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Ontario Region

Travaux publics
Services gouvernementaux
Canada

Services d'architecture
et de génie

Région de l'Ontario

ROOF REPLACEMENT

LAURA SECORD BUILDING

32 CHURCH STREET, ST. CATHARINES, ONTARIO

PWGSC Proj. No.: R.076458.002

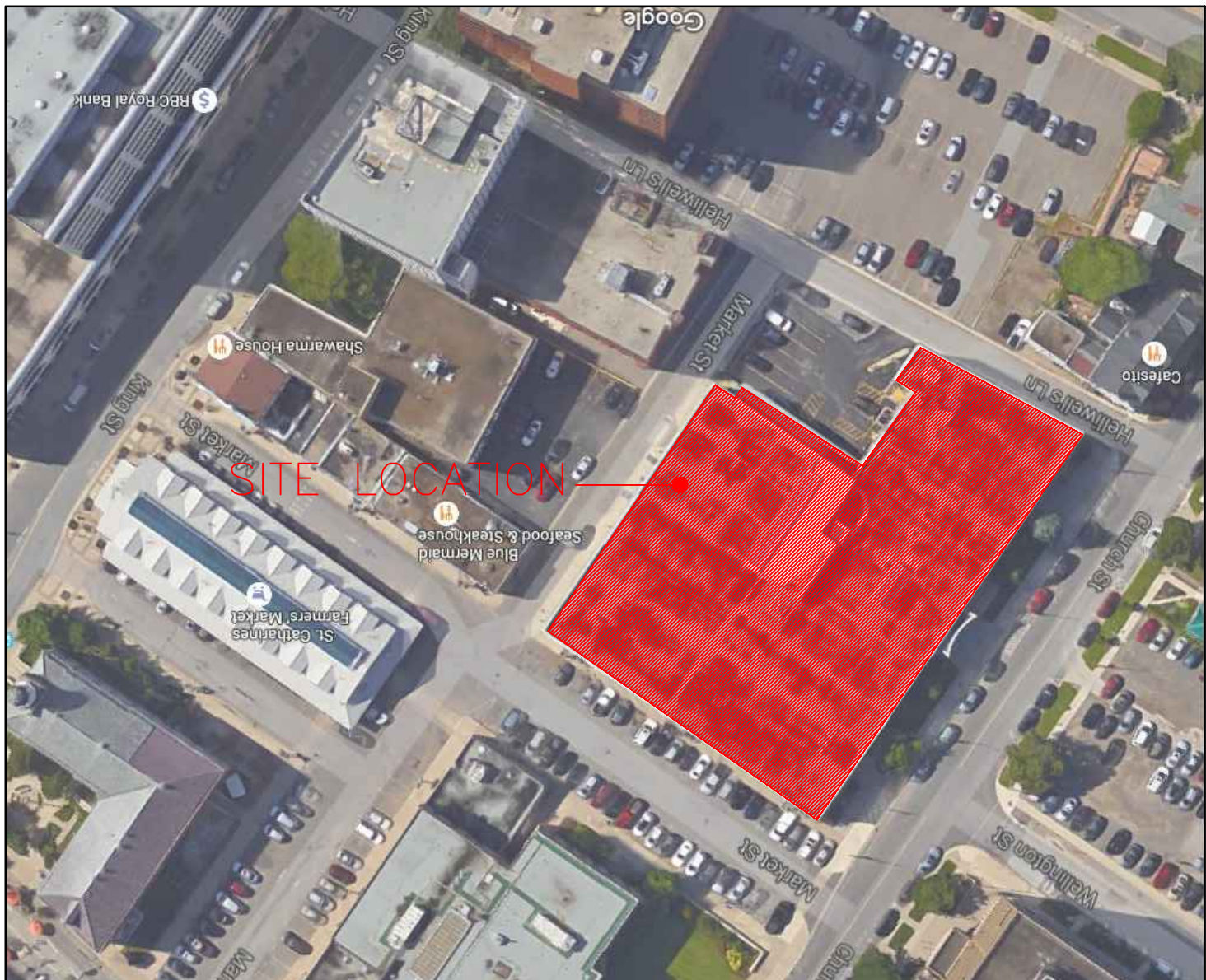
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ARCHITECTURAL

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1 AERIAL VIEW
A-00 SCALE: N.T.S.

