDING CODE CLASSIFICATIONS(s):				
	NORTH WALL (%) EXT'G	SOUTH WALL (%) EXT'G	EAST WALL (%) EXT'G	WEST WALL (%) EXT'G
REQUIRED EXTERIOR WALL FIRE RESISTANCE RATING:				
	NORTH WALL (HR) EXT'G	SOUTH WALL (HR) EXT'G	EAST WALL (HR) EXT'G	WEST WALL (HR) EXT'G
OCCUPANT LOAD: EXISTING	W.C.'s REQUIRED - MALE: - FEMALE:	EXT'G EXT'G	W.C.'s PROVIDED - MALE: - FEMALE: - UNISEX:	EXT'G EXT'G EXT'G
NUMBER OF EXITS REQUIRED: - FLOOR AREA(s): - MEZZANINE(s):	PUBLIC CORRIDOR SEPARATIONS: - FIRE SEPARATION REQUIRED: - FIRE RESISTANCE RATING REQUIRED:		EXT'G EXT'G	
REQUIRED FIRE RESISTANCE RATING IN HOURS:				
FLOORS:	EXISTING	MEZZANINES:	EXISTING	ROOF:
EXIT STAIRWAYS:	EXISTING	SERVICE SHAFTS:	EXISTING	MECHANICAL ROOMS:
REPAIR GARAGES:	EXISTING	OCCUPANCY SEPARATIONS:	EXISTING	SUITE SEPARATIONS:
BEARING ASSEMBLIES:	EXISTING	STORAGE ROOMS:	EXISTING	FIRE WALLS:
STORAGE GARAGES:	EXISTING	OTHER: (SPECIFY)	EXISTING	OTHER: (SPECIFY)
EXIT SIGNS - REQ'D:	EXT'G	EMERGENCY LIGHTING - REQ'D:	EXT'G	
STANDPIPE & HOSE SYSTEM - REQ'D:	EXT'G	SMOKE ALARMS - REQ'D:	EXT'G	
FIRE ALARM SYSTEM - REQ'D:	EXT'G	BARRIER FREE ACCESS - REQ'D:	EXT'G	
SPRINKLER SYSTEM - REQ'D:	EXT'G	FIRE DAMPERS - REQ'D:	EXT'G	
ATTIC FIRE STOPS - REQ'D:	EXT'G	PIPING FIRE STOPS - REQ'D:	EXT'G	
NAME OF QUALIFIED DESIGNER THAT HAS COMPLETED THIS FORM:	JUSTIN L. WOTHERSPOON - ARCHITECT			

