

**A**  
A-103  
1:75  
2ND FLOOR PLAN  
DEMOLITION

**B**  
A-103  
1:75  
2ND FLOOR PLAN  
CONSTRUCTION

NOTES

D.XXX SELECTIVE DEMOLITION

- D 1.00 REMOVE AND DISCARD EXISTING LIGHTNING PROTECTION SYSTEM, INCLUDING ASSOCIATED CABLES, RODS, HARDWARE AND FASTENERS, SEE ELECTRICAL.
- D 1.01 REMOVE AND DISCARD EXISTING RAINWATER LEADER SYSTEM INCLUDING HARDWARE AND FASTENERS. REMOVE AND DISCARD EXISTING ASPHALT SHINGLES, FELT UNDERLAY, SELF-ADHERING MEMBRANE AND ASSOCIATED PRE-PANDED METAL FLASHINGS. DISMANTLE EXISTING WOOD ROOF DECKING TO FRAMING AND SALVAGE AS SPECIFIED WHERE FREE OF DEFECTS FOR RE-USE.
- D 1.03 REMOVE AND DISCARD EXISTING ROOFING MEMBRANE, SHEATHING, STRAPPING, SUPPORTS, ASSOCIATED FLASHING, TO FRAMING.
- D 1.04 REMOVE AND DISCARD EXISTING METAL FLASHINGS.
- D 1.05 CUT EXISTING OPENING AS REQUIRED TO FRAME AND CREATE ATTIC ACCESS HATCH.
- D 1.06 REMOVE AND DISCARD EXISTING SUNROOM FASCIA.
- D 1.07 DISMANTLE EXISTING EAVES TO THE FRAMING INCLUDING FASCIA, SOFFIT AND OUTRIGGER ELEMENTS.
- D 1.08 SALVAGE EXISTING GABLE END PANNELLING FOR REUSE- RESTORE IN SHOP.
- D 1.09 REMOVE AND DISCARD EXISTING GABLE RAKE FASCIA.
- D 1.10 RESTORE EXISTING GABLE RAKE SOFFIT IN SITU.
- D 1.11 REMOVE AND DISCARD EXISTING DORMER CHEEK PANNELLING.
- D 1.12 SALVAGE EXISTING DORMER GABLE END PANNELLING FOR REUSE - RESTORE IN SHOP.
- D 1.13 RESTORE EXISTING DORMER CHEEK FASCIA IN SITU.
- D 1.14 RESTORE EXISTING DORMER RAKING SOFFIT, FASCIA AND MOULDING IN SITU.
- D 1.15 RESTORE EXISTING FLAT ROOF FASCIA IN SITU.
- D 2.00 REMOVE AND DISCARD EXISTING WOOD CLADDING (CLAPBOARDS & SHINGLES) AND WOODWORK WITH THE EXCEPTION OF ELEMENTS INDICATED FOR SALVAGE OR RESTORATION IN SITU.
- D 2.01 AT SUNROOM (ROOF LEVEL), REMOVE ASPHALT SHINGLES AND ASSOCIATED MEMBRANE & FLASHINGS.
- D 2.02 REMOVE AND DISCARD EXISTING TEMPORARY FLYWOOD CLADDING.
- D 2.03 REMOVE AND DISCARD EXISTING METAL FLASHING.
- D 2.04 REPLACE WALL SHEATHING AT EXISTING EXPLORATORY OPENINGS.
- D 2.05 REMOVE AND DISCARD EXISTING WINDOW AND FRAME.
- D 2.06 REMOVE AND DISCARD EXISTING DOOR AND FRAME.
- D 2.07 SALVAGE EXISTING MIDDLE BAND COURSE AND ASSOCIATED MOULDING FOR REUSE - RESTORE IN SHOP.
- D 2.08 SALVAGE EXISTING CORNER BOARDS FOR REUSE - RESTORE IN SHOP.
- D 2.09 REMOVE AND DISCARD EXISTING FRAMING AND BLOCKING AT OPENINGS.
- D 2.10 SALVAGE EXISTING WINDOW CASINGS AS INDICATED FOR REUSE- RESTORE IN SHOP.
- D 2.11 SALVAGE EXISTING HOOD BRACKETS AND ASSOCIATED MOULDINGS FOR REUSE - RESTORE IN SHOP.
- D 2.12 REMOVE AND DISCARD EXISTING HOOD, SOFFIT AND ASSOCIATED MOULDINGS.
- D 2.13 REMOVE AND DISCARD EXISTING FRAMING AND BLOCKING AT OPENINGS; DISCONNECT EXISTING EQUIPMENT, SEE MECHANICAL.
- D 3.00 REMOVE AND DISCARD EXISTING METAL STAIRS; CONSERVE CONCRETE PAD.
- D 3.01 REMOVE AND DISCARD EXISTING AIR CONDITIONING UNIT, BRACKETS & RELATED HARDWARE AND FASTENERS, SEE ELECTRICAL.
- D 3.02 REMOVE EXISTING LIGHT AND CAP REMAINING WIRES, SEE ELECTRICAL. PLACE EQUIPMENT IN STORAGE ON CEF AS DIRECTED BY DEPARTMENT REPRESENTATIVE.
- D 3.03 EXISTING SIGNAGE REMOVED BY OTHERS - N.I.C.
- D 3.04 REMOVE AND DISCARD EXISTING ELECTRICAL BOX, SEE ELECTRICAL.
- D 3.05 REMOVE AND DISCARD EXISTING AERIAL ANTENNA AND ASSOCIATED WIRING, HARDWARE AND FASTENERS, SEE ELECTRICAL.
- D 4.00 CONSERVE EXISTING VERANDAH WOODWORK.
- D 4.01 NEW VERANDAH POST - N.I.C.
- D 4.02 EXISTING HOSE BIBB TO BE REMOVED BY OTHERS - N.I.C.
- D 4.03 EXISTING GAS REGULATOR TO BE SECURED BY OTHERS - N.I.C., SEE MECHANICAL.
- D 4.04 PROTECT EXISTING ELECTRICAL SERVICE ENTRY DURING WORK.

X.XX CONSTRUCTION

- 1.00 NEW LIGHTNING PROTECTION SYSTEM, SEE ELECTRICAL.
- 1.01 CUSTOM FABRICATED MATTE FINISH S/S RAINWATER LEADER SYSTEM.
- 1.02 WESTERN RED CEDAR SHINGLES.
- 1.03 MATTE FINISH S/S ROOF.
- 1.04 MATTE FINISH S/S FLASHINGS.
- 1.05 REPAIR PLASTER TO MAKE GOOD SURFACE AT OPENING. FIT ATTIC ACCESS HATCH WITH CLOSURE PANEL AND TRIM.
- 1.06 NEW SUNROOM FASCIA.
- 1.07 REBUILD EAVES INCLUDING FASCIA & SOFFIT, FOR OUTRIGGER ELEMENTS SEE STRUCTURE.
- 1.08 RESTORED GABLE END PANNELLING.
- 1.09 NEW GABLE RAKE FASCIA.
- 1.10 RESTORED GABLE RAKE SOFFIT.
- 1.11 NEW DORMER CHEEK PANNELLING.
- 1.12 RESTORED DORMER GABLE END PANNELLING.
- 1.13 RESTORED DORMER CHEEK FASCIA.
- 1.14 RESTORED DORMER RAKING SOFFIT, FASCIA AND MOULDING.
- 1.15 RESTORED FLAT ROOF FASCIA.
- 1.16 WESTERN CEDAR RIDGE CAP WITH MATTE FINISH S/S FLASHING.
- 2.00 INSTALL NEW WOOD CLADDING (CLAPBOARDS & SHINGLES) AND NEW AND/OR RESTORED WOODWORK.
- 2.01 NEW METAL CLADDING.
- 2.02 NEW DOOR.
- 2.03 INTRODUCE MATTE FINISH S/S FLASHING ABOVE OPENINGS.
- 2.04 RESERVED.
- 2.05 NEW WINDOW AND FRAME.
- 2.06 MAKE DOOR TEMPORARILY INOPERABLE AND INSTALL "OUT OF ORDER" SIGN. COVER EXISTING RELATED "EXIT" SIGNS.
- 2.07 RESTORED MIDDLE BAND COURSE AND ASSOCIATED MOULDING.
- 2.08 RESTORED CORNER BOARDS.
- 2.09 NEW WINDOW, FRAME, STORM AND SCREEN - RESTORED SASH.
- 2.10 RESTORED WINDOW CASINGS.
- 2.11 RESTORED HOOD, BRACKETS AND ASSOCIATED MOULDINGS.
- 2.12 REPRODUCTION HOOD, BRACKETS AND ASSOCIATED MOULDINGS.
- 2.13 NEW LOUVER; CONNECT EQUIPMENT, SEE MECHANICAL.
- 3.00 NEW STAIRS - N.I.C.
- 4.00 REFINISH VERANDAH WOODWORK IN SITU.
- 4.01 PAINT NEW VERANDAH POST AS SPECIFIED FOR BARE WOOD.

TYP. TYPICAL  
N.I.C. NOT IN CONTRACT  
S/S STAINLESS STEEL

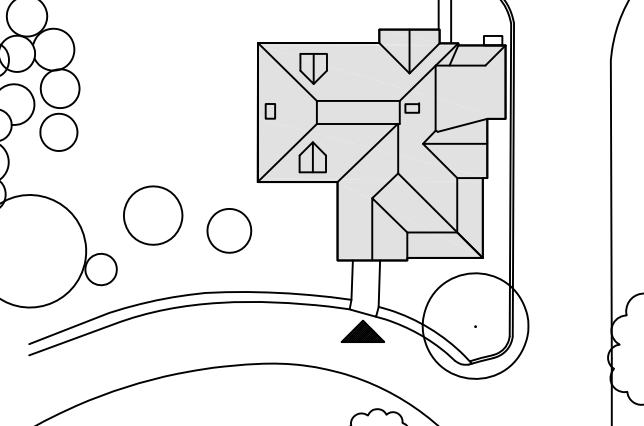
LEGEND

- # DOOR NUMBER
- # WINDOW NUMBER
- ROOM ROOM NUMBER
- EXISTING WALL
- EXISTING ASPHALT SHINGLES
- EXISTING ROOF MEMBRANE
- EXISTING ATTIC ACCESS HATCH
- CEDAR ROOF SHINGLES
- MEMBRANE UNDERLAY

Canada

Public Works and Government Services Canada  
Travaux publics et services gouvernementaux Canada  
DEPARTMENT OF AGRICULTURE AND AGRI-FOOD CANADA  
AGRICULTURE ET AGROALIMENTAIRE CANADA

KEY PLAN PLAN CLÉ



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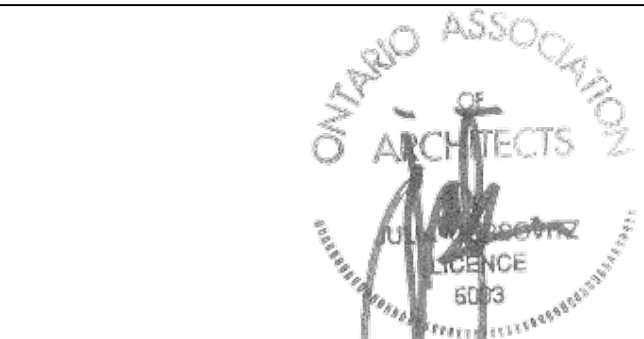
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Contractor to verify all dimensions & conditions on site and immediately notify the department representative of all discrepancies.



1	ISSUED FOR TENDER	2016/03/29
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revisions	description	date
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A C	A detail no. no. du détail B location drawing no. sur dessin no. C drawing no. dessin no.	A B C
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project projet  
**BUILDING ENVELOPE CONSERVATION**

BUILDING #54, CENTRAL EXPERIMENTAL FARM,  
MAPLE AVENUE, OTTAWA, ONTARIO

drawing dessin  
**2ND FLOOR PLAN**

Designed By	E.B. / J.D. 2015/12/23	Conçu par	
Date		(yyyy/mm/dd)	
Drawn By	P.B./M.P.	Dessiné par	
Date	2015/12/23	(yyyy/mm/dd)	
Reviewed By	E.B.	Examiné par	
Date	2016/02/12	(yyyy/mm/dd)	
Approved By	J.D. / J.G.	Approuvé par	
Date	2016/03/05	(yyyy/mm/dd)	
Tender	LAUREN GRUSZECKI	Soumission	
Project Manager	Administrateur de projets		
Project no.		No. du projet	
	<b>R.076826.001</b>		
Drawing no.		No. du dessin	
	<b>A-103</b>		