



KEY PLAN



DO NOT SCALE DRAWINGS

Revision/Revisión	Description/Description	Date/Date
3	ISSUED FOR CONSTRUCTION	15/11/20
2	100% CD SUBMISSION	15/10/20
1	99% CD SUBMISSION	15/09/20
0	50% CD SUBMISSION	15/08/14

CANADA SCHOOL OF PUBLIC SERVICE (CSPS)

Winnipeg
Manitoba

Project title/Titre du projet

2ND FLOOR - 391 YORK AVENUE
WINNIPEG, MANITOBA

CSPS WINNIPEG FIT-UP

Approved by/Approuvé par

SS

Designed by/Concept par

BP

Drawn by/Dessiné par

HR

PWGSC Project Manager/Administrateur de Projets TPSCG

JOHN ALBIN

PWGSC, Architectural and Engineering Resources Manager/
Ressources Architectural et de Directeur d'Ingénierie, TPSCG

Client/client

PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

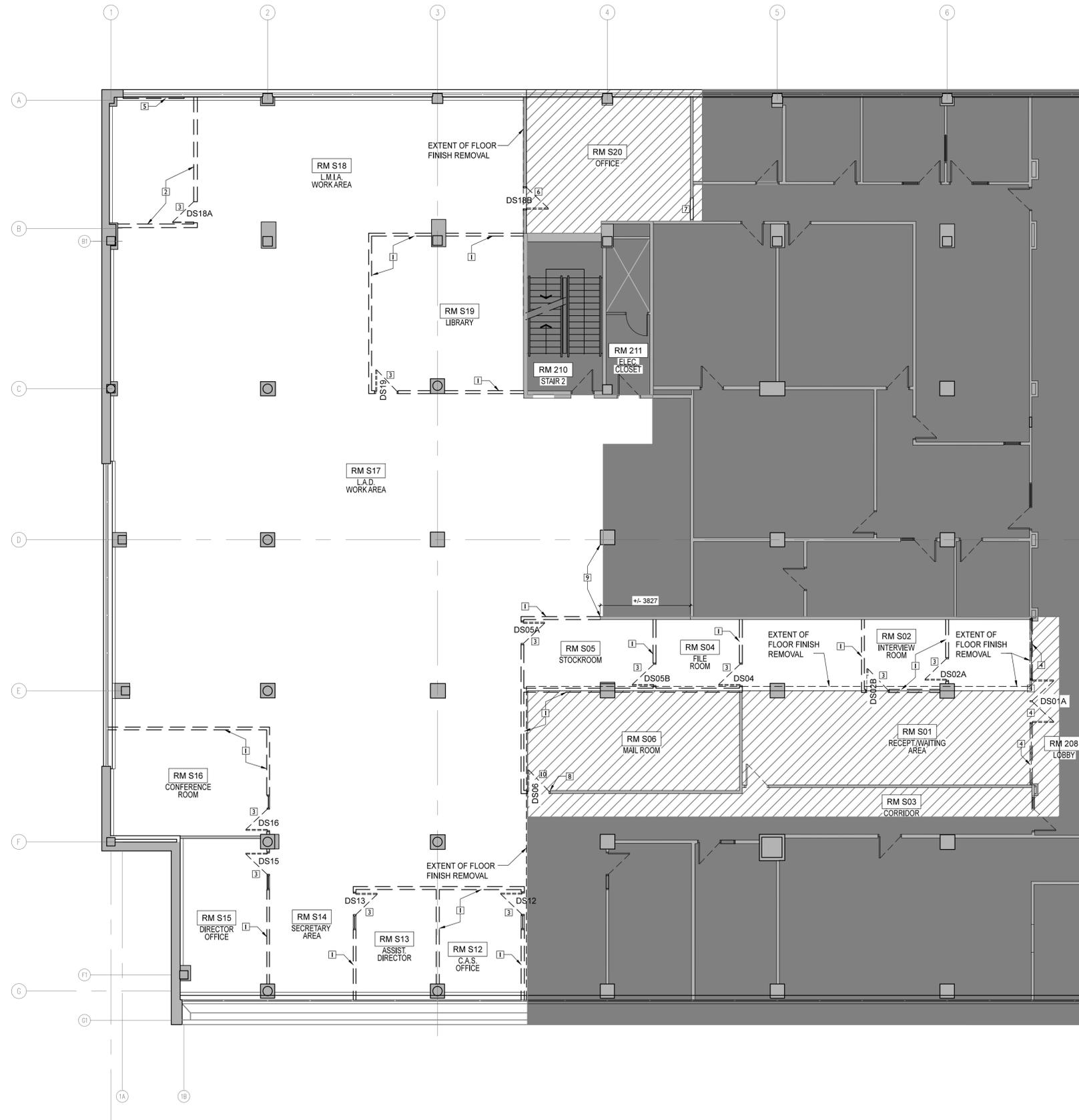
Drawing title/Titre du dessin

SECOND FLOOR EXISTING /
DEMOLITION FLOOR PLAN

Project No./No. du projet
R.060508.003

Sheet/Feuille
A2
OF 10

Revision no./
La Révision
no.
3



FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALL
- EXISTING WALL CONSTRUCTION TO REMAIN
- WALLS TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- AREA NOT WITHIN SCOPE OF RENOVATION
- LIMITED SCOPE OF WORK
NOTE: TO INCLUDE DEMO OF INDICATED WALLS AND MECH. & ELEC. WORK (AS INDICATED ON MECH & ELEC). FINISHES TO REMAIN. NOT REQUIRED TO MAKE GOOD EXISTING IN AREAS LABELED AS LIMITED SCOPE.

KEYNOTES

- 1 REMOVE EXISTING WALL CONSTRUCTION. PATCH & REPAIR ADJACENT WALLS TO REMAIN.
- 2 REMOVE EXISTING PANEL WALL SYSTEM AND RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
- 3 REMOVE EXISTING DOOR AND FRAME. RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
- 4 DISASSEMBLE DOOR DS01A, FRAME AND GLAZING TO RE-INSTALL IN NEW ENTRY
- 5 REMOVE TEMPORARY RIGID WINDOW SCREEN.
- 6 REMOVE EXISTING DOOR DS18B, FRAME & HARDWARE FOR RE-INSTALL AS DOOR D01 (NEW ENTRY TO FUTURE TENANT ROOM RM01) IN FUTURE TENANT SPACE (REFER TO A4, NOTE 12).
- 7 REMOVE SECTION OF WALL TO ACCOMMODATE NEW DOOR.
- 8 REMOVE WALL TO ROUGH OPENING
- 9 REMOVE EXISTING WALL TO LINE UP WITH FACE OF COLUMN.
- 10 REMOVE EXISTING DOOR DS06, FRAME & HARDWARE FOR RE-INSTALL AS DOOR DS20 (NEW ENTRY TO FUTURE TENANT ROOM RM S20) IN FUTURE TENANT SPACE (REFER TO A4, NOTE 10).

GENERAL NOTES

1. REMOVE EXISTING FLOORING AND BASE. PREPARE SURFACE FOR NEW FINISH AS INDICATED.
2. REMOVE EXISTING WINDOW COVERINGS.
3. PROTECT ALL EXISTING SURFACES TO REMAIN FROM DAMAGE. IF ANY SURFACES OR SYSTEMS BECOME DAMAGED, REPAIR TO SATISFACTION OF DEPARTMENTAL REPRESENTATIVE.
4. REMOVE EXISTING DOORS, FRAMES & HARDWARE AND RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
5. CONFIRM ALL "FIRST RIGHT OF REFUSAL" DEMOLITION REQUIREMENTS AT CONTRACTOR WALK THROUGH WITH DEPARTMENTAL REPRESENTATIVE PRIOR TO BIDDING.
6. REMOVE HORIZONTAL PLAM FINISH ON WINDOW SILL. BULLNOSE FINISH TO REMAIN. PREPARE SUBSTRATE FOR NEW FINISH.

1 SECOND FLOOR EXISTING / DEMOLITION PLAN
A2 SCALE: 1:100

