



Addendum / Addenda

No./N^o
2

Project Description / Description de projet VIC - RE-Roof		
Solicitation No./ No de sollicitation 15-22102	Project No./N ^o de projet	W.O. No./N ^o d'ordre de travail
Project Engineer / Ingénieur de projet Clyde Donnelly		Date October 19, 2015
<p>Notice: This addendum shall form part of the tender documents and all conditions shall apply and be read in conjunction with the original plans and specifications.</p>		<p>Nota: Cet addenda fait partie intégrale des dossiers d'appel d'offres; toutes les conditions énoncées doivent être lues et appliquées en conjonction avec les plans et les devis originaux.</p>

TITLE: SITE VISIT MINUTES - Victoria Re- Roof

DATE OF SITE VISIT: Tuesday October 6, 2015
SITE LOCATION: NRC, 5071 West Saanich Road Victoria BC

1.0 GENERAL

All content in this amendment forms part of the tender solicitation 15-22102 and is incorporated in any resultant contract.

1.1 IMPORTANT - REVISED DATES

TENDER CLOSING: Nov 02 2015, 2:00 PM (PST)

COMPLETION OF PROJECT: on or before March 31 2016 (refer to 2.3.6 of Minutes for additional information)

2.0 MINUTES OF SITE VISIT MEETING (Oct 6 2015) *

The following are the notes and information presented at the Site Visit at National Research Council of Canada, Institute for Astrophysics in Victoria, BC, on October 6, 2015. Note: Some information /specs presented at the meeting may have subsequently been revised and therefore reflected in the MINUTES herein.

***Note: There were no attendees to the additional Site Visit offered on Oct 13 2015.**

2.1 Attendees:

Michael Hare, Supervisor Material Management Services, NRC
Clyde Donnelly, Site Infrastructure Manager, NRC
Dave Campion, Site Infrastructure, NRC
Marlene Olsen, Admin Assist, NRC

Jim Watson, J. Watson Roofing Consulting Inc, (Consultant to NRC)

Jonathan Rudd, ALPHA ROOFING & SHEET METAL INC, john@alpharoofting.ca
Mitchel Wilson, TOP LINE ROOFING, mitchlr@outlook.com
Brian McDonald, PARKER JOHNSTON, brian@parkerjohnston.com
Ken Littleproud, FLYNN, klittleproud@flynne.ca

2.2 General:

The site visit commenced at 10:00 AM and adjourned at approximately 11:30 PM at the work site, (National Research Council of Canada, 5071 West Saanich Rd Victoria BC).

A review of the bid instructions, terms and conditions and scope of work was presented by Mike Hare, Clyde Donnelly of NRC and by Jim Watson, J. Watson Roofing Consulting Inc, (Consultant to NRC)

Following the meeting, the parties proceeded to a tour of the work site.

Mike Hare – Presentation

2.3.0 RE: TENDER INSTRUCTIONS AND CONDITIONS

Not all content within the tender documents was discussed at the site visit meeting and the following are highlights.

2.3.1 Bidder submission must include the completed and signed 4 page Construction form PLUS the Bid Security (bond) as called for in the tender.

Bids* must sent in a sealed envelope to prior to the tender closing:

**National Research Council of Canada
5071 West Saanich Road
Victoria BC
ATTN: Administrative Services Property Management**

***amendments** to bids must be sent prior to tender closing **via fax (613-991-3297)** to:
National Research Council of Canada
ATTN: Marc Bedard, Senior Contracting Officer
Building M-22
Montreal Road
Ottawa

- 2.3.2 Questions must be submitted in writing to the NRC Departmental Authority: Clyde.Donnelly@nrc-cnrc.gc.ca **no later than 10 days before tender closing** . NRC will provide a response to questions via an amendment issued to the tender on the Government tender site Buyandsell.gc.ca
- 2.3.3 Tender results: following tender closing, results shall be sent by fax to all Contractors that submitted a bid. The lowest or any tender may not be accepted .
- 2.3.4 After receipt of confirmation of acceptance of tender, the successful bidder shall provide all submittals (i.e. cost break down, performance security(bond) ,WCB letter of good standing, insurance) as called for in the tender.

Clyde Donnelly – Presentation

RE: Section 00 10 00

- 2.4.0 **Completion:** Discussion ensued regarding the impending fall/winter weather and the contractor community availability. It was agreed that a 31 March 2016 completion date would be the most reasonable schedule, (and that the revised completion date shall be confirmed by NRC in the amendment / MINUTES issued for this tender). However, it was stated that the open time line is not provided to allow the contractor use this project as a fill job (i.e. start and stop on this work.) The intent would be that the contractor would work continuously from start until finish as much as the weather will permit.

No work permitted during the NRC holiday shutdown , (24Dec2015 to 03Jan2016) .

- 2.4.1 Alternate Materials – Proposed alternates must be submitted within 10 working days to Clyde.Donnelly@nrc-cnrc.gc.ca **before tender closing** as stated in per the tender documents.
- 2.4.2 Personnel Security – All contractor or subcontractor staff working on site must be security cleared in accordance Security Requirement for Canadian Contractors in the Buy and Sell Notice. NRC will coordinate the clearance process with the Contractor’s personnel and there is no cost to the Contractor for the security clearance. Contractors’ employees who already have security clearance certificates, which are issued by other Federal Government Departments, may be deemed acceptable.
- 2.4.3 The building will be occupied by NRC. Do not restrict access or egress routes.
- 2.4.4 It was stated that the contractor is soles responsible for the construction safety of both its employees and those of its subcontractors at the work site. The contractor is the Prime Contractor.
- 2.4.5 The contractor and his/her staff must participate in a Pre-Construction Orientation and Safety meeting with the Departmental representative prior to commencing any work on site. Contractor will also develop a site specific Safety plan and provide a copy to the Departmental Representative.
- 2.4.6 It was indicated that a non destructive Hazardous materials survey was completed for this building in 2014. There was no asbestos detected in the shingles, caulking or stucco.
- The exterior paint had not been analyzed for lead content. Since with addendum 1stucco will need to be cut and cedar shake siding removed, NRC has enlisted a consultant to test for levels of lead in the exterior paint in these locations. Results of this analysis will be shared via an amendment which is anticipated by Oct 19th, 2015
- 2.4.7 Overloading - Contractor to ensure no part of the roof or work is subjected to a load which will endanger safety or cause permanent deformation or damage to the roof. Any staging /storage of materials on site must be approved by the NRC.
- 2.4.8 On a daily basis the contractor was reminded to maintain the project site in a clean and tidy manner.

- 2.4.9 No hot work is anticipated however if the Contractor encounters the need, a Hot Work Permit will need to be obtained through the Departmental Representative prior to any Hot Work occurring.
- 2.4.10 The contractor will require an accessible fire extinguisher on the roof.
- 2.4.11 Smoking is strictly prohibited on NRC property. Bidders were informed that those crews who choose to smoke; many only do so at West Saanich Road parking lot at our main entrance gate
- 2.4.12 Work on the site shall be within **the time frame of 8AM to 4PM (Monday to Friday)**.
- 2.4.13 The Contractor shall cooperate with the NRC Delegated Authority (J. Watson Roofing Consulting Inc.).
- 2.4.14 Within 2 weeks of contract award, Bidders were asked to provide an overview of an approximate schedule of the work to Clyde Donnelly, as occupants may require some advance notification. **All bidders deemed this as reasonable.** Start date tbd.
- 2.4.15 The Contractor shall cooperate with the NRC Delegated Authority (J. Watson Roofing Consulting Inc.).
- 2.4.16 The NRC site restrictions noted in the tender regarding Telephone, sanitary facilities and power were emphasized. Contractor will be required to supply a portable toilet on this project.

James (Jim) Watson, (J.Watson Roofing Consulting Inc.) – Presentation

RE: SPECIFICATIONS (prepared by Jim Watson Roofing Consulting INC. project # 719466)

- 2.5.0 Jim Watson provided an overview and explanation of the work and referred to the specifications and drawings in his presentation.
- 2.5.1 The following points were emphasized:
- (i) Application – *Section 07 53 60 , para 2.3.5* where the use of nail guns is not permitted for asphalt shingle application.
 - (ii) Supply and install roofing - *Section 07 53 60, SUMMARY 1.2, para .1.2* requires shingles with 3M Scotch Guard algae “block” granuals.
 - (iii) Other – Noted that building Grounding cables must be re-connected at the end of each work day.
- 2.5.2 Some of the specifications discussed at the site meeting may have been revised , (*refer to Section 4.0*).

3.0 SITE TOUR

All parties were present and the following items were emphasized during the Site Tour.

- 3.1.0 The site tour commenced with an interior 4th floor walk about of the offices, (it was noted that the offices had drywall ceilings) and was followed by a roof top walk about. Bidders had the opportunity to take pictures
- 3.1.1 Bidders had an opportunity to view the existing gutters. The existing good “leaf guard” gutters were to stay . All other gutters to be replaced and new gutters installed on all dormers where they don’t currently exist wherever possible. Therefore, any new gutters or those requiring replacement shall be similarly matched (as close as possible) per their respective profile and colour.

- 3.1.2 Cedar shake siding on the dormer to be ripped off and replaced with hardy board. Flashing detail for stucco finish included in addendum # 1.
- 3.1.3 1951 wing roof may be used to stage materials for the job. Plywood is to be laid down for protection of the flat roof . No overloading as per para 2.4.7 of these minutes. Manlift access may be permitted through the inner courtyard but the pavers and lawn area must be protected by plywood.
- 3.1.4 It was brought up that the Manufacturer will not warranty shingles without gutters or downspouts.
- 3.1.5 Question was raised about Soffit Venting and Jim Watson Roofing Consulting stated that there was just insulation in the attic. No additional soffit venting is required.
- 3.1.6 Jim Watson reiterated specified 5/8" plywood screwed application. Refer to attached Addendum for all new requirements.

3.1.7 EQUIPMENT & MACHINERY ACCESS TO WORK SITE

The following was noted during the site tour:

- i) Machines, lift equipment etc, may travel on the front lawn providing suitable ground protection (i.e. plywood) is used to prevent damage.
- ii) Some minor pruning or tie-up of branches on adjacent trees may be permitted to provide safe access to the work – BUT SHALL REQUIRE PRIOR APPROVAL OF THE ENGINEER.
- iii) Access to the interior courtyard is provided via the pathway along the left side of the main building. The top rail of the fence at the pathway is a lift-off design and will permit ease of access. It was reiterated that ground protection (i.e. plywood) must be used to prevent damage to all landscaping. Contractor to confirm all his own access measurement.
- iv) The opening at the rear of the building for access to the courtyard has a height dimension of approximately 97". However, it shall be the contractor's responsibility to confirm measurements and accessibility.
- v) No idling of internal combustion engines (vehicles and equipment) can occur in the loading dock parking area, which is adjacent to the building main intake vent.

4.0 **Scope Revision**

NOTE: In addition to the items mentioned in the preceding MINUTES, the following specifications supersede the original tender and shall form any resultant contract.

(Prepared by Jim Watson Roofing Consulting INC.)

Drawing Number A-08 " Steep slope cut stucco wall detail"

Under Section 00 10 00 GENERAL INSTRUCTIONS on Page 1 of 11

3. COMPLETION

DELETE:

.1 Complete all work within 6 week(s) after receipt of notification of acceptance of tender.

ADD:

.1 Complete all work prior to the 31st day of March 2016 upon receipt of notification of acceptance of tender.

Under Section 07 53 60 ASPHALT SHINGLES on Page 1 of 9

.1 General scope of work includes, but is not limited to, the following:

DELETE:

.2 and synthetic underlayment directly after self-adhered SBS eave protection,

ADD:

.2 Self-adhesive SBS eave protection and underlayment, AND: directly after down pipes ADD: that match or are similar in design to the existing lower Leaf Guard brand gutters and stop downpipes from upper gutters 600mm (24") from existing lower gutters. All the upper fascia and rafter tails to have new gutters and down pipes.

Under Section 07 53 60 ASPHALT SHINGLES on Page 1 of 9

.1 General scope of work includes, but is not limited to, the following:

ADD:

.8 Supply and install 26 gauge pre-painted galvanized metal cap flashing to top of parapet wall at front of building in a stock colour of the owner's representative's choice. And installation of synthetic underlayment as well as cementitious siding, with simulated wood board finish, fastened at 175mm (7") exposure and pre-painted with exterior grade paint in a colour of the owner's representative's choice prior to installation.

ADD:

.9 Remove and dispose of existing cedar shingle siding from all roof wall interfaces and repair damaged wood substrate. And supply and install synthetic underlayment as well as cementitious siding, with simulated wood board finish, fastened for 175mm (7") exposure and pre-painted with exterior grade paint in a colour of the owner's representative's choice prior to installation.

Under Section 07 53 60 ASPHALT SHINGLES on Page 1 of 9

.1 General scope of work includes, but is not limited to, the following:

ADD:

.10 Cut existing stucco wall finishes at roof wall transitions and remove existing metal flashing and; supply and install new two piece metal flashing wall detail as per attached Surface Reglet Flashing Stucco Wall Detail A-08.

