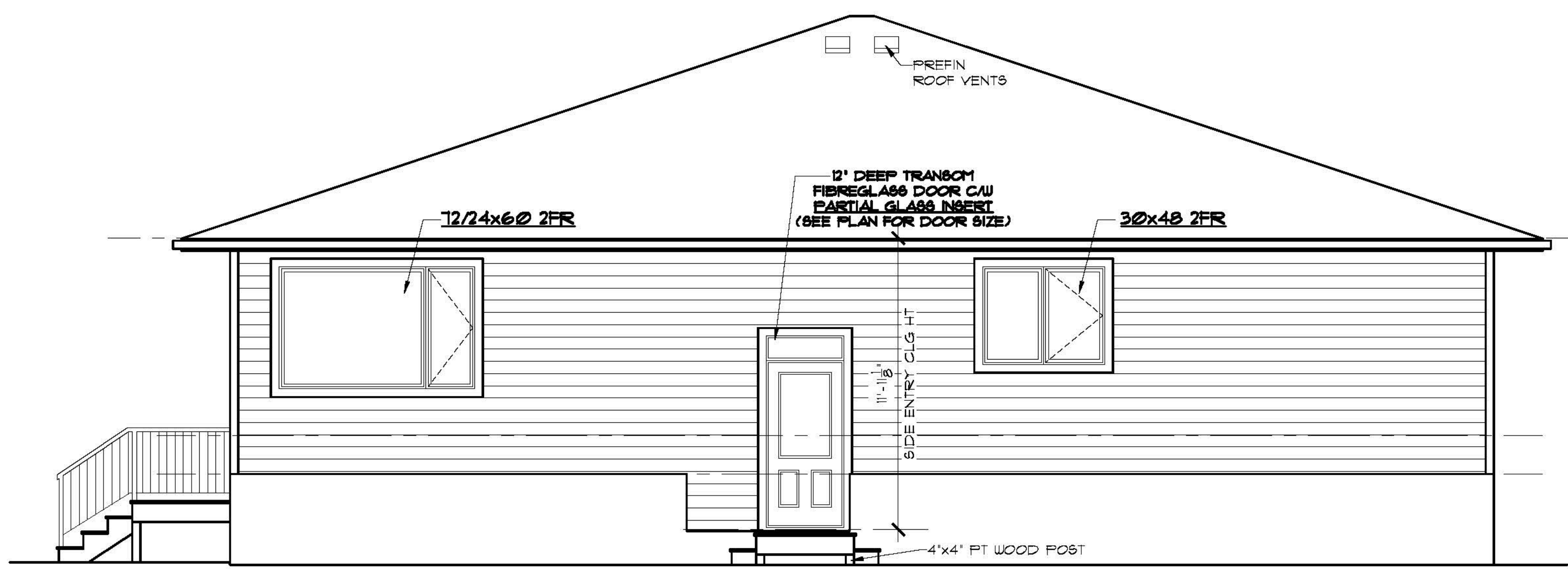


**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**WEST ELEVATION GLAZED OPENING CALCS:**  
LIMITING DISTANCE = 1.2m  
MAX % OF GLAZED OPENINGS = 34% (NBC 9.10.15.4)  
EXPOSED BUILDING FACE AREA = 691 SQ FT  
AREA OF GLAZED OPENINGS (%) = 71 SQ FT (11%)

**ABBREVIATIONS:**

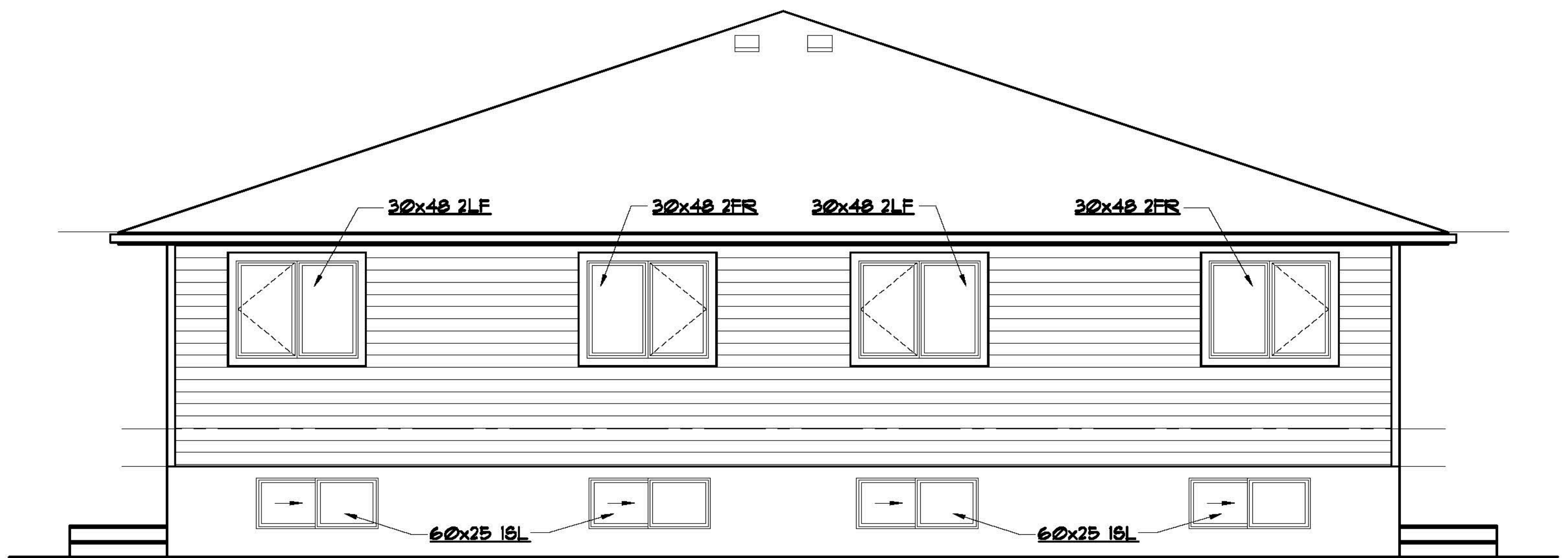
UNO - UNLESS NOTED OTHERWISE  
TYP - TYPICAL  
U/S - UNDER SIDE  
C/W - COMPLETE WITH  
R.O. - ROUGH OPENING  
O.C. - ON CENTER  
LBW - LOAD BEARING WALL  
T/O - TOP OF  
SH - SHELF  
COL - COLUMN  
CJ - CONTROL JOINT  
WD - WOOD  
CONC - CONCRETE  
PREFIN - PREFINISHED  
FLR - FLOOR  
CLG - CEILING  
HT - HEIGHT

**ELEVATION NOTES:**

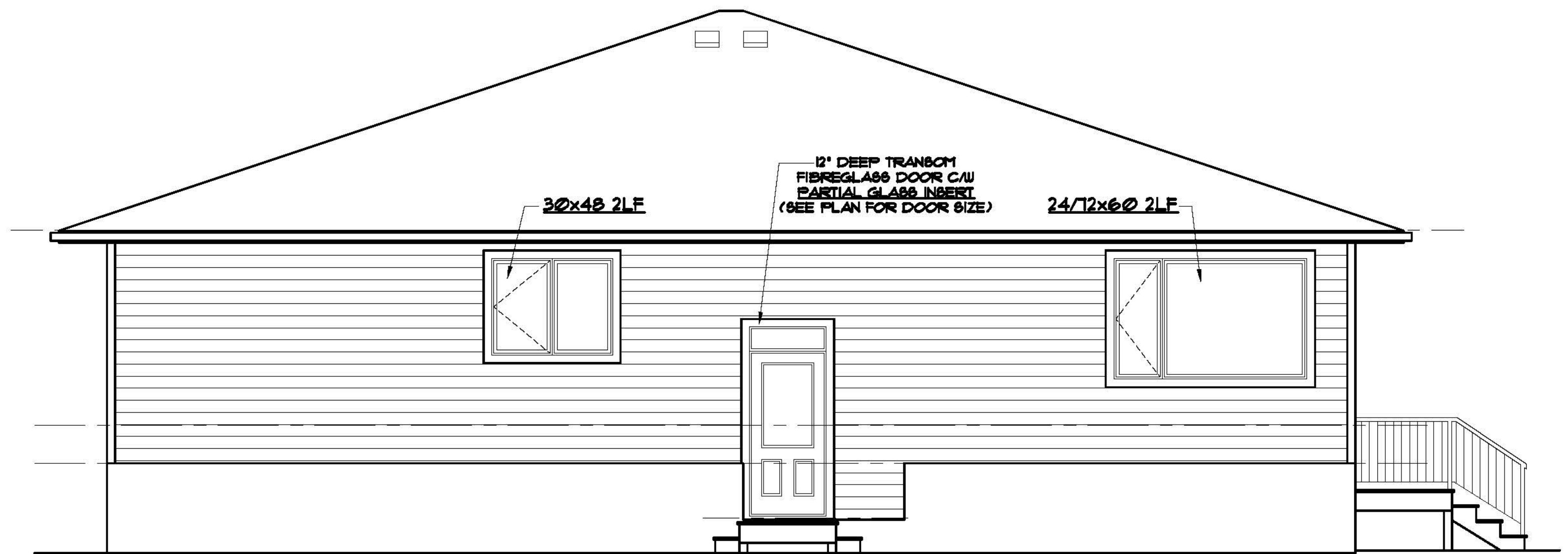
- WINDOWS AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
- WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC.
- TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM
- SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.

**GENERAL NOTES:**

- BUILDER TO CONFORM TO NATIONAL BUILDING CODE OF CANADA (2010) PART 9.
- DRAWINGS NOT TO BE SCALED.
- BUILDER SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE.
- DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS UNO. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
- NO MODIFICATIONS PERMITTED TO STRUCTURE WITHOUT WRITTEN APPROVAL OF BUILDER'S STRUCTURAL ENGINEER.
- ALL BEAMS & HEADERS TO BE SIZED BY OTHERS TO SUIT STRUCTURAL LOADING.
- IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE BUILDERS SPECS, THE SPECS SHALL OVERRULE THE DRAWINGS.