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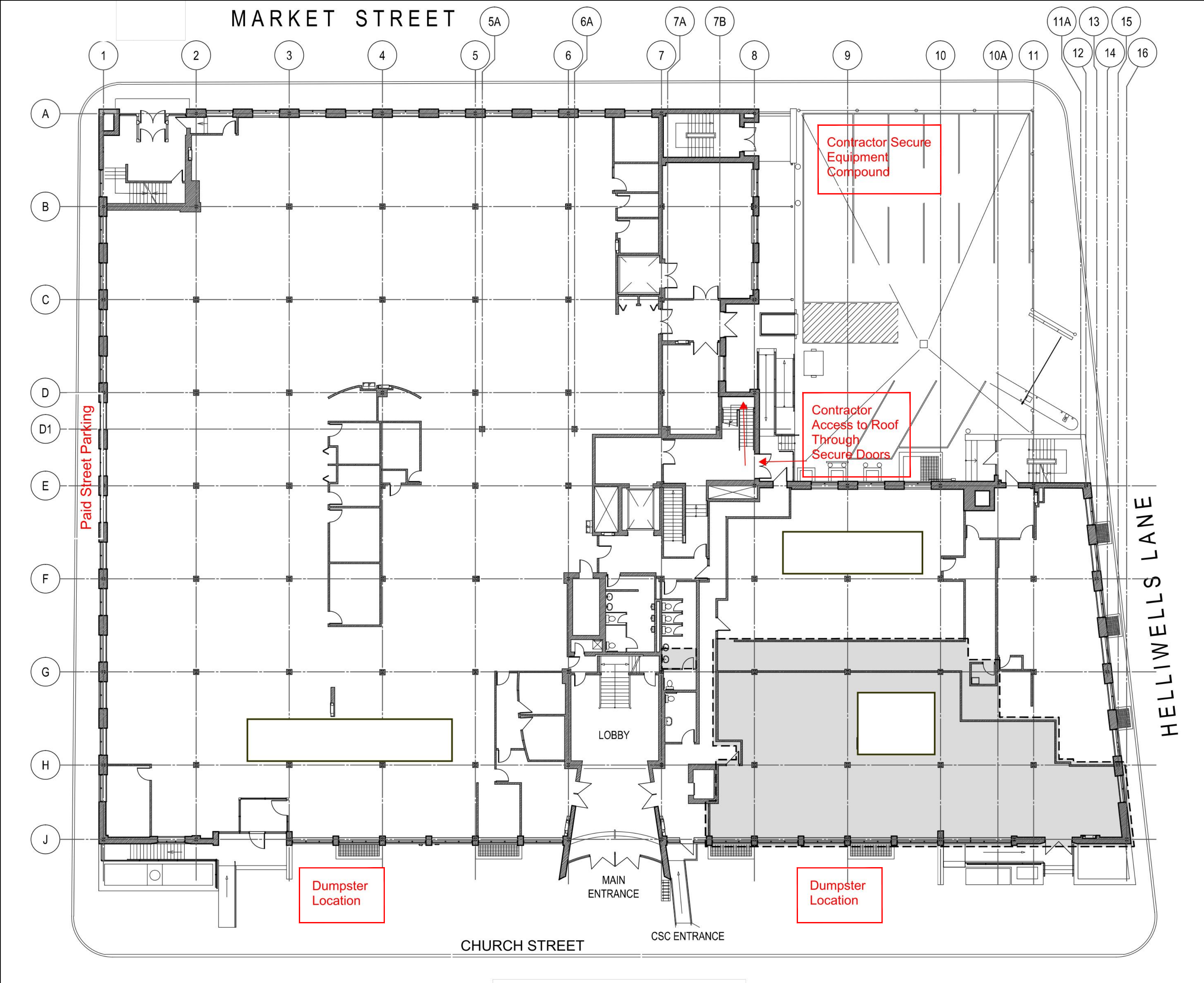
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project title
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ROOF REPLACEMENT
LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO


drawing title
titre du dessin
SITE MAP, DRAWING LIST

drawn by dessiné par	CS	
designed by conc par	CS	
approved by approuvé par	RN	
bid offre	AM	project manager administrateur de projets
project date date du projet	2016-06-30	
project no. no. du projet	R.076458.002 DIALOG NO. 11036T0100	
drawing no. dessiné no.	A-00	