Under Section 07 53 60 ASPHALT SHINGLES on Page 1 of 9

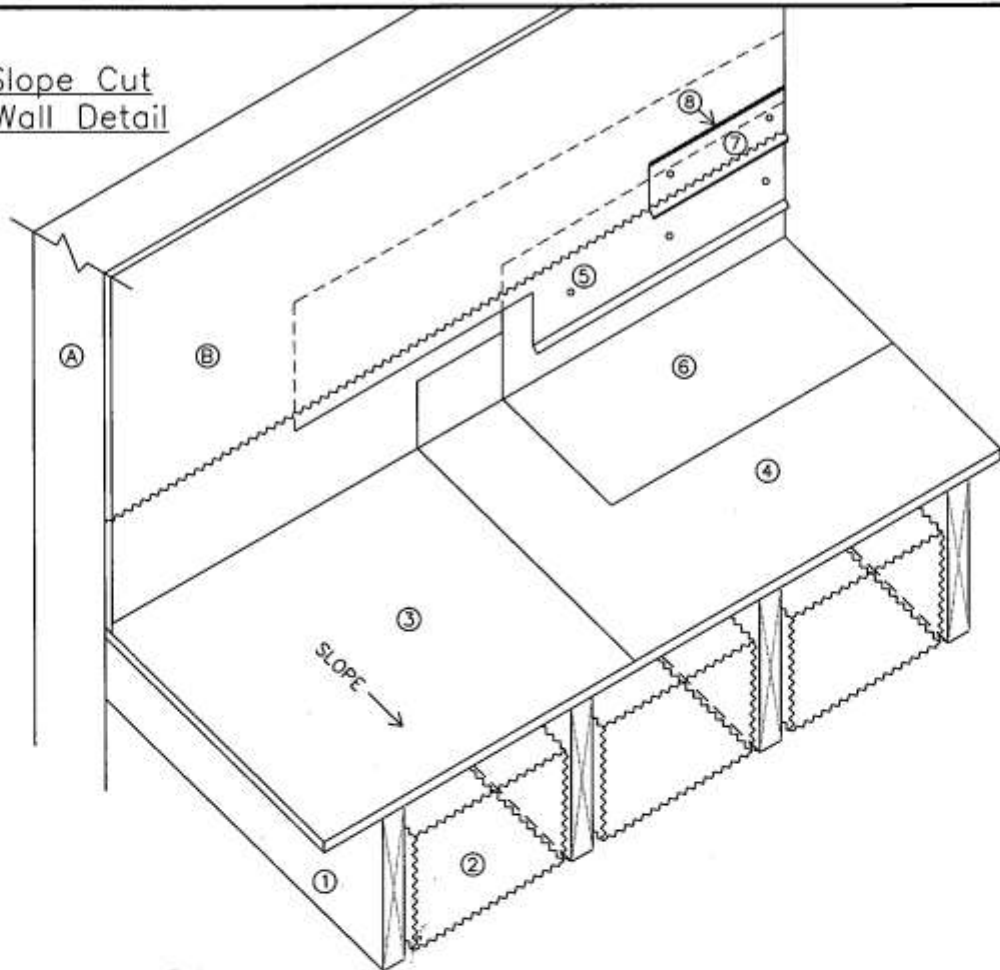
.1 General scope of work includes, but is not limited to, the following:

ADD:

.11 Supply and fasten wood shims to support 15.9mm (5/8") over the existing rafter hump and straighten ridge (peak).

NOTE: Attachment: Surface Reglet Flashing Stucco Wall Detail A-08.

Steep Slope Cut
Stucco Wall Detail



1. Wood Rafter
2. Batt Insulation (62mm (2½") Lower Than Bottom of Plywood Deck)
3. 15.9mm (¾") Sheathing On Existing Deck
4. Underlay Membrane
5. Metal Flashing
6. Wall Base Flashing(Under Stucco Wall Finish)
7. Surface Reglet Flashing Pinned to Wall at 200mm(8") O/C Through Stucco
- B. Approved Caulking

- A. Existing Wall
- B. Existing Stucco(Saw Cut 250mm (10") Above Roof Surface)

NOTE: Asphalt Shingles Not Shown For Clarity

NRC Herzberg Astronomy And Astrophysics (Victoria)
Bldg #VIC 01 (1916 Wing)
2015 Roof Replacements
PROJECT #: 719466

J. WATSON ROOFING CONSULTING INC.
ROOFING AND WATERPROOFING CONSULTANT
224 Seafield Road, Victoria BC, V9C 1S5
Phone: (250) 391-7887 Fax: (250) 391-7887

DESIGNED:
JW

SCALE:

DRAWING NUMBER:

DRAWN:
MR

DATE:
October 12, 2015

A-08

END / FIN