

1 SECOND FLOOR EXISTING / DEMOLITION PLAN
A2 SCALE: 1:100

FLOOR PLAN LEGEND

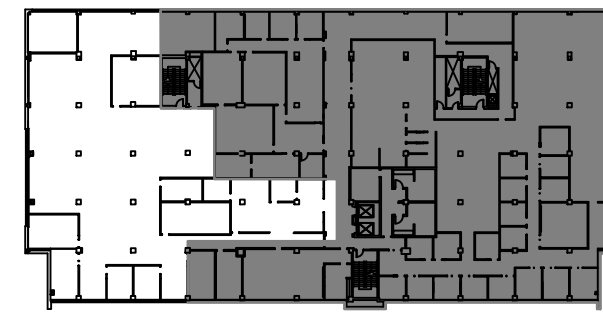
- EXISTING EXTERIOR WALL
- EXISTING WALL CONSTRUCTION TO REMAIN
- WALLS TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- AREA NOT WITHIN SCOPE OF RENOVATION
- LIMITED SCOPE OF WORK
NOTE: TO INCLUDE DEMO OF INDICATED WALLS AND MECH. & ELEC. WORK (AS INDICATED ON MECH & ELEC). FINISHES TO REMAIN. NOT REQUIRED TO MAKE GOOD EXISTING IN AREAS LABELED AS LIMITED SCOPE.

KEYNOTES

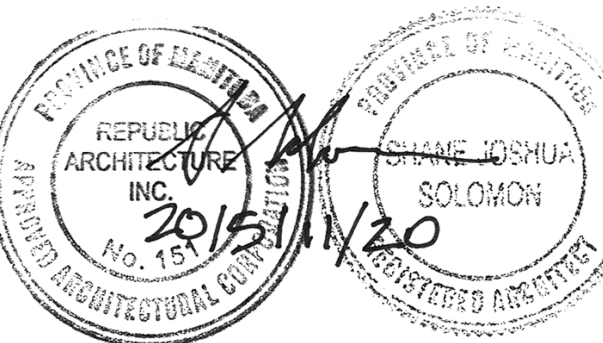
- REMOVE EXISTING WALL CONSTRUCTION. PATCH & REPAIR ADJACENT WALLS TO REMAIN.
- REMOVE EXISTING PANEL WALL SYSTEM AND RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
- REMOVE EXISTING DOOR AND FRAME. RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
- DISASSEMBLE DOOR DS01A, FRAME AND GLAZING TO RE-INSTALL IN NEW ENTRY
- REMOVE TEMPORARY RIGID WINDOW SCREEN.
- REMOVE EXISTING DOOR DS18B, FRAME & HARDWARE FOR RE-INSTALL AS DOOR D01 (NEW ENTRY TO FUTURE TENANT ROOM RM01) IN FUTURE TENANT SPACE (REFER TO A4, NOTE 12).
- REMOVE SECTION OF WALL TO ACCOMMODATE NEW DOOR.
- REMOVE WALL TO ROUGH OPENING
- REMOVE EXISTING WALL TO LINE UP WITH FACE OF COLUMN.
- REMOVE EXISTING DOOR DS06, FRAME & HARDWARE FOR RE-INSTALL AS DOOR DS20 (NEW ENTRY TO FUTURE TENANT ROOM RM S20) IN FUTURE TENANT SPACE (REFER TO A4, NOTE 10).

GENERAL NOTES

- REMOVE EXISTING FLOORING AND BASE. PREPARE SURFACE FOR NEW FINISH AS INDICATED.
- REMOVE EXISTING WINDOW COVERINGS.
- PROTECT ALL EXISTING SURFACES TO REMAIN FROM DAMAGE. IF ANY SURFACES OR SYSTEMS BECOME DAMAGED, REPAIR TO SATISFACTION OF DEPARTMENTAL REPRESENTATIVE.
- REMOVE EXISTING DOORS, FRAMES & HARDWARE AND RETURN TO OWNER FOR FIRST RIGHT OF REFUSAL.
- CONFIRM ALL "FIRST RIGHT OF REFUSAL" DEMOLITION REQUIREMENTS AT CONTRACTOR WALK THROUGH WITH DEPARTMENTAL REPRESENTATIVE PRIOR TO BIDDING.
- REMOVE HORIZONTAL PLAM FINISH ON WINDOW SILL. BULLNOSE FINISH TO REMAIN. PREPARE SUBSTRATE FOR NEW FINISH.



KEY PLAN



DO NOT SCALE DRAWINGS

Revision/Revision	Description/Description	Date/Date
3	ISSUED FOR CONSTRUCTION	15/11/20
2	100% CD SUBMISSION	15/10/29
1	99% CD SUBMISSION	15/09/28
0	50% CD SUBMISSION	15/08/14

CANADA SCHOOL OF
PUBLIC SERVICE (CSPS)

Winnipeg
Manitoba

Project title/Titre du projet

2ND FLOOR - 391 YORK AVENUE
WINNIPEG, MANITOBA

CSPS WINNIPEG FIT-UP

Approved by/Approuvé par
SS

Designed by/Concept par
BP

Drawn by/Dessiné par
HR

PWGSC Project Manager/Administrateur de Projets TPSCG
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PWGSC, Architectural and Engineering Resources Manager/
Ressources Architectural et de Directeur d'ingénierie, TPSCG

Client/client
PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

Drawing title/Titre du dessin

SECOND FLOOR EXISTING /
DEMOLITION FLOOR PLAN

Project No./No. du
projet
R.060508.003

Sheet/Feuille
A2
OF 10

Revision no./
La Révision
no.
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