Canada



- GENERAL NOTES:**
1. STAGING AREA TO BE DETERMINED ON SITE WITH THE DEPARTMENTAL REPRESENTATIVE.
 2. CONTACTOR SHALL TAKE CARE AS NOT TO DAMAGE BUILDINGS AND ALL GROUNDS IN THE VICINITY DURING ROOFING OPERATIONS. CONTRACTOR SHALL PROTECT AGAINST DUST INFILTRATION AND OTHER SUCH OCCURRENCES. GARBAGE CHUTES ARE TO BE LOCATED AS TO MINIMIZE THEIR EXPOSURE TO THE BUILDING AND ITS OCCUPANTS. PROTECT WALLS BY MEANS OF TARPULINS WHERE GARBAGE CHUTES AND HOISTING EQUIPMENT IS LOCATED. COVER DUMPSTERS AND BINS
 3. UNINTERRUPTED WATER-STOPS SHALL BE INSTALLED AT THE END OF EACH DAY'S WORK AND SHALL BE COMPLETELY REMOVED BEFORE PROCEEDING WITH THE NEXT DAY'S WORK. WATER-STOPS SHALL NOT EMIT DANGEROUS OR UNSAFE FUMES AND SHALL NOT REMAIN IN CONTACT WITH THE FINISHED ROOF AS THE INSTALLATION PROGRESSES.
 4. ARRANGE WORK SEQUENCE TO AVOID USE OF NEWLY CONSTRUCTED ROOFING AS A WALKING SURFACE OR FOR EQUIPMENT MOVEMENT AND STORAGE. WHERE SUCH ACCESS IS ABSOLUTELY REQUIRED, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AND BARRIERS TO SEGREGATE THE WORK AREA AND TO PREVENT DAMAGE TO ADJACENT AREAS
 5. THE CONTRACTOR SHALL VERIFY THAT ALL ROOF DRAIN LINES ARE FUNCTIONING CORRECTLY (NOT CLOGGED OR BLOCKED) BEFORE STARTING WORK. CONTRACTOR SHALL REPORT ANY SUCH BLOCKAGES IN WRITING TO THE DEPARTMENTAL REPRESENTATIVE FOR CORRECTIVE ACTION PRIOR TO THE INSTALLATION OF THE ROOF SYSTEM.
 6. PRECAUTIONS SHALL BE TAKEN WHEN USING ADHESIVES AT OR NEAR ROOFTOP VENTS OR AIR INTAKES. ADHESIVE ODOURS COULD ENTER THE BUILDING. COORDINATE THE OPERATION OF VENTS AND AIR INTAKES IN SUCH A MANNER AS TO AVOID THE INTAKE OF ADHESIVE ODOUR WHILE VENTILATING THE BUILDING. KEEP LIDS ON UNUSED CANS AT ALL TIMES.
 7. THE EXISTING ROOF SYSTEM SHALL BE REMOVED INCLUDING ALL MEMBRANES, INSULATION, FLASHINGS AND ASSOCIATED DEBRIS TO EXPOSE THE DECKING ENSURING PROPER AND ADEQUATE ADHESION OF THE NEW ROOF ASSEMBLY. ANY OPENING TO BE INFILLED IN ACCORDANCE WITH THE DETAILS.
 8. WHEN EXISTING ROOF SYSTEM IS REMOVED, NOTIFY DEPARTMENTAL REPRESENTATIVE SO THAT THE AREA CAN BE REVIEWED WITH THE CONTRACTOR.
 9. PRIOR TO THE REMOVAL OF ANY ROOF COMPONENTS, ALL EXISTING OPENINGS (DRAINS, VENTS, AIR INTAKES, ETC.) SHALL BE COVERED OR PLUGGED TO PREVENT ANY DEBRIS OR CONTAMINATE FROM ENTERING THE BUILDING BELOW. ALL SUCH COVERINGS ARