

GENERAL DRAWING NOTES

THE DRAWINGS SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
 THE CONTRACTOR SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, ELEVATIONS, DATUMS, AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - FACE OF MASONRY WALLS
 - EXTERIOR FACE OF ALL INTERIOR WALLS
 PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR.
 VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONTRACT ADMINISTRATOR.
 ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED.
 NO REPRODUCTION OF THE DRAWINGS MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE WINNIPEG JETS TRUE NORTH FOUNDATION AND ALL REPRODUCTION MUST BEAR THE NAME OF THE ARCHITECT.
 FOR ROOM FINISH SCHEDULE SEE SPECIFICATIONS.
 FOR DOOR AND FRAME SCHEDULE SEE SPECIFICATIONS.
 GENERAL CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY MECHANICAL AND ELECTRICAL APPARATUS APPEARANCE WHICH MAY VARY FROM THAT INDICATED IN THE CONTRACT DOCUMENTS.
GENERAL DEMOLITION NOTES
 1. CONTRACTOR TO COORDINATE WITH DEPARTMENTAL REPRESENTATIVE ALL ITEMS REQUIRED TO BE TEMPORARILY MOVED. ALL ITEMS TO BE SALVAGED AND RETURNED TO OWNER.
 2. REMOVE AND SALVAGE ALL EXISTING INTERIOR SIGNAGE INCLUDING BUT NOT LIMITED TO ROOM NUMBERS & FIRE EXTINGUISHER SIGNAGE - VERIFY WITH DEPARTMENTAL REPRESENTATIVE.
 3. REFER TO MECHANICAL AND ELECTRICAL FOR DEMOLITION INFORMATION RELATED TO MECHANICAL AND ELECTRICAL ELEMENTS.
 4. SALVAGE ALL EXISTING FIRE EXTINGUISHERS.
 5. REFER TO PLANS FOR DIMENSIONS RELATED TO DEMOLITION OF OPENING IN EXISTING WALLS.
 6. ENSURE THAT ALL EXISTING TO REMAIN COMPONENTS (INCLUDING CONCRETE RELIEFS, ENGRAVED STONE, LIMESTONE BLOCKS, ETC.) ARE PROTECTED FROM DAMAGE DURING DEMOLITION.



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Revision	Description	Date
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PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