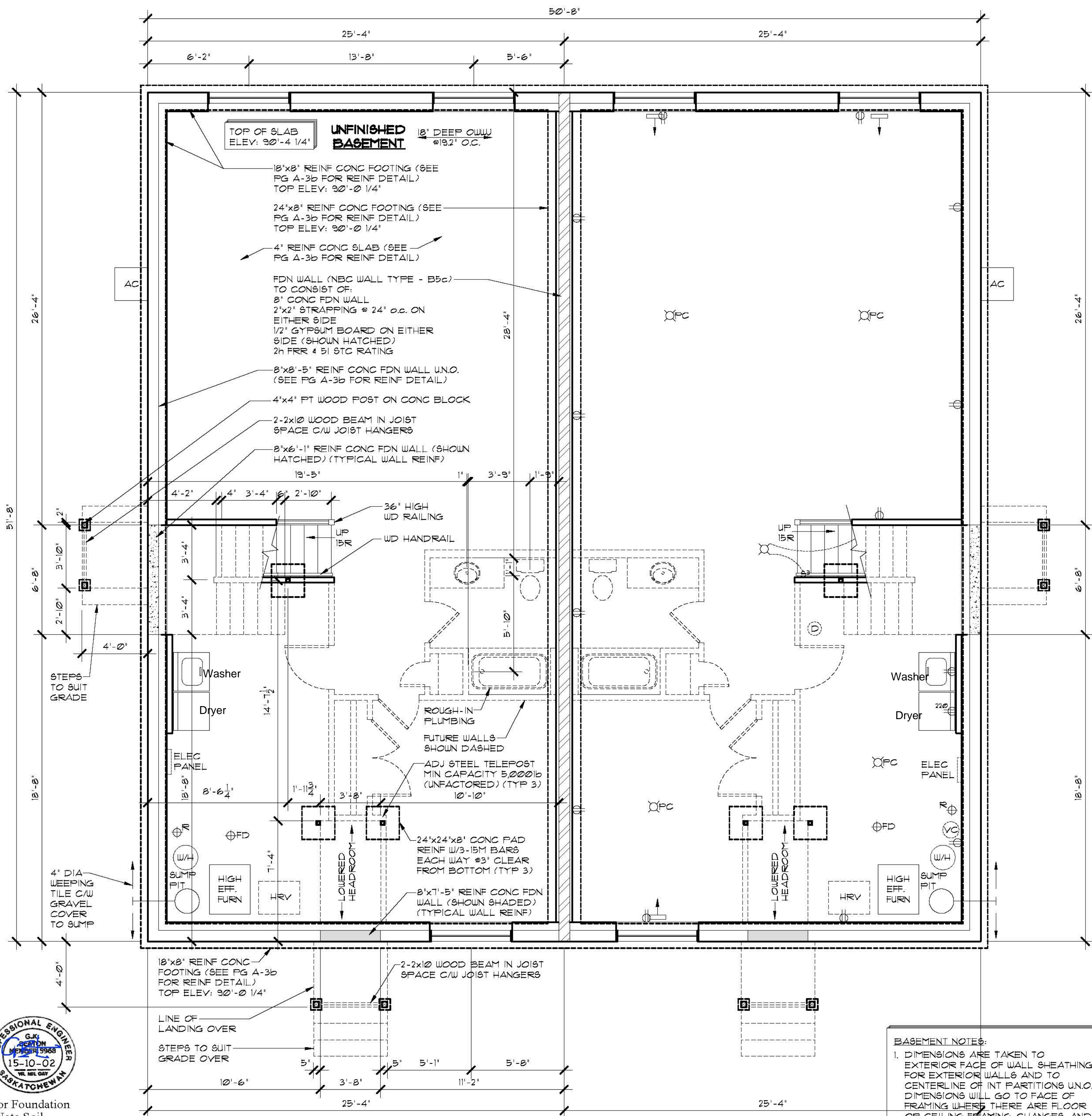


**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**EAST ELEVATION GLAZED OPENING CALCS:**  
 LIMITING DISTANCE = 7.2m  
 MAX % OF GLAZED OPENINGS = 34% (NBC 9.10.15.4)  
 EXPOSED BUILDING FACE AREA = 691 SQ FT  
 AREA OF GLAZED OPENINGS (%) = 71 SQ FT (11%)



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



For Foundation  
(Note Soil  
Conditions &  
Risk Advisory)

**SOIL CONDITIONS & RISK ADVISORY:**

NO SOILS INFORMATION WAS AVAILABLE OR PROVIDED FOR DESIGN PURPOSES. FOOTINGS HAVE BEEN SPECIFIED AND DESIGNED ASSUMING THAT SOIL IS DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, WHICH IS LESS SUSCEPTIBLE TO VOLUME CHANGES WITH CHANGES IN MOISTURE CONTENT. AN ALLOWABLE BEARING PRESSURE OF 1650 PSF HAS BEEN ASSUMED. NOTE THAT FOOTINGS ARE PARTICULARLY SUSCEPTIBLE TO MOVEMENT IN PLASTIC CLAY SOILS WHICH ARE SUSCEPTIBLE TO VOLUME CHANGES WHEN MOISTURE CONTENT CHANGES. THIS MOVEMENT CAN CAUSE DAMAGE TO FINISHES WITHIN THE STRUCTURE AND TO THE STRUCTURE ITSELF.

BUILDER IS TO INFORM STRUCTURAL ENGINEER IF SOIL IS NOT DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, SINCE THE FOUNDATION TYPE OR FOUNDATION DETAILS MAY NEED TO BE REVISED TO SUIT A DIFFERENT SOIL TYPE.

THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR DAMAGES OR DELAYS CAUSED BY SITE CONDITIONS OR SOIL CONDITIONS WHICH DIFFER FROM THOSE UPON WHICH THE DESIGN HAS BEEN BASED. OWNER IS ALSO ADVISED THAT CONCRETE SLAB ON GRADE FLOORS MAY SETTLE/HEAVE CAUSING DAMAGE WHICH IS BEYOND THE CONTROL AND RESPONSIBILITY OF THE DESIGNER.

THESE DRAWINGS ARE STAMPED BASED UPON THE UNDERSTANDING THAT OWNER HAS ACKNOWLEDGED AND ACCEPTED THE RISKS AS DESCRIBED ABOVE.

- BASEMENT NOTES:**
- DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS U.N.O. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
  - REFER TO SECTIONS FOR FULL WALL & FLOOR ASSEMBLIES.
  - ALL BASEMENT WALLS SHOULD BE BUILT WITH FLOAT SPACE TO PERMIT UPWARD MOVEMENT OF BASEMENT FLOOR SLAB.
  - ELECTRICAL MECHANICAL EQUIPMENT LOCATIONS SUBJECT TO CHANGE AT CONTRACTORS DISCRETION.
  - INSTALL RADON ROUGH-IN PIPE  $\oplus R$  C/W SEALED CAP FOR FUTURE DEPRESSURIZATION SYSTEM. SEE PLAN FOR VENT LOCATION. RUN OTHER END UNDER SLAB TO CENTRE OF BUILDING FOOTPRINT.
  - PROVIDE 4" DIA WEEPING TILE C/W GRAVEL COVER FOR PERIMETER FOUNDATION DRAINAGE SLOPED AND CONNECTED TO SUMP PIT.

**MECHANICAL/ELECTRICAL LEGEND**

	SUPPLY AIR REGISTER
	RETURN AIR REGISTER
	CARBON MONOXIDE/SMOKE DETECTOR
	ROUGH IN FOR CENTRAL VAC CANISTER
	DUPLEX RECEPTACLE
	SWITCH
	THREE WAY SWITCH
	INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	FULL CHAIN INCANDESCENT LIGHT FIXTURE

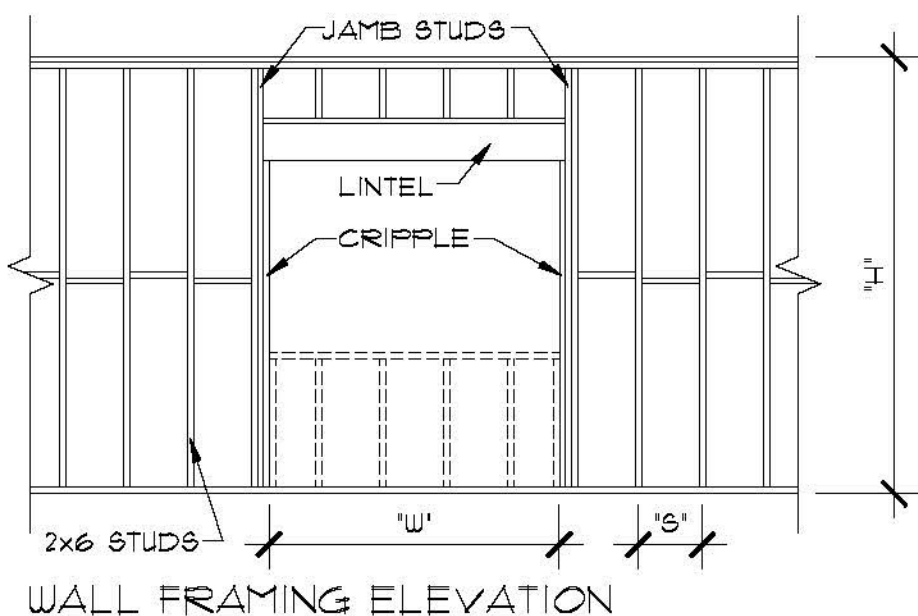
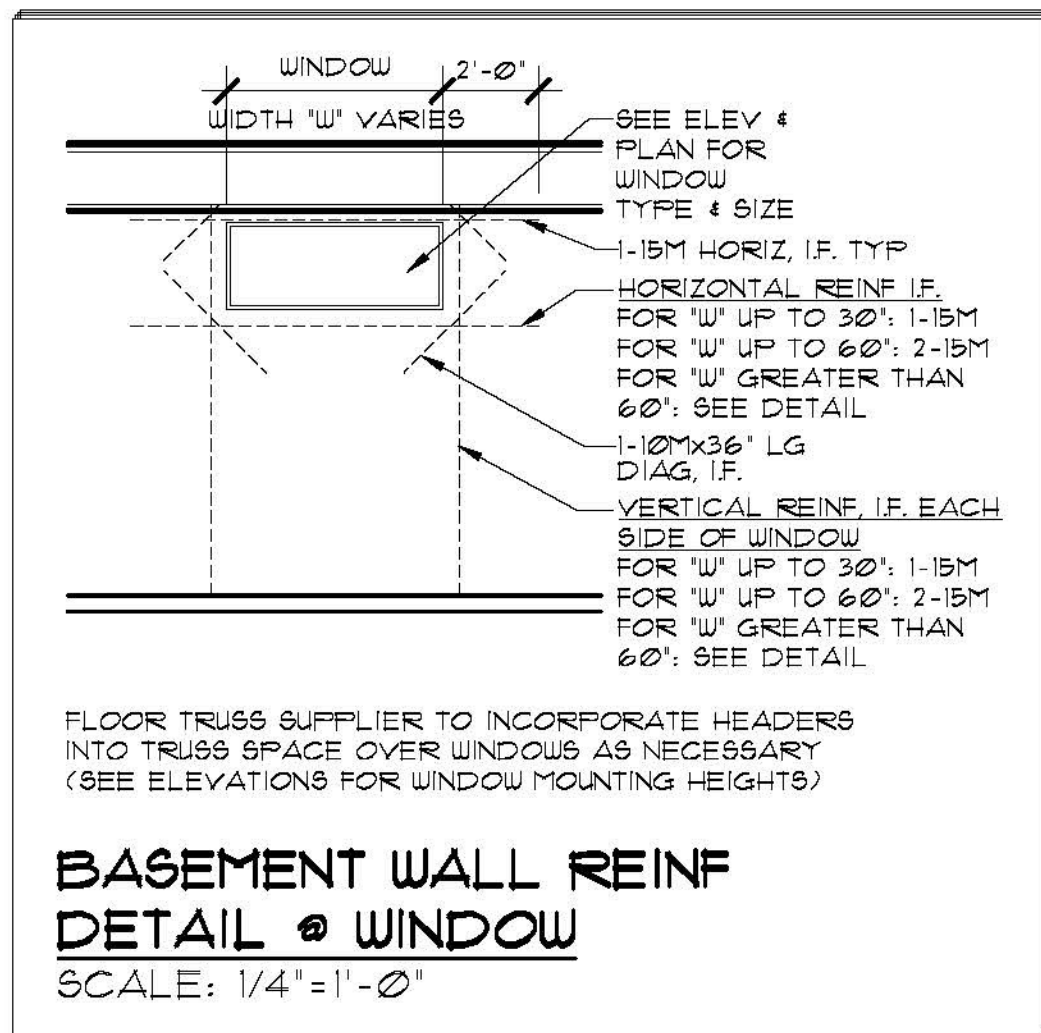
**ROBINSON RESIDENTIAL**  
PERSONALIZING HOME DESIGN

PROJECT  
**DUPLEX**  
2232 2ND AVENUE  
REGINA, SASKATCHEWAN  
CANADA S4R 1K3  
TEL: (306) 352-6617  
FAX: (306) 352-6619

1. Copyright of these plans remains with Robinson Residential Design Inc. Duplication of these plans in whole or in part is strictly prohibited without prior written permission from Robinson Residential Design Inc.  
2. Drawings are not to be scaled.

LOT #6 & 7 BANKS CRES  
KAMSACK, SASKATCHEWAN  
3. All plans are drawn to suit the Canadian National Building Code (2006). Due to local building codes, zoning regulations and climatic conditions, plans must be reviewed by local building official prior to construction. All structural components indicated on these drawings must be reviewed and engineered by a licensed architect or engineer.  
4. Robinson Residential Design Inc. assumes no liability or responsibility for any errors, omissions and any incidental indirect or consequential damages whatsoever arising from the use of these drawings or the information provided therein.  
5. Builder to conform to National Building Code of Canada (2006) Part 9.

SCALE 1/4" = 1'-0"  
DESIGNED BY DM  
DRAWN BY TVDK  
DATE SEPT. 18, 2015  
DRAWING NO. A-3a  
DRAWING TITLE  
**FOUNDATION PLAN  
BASEMENT ELECTRICAL PLAN**



OPENING 'W'	LINTEL SIZE	NO. OF CRIPPLES	JAMB STUDS EA. SIDE		
			S=24"	S=16"	S=12"
0 - 3'-11"	2-2"x8"	1 EA. SIDE	1	2	2
4'-0" - 5'-11"	2-2"x10"	1 EA. SIDE	2	2	3
6'-0" - 8'-0"	3-2"x10"	1 EA. SIDE	2	3	4

**LINTELS FOR 2x6 EXTERIOR WALLS**

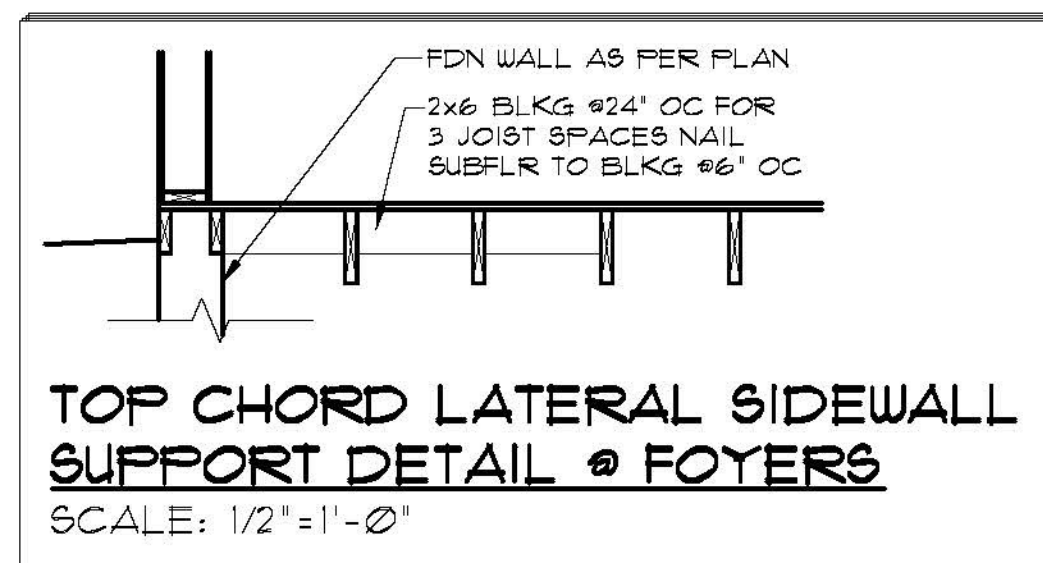
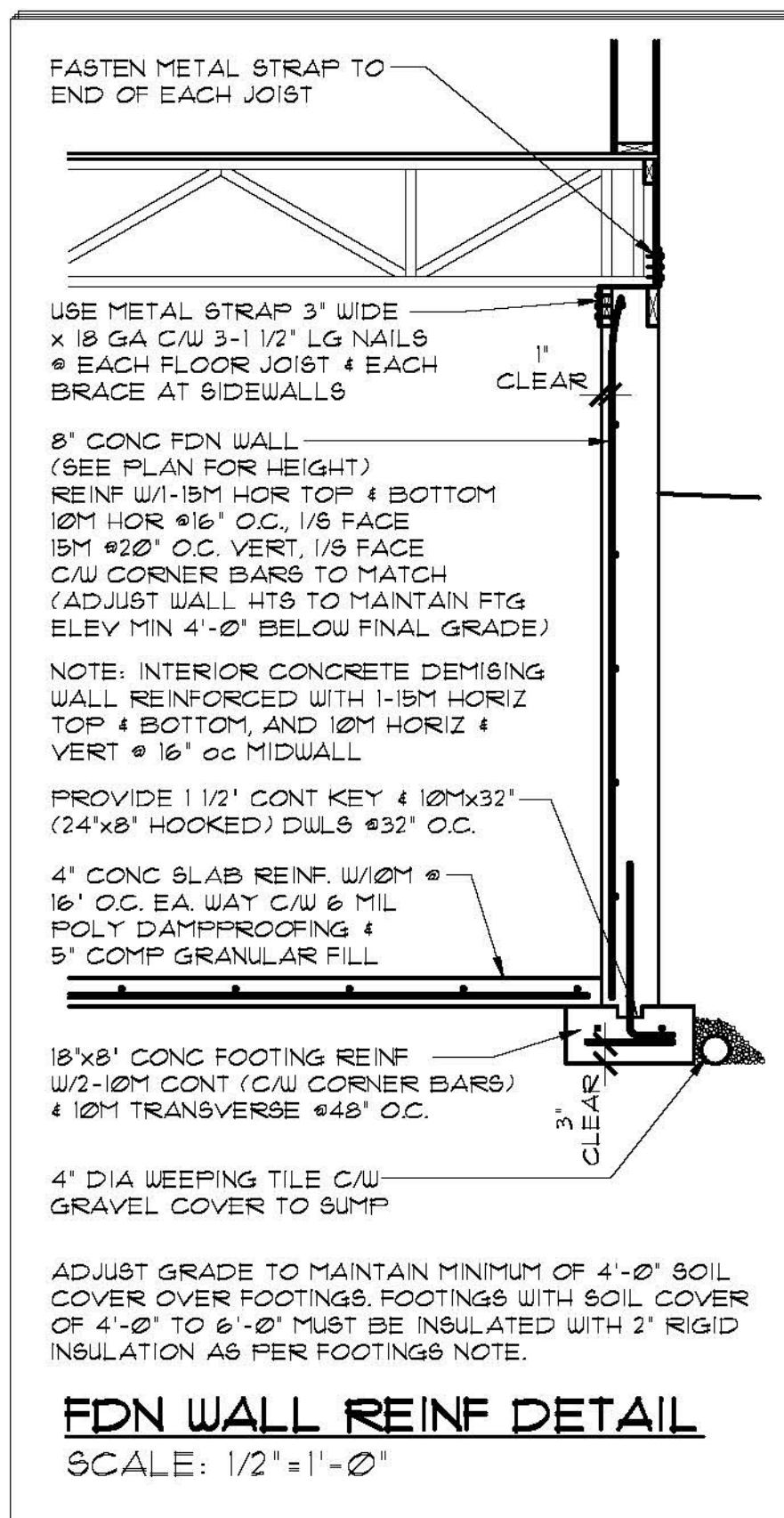
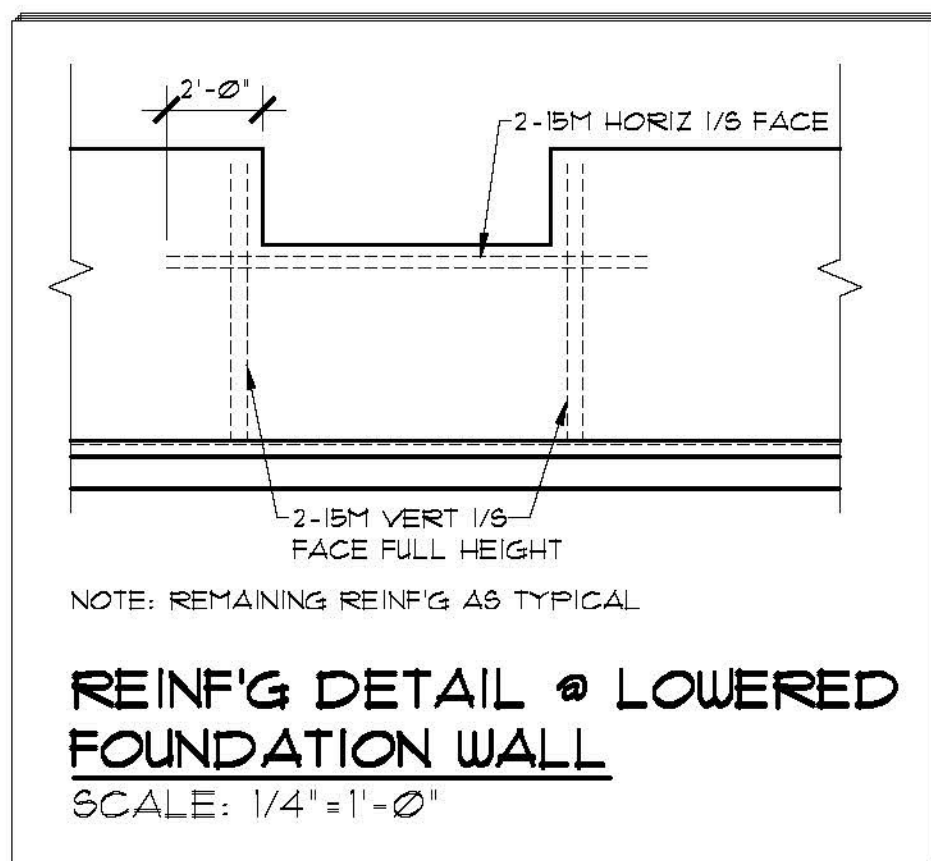
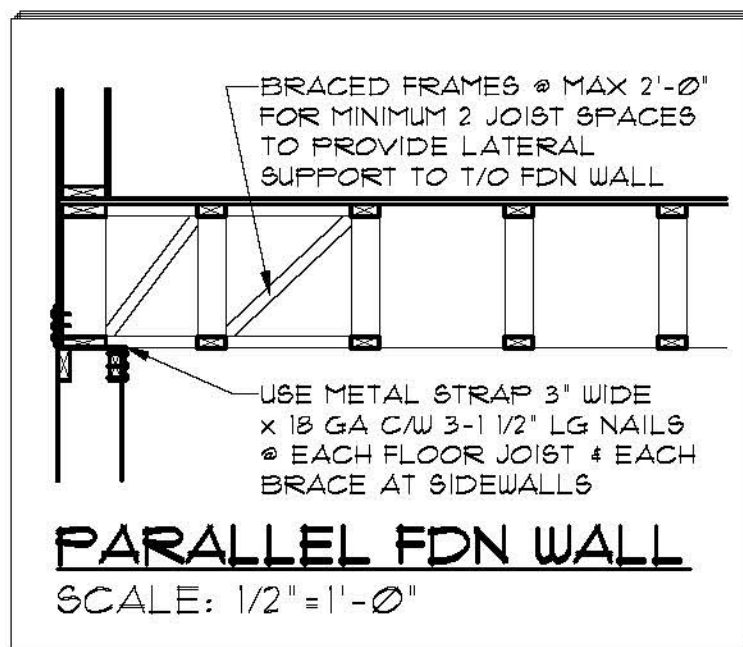
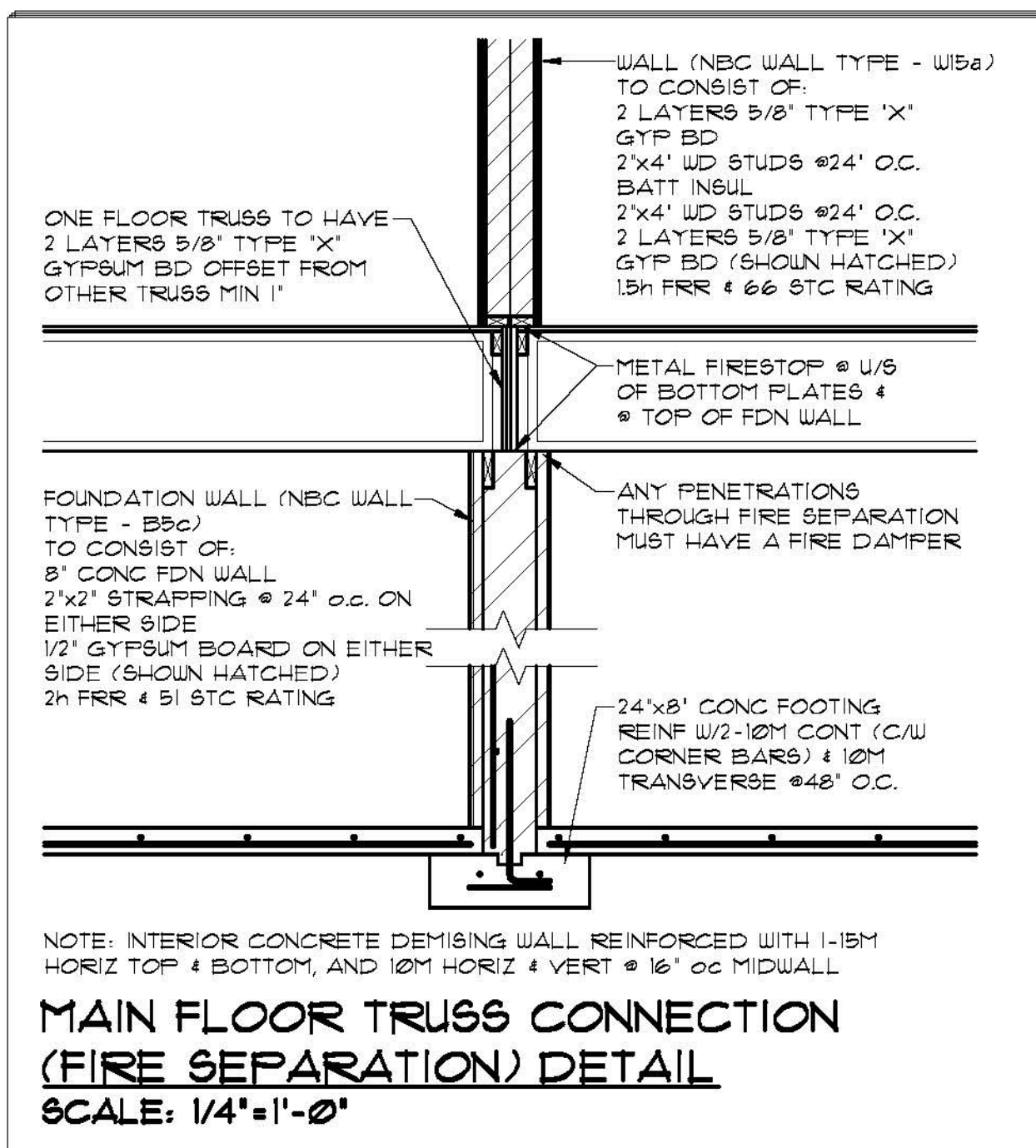
STUD SPACING 'S'	MAX WALL HEIGHT 'H'
24" OC	10'-6"
16" OC	12'-6"
12" OC	13'-6"

**WALL HEIGHTS FOR 2x6 EXTERIOR WALL**

**CONDITIONS:**

- ALL STUDS NO. 3/STUD SFF OR D. FIR
- ALL LINTELS NO. 1/NO. 2 SFF OR D. FIR
- ALL STUDS TO HAVE MID-HEIGHT BLOCKING
- ALL STUDS TO BE SHEATHED BOTH FACES WITH 1/2" GWB & 3/8" PLYWD OR OSB
- WHERE STUDS ARE SHEATHED ON EXTERIOR FACE ONLY, STUDS ARE TO BE BLOCKED AT MAXIMUM 4'-0" O.C.

**2x6 EXTERIOR TALL WALL FRAMING**  
SCALE: NTS



For Designated Tall Wall Framing



For Foundation (Note Soil Conditions & Risk Advisory)

Association of Professional Engineers & Geoscientists of Saskatchewan  
**CERTIFICATE OF AUTHORIZATION**  
 Beam and Basement Design Ltd.  
 Number 33214  
 Permission to Consult held by:  
 Discipline: Civil, Sk. Reg. No.: 05968, Signature: [Signature]

**STRUCTURAL NOTES**

- ALL BASEMENT WALLS SHOULD BE BUILT WITH FLOAT SPACE TO PERMIT UPWARD MOVEMENT OF BASEMENT FLOOR SLAB.

**CONCRETE TO CSA A23.1**

- FOOTINGS & PEDESTALS:  
25 MPa, TYPE 50, AIR 4-6%, SLUMP 80±30mm.
- WALLS:  
25 MPa, TYPE 50, AIR 4-6%, 80±30mm.
- BASEMENT FLOOR:  
25 MPa, TYPE 10, AIR NIL, SLUMP 80±30mm.

**REINFORCING TO CSA G30.18**

- TIES GRADE 300
- ALL OTHER BARS GRADE 400

**FOOTINGS:**

- ALL CONCRETE FOOTINGS TO BE FOUNDED ON SOUND, DRY, UNDISTURBED SOIL. SOIL BELOW FOOTINGS MUST BE FREE OF FROST AND NOT PERMITTED TO FREEZE.
- FOOTINGS WITH SOIL COVER OF 6'-0" AND GREATER MAY BE UNINSULATED.
- FOOTINGS WITH SOIL COVER OF 4'-0" TO 6'-0" MUST BE INSULATED WITH A MINIMUM OF 2" RIGID INSULATION SET ON TOP OF THE FOOTING AND EXTENDED A MINIMUM OF 4'-0" FROM THE EXTERIOR FACE OF THE FOUNDATION WALL.
- FOOTINGS WITH SOIL COVER LESS THAN 4'-0" ARE NOT PERMITTED.

**SOIL CONDITIONS & RISK ADVISORY:**

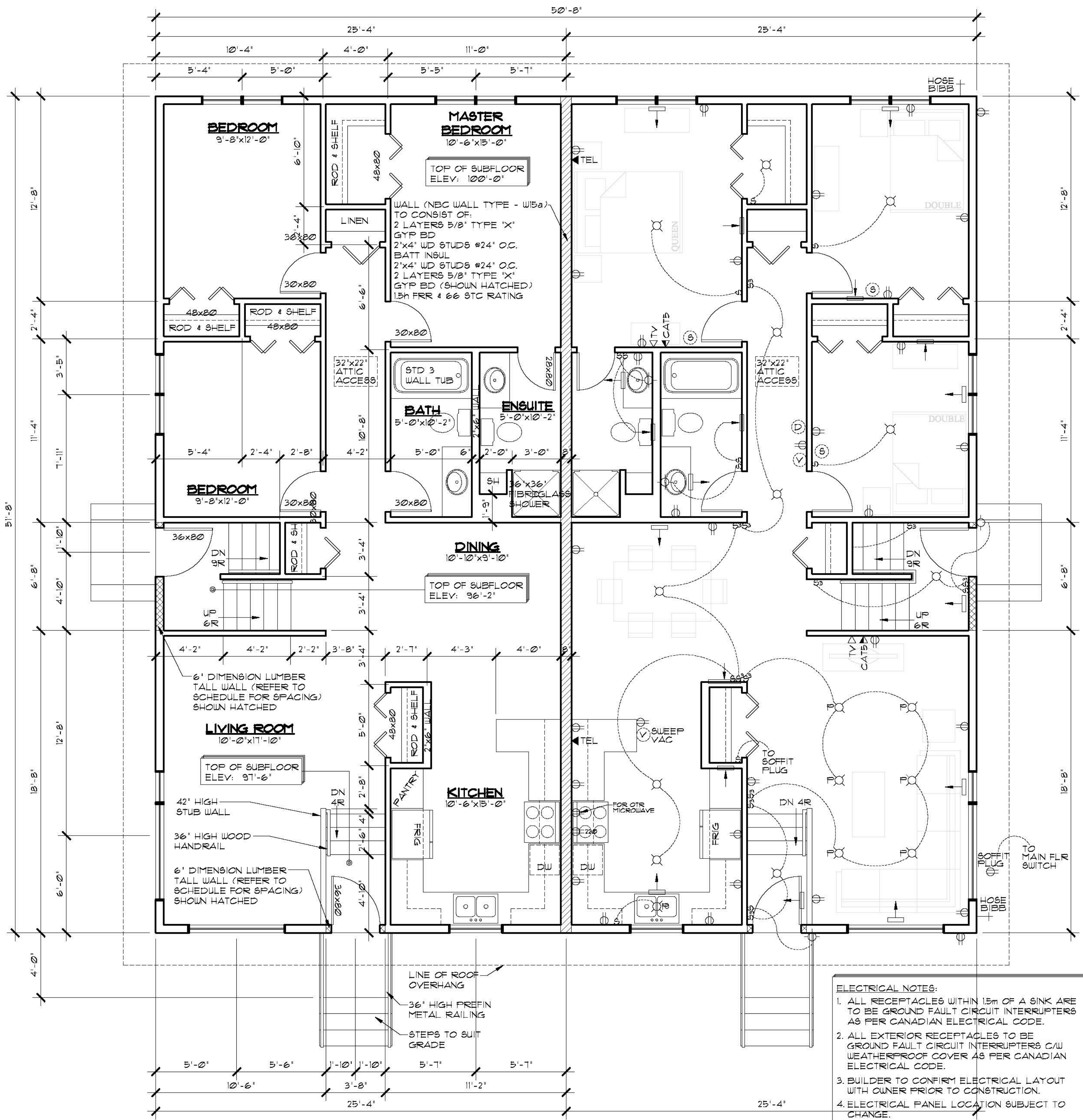
NO SOILS INFORMATION WAS AVAILABLE OR PROVIDED FOR DESIGN PURPOSES. FOOTINGS HAVE BEEN SPECIFIED AND DESIGNED ASSUMING THAT SOIL IS DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, WHICH IS LESS SUSCEPTIBLE TO VOLUME CHANGES WITH CHANGES IN MOISTURE CONTENT. AN ALLOWABLE BEARING PRESSURE OF 1650 PSF HAS BEEN ASSUMED. NOTE THAT FOOTINGS ARE PARTICULARLY SUSCEPTIBLE TO MOVEMENT IN PLASTIC CLAY SOILS WHICH ARE SUSCEPTIBLE TO VOLUME CHANGES WHEN MOISTURE CONTENT CHANGES. THIS MOVEMENT CAN CAUSE DAMAGE TO FINISHES WITHIN THE STRUCTURE AND TO THE STRUCTURE ITSELF.

BUILDER IS TO INFORM STRUCTURAL ENGINEER IF SOIL IS NOT DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, SINCE THE FOUNDATION TYPE OR FOUNDATION DETAILS MAY NEED TO BE REVISED TO SUIT A DIFFERENT SOIL TYPE.

THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR DAMAGES OR DELAYS CAUSED BY SITE CONDITIONS OR SOIL CONDITIONS WHICH DIFFER FROM THOSE UPON WHICH THE DESIGN HAS BEEN BASED. OWNER IS ALSO ADVISED THAT CONCRETE SLAB ON GRADE FLOORS MAY SETTLE/HEAVE CAUSING DAMAGE WHICH IS BEYOND THE CONTROL AND RESPONSIBILITY OF THE DESIGNER.

THESE DRAWINGS ARE STAMPED BASED UPON THE UNDERSTANDING THAT OWNER HAS ACKNOWLEDGED AND ACCEPTED THE RISKS AS DESCRIBED ABOVE.

DRAWING NO. **A-3b**  
 DATE: SEPT. 18, 2015  
 DRAWN BY: TVDK  
 DESIGNED BY: DM  
 SCALE: AS SHOWN  
 PROJECT: **ROBINSON RESIDENTIAL**  
 2232 2ND AVENUE REGINA, SASKATCHEWAN CANADA S4R 1K3 TEL: (306) 352-6617 FAX: (306) 352-6619  
 DRAWING TITLE: **STRUCTURAL NOTES & DETAILS**  
 LOT #6 & 7 BANKS CRES KAMASK, SASKATCHEWAN  
 DISCLAIMER: 1. Copyright © 2015 by Robison Residential Design Inc. with permission of the City of Regina. All rights reserved. 2. Drawings are not to be scaled. 3. All data are subject to change without notice. 4. This drawing is intended for use only for the project and site conditions shown. It is not to be used for any other purpose. 5. The information provided herein is for informational purposes only and does not constitute an offer of insurance or any other financial product. 6. Builder to conform to National Building Code of Canada (NBC) Part 9.



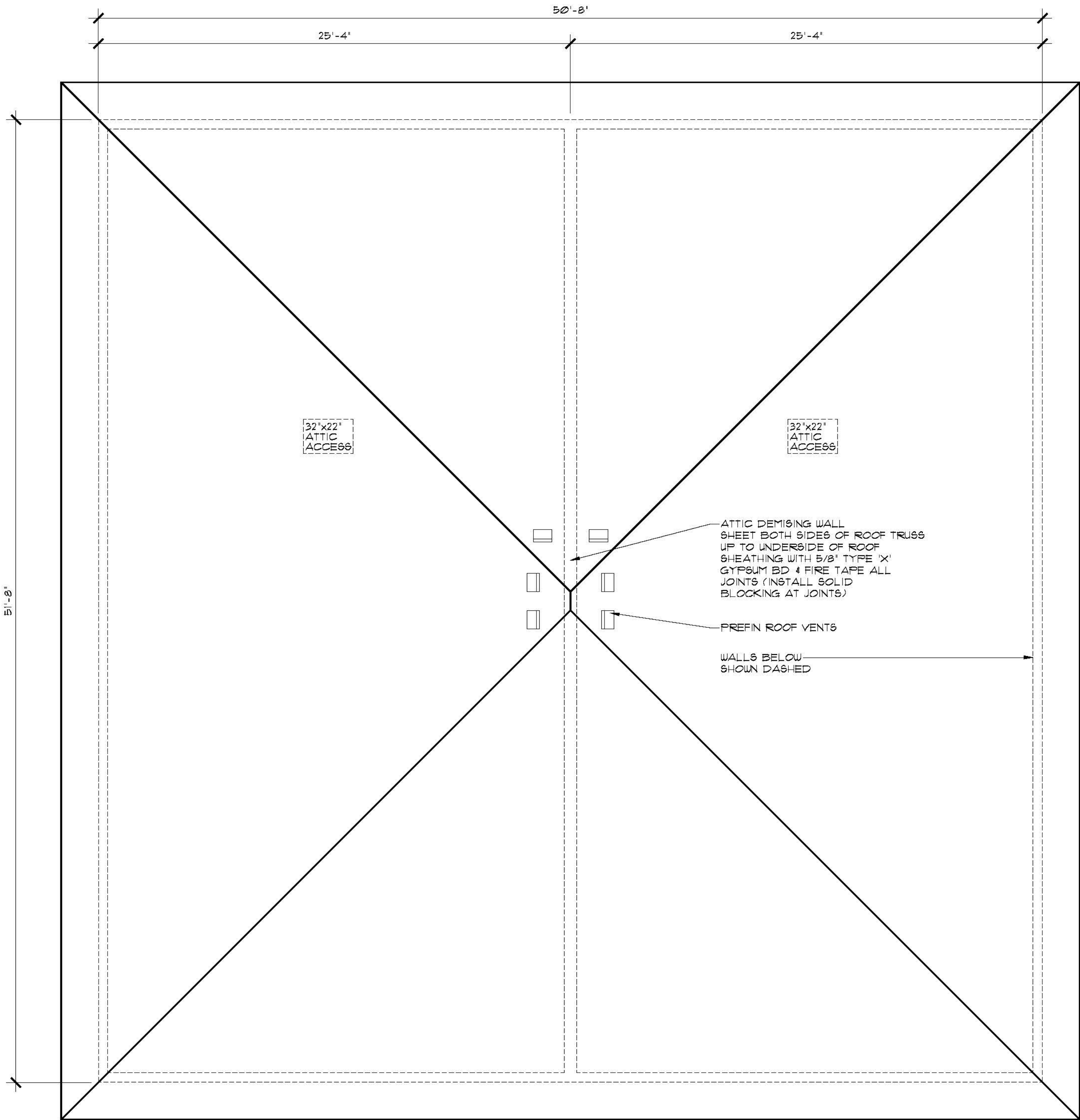
**MAIN FLOOR PLAN**  
**SCALE: 1/4" = 1'-0"**  
**AREA: 1309 SQ FT EACH SUITE**

- FLOOR PLAN NOTES:**
- DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF WALL SHEATHING FOR EXTERIOR WALLS AND TO CENTERLINE OF INT PARTITIONS UNO. DIMENSIONS WILL GO TO FACE OF FRAMING WHERE THERE ARE FLOOR OR CEILING FRAMING CHANGES, AND AT TUB/SHOWER UNITS.
  - CONFIRM ALL COLUMN LOCATIONS WITH SUPPORTED STRUCTURAL MEMBERS & COLUMNS BELOW.
  - REFER TO BUILDING SECTIONS FOR FULL WALL, FLOOR, & ROOF ASSEMBLY CALLUPS.
  - COORDINATE EXACT WINDOW AND EXTERIOR DOOR LOCATIONS. MAINTAIN SPACING BETWEEN WINDOW, DOORS AND CORNERS TO ALLOW FOR EXTERIOR AND INTERIOR TRIMS.
  - SEE ELEVATIONS FOR WINDOW'S DIRECTION OF OPERATION, DIMENSION OF ANY UN-EVEN SPLITS OBSCURE GLASS, ETC.

- ELECTRICAL NOTES:**
- ALL RECEPTACLES WITHIN 1.5m OF A SINK ARE TO BE GROUND FAULT CIRCUIT INTERRUPTERS AS PER CANADIAN ELECTRICAL CODE.
  - ALL EXTERIOR RECEPTACLES TO BE GROUND FAULT CIRCUIT INTERRUPTERS C/W WEATHERPROOF COVER AS PER CANADIAN ELECTRICAL CODE.
  - BUILDER TO CONFIRM ELECTRICAL LAYOUT WITH OWNER PRIOR TO CONSTRUCTION.
  - ELECTRICAL PANEL LOCATION SUBJECT TO CHANGE.

**MECHANICAL/ELECTRICAL LEGEND**

→	SUPPLY AIR REGISTER	◀CAT5	ETHERNET RECEPTACLE
←	RETURN AIR REGISTER	⊕	DUPLEX RECEPTACLE
⊗	NATURAL GAS OUTLET	SOFFIT PLUG	SOFFIT DUPLEX RECEPTACLE
HOSE BIBB	HOSE BIBB	S	SWITCH
⊙	SMOKE DETECTOR	S3	THREE WAY SWITCH
⊙	CARBON MONOXIDE/SMOKE DETECTOR	D	DIMMER SWITCH
⊙	ROUGH IN FOR CENTRAL VAC CANISTER	⊙	INCANDESCENT LIGHT FIXTURE
⊙	CENTRAL VAC RECEPTACLE	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊙	TELEVISION RECEPTACLE	⊙	FULL CHAIN INCANDESCENT LIGHT FIXTURE
⊙	TELEPHONE RECEPTACLE	⊙	POT LIGHT
		⊙	PENDANT LIGHT
		⊙	FUCK LIGHT



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**ROOF NOTES:**

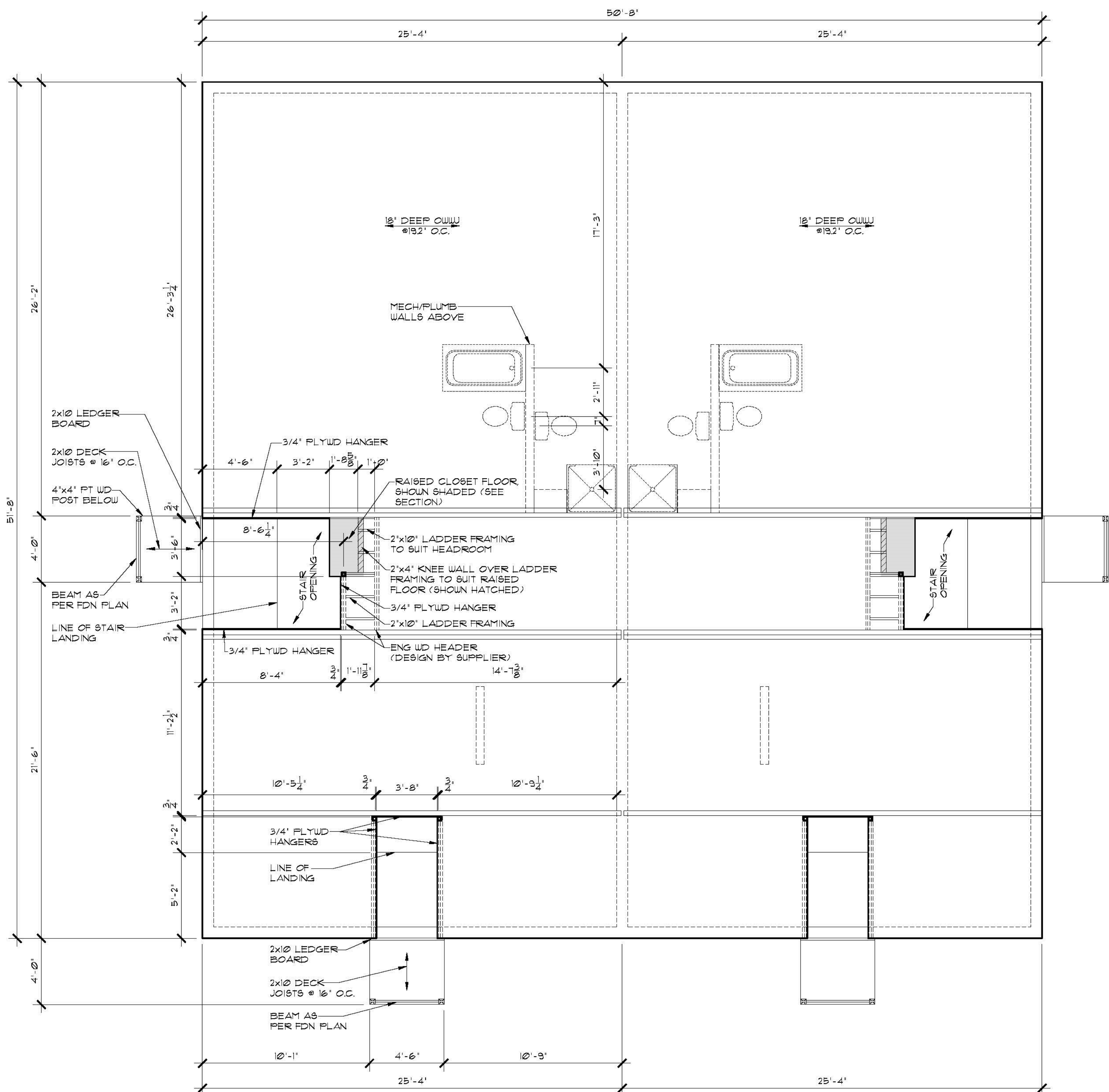
1. ALL ROOF SLOPES ARE 4:12 UNLESS NOTED OTHERWISE.
2. ALL ROOF OVERHANGS ARE 2'-0" UNLESS NOTED OTHERWISE.
3. ALL SOFFITS WITHIN THE 1.2M LIMITING DISTANCE MUST BE UNVENTED AND MADE OF NON-COMBUSTIBLE MATERIAL

**VENTING CALCULATIONS:**

2618 SQFT/300 SQFT = 8.7 SQ FT REQ'D VENT AREA TOTAL

**HIGH END - MIN 25% REQUIRED**  
 0.38 SQFT NET FREE VENT AREA PER ROOF VENT  
 6 VENTS x 0.38 SQFT = 2.28 SQ FT  
 2.28 SQFT / 8.7 SQ FT TOTAL REQ'D = 26%

**LOW END - MIN 25% REQUIRED**  
 425 SQFT VENTED SOFFIT  
 3.5 SQIN (0.0243 SQ FT) NET FREE VENT AREA PER SQFT OF SOFFIT AREA  
 425 SQFT x 0.0243 = 10.3 SQFT OF LOWER VENTING  
 10.3 SQ FT / 8.7 SQ FT TOTAL REQ'D = 119%



**MAIN FLOOR FRAMING PLAN**  
**SCALE: 1/4" = 1'-0"**

- FRAMING NOTES:**
1. ADDITIONAL FLOOR STRUCTURE SHOWN FOR OPENINGS AND CANTILEVERS. FINAL DESIGN DETERMINED BY SUPPLIER.
  2. FLOOR TRUSS SUPPLIER TO DESIGN TRUSSES TO SUIT MECHANICAL.
  3. INSTALL SOLID BLOCKING IN FLOOR SPACE UNDER COLUMNS AS REQUIRED.
  4. INSTALL BLOCKING UNDER INTERIOR WALLS PARALLEL TO FLOOR TRUSSES AS REQUIRED.
  5. FLOOR TRUSS SUPPLIER TO INCORPORATE HEADERS INTO TRUSS SPACE AS NECESSARY (SEE ELEVATIONS FOR WINDOW MOUNTING HEIGHTS).

FINISH AS PER ELEVATIONS  
C/W EAVE PROTECTION  
7/16" OSB SHTG C/W "H"-CLIPS  
ROOF TRUSSES @24" O.C.  
R40 FIBERGLASS INSUL  
6 MIL POLY AVB  
1/2" GYP CLG BD

PREFIN METAL FASCIA,  
SOFFIT, EAVESTROUGH  
AND DOWNSPOUTS

FINISH AS PER ELEVATIONS  
BUILDING PAPER  
3/8" OSB SHEATHING  
6" DIMENSION LUMBER TALL WALL  
(REFER TO SCHEDULE FOR  
SPACING) SHOWN HATCHED  
R20 BATT INSUL  
6 MIL POLY AVB  
1/2" GYPSUM BD

WOOD BEAM AS  
PER FDN PLAN

4"x4" PT WD POST

2"x10" LEDGER BOARD

8"x6"-1" REINF CONC FDN WALL  
(SHOWN HATCHED) (TYPICAL  
WALL REINF)

4" DIA WEeping TILE C/W  
GRAVEL COVER TO SUMP

**BUILDING SECTION**  
SCALE: 1/4"=1'-0"

FINISH AS PER ELEVATIONS  
C/W EAVE PROTECTION  
7/16" OSB SHTG C/W "H"-CLIPS  
ROOF TRUSSES @24" O.C.  
R40 FIBERGLASS INSUL  
6 MIL POLY AVB  
1/2" GYP CLG BD

PREFIN METAL FASCIA,  
SOFFIT, EAVESTROUGH  
AND DOWNSPOUTS

WOOD BEAM AS  
PER FDN PLAN

36" HIGH PREFIN  
METAL RAILING

WOOD STEPS  
TO SUIT GRADE

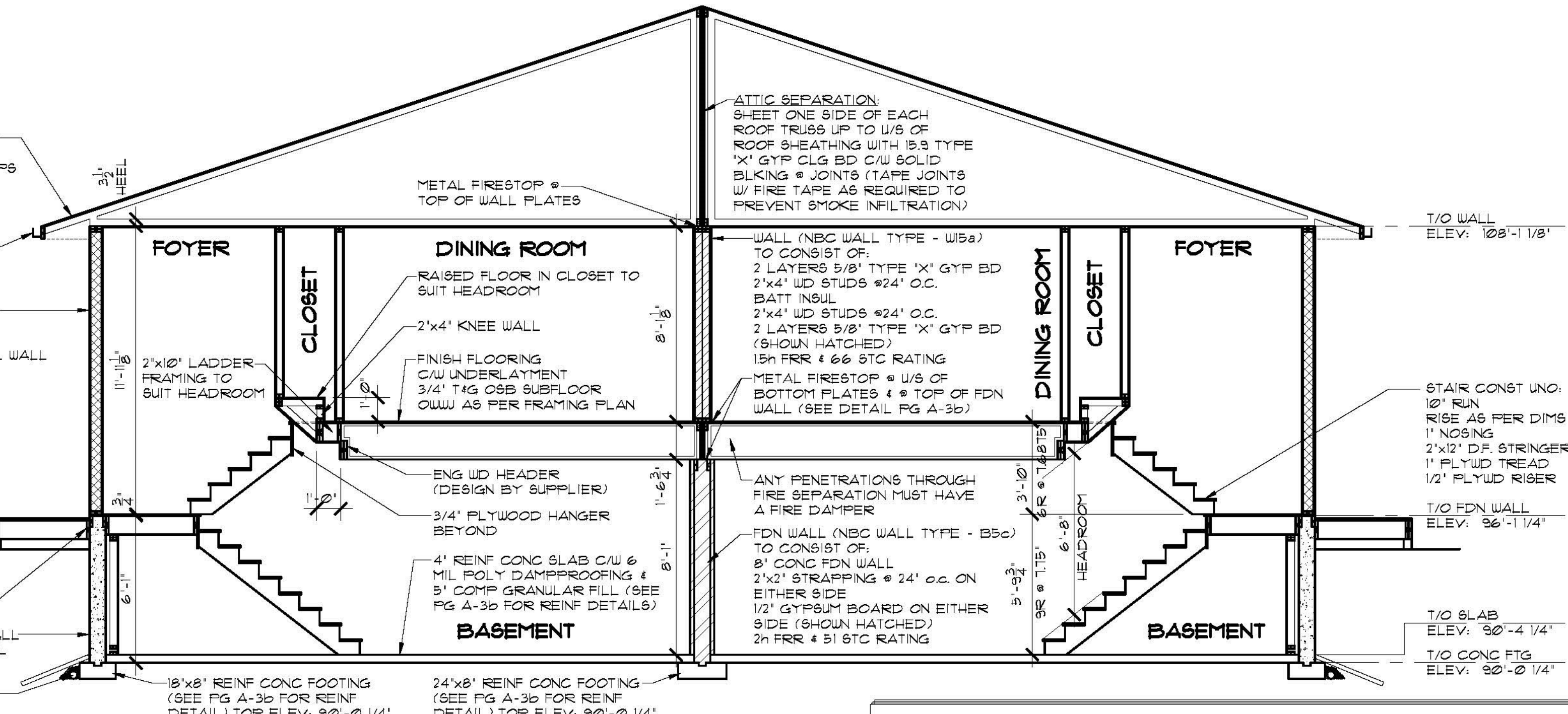
4"x4" PT WD POST

2"x10" LEDGER BOARD

4" DIA WEeping TILE C/W  
GRAVEL COVER TO SUMP

18"x8" REINF CONC FOOTING  
(SEE PG A-3b FOR REINF  
DETAIL) TOP ELEV: 90'-0 1/4"

**BUILDING SECTION**  
SCALE: 1/4"=1'-0"



ATTIC SEPARATION:  
SHEET ONE SIDE OF EACH  
ROOF TRUSS UP TO 1/8 OF  
ROOF SHEATHING WITH 15.3 TYPE  
"X" GYP CLG BD C/W SOLID  
BLKING @ JOINTS (TAPE JOINTS  
W/ FIRE TAPE AS REQUIRED TO  
PREVENT SMOKE INFILTRATION)

WALL (NBC WALL TYPE - W15a)  
TO CONSIST OF:  
2 LAYERS 5/8" TYPE "X" GYP BD  
2"x4" WD STUDS @24" O.C.  
BATT INSUL  
2"x4" WD STUDS @24" O.C.  
2 LAYERS 5/8" TYPE "X" GYP BD  
(SHOWN HATCHED)  
1.5h FRR @ 66 STC RATING

METAL FIRESTOP @ 1/8 OF  
BOTTOM PLATES @ TOP OF FDN  
WALL (SEE DETAIL PG A-3b)

ANY PENETRATIONS THROUGH  
FIRE SEPARATION MUST HAVE  
A FIRE DAMPER

FDN WALL (NBC WALL TYPE - B5c)  
TO CONSIST OF:  
8" CONC FDN WALL  
2"x2" STRAPPING @ 24" O.C. ON  
EITHER SIDE  
1/2" GYPSUM BOARD ON EITHER  
SIDE (SHOWN HATCHED)  
2h FRR @ 51 STC RATING

T/O WALL  
ELEV: 108'-1 1/8"

T/O FDN WALL  
ELEV: 96'-1 1/4"

T/O SLAB  
ELEV: 90'-4 1/4"

T/O CONC FTG  
ELEV: 90'-0 1/4"



For Foundation  
(Note Soil  
Conditions &  
Risk Advisory)

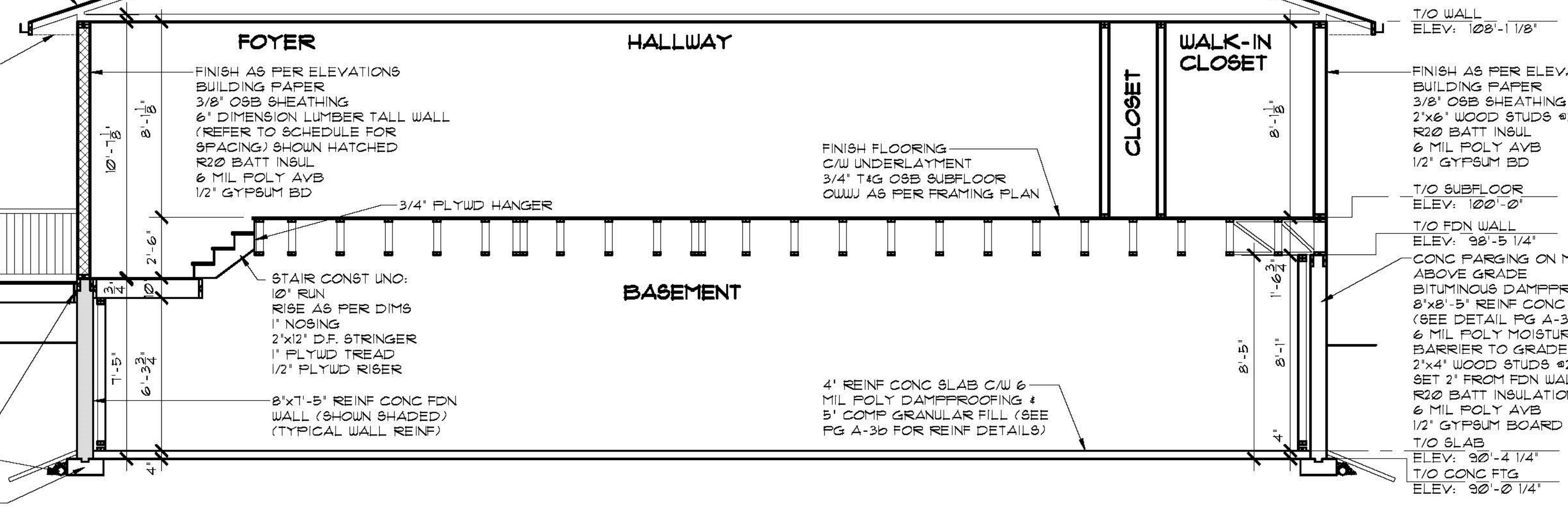
**SOIL CONDITIONS & RISK ADVISORY:**

NO SOILS INFORMATION WAS AVAILABLE OR PROVIDED FOR DESIGN PURPOSES. FOOTINGS HAVE BEEN SPECIFIED AND DESIGNED ASSUMING THAT SOIL IS DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, WHICH IS LESS SUSCEPTIBLE TO VOLUME CHANGES WITH CHANGES IN MOISTURE CONTENT. AN ALLOWABLE BEARING PRESSURE OF 1,650 PSF HAS BEEN ASSUMED. NOTE THAT FOOTINGS ARE PARTICULARLY SUSCEPTIBLE TO MOVEMENT IN PLASTIC CLAY SOILS WHICH ARE SUSCEPTIBLE TO VOLUME CHANGES WHEN MOISTURE CONTENT CHANGES. THIS MOVEMENT CAN CAUSE DAMAGE TO FINISHES WITHIN THE STRUCTURE AND TO THE STRUCTURE ITSELF.

BUILDER IS TO INFORM STRUCTURAL ENGINEER IF SOIL IS NOT DRY, STABLE CLAY (OR CLAY TILL) WITH LOW PLASTICITY, SINCE THE FOUNDATION TYPE OR FOUNDATION DETAILS MAY NEED TO BE REVISED TO SUIT A DIFFERENT SOIL TYPE.

THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR DAMAGES OR DELAYS CAUSED BY SITE CONDITIONS OR SOIL CONDITIONS WHICH DIFFER FROM THOSE UPON WHICH THE DESIGN HAS BEEN BASED. OWNER IS ALSO ADVISED THAT CONCRETE SLAB ON GRADE FLOORS MAY SETTLE/HEAVE CAUSING DAMAGE WHICH IS BEYOND THE CONTROL AND RESPONSIBILITY OF THE DESIGNER.

THESE DRAWINGS ARE STAMPED BASED UPON THE UNDERSTANDING THAT OWNER HAS ACKNOWLEDGED AND ACCEPTED THE RISKS AS DESCRIBED ABOVE.



T/O WALL  
ELEV: 108'-1 1/8"

T/O SUBFLOOR  
ELEV: 100'-0"

T/O FDN WALL  
ELEV: 98'-5 1/4"

T/O SLAB  
ELEV: 90'-4 1/4"

T/O CONC FTG  
ELEV: 90'-0 1/4"

DRAWING NO. **A-7**

DATE **SEPT. 18, 2015**

DRAWN BY **TVCK**

DESIGNED BY **DM**

SCALE **1/4" = 1'-0"**

DRAWING TITLE **BUILDING SECTIONS**

PROJECT **LOT #6 & 7 BANKS CRES KAMSAK, SASKATCHEWAN**

2232 2ND AVENUE  
REGINA, SASKATCHEWAN  
CANADA, S4R 1K3  
TEL: (306) 352-6617  
FAX: (306) 352-6619

**ROBINSON RESIDENTIAL**  
PERSONALIZING HOME DESIGN

**DUPLEX**

1. Copyright © 2015 Robinson Residential Design Inc. with permission of the City of Regina, Saskatchewan. All rights reserved. Duplication of these plans in whole or in part without the written permission of Robinson Residential Design Inc. is prohibited.

2. Drawings are not to be scaled.

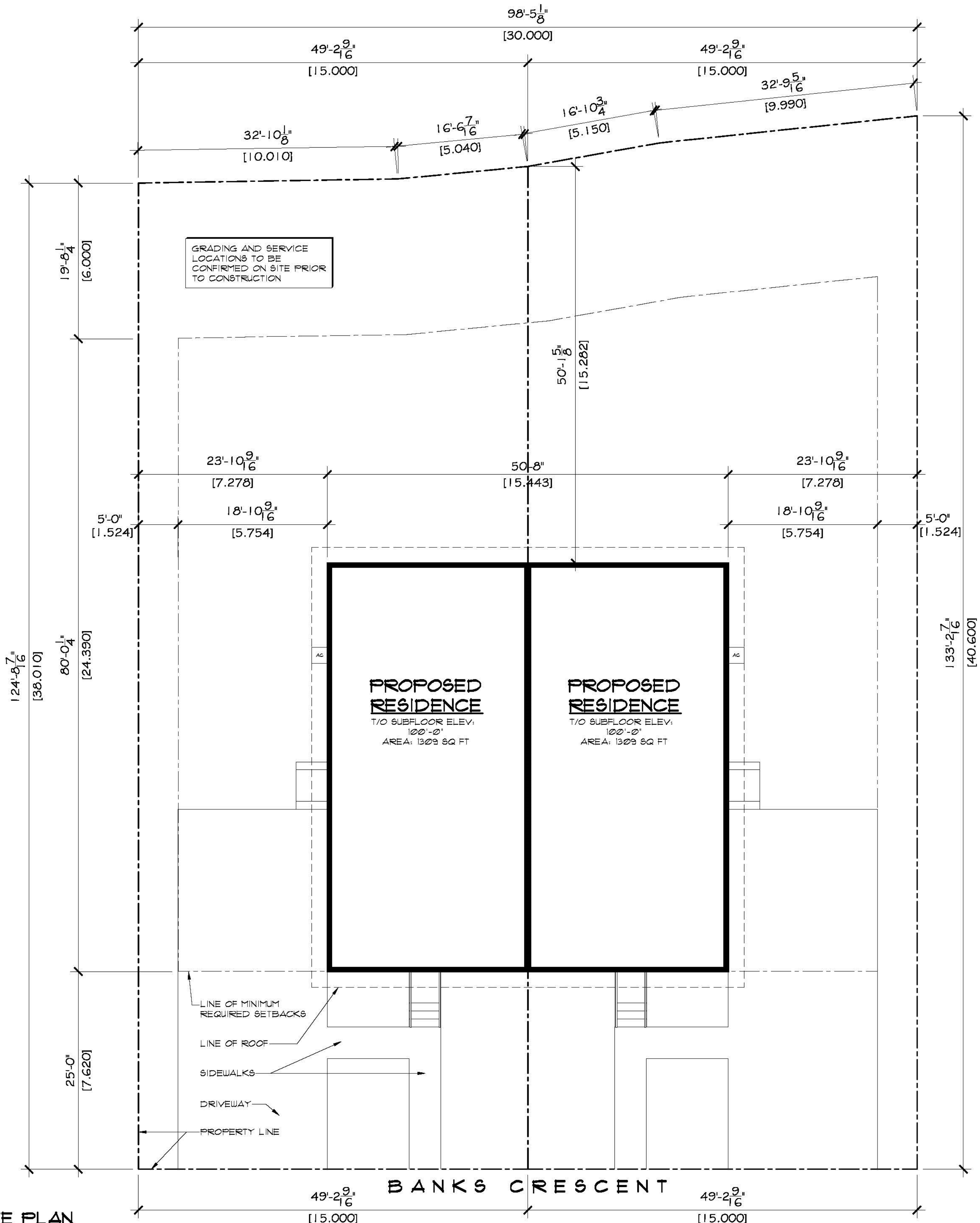
3. All work shall conform to the City of Regina Building Code, Saskatchewan Building Code, and any applicable local building codes. Robinson Residential Design Inc. is not responsible for any errors or omissions in these drawings. The user assumes all responsibility for the use of these drawings or the information provided herein.

4. Robinson Residential Design Inc. does not warrant or assume any liability for any damage, loss, or injury resulting from the use of these drawings or the information provided herein.

5. Builder to conform to National Building Code of Canada (NBC) Part 9.

PROFESSIONAL ENGINEER  
G.K. ROBINSON  
MEMBER 5968  
15-10-02  
SASKATCHEWAN





**SITE PLAN**  
 SCALE: 1/8" = 1'-0"  
**LEGAL DESCRIPTION**  
 LOT: #641  
 BLOCK: #64  
 PLAN: #11701892  
 LOCATION: KAMSAK, SASKATCHEWAN

**ROBINSON RESIDENTIAL**  
 PERSONALIZING HOME DESIGN

PROJECT  
**DUPLEX**  
 2232 2ND AVENUE  
 REGINA, SASKATCHEWAN  
 CANADA S4R 1K3  
 TEL: (306) 352-6617  
 FAX: (306) 352-6619

LOT #6 & 7 BANKS CRES  
 KAMSAK, SASKATCHEWAN

DISCLAIMER  
 1. Copyright of these plans remains with Robinson Residential Design Inc. Duplication of these plans in whole or in part is strictly prohibited without prior written permission from Robinson Residential Design Inc.  
 2. Drawings are not to be scaled.  
 3. All plans are drawn to suit the Canadian National Building Code (2006). Due to Local building codes, zoning regulations and climatic conditions, plans must be reviewed by local building official prior to construction. All structural components indicated on these drawings must be reviewed and engineered by a licensed architect or engineer.  
 4. Robinson Residential Design Inc. assumes no liability or responsibility for any errors, omissions and any incidental indirect or consequential damages whatsoever arising from the use of these drawings or the information provided therein.  
 5. Builder to conform to National Building Code of Canada (2006) Part 9.

SCALE 1/8" = 1'-0"	DESIGNED BY DM	DRAWN BY TVDK	DATE SEPT. 18, 2015	DRAWING NO. <b>A-8</b>
DRAWING TITLE <b>SITE PLAN</b>				