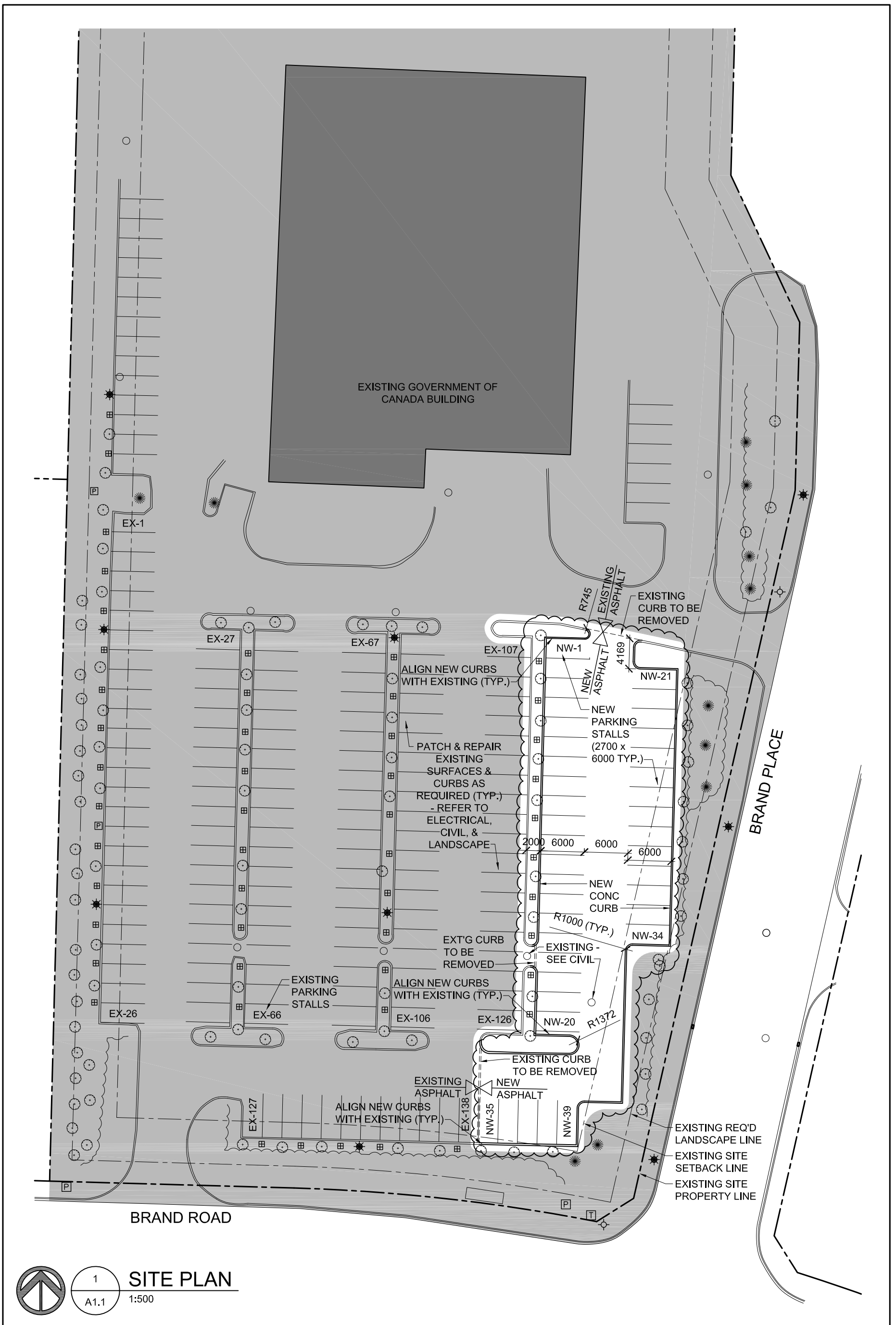
ZONING REQUIREMENTS			
ZONED: AM - AUTO MALL DISTRICT			
SETBACKS (MINIMUM)	FRONT YARD 9.0 M	REAR YARD 9.0 M	SIDE YARD 9.0 M
MIN. LOT AREA:	0.75 HA.	MIN. SITE COVERAGE:	N/A
MAX. FLOOR AREA RATIO:	N/A	MAX. BUILDING HEIGHT:	12 M
PARKING REQUIREMENTS: 138 PARKING STALLS ARE EXISTING = 0 ADDITIONAL STALLS REQUIRED			

BUILDING SUMMARY	
FLOOR AREA SUMMARY:	EXISTING
SITE COVERAGE:	EXISTING
TOTAL BUILDING AREA:	EXISTING
BUILDING HEIGHT:	EXISTING
PARKING PROVIDED:	138 EXISTING + 39 NEW = 177 STALLS PROVIDED

DRAWING LIST	
<u>ARCHITECTURAL</u>	
A0.1	COVER PAGE, BUILDING ANALYSIS
A1.1	SITE PLAN
<u>ELECTRICAL</u>	
E1	SITE PLAN
E2	DRAWING NOTES / DETAILS
<u>CIVIL</u>	
C1.1	SITE GRADING PLAN
C1.2	DETAILS
<u>LANDSCAPE</u>	
L-1	IRRIGATION
L-2	LANDSCAPE REPAIR

GENERAL NOTES	
<p>1. <u>STANDARDS & MANUFACTURER'S LITERATURE</u></p> <p>ALL WORK SHALL CONFORM TO THE 2010 NATIONAL BUILDING CODE & ALL APPLICABLE LOCAL BY-LAWS. IN THE ABSENCE OF OTHER STANDARDS BEING REQUIRED BY THE CONTRACT DOCUMENTS, ALL WORK IS TO CONFORM TO, OR EXCEED, THE MINIMUM STANDARDS OF THE CANADIAN GOVERNMENT SPECIFICATIONS BOARD, THE CANADIAN STANDARDS ASSOCIATION, THE SASKATCHEWAN WORKER'S COMPENSATION BOARD, & MANUFACTURERS OF MATERIAL SUPPLIED FOR THIS PROJECT, WHICHEVER IS/ARE APPLICABLE.</p>	<p>2. LOCATE EQUIPMENT, FIXTURES AND DISTRIBUTIONS SYSTEMS TO PROVIDE MINIMUM INTERFERENCE & MAX. USABLE SPACE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.</p>
<p>2. <u>SAFETY REQUIREMENTS</u></p> <p>1. OBSERVE & ENFORCE ALL CONSTRUCTION SAFETY MEASURES BY THE NBC, APPLICABLE WORKER'S COMPENSATION BOARDS & LOCAL STATUTES & BY-LAWS.</p>	<p>5. <u>CUTTING & PATCHING</u></p> <p>1. EXECUTE CUTTING, FITTING, & PATCHING REQUIRED TO MAKE THE WORK FIT TOGETHER.</p> <p>2. OBTAIN THE CONSULTANTS APPROVAL BEFORE ANY MODIFICATION TO EXISTING STRUCTURAL.</p> <p>3. MAKE ALL CUTS CLEAN, TRUE & SMOOTH.</p> <p>4. FIT ALL WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS & CONDUITS.</p>
<p>3. <u>PROTECTION OF PUBLIC WORK & PROPERTY</u></p> <p>1. PROTECT ALL WORK UNAFFECTED BY THE WORK, COMPLETED OR IN PROGRESS. ALL WORK DAMAGED DUE TO FAILURE TO PROVIDE SUCH PROTECTION SHALL BE REMOVED & REPLACED OR REPAIRED AS DIRECTED BY THE CONSULTANT AT NO INCREASE TO THE CONTRACT PRICE.</p> <p>2. PREVENT OVERLOADING OF ANY PART OF THE BUILDING. DO NOT CUT, DRILL OR MODIFY ANY EXISTING STRUCTURE WITHOUT WRITTEN APPROVAL BY THE CONSULTANTS</p> <p>3. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVING, WALKS, ADJACENT BUILDINGS, ADJACENT SUITES & PROPERTY, SERVICES, ETC. CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL MAKE GOOD SAME OR BEAR THE EXPENSE OF ALL REPAIRS.</p> <p>4. THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS WITH MIN. INTERFERENCE TO ADJACENT PROPERTY ROADWAYS, SIDEWALKS, & ACCESS TO FACILITIES IN GENERAL. KEEP ALL AREAS FREE FROM MATERIALS, DEBRIS & EQUIPMENT AT ALL TIMES. CONFINE OPERATIONS TO AREAS DESIGNATED BY THE CONSULTANT AND/OR OWNER, MAINTAIN FIRE ACCESS AT ALL TIME.</p>	<p>6. <u>PROJECT CLOSE OUT</u></p> <p>1. DISPOSAL: CONDUCT CLEANING & DISPOSAL OPERATIONS TO COMPLY WITH CODES, ORDINANCES, REGULATIONS & WASTE MATERIAL AT PERIODIC INTERVALS AWAY FROM THE SITE & IN A LEGAL MANNER.</p>
<p>4. <u>LOCATION OF FIXTURES & EQUIPMENT ON ARCHITECTURAL</u></p> <p>1. LOCATION OF EQUIPMENT, FIXTURES AND OUTLETS INDICATED OR SPECIFIED ARE TO BE CONSIDERED AS APPROXIMATE. LOCATION OF SERVICE RUNS, DUCTS, CONDUITS, PIPING, SYSTEMS AD OTHER ITEMS SHOWN ON THE DRAWING ARE DIAGRAMMATIC.</p>	<p>7. <u>ADDITIONAL REQUIREMENTS</u></p> <p>1. PATCH & REPAIR ALL ADJACENT SURFACES TO MATCH EXISTING OR TO RECEIVE FINISHES AS SCHEDULED. IF ANY PORTION OF WORK IS TO BE PAINTED, REPAIR OR REPLACED, REPAIR OR REPLACE ENTIRE LENGTH.</p> <p>2. COORDINATE ALL WORK WILL ALL TRADES AS WELL AS MECHANICAL AND ELECTRICAL.</p> <p>3. PATCH, REPAIR AND MAKE GOOD ALL SURFACES WITHIN THE SCOPE OF THE PROJECT. INCLUDING, BUT NOT LIMITED TO SITE, TREES, FLOORS, PARTITIONS, CURBS, RAILS, CASEWORK, CEILING, MECHANICAL, AND ELECTRICAL.</p> <p>4. ALL DIMENSIONS ARE TO THE CENTER OF STUD AND NOT PARTITION TYPE. CONTRACTOR TO VERIFY ALL PARTITION LOCATIONS WITH EXISTING COLUMNS, CEILINGS, PARTITIONS, MECHANICAL & ELECTRICAL LOCATIONS.</p> <p>5. PROVIDE 10MM± SHIM SPACE AT EXISTING SURFACES AS REQUIRED TO ACHIEVE LEVEL, PLUMB & SQUARE FINAL SURFACE CONDITIONS.</p> <p>6. CONTINUOUS FIRE/SMOKE STOP SEALANT TO TOP OF PARTITIONS @ U/S OF DECK, FLOOR & AT ALL MECHANICAL & ELECTRICAL PENETRATIONS, BOTTOM & WALL JUNCTIONS.</p> <p>7. RETURN GWB AT ALL WINDOWS & DOOR FRAMES.</p> <p>8. SEALANT REQUIRED AT ALL LOCATIONS WHERE GWB MEETS EXISTING CONSTRUCTION.</p> <p>9. PATCH & REPAIR ALL PARTITIONS & WALLS WITHIN SCOPE OF WORK AREA THAT ARE TO RECEIVE NEW FINISH.</p> <p>10. ALL EXPOSED MILLWORK SURFACES TO BE HIGH PRESSURE LAMINATE.</p> <p>11. ALL EDGE BANDING TO BE MM PVC UNLESS OTHERWISE NOTED.</p>

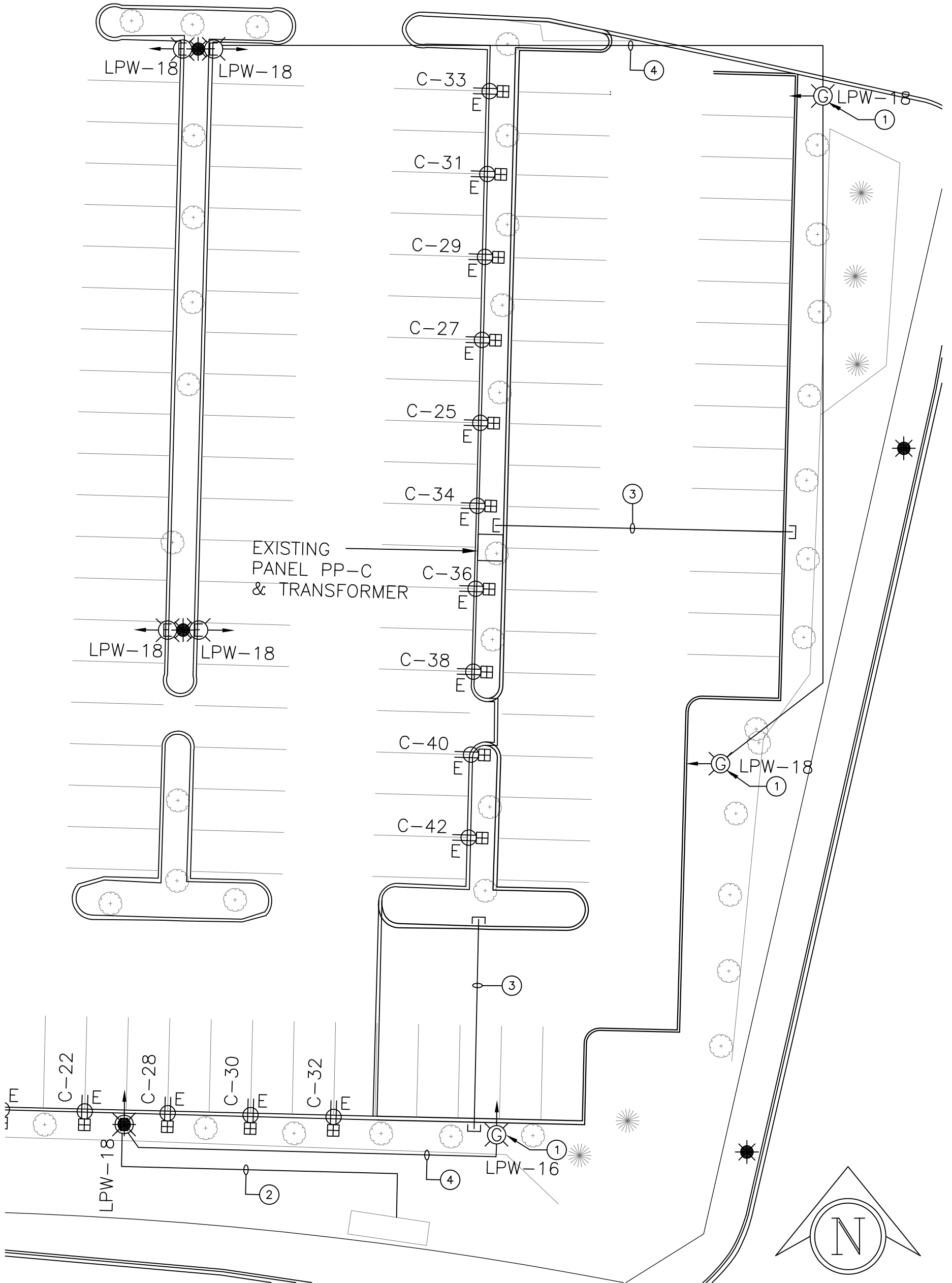
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	DRAWING TITLE COVER PAGE, BUILDING ANALYSIS	SCALE AS SHOWN	DRAWING NO.
		DRAWN JMM	A0.1
		CHECKED JLW	



1
A1.1
1:500

SITE PLAN

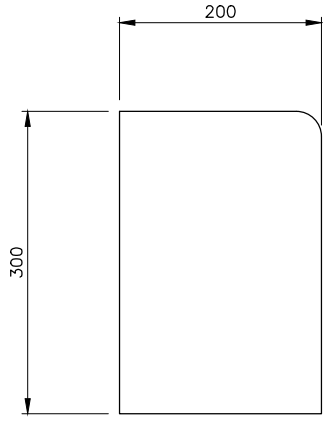
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	DRAWING TITLE SITE PLAN	SCALE AS SHOWN	DRAWING NO. A1.1
109 - 3725 Pasqua Street, Regina, SK, S4S 6W8 ph: (306) 569-2255 102 - 3718 Kinneer Place, Saskatoon SK, S7P 0A6 ph: (306) 652-6457 website: www.sepw.ca	DRAWN JMM	CHECKED JLW	



ASSOCIATION OF PROFESSIONAL ENGINEERS
OF SASKATCHEWAN
CERTIFICATE OF AUTHORIZATION
RITENBURG & ASSOCIATES LTD.
NUMBER 52
PERMISSION TO CONSULT HELD BY:
DISCIPLINE SASK. REG. No. SIGNATURE
ELECTRICAL 4015 *JWR*

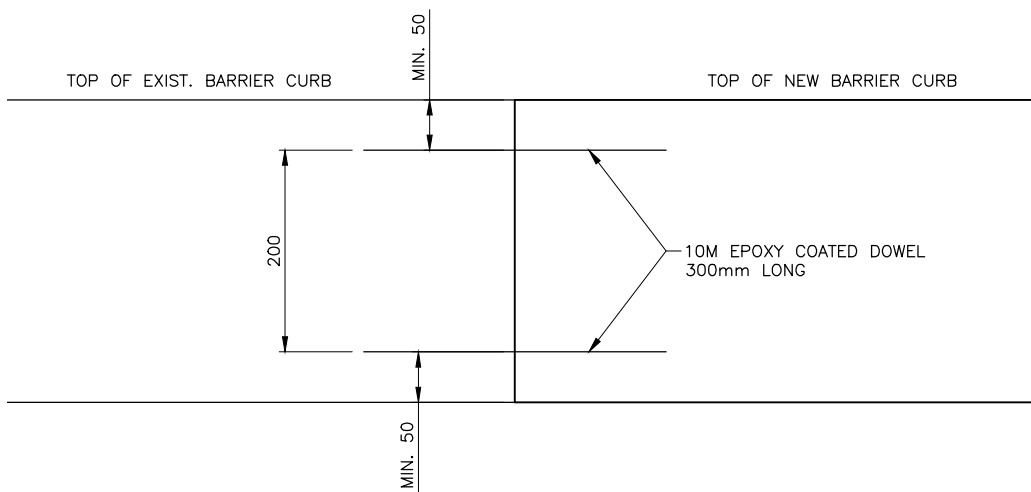
1 SITE PLAN
1:250

	PROJECT TITLE PARKING LOT EXPANSION CENTRAL DISTRICT BUILDING 400 BRAND PLACE SASKATOON, SK	Ritenburg & Associates Ltd. Consulting Electrical Engineers <small>4017 - 601 1st Avenue North Saskatoon, Saskatchewan S7K 1X7 P: (306) 244-1303 F: (306) 244-1307 Email: rita@ritenburg.com</small>	DATE 2015.07.31	PROJECT NO. S-19-2015
	DRAWING TITLE SITE PLAN		SCALE AS SHOWN	DRAWN DCH
<small>109 - 3725 Pasqua Street, Regina, SK, S4S 6W8 ph: (306) 569-2255 102 - 3718 Kinneer Place, Saskatoon SK, S7P 0A6 ph: (306) 652-6457 website: www.sepw.ca</small>			CHECKED DCH	

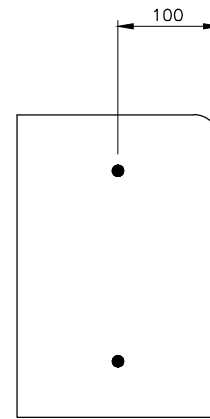


BARRIER CURB DETAIL

SCALE: N.T.S.



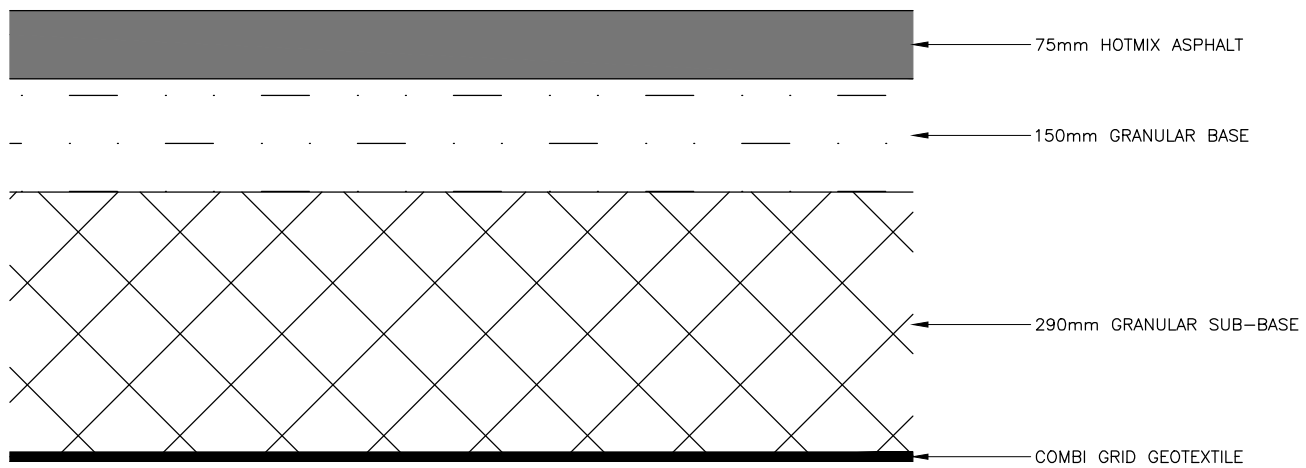
FRONT VIEW



SIDE VIEW

CURB JOINT DETAIL

SCALE: N.T.S.



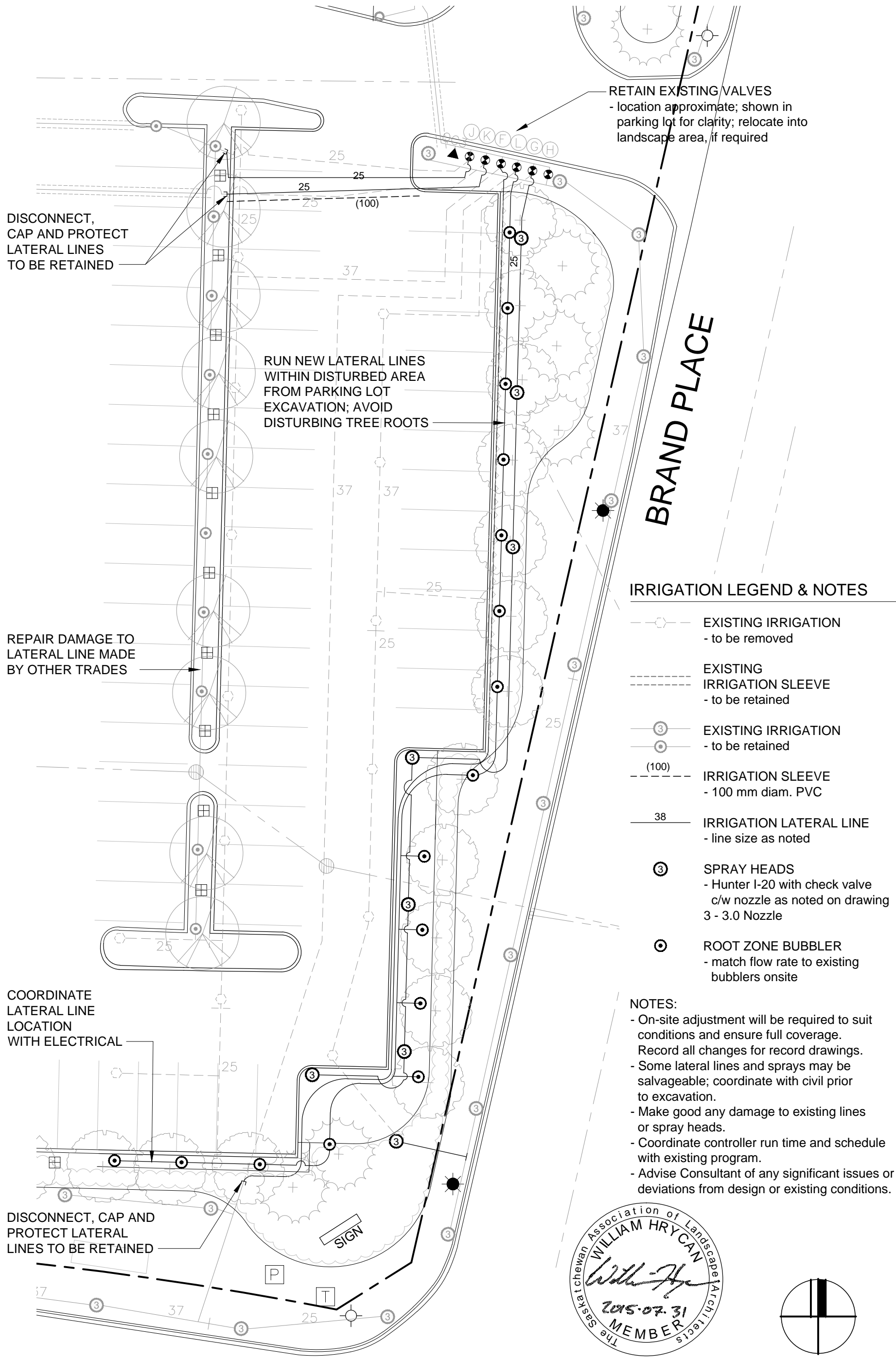
ASPHALT STRUCTURE

SCALE: N.T.S.



SEPW Architecture Inc.
 109-3725 Pasqua Street, Regina, SK, S4S 6W8 ph: (306) 569-2255
 102-3718 Kinneer Place, Saskatoon SK, S7P 0A6 ph: (306) 652-6457
 website: www.sepw.ca

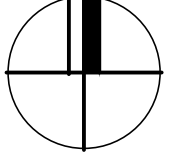
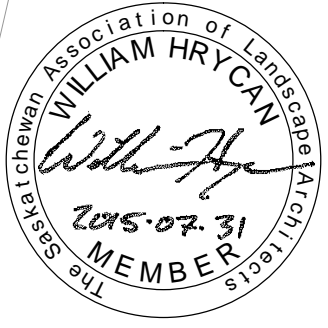
PROJECT TITLE PARKING LOT EXPANSION CENTRAL DISTRICT BUILDING 400 BRAND PLACE SASKATOON, SK	DATE 2015.07.31	PROJECT NO. S-19-2015
DRAWING TITLE DETAILS	SCALE AS SHOWN	DRAWING NO.
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	CHECKED BAL	
		CW 504-00802



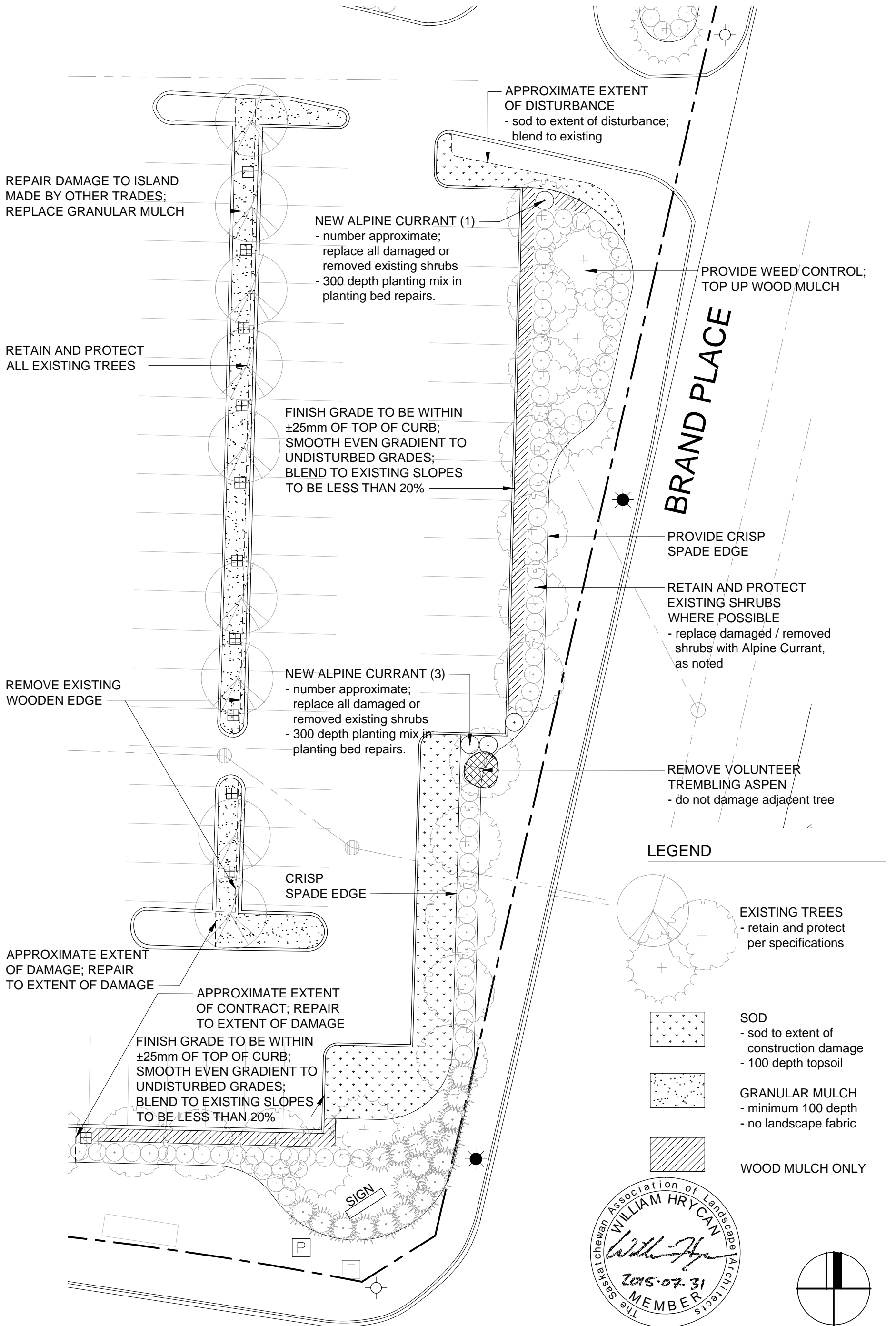
IRRIGATION LEGEND & NOTES

- EXISTING IRRIGATION - to be removed
- EXISTING IRRIGATION SLEEVE - to be retained
- EXISTING IRRIGATION - to be retained
- IRRIGATION SLEEVE - 100 mm diam. PVC
- IRRIGATION LATERAL LINE - line size as noted
- SPRAY HEADS - Hunter I-20 with check valve c/w nozzle as noted on drawing 3 - 3.0 Nozzle
- ROOT ZONE BUBBLER - match flow rate to existing bubblers onsite

- NOTES:**
- On-site adjustment will be required to suit conditions and ensure full coverage. Record all changes for record drawings.
 - Some lateral lines and sprays may be salvageable; coordinate with civil prior to excavation.
 - Make good any damage to existing lines or spray heads.
 - Coordinate controller run time and schedule with existing program.
 - Advise Consultant of any significant issues or deviations from design or existing conditions.



	<p>PROJECT TITLE RCMP BRAND COURT PARKING LOT</p> <p>SASKATOON, SK</p>	<p><small>407C 1st Ave. North Saskatoon, SK S7K 1X3 www.crosbyhanna.ca</small></p> <p><small>T (306) 665-3441 F (306) 652-9613</small></p>	<p>DATE 2015.07.31</p>	<p>PROJECT NO. S-19-2015 (CHA15051)</p>
	<p>DRAWING TITLE IRRIGATION</p>		<p>SCALE 1:250</p>	<p>DRAWN KS/SD</p>
<p><small>□ 109 - 3725 Pasqua Street, Regina, SK, S4S 6W8 ph: (306) 569-2255</small></p> <p><small>■ 102 - 3718 Kinneer Place, Saskatoon SK, S7P 0A6 ph: (306) 652-6457</small></p> <p><small>■ website: www.sepw.ca</small></p>			<p>CHECKED WH</p>	



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 ■ website: www.sepw.ca

PROJECT TITLE
RCMP BRAND COURT PARKING LOT

SASKATOON, SK

DRAWING TITLE
LANDSCAPE REPAIR

CROSBY HANNA & ASSOCIATES

407C 1st Ave. North
Saskatoon, SK S7K 1X3
www.crosbyhanna.ca

LANDSCAPE ARCHITECTURE
COMMUNITY PLANNING

T (306) 665-3441
F (306) 652-9613

DATE
2015.07.31

SCALE
1:250

DRAWN
KS/SD

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WH

PROJECT NO.
S-19-2015 (CHA15051)

DRAWING NO.
L-2