Project title: **THE FORKS NHS INFRASTRUCTURE UPGRADES**
THE FORKS WINNIPEG, MANITOBA

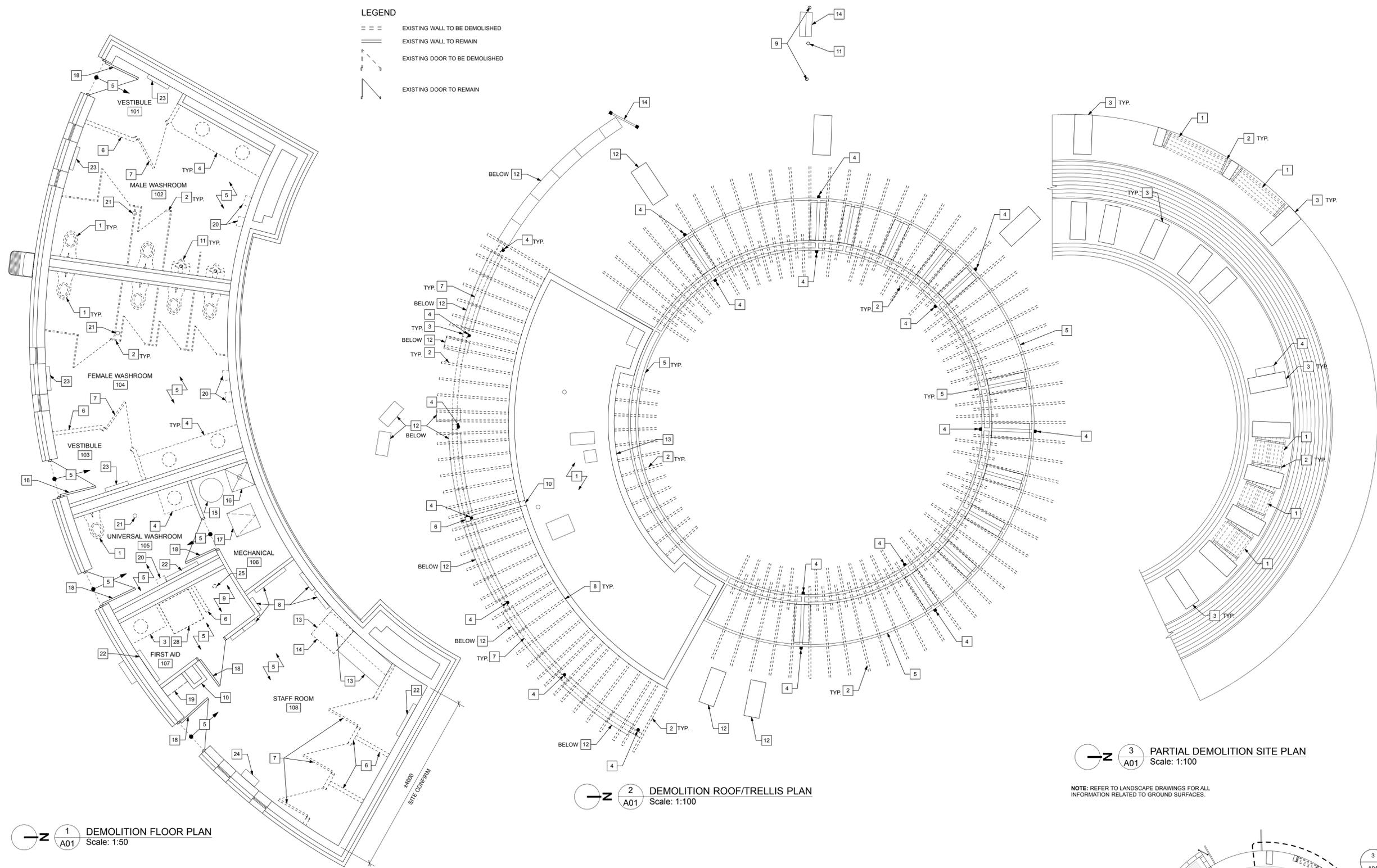
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Drawing title: **ARCHITECTURAL MAIN ORIENTATION NODE DEMOLITION ROOF/TRELLIS PLAN & DEMOLITION FLOOR PLAN**

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LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN



- DEMOLITION FLOOR PLAN KEYNOTES**
- 1 REMOVE EXISTING WALL HUNG WATER CLOSETS - RETAIN EXISTING CARRYING CHANNELS FOR NEW WATER CLOSETS.
 - 2 REMOVE EXISTING TOILET PARTITIONS. PATCH WALL AT LOCATIONS OF DEMOLISHED TOILET PARTITIONS AND MAKE GOOD - TYP.
 - 3 REMOVE EXISTING MILLWORK C/W SINK AND FAUCET. PATCH AND MAKE GOOD WALL SURFACES AFFECTED. DEPARTMENT REP TO DETERMINE WHETHER EQUIPMENT IS TO BE SALVAGED.
 - 4 REMOVE EXISTING MILLWORK C/W SINK AND FAUCET. PATCH AND MAKE GOOD WALL SURFACES AFFECTED. RETAIN ALL EXISTING SINKS AND FAUCETS FOR NEW MILLWORK.
 - 5 DEMOLISH EXISTING CERAMIC FLOOR TILE AND PREPARE CONCRETE TO RECEIVE NEW FINISH - REFER TO PLAN (1/A03) AND FLOOR FINISH PLAN (1/A05).
 - 6 DEMOLISH EXISTING WALL. PATCH WALL AT LOCATIONS OF DEMOLISHED PARTITIONS AND MAKE GOOD FOR NEW FINISH - TYP.
 - 7 REMOVE EXISTING DOOR AND FRAME
 - 8 EXISTING ELECTRICAL PANELS TO REMAIN - REFER TO ELECT.
 - 9 DEMOLISH EXISTING SHOWER INCLUDING ALL SHOWER ACCESSORIES - REFER TO MECH. RETURN ALL SHOWER ACCESSORIES TO DEPARTMENT REP.
 - 10 EXISTING COLUMN TO REMAIN - REFER TO ELECT.
 - 11 REMOVE EXISTING URINALS
 - 12 NOT USED.
 - 13 EXISTING MILLWORK TO REMAIN - REFER TO INTERIOR ELEVATIONS FOR MODIFICATIONS IN RENOVATION (13/A05 & 17/A05)
 - 14 REMOVE EXISTING REFRIGERATOR. RETURN TO DEPT. REP.
 - 15 EXISTING HOT WATER TANK TO REMAIN - REFER TO MECH.
 - 16 EXISTING MOP SINK TO REMAIN - REFER TO MECH.
 - 17 EXISTING HATCH TO CRAWL SPACE TO REMAIN
 - 18 EXISTING DOOR TO REMAIN. PREPARE AND PATCH ALL SURFACES FOR RE-PAINTING - TYP.
 - 19 REMOVE EXISTING LOCKERS. DEPARTMENT REP. TO DETERMINE IF TO BE SALVAGED.
 - 20 REMOVE EXISTING HAND DRYERS AND STORE FOR RE-USE IN RENOVATION- REFER TO ELECT.
 - 21 EXISTING FLOOR DRAIN TO REMAIN - REFER TO MECH.
 - 22 EXISTING BASEBOARD HEATER TO REMAIN - REFER TO ELECT.
 - 23 EXISTING ELECTRIC FORCE FLOW TO REMAIN - REFER TO ELECT.
 - 24 EXISTING WALL-MOUNTED MECH/ELECT EQUIPMENT TO REMAIN - REFER TO MECH/ELECT.
 - 25 CAP EXISTING SHOWER DRAIN - REFER TO MECH.
 - 26 NOT USED
 - 27 NOT USED
 - 28 REMOVE EXISTING CHEST FREEZER. STORE RETAIN FOR FUTURE USE IN RENOVATION - REFER TO PLAN (1/A03) FOR NEW LOCATION.

- DEMOLITION ROOF/TRELLIS PLAN KEYNOTES**
- 1 EXISTING ROOFING AND CAP FLASHING TO REMAIN - PATCH & REPAIR AT EXISTING RWL REMOVAL LOCATIONS ONLY
 - 2 REMOVE EXISTING OAK TRELLIS TIMBERS FOR REPURPOSE IN RENOVATION. REFER TO PLAN 1/A02, 4/A08 & 5/A08.
 - 3 DEMOLISH EXISTING OAK POST. TYP. OF 7, SITE CONFIRM QUANTITY.
 - 4 REMOVE EXISTING LIGHT FIXTURES AND RETURN TO USER DEPARTMENT. EXISTING WIRING TO REMAIN - REFER TO ELECT. SITE CONFIRM QUANTITY.
 - 5 EXISTING STEEL STRUCT. TO REMAIN. REFER TO PLAN 1/A02 AND SPEC. FOR REFINISHING IN RENOVATION.
 - 6 DEMOLISH EXISTING RAIN WATER LEADER/ROOF DRAIN
 - 7 DEMOLISH EXISTING OAK BEAM
 - 8 RETAIN EXISTING STEEL BRACKETS AT ALL TRELLIS AND EXTERIOR WALL CONNECTIONS FOR RE-USE IN RENOVATION - SEE STRUCTURAL (S12)
 - 9 DEMOLISH EXISTING FLAGPOLES - REFER TO LANDSCAPE (L02)
 - 10 EXISTING ROOF SCUPPER TO REMAIN. REFER TO PLAN 1/A02
 - 11 EXISTING FLAGPOLE TO REMAIN - REFER TO LANDSCAPE (L02)
 - 12 ENSURE EXISTING BLOCKS TO REMAIN ARE PROTECTED DURING DEMOLITION
 - 13 ENSURE EXISTING ENGRAVING TO REMAIN IS PROTECTED DURING DEMOLITION.
 - 14 EXISTING SIGN TO REMAIN - REFER TO LANDSCAPE (L06)

- PARTIAL DEMOLITION SITE PLAN KEYNOTES**
- 1 DEMOLISH ALL EXISTING WOOD ON BENCHES. SALVAGE FASTENERS FOR RE-USE. REFER TO 6/A06.
 - 2 EXISTING STEEL BENCH FRAME TO REMAIN. REFER TO 6/A06.
 - 3 ENSURE EXISTING BLOCKS TO REMAIN ARE PROTECTED DURING DEMOLITION
 - 4 EXISTING SIGN TO REMAIN - REFER TO LANDSCAPE (L06)

