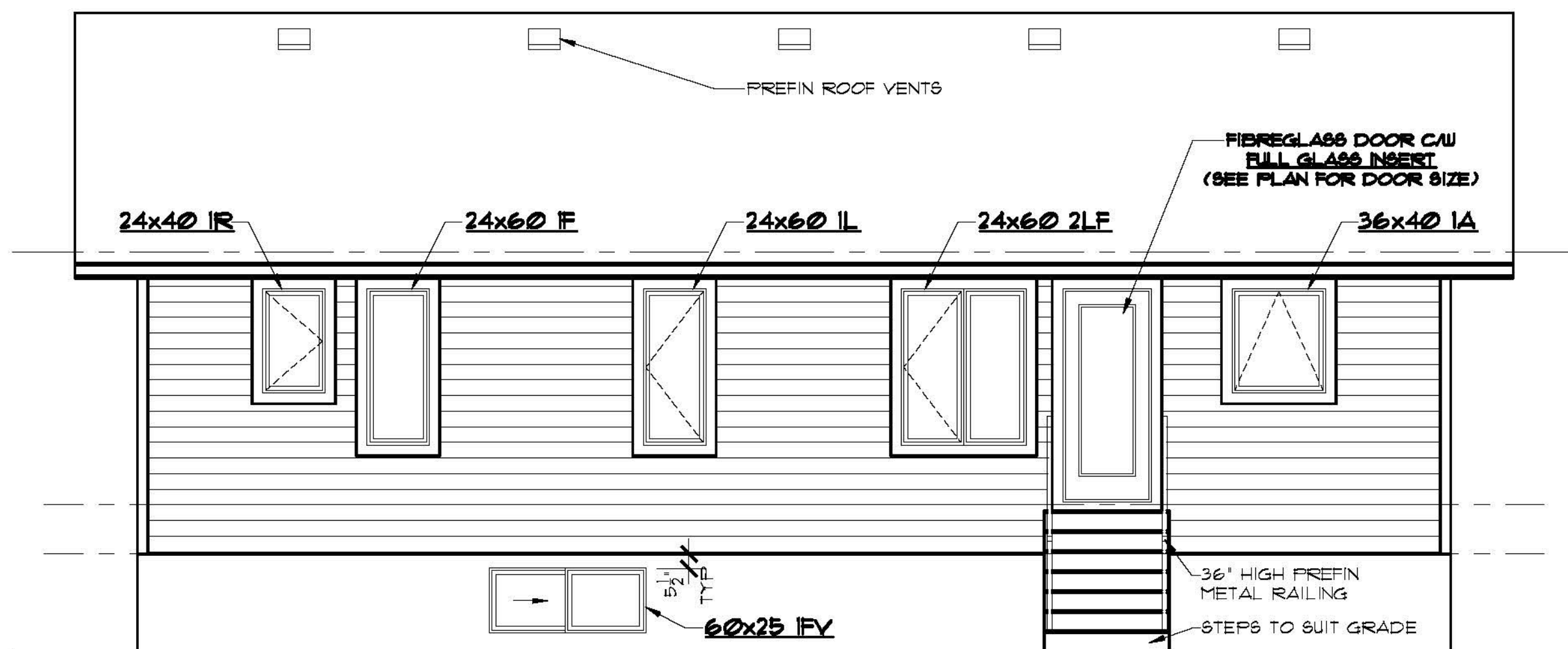


SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

ABBREVIATIONS:

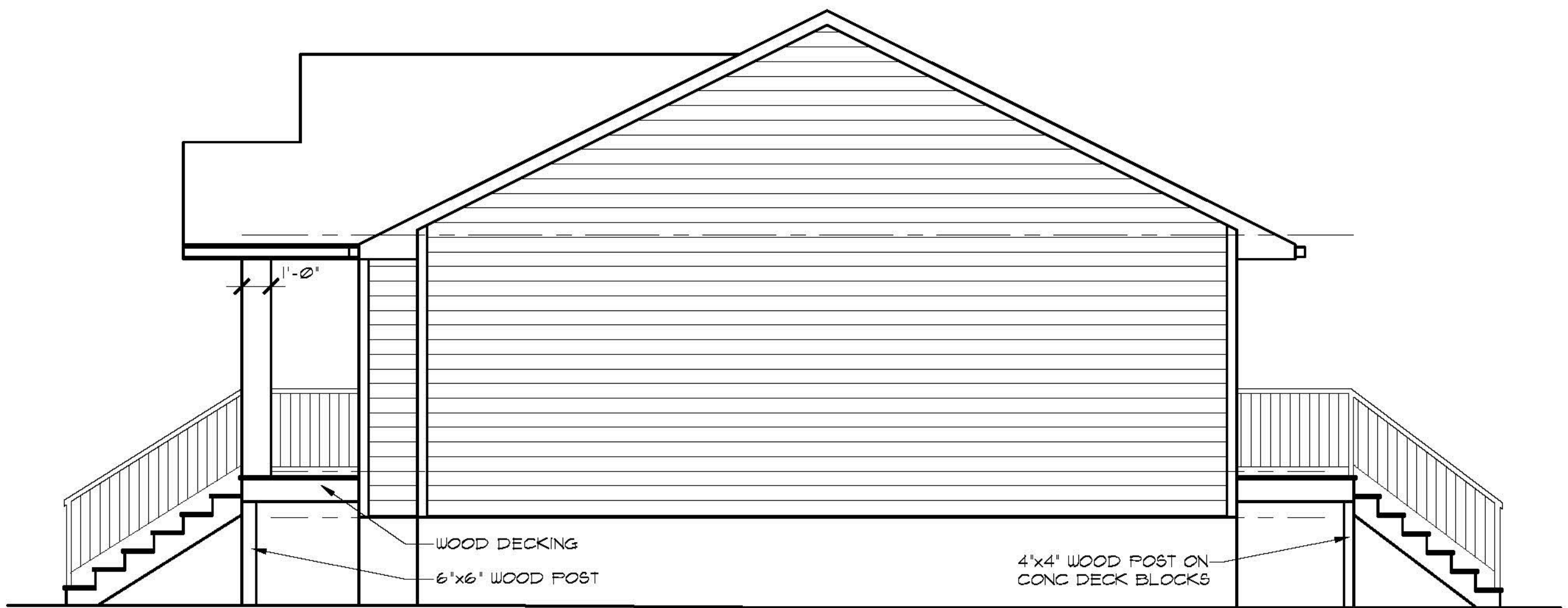
UNO - UNLESS NOTED OTHERWISE
TYP - TYPICAL
U/S - UNDER SIDE
C/W - COMPLETE WITH
R.O. - ROUGH OPENING
O.C. - ON CENTER
LBW - LOAD BEARING WALL
T/O - TOP OF
SH - SHELF
COL - COLUMN
CJ - CONTROL JOINT
WD - WOOD
CONC - CONCRETE
PREFIN - PREFINISHED
FLR - FLOOR
CLG - CEILING
HT - HEIGHT

ELEVATION NOTES:

- WINDOWS AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
- WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC.
- TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM.
- SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.

GENERAL NOTES:

- BUILDER TO CONFORM TO NATIONAL BUILDING CODE OF CANADA (2010) PART 9.
- DRAWINGS NOT TO BE SCALED.
- BUILDER SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE.
- DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS UNO. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
- NO MODIFICATIONS PERMITTED TO STRUCTURE WITHOUT WRITTEN APPROVAL OF BUILDER'S STRUCTURAL ENGINEER.
- ALL BEAMS & HEADERS TO BE SIZED BY OTHERS TO SUIT STRUCTURAL LOADING.
- IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE BUILDER'S SPECS, THE SPECS SHALL OVERRULE THE DRAWINGS.

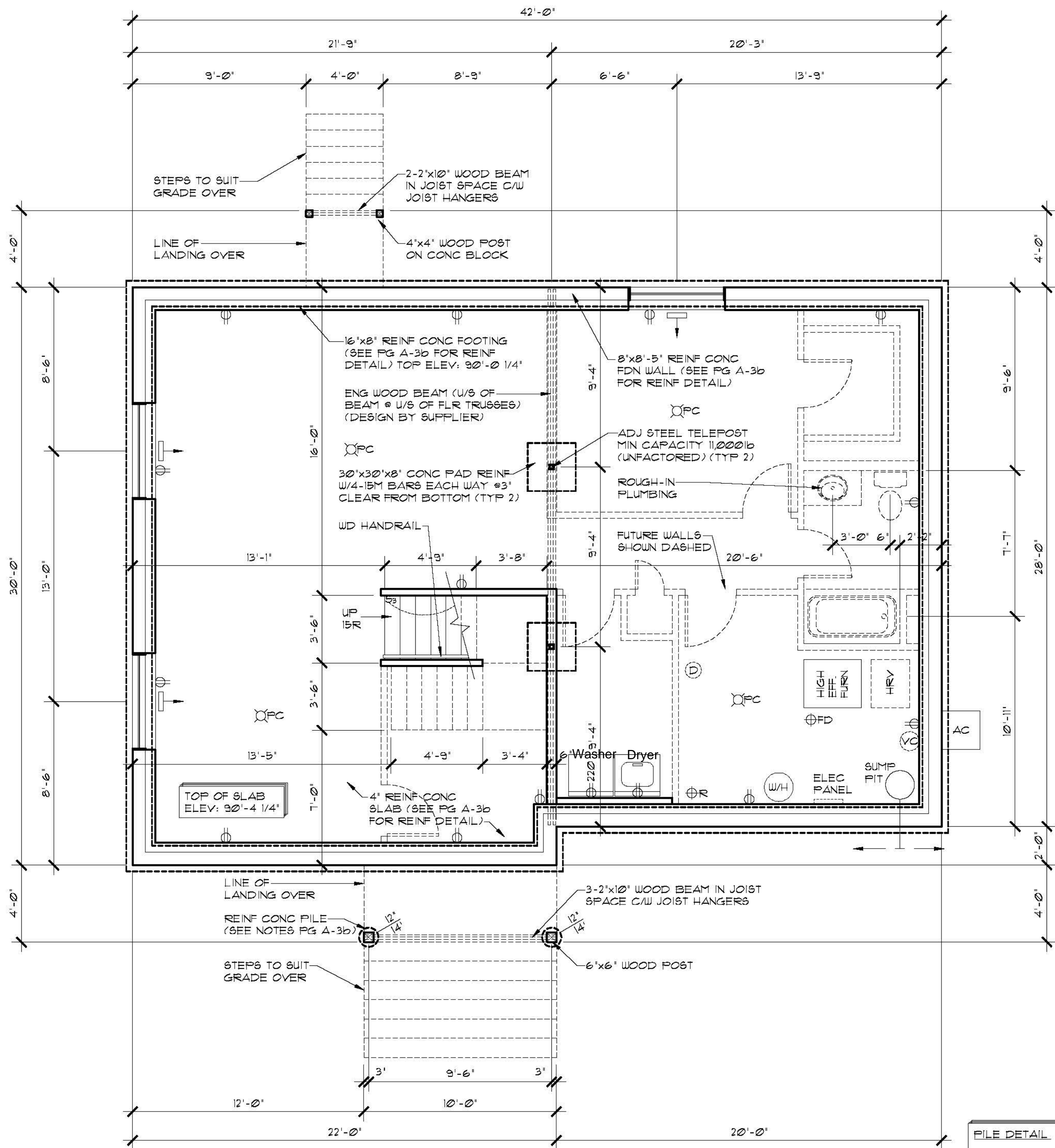


EAST ELEVATION
SCALE: 1/4" = 1'-0"

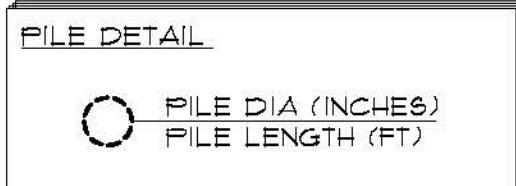


WEST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION GLAZED OPENING CALC'S:
LIMITING DISTANCE = 12m
MAX % OF GLAZED OPENINGS = 7% (NBC 9.10.15.4)
EXPOSED BUILDING FACE AREA = 380 SQ FT
AREA OF GLAZED OPENINGS (%) = 21 SQ FT (5.6%)



BASEMENT PLAN
SCALE: 1/4" = 1'-0"



For Foundation
(Note Soil
Conditions &
Risk Advisory)

SOIL CONDITIONS & RISK ADVISORY:

NO SOILS INFORMATION WAS AVAILABLE OR PROVIDED FOR DESIGN PURPOSES. FOOTINGS HAVE BEEN SPECIFIED AND DESIGNED ASSUMING THAT SOIL IS DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, WHICH IS LESS SUSCEPTIBLE TO VOLUME CHANGES WITH CHANGES IN MOISTURE CONTENT. AN ALLOWABLE BEARING PRESSURE OF 1650 psf HAS BEEN ASSUMED FOR FOOTINGS AND A SKIN FRICTION VALUE OF 500 psf HAS BEEN ASSUMED FOR PILES. NOTE THAT FOOTINGS ARE PARTICULARLY SUSCEPTIBLE TO MOVEMENT IN PLASTIC CLAY SOILS WHICH ARE SUSCEPTIBLE TO VOLUME CHANGES WHEN MOISTURE CONTENT CHANGES. THIS MOVEMENT CAN CAUSE DAMAGE TO FINISHES WITHIN THE STRUCTURE AND TO THE STRUCTURE ITSELF.

BUILDER IS TO INFORM STRUCTURAL ENGINEER IF SOIL IS NOT DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, SINCE THE FOUNDATION TYPE OR FOUNDATION DETAILS MAY NEED TO BE REVISED TO SUIT A DIFFERENT SOIL TYPE.

THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR DAMAGES OR DELAYS CAUSED BY SITE CONDITIONS OR SOIL CONDITIONS WHICH DIFFER FROM THOSE UPON WHICH THE DESIGN HAS BEEN BASED. OWNER IS ALSO ADVISED THAT CONCRETE SLAB ON GRADE FLOORS MAY SETTLE/HEAVE CAUSING DAMAGE WHICH IS BEYOND THE CONTROL AND RESPONSIBILITY OF THE DESIGNER.

THESE DRAWINGS ARE STAMPED BASED UPON THE UNDERSTANDING THAT OWNER HAS ACKNOWLEDGED AND ACCEPTED THE RISKS AS DESCRIBED ABOVE.

MECHANICAL/ELECTRICAL LEGEND

| | |
|--|---|
| | SUPPLY AIR REGISTER |
| | RETURN AIR REGISTER |
| | CARBON MONOXIDE/SMOKE DETECTOR |
| | ROUGH IN FOR CENTRAL VAC CANISTER |
| | DUPLEX RECEPTACLE |
| | SWITCH |
| | THREE WAY SWITCH |
| | INCANDESCENT LIGHT FIXTURE |
| | WALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| | PULL CHAIN INCANDESCENT LIGHT FIXTURE |

BASEMENT NOTES:

- DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS UN.O. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
- REFER TO SECTIONS FOR FULL WALL & FLOOR ASSEMBLIES.
- ALL BASEMENT WALLS SHOULD BE BUILT WITH FLOAT SPACE TO PERMIT UPWARD MOVEMENT OF BASEMENT FLOOR SLAB.
- ELECTRICAL/MECHANICAL EQUIPMENT LOCATIONS SUBJECT TO CHANGE AT CONTRACTORS DISCRETION.
- INSTALL RADON ROUGH-IN PIPE (R) C/W SEALED CAP FOR FUTURE DEPRESSURIZATION SYSTEM. SEE PLAN FOR VENT LOCATION. RUN OTHER END UNDER SLAB TO CENTRE OF BUILDING FOOTPRINT.
- PROVIDE 4" DIA WEEPING TILE C/W GRAVEL COVER FOR PERIMETER FOUNDATION DRAINAGE SLOPED AND CONNECTED TO SUMP PIT.

ROBINSON RESIDENTIAL
PERSONALIZING HOME DESIGN

PROJECT
SINGLE FAMILY
2232 2ND AVENUE
REGINA, SASKATCHEWAN
CANADA S4R 1K3
TEL: (306) 352-6617
FAX: (306) 352-6619

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LOT 11 4TH AVENUE
CANORA, SASKATCHEWAN

SCALE
1/4" = 1'-0"

DESIGNED BY
DM

DRAWN BY
TVDK

DATE
SEPT. 22, 2015

DRAWING NO.

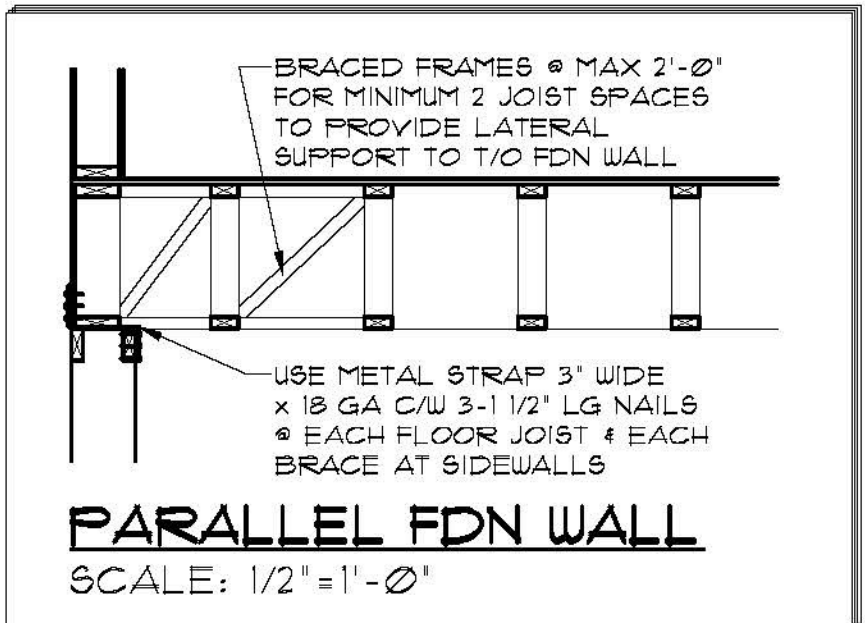
DRAWING TITLE
BASEMENT PLAN

A-3a

Association of Professional Engineers & Geoscientists
of Saskatchewan
CERTIFICATE OF AUTHORIZATION
Beam and Basement Design Ltd.
Number 33214
Permission to Consult held by:
Discipline: Civil Sk. Reg. No. 05968 Signature: *[Signature]*



For Foundation
(Note Soil
Conditions &
Risk Advisory)



STRUCTURAL NOTES
1. ALL BASEMENT WALLS SHOULD BE BUILT WITH FLOAT SPACE TO PERMIT UPWARD MOVEMENT OF BASEMENT FLOOR SLAB.

CONCRETE TO CSA A23.1
1. FOOTINGS & PILES:
25 MPa, TYPE 50, AIR 4-6%, SLUMP 80±30mm.
2. WALLS:
25 MPa, TYPE 50, AIR 4-6%, 80±30mm.
3. BASEMENT FLOOR:
25 MPa, TYPE 10, AIR NIL, SLUMP 80±30mm.

REINFORCING TO CSA G30.18
1. TIES GRADE 300
2. ALL OTHER BARS GRADE 400

FILES:
1. ALL PILES TO BE REINFORCED WITH 2-15M VERT FULL LENGTH, NO TIES.
2. EXTEND VERT REINF 22" INTO GRADE BEAMS & WALLS
3. REFER TO SECTIONS & DETAILS FOR FILE CUT-OFF ELEVATIONS
4. PILES HAVE BEEN DESIGNED ON AN ASSUMED SKIN FRICTION VALUE OF 500 psf.

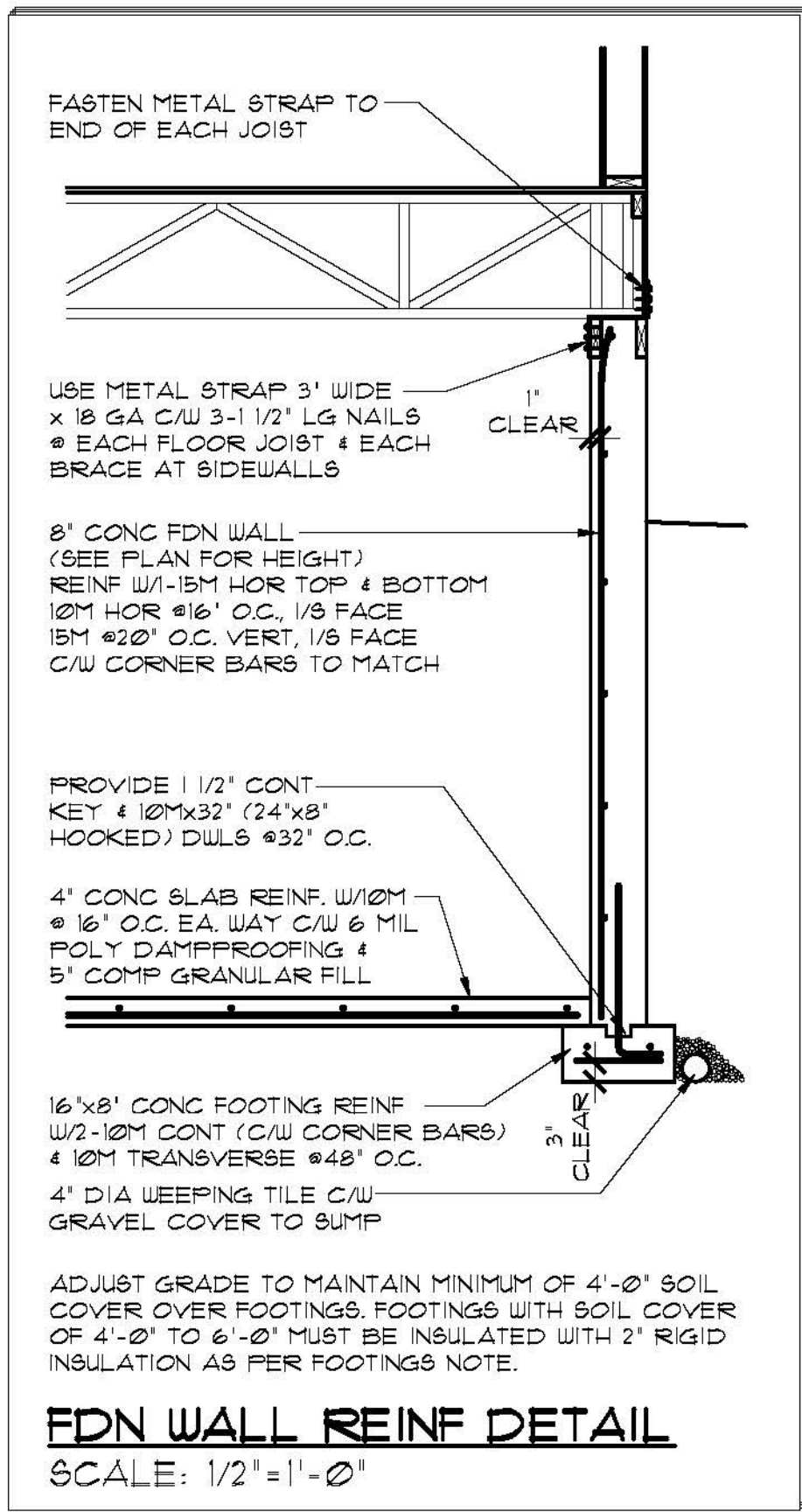
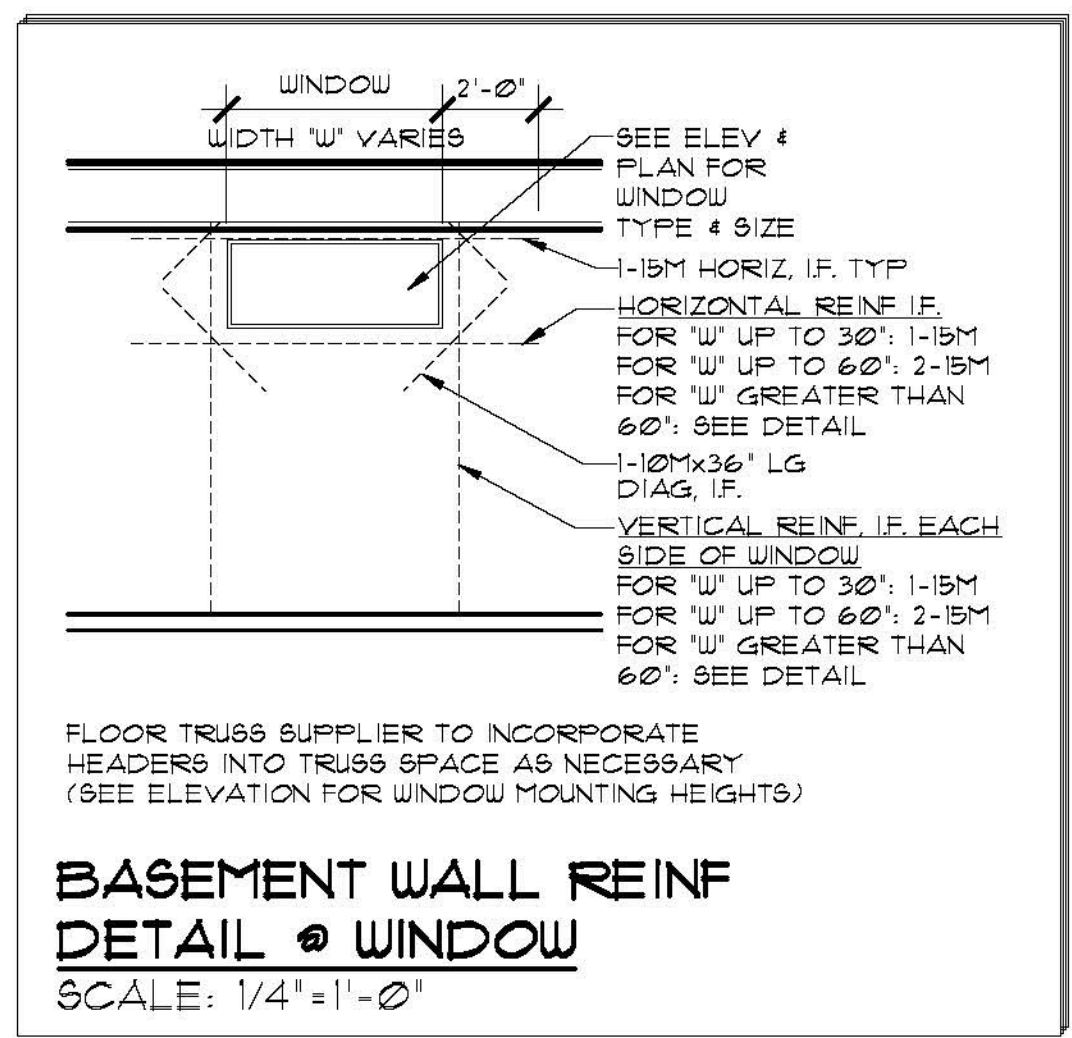
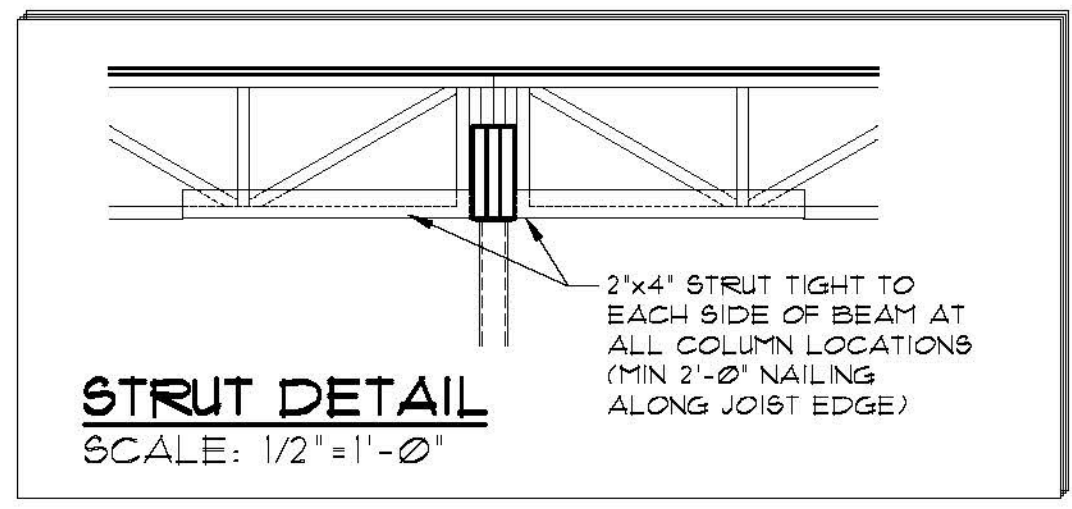
FOOTINGS:
1. ALL CONCRETE FOOTINGS TO BE FOUNDED ON SOUND, DRY, UNDISTURBED SOIL. SOIL BELOW FOOTINGS MUST BE FREE OF FROST AND NOT PERMITTED TO FREEZE.
2. FOOTINGS WITH SOIL COVER OF 6'-0" AND GREATER MAY BE UNINSULATED.
3. FOOTINGS WITH SOIL COVER OF 4'-0" TO 6'-0" MUST BE INSULATED WITH A MINIMUM OF 2" RIGID INSULATION SET ON TOP OF THE FOOTING AND EXTENDED A MINIMUM OF 4'-0" FROM THE EXTERIOR FACE OF THE FOUNDATION WALL.
4. FOOTINGS WITH SOIL COVER LESS THAN 4'-0" ARE NOT PERMITTED.

SOIL CONDITIONS & RISK ADVISORY:
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LOT 11 4TH AVENUE
CANORA, SASKATCHEWAN

SCALE AS SHOWN

DESIGNED BY DM

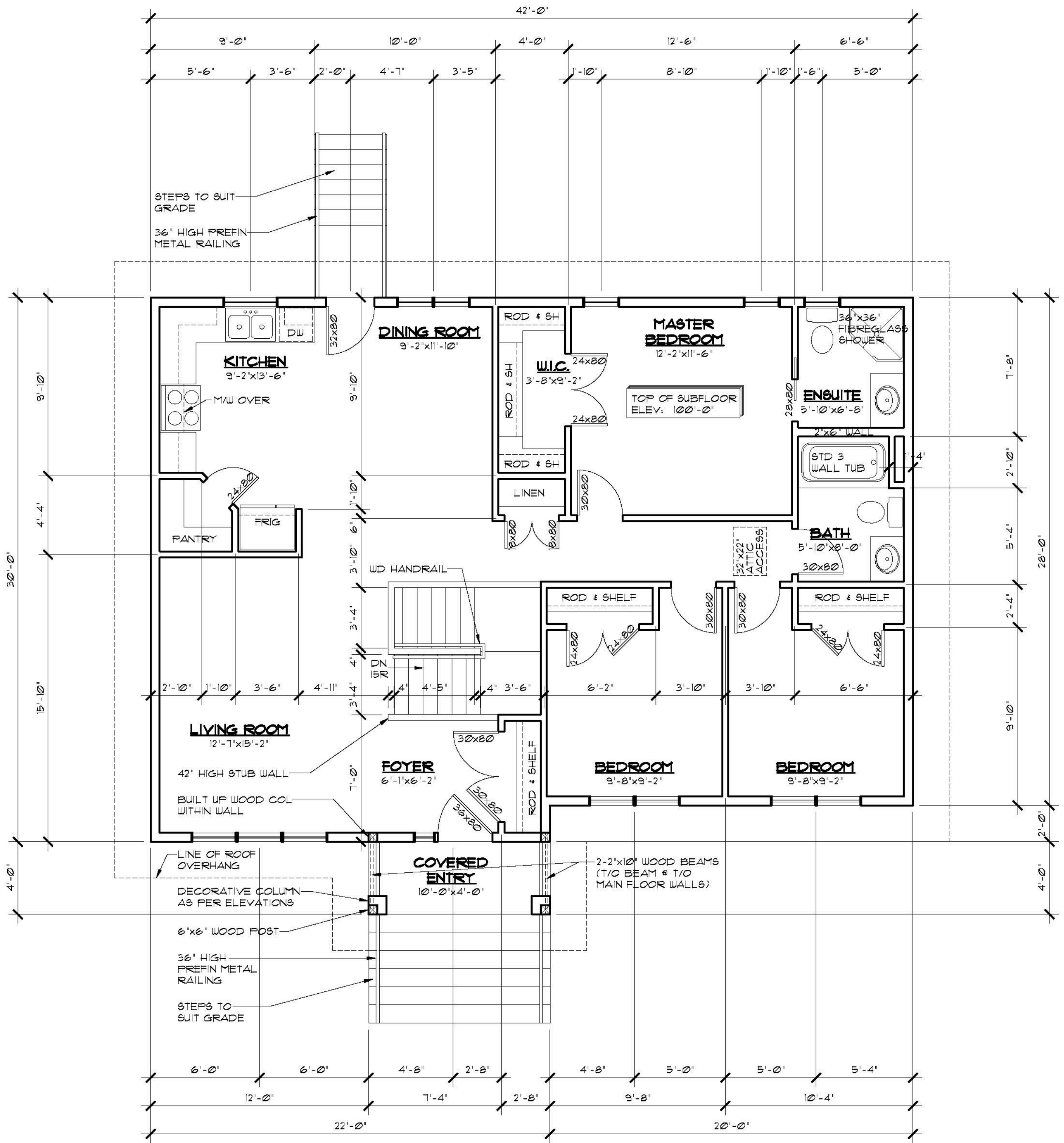
DRAWN BY TVDK

DATE SEPT. 22, 2015

DRAWING TITLE
STRUCTURAL NOTES & DETAILS

DRAWING NO.
A-3b

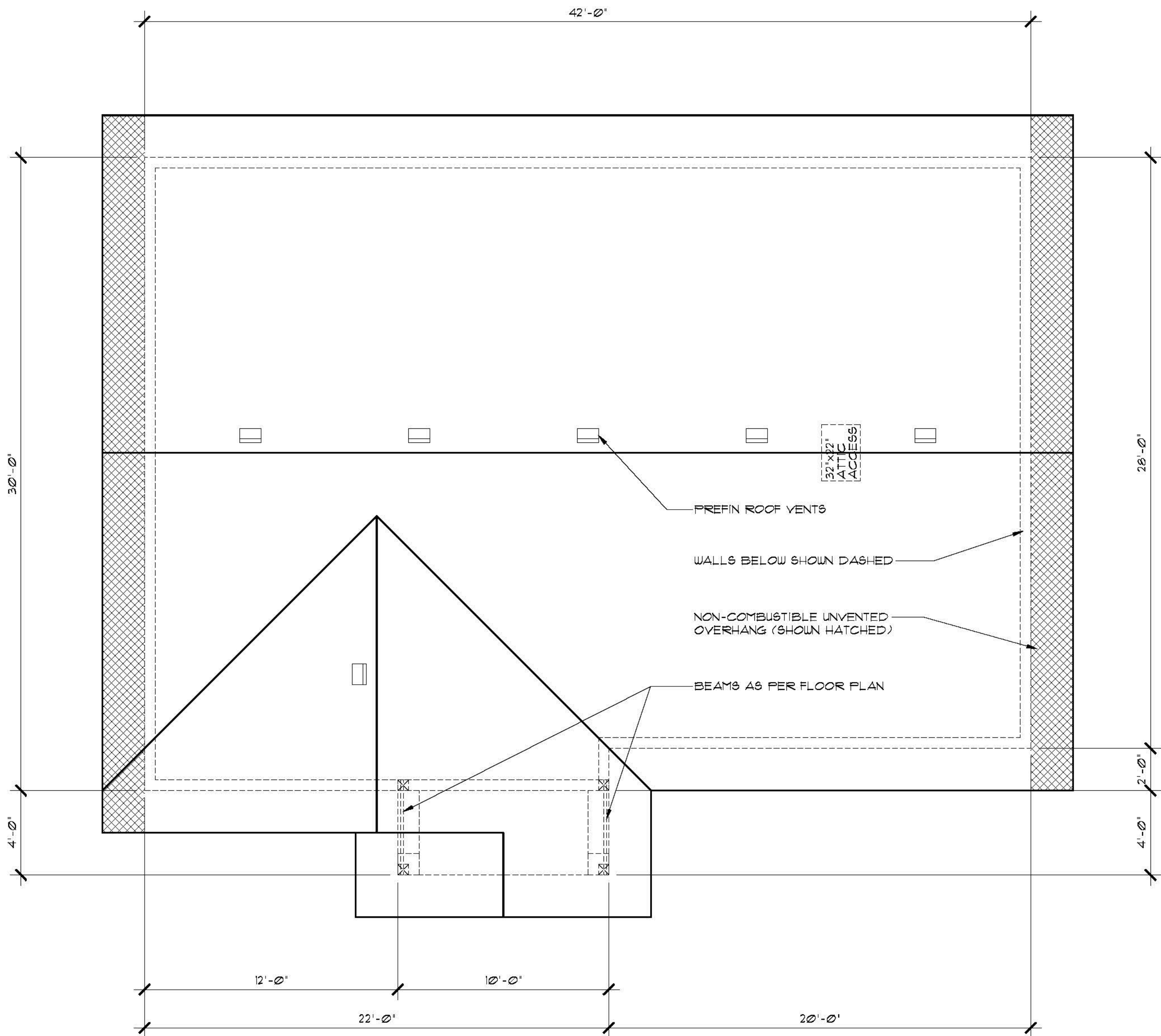
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4. Robinson Residential Design Inc. assumes no liability or responsibility for any errors, omissions and any incidental indirect or consequential damages whatsoever arising from the use of these drawings or the information provided therein.
5. Builder to conform to National Building Code of Canada (2006) Part 9.



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 AREA: 1220 SQ FT

- FLOOR PLAN NOTES:**
1. DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS UNO. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
 2. CONFIRM ALL COLUMN LOCATIONS WITH SUPPORTED STRUCTURAL MEMBERS & COLUMNS BELOW.
 3. REFER TO BUILDING SECTIONS FOR FULL WALL, FLOOR, & ROOF ASSEMBLY CALLUPS.
 4. COORDINATE EXACT WINDOW AND EXTERIOR DOOR LOCATIONS. MAINTAIN SPACING BETWEEN WINDOW, DOORS AND CORNERS TO ALLOW FOR EXTERIOR AND INTERIOR TRIMS.
 5. SEE ELEVATIONS FOR WINDOW'S DIRECTION OF OPERATION, DIMENSION OF ANY UN-EVEN SPLITS OBSCURE GLASS, ETC.



ROOF PLAN
SCALE: 1/4" = 1'-0"

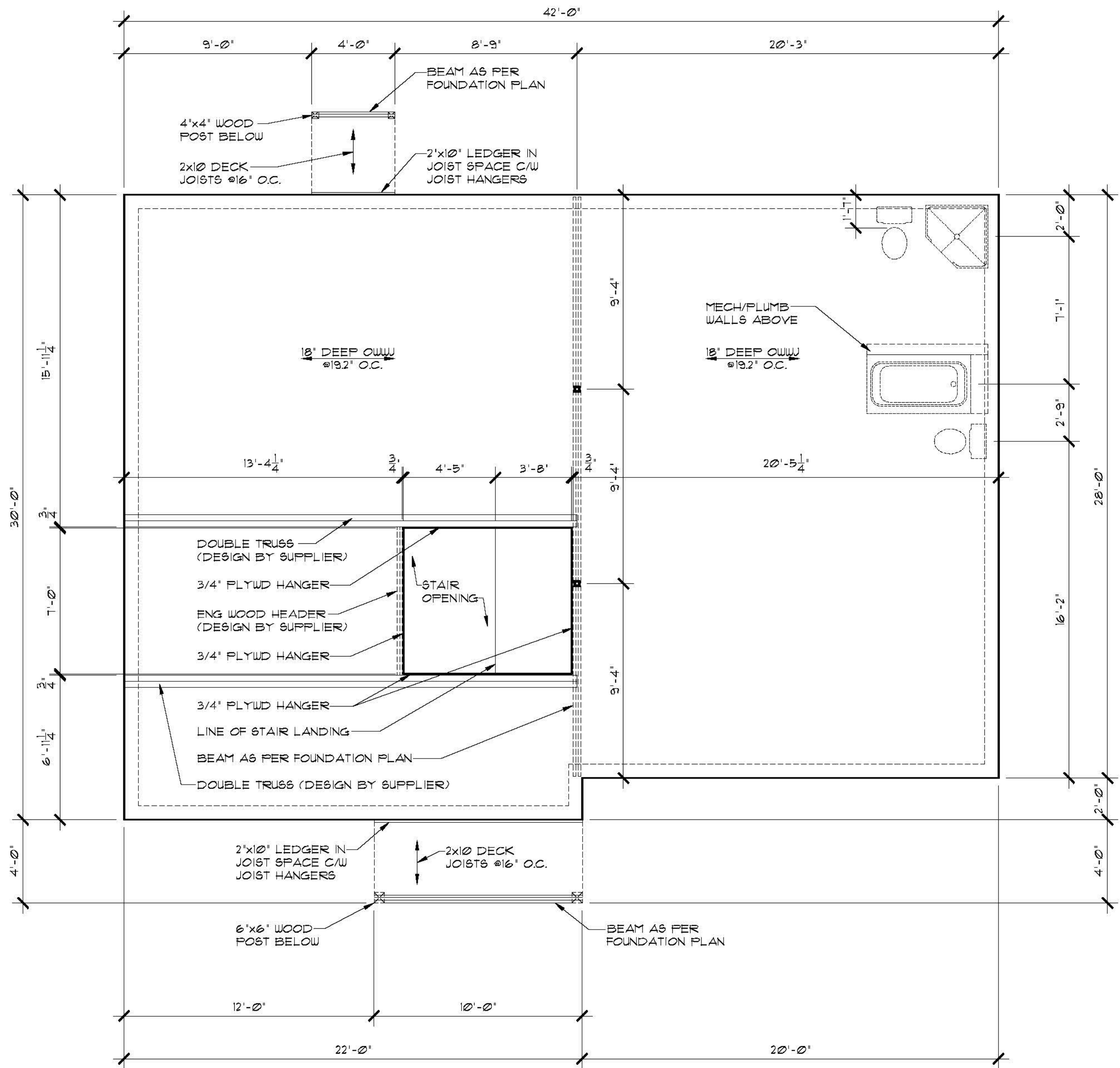
ROOF NOTES:

1. ALL ROOF SLOPES ARE 6:12 UNLESS NOTED OTHERWISE.
2. ALL ROOF OVERHANGS ARE 2'-0" UNLESS NOTED OTHERWISE.
3. ALL SOFFITS WITHIN THE 12M LIMITING DISTANCE MUST BE UNVENTED AND MADE OF NON-COMBUSTIBLE MATERIAL.

VENTING CALCULATIONS:
1220 SQFT/300 SQFT = 4.1 SQFT REQ'D VENT AREA TOTAL

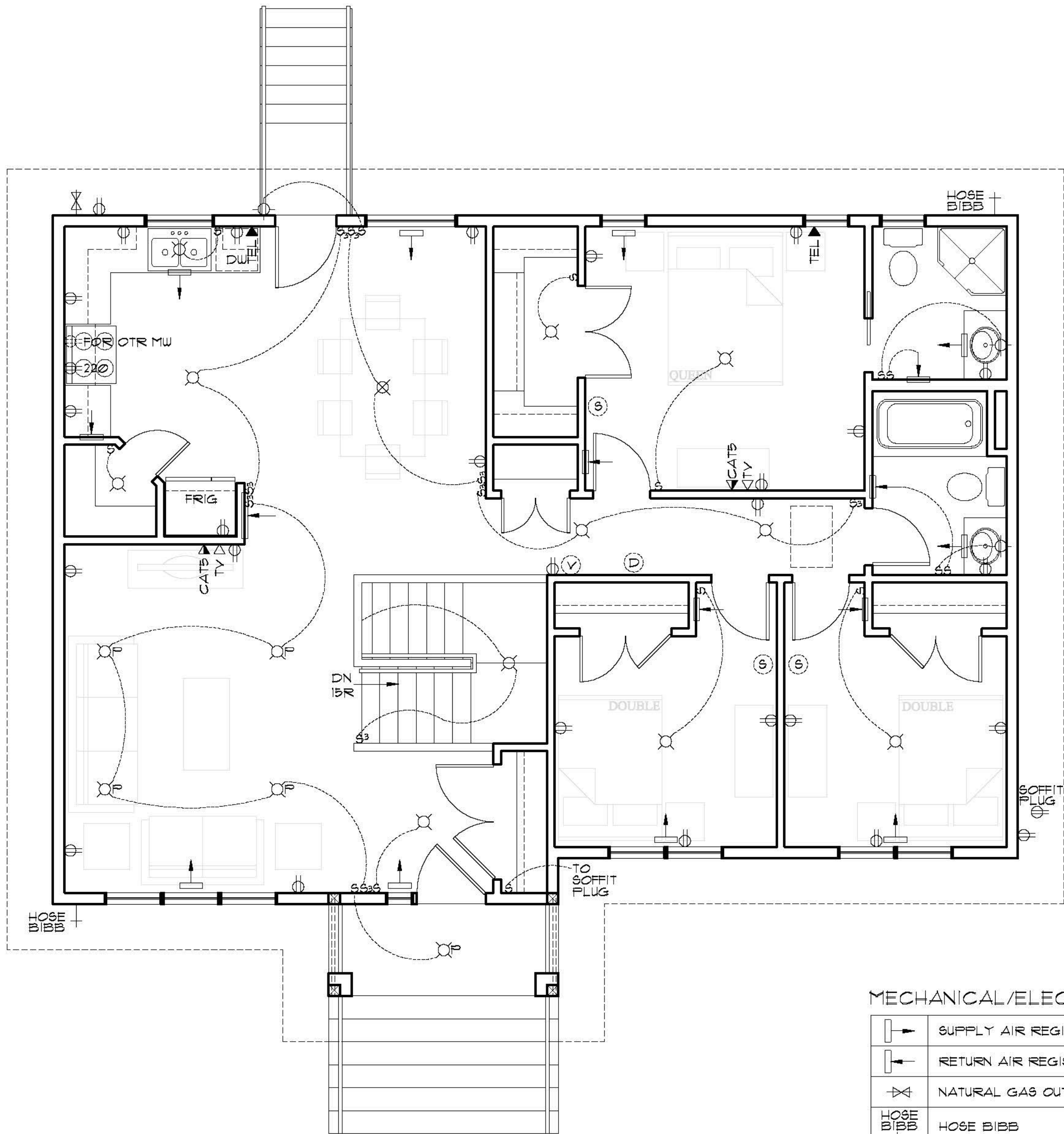
HIGH END - MIN 25% REQUIRED
0.38 SQFT NET FREE VENT AREA PER ROOF VENT
6 VENTS @ 0.38 SQFT = 2.28 SQ FT
2.28 SQFT / 4.1 SQ FT TOTAL REQ'D = 56%

LOW END - MIN 25% REQUIRED
172 SQFT VENTED SOFFIT
3.5 SQIN (0.0243 SQ FT) NET FREE VENT AREA PER SQFT OF SOFFIT AREA
172 SQFT x 0.0243 = 4.2 SQFT OF LOWER VENTING
4.2 SQ FT / 4.1 SQ FT TOTAL REQ'D = 102%



MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- FRAMING NOTES:**
- ADDITIONAL FLOOR STRUCTURE SHOWN FOR OPENINGS AND CANTILEVERS. FINAL DESIGN DETERMINED BY SUPPLIER.
 - FLOOR TRUSS SUPPLIER TO DESIGN TRUSSES TO SUIT MECHANICAL.
 - INSTALL SOLID BLOCKING IN FLOOR SPACE UNDER COLUMNS AS REQUIRED.
 - INSTALL BLOCKING UNDER INTERIOR WALLS PARALLEL TO FLOOR TRUSSES AS REQUIRED.
 - FLOOR TRUSS SUPPLIER TO INCORPORATE HEADERS INTO TRUSS SPACE AS NECESSARY (SEE ELEVATIONS FOR WINDOW MOUNTING HEIGHTS).



MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

MECHANICAL/ELECTRICAL LEGEND

| | |
|--|---|
| | SUPPLY AIR REGISTER |
| | RETURN AIR REGISTER |
| | NATURAL GAS OUTLET |
| | HOSE BIBB |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE/SMOKE DETECTOR |
| | ROUGH IN FOR CENTRAL VAC CANISTER |
| | CENTRAL VAC RECEPTACLE |
| | TELEVISION RECEPTACLE |
| | TELEPHONE RECEPTACLE |
| | ETHERNET RECEPTACLE |
| | DUPLEX RECEPTACLE |
| | SOFFIT DUPLEX RECEPTACLE |
| | SWITCH |
| | THREE WAY SWITCH |
| | DIMMER SWITCH |
| | INCANDESCENT LIGHT FIXTURE |
| | WALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| | FULL CHAIN INCANDESCENT LIGHT FIXTURE |
| | POT LIGHT |
| | PUCK LIGHT |
| | FLOURESCENT STRIP LIGHT |
| | FLOURESCENT LIGHT FIXTURE |
| | CEILING FAN C/W LIGHT |

ELECTRICAL NOTES:

1. ALL RECEPTACLES WITHIN 1.5m OF A SINK ARE TO BE GROUND FAULT CIRCUIT INTERRUPTERS AS PER CANADIAN ELECTRICAL CODE.
2. ALL EXTERIOR RECEPTACLES TO BE GROUND FAULT CIRCUIT INTERRUPTERS C/W WEATHERPROOF COVER AS PER CANADIAN ELECTRICAL CODE.
3. BUILDER TO CONFIRM ELECTRICAL LAYOUT WITH OWNER PRIOR TO CONSTRUCTION.
4. ELECTRICAL PANEL LOCATION SUBJECT TO CHANGE.

FINISH AS PER ELEVATIONS
C/W EAVE PROTECTION
1/16" OSB SHTG C/W "4"-CLIPS
ROOF TRUSSES @24" O.C.
R40 FIBERGLASS INSUL
6 MIL POLY AVB
1/2" GYP CLG BD

PREFIN METAL FASCIA,
SOFFIT, EAVESTROUGH
AND DOWNSPOUTS

T/O WALL
ELEV: 108'-1 1/8"

FINISH AS PER ELEV
BUILDING PAPER
3/8" OSB SHEATHING
2"x6" WOOD STUDS @24" O.C.
R20 BATT INSUL
6 MIL POLY AVB
1/2" GYPSUM BD

T/O SUBFLOOR
ELEV: 100'-0"

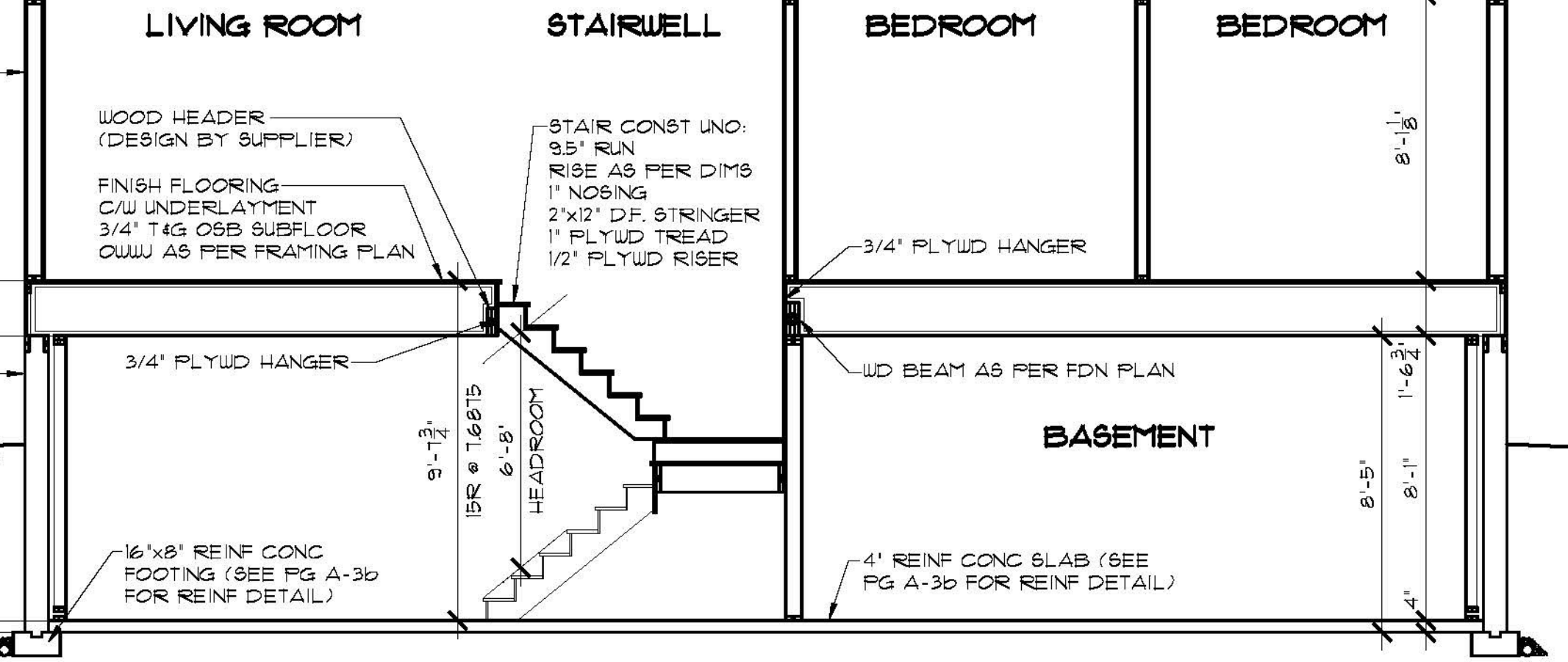
T/O FDN WALL
ELEV: 98'-5 1/4"
CONC PARING ON METAL LATH
ABOVE GRADE
BITUMINOUS DAMPPROOFING
8"x8"-5" REINF CONC FDN WALL
(SEE PG A-3b FOR REINF DETAILS)
6 MIL POLY MOISTURE
BARRIER TO GRADE
2"x4" WOOD STUDS @24" O.C.
SET 2" FROM FDN WALL
R20 BATT INSULATION
6 MIL POLY AVB
1/2" GYPSUM BOARD

T/O SLAB
ELEV: 90'-4 1/4"

T/O CONC FTG
ELEV: 90'-0 1/4"

4" DIA WEEPING TILE C/W
GRAVEL COVER TO SUMP

BUILDING SECTION
SCALE: 1/4"=1'-0"



For Foundation
(Note Soil
Conditions &
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PREFIN METAL FASCIA,
SOFFIT, EAVESTROUGH
AND DOWNSPOUTS

T/O WALL
ELEV: 108'-1 1/8"

FINISH AS PER ELEV
BUILDING PAPER
3/8" OSB SHEATHING
2"x6" WOOD STUDS @24" O.C.
R20 BATT INSUL
6 MIL POLY AVB
1/2" GYPSUM BD

36" HIGH PREFIN
METAL RAILING

T/O SUBFLOOR
ELEV: 100'-0"

T/O FDN WALL
ELEV: 98'-5 1/4"

WOOD STEPS TO
SUIT GRADE

WD BM AS PER FDN PLAN

6"x6" WOOD POST

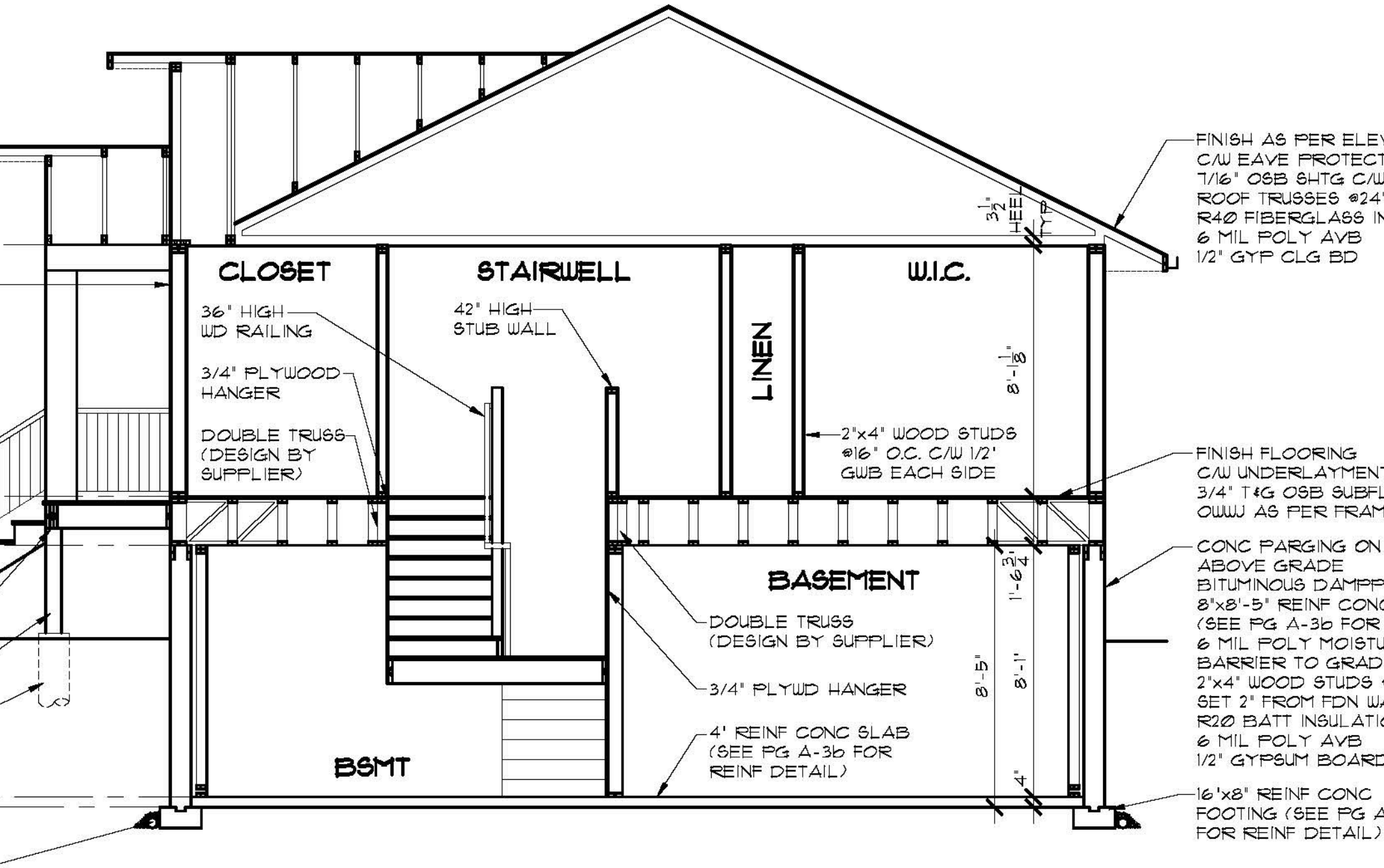
REINF CONC PILE
(SEE NOTES PG A-3b)

T/O SLAB
ELEV: 90'-4 1/4"

T/O CONC FTG
ELEV: 90'-0 1/4"

4" DIA WEEPING TILE C/W
GRAVEL COVER TO SUMP

BUILDING SECTION
SCALE: 1/4"=1'-0"

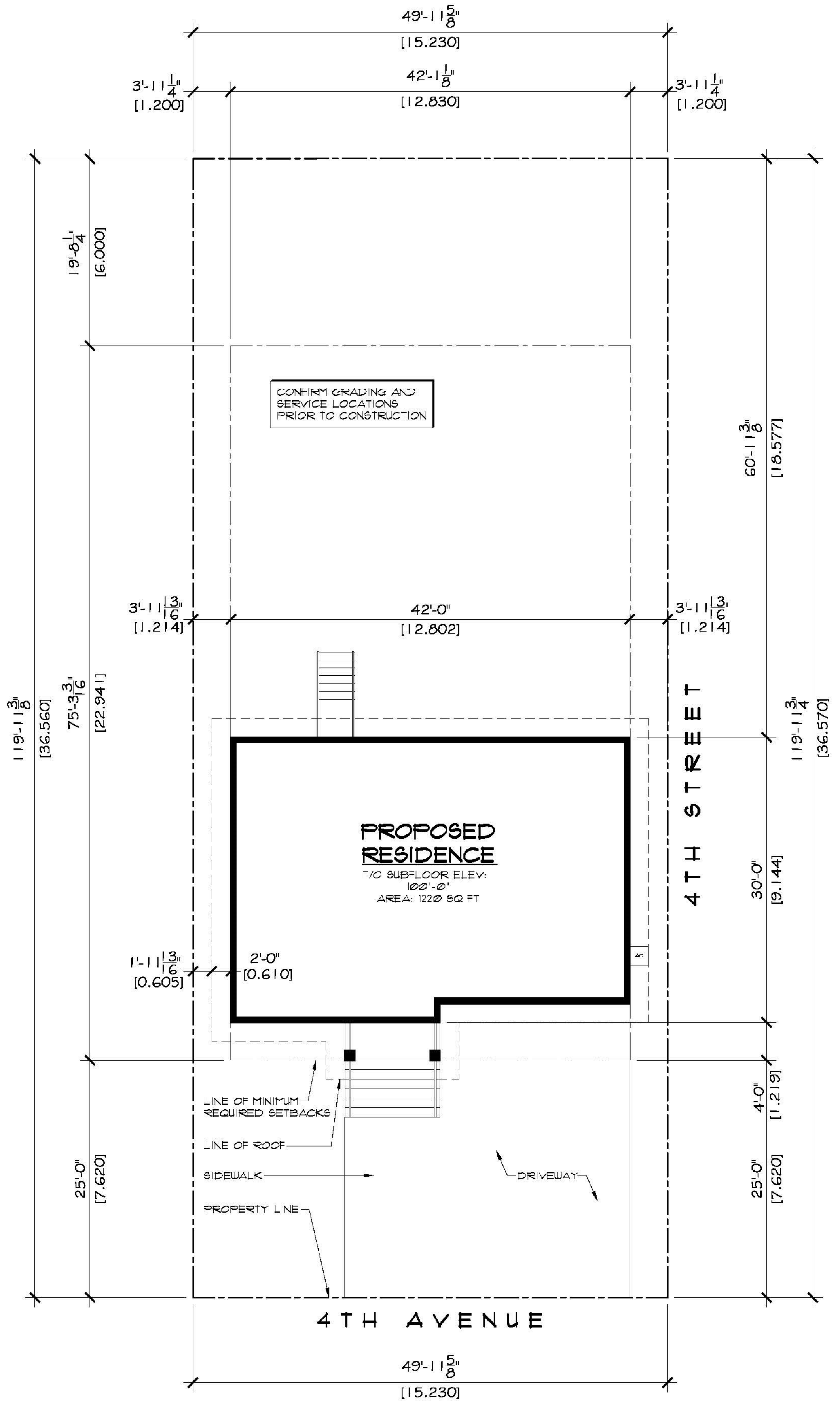


FINISH AS PER ELEVATIONS
C/W EAVE PROTECTION
1/16" OSB SHTG C/W "4"-CLIPS
ROOF TRUSSES @24" O.C.
R40 FIBERGLASS INSUL
6 MIL POLY AVB
1/2" GYP CLG BD

FINISH FLOORING
C/W UNDERLAYMENT
3/4" T&G OSB SUBFLOOR
C/W AS PER FRAMING PLAN

CONC PARING ON METAL LATH
ABOVE GRADE
BITUMINOUS DAMPPROOFING
8"x8"-5" REINF CONC FDN WALL
(SEE PG A-3b FOR REINF DETAILS)
6 MIL POLY MOISTURE
BARRIER TO GRADE
2"x4" WOOD STUDS @24" O.C.
SET 2" FROM FDN WALL
R20 BATT INSULATION
6 MIL POLY AVB
1/2" GYPSUM BOARD

16"x8" REINF CONC
FOOTING (SEE PG A-3b
FOR REINF DETAIL)



SITE PLAN
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT: #1
BLOCK: #34
PLAN: *AA5526
LOCATION: CANORA, SASKATCHEWAN

ROBINSON RESIDENTIAL
PERSONALIZING HOME DESIGN

PROJECT

SINGLE FAMILY

LOT 11 4TH AVENUE
CANORA, SASKATCHEWAN

SCALE
1/8" = 1'-0"

DESIGNED BY
DM

DRAWN BY
TVDK

DATE
SEPT. 22, 2015

DRAWING NO.

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CANADA S4R 1K3
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DRAWING TITLE
SITE PLAN

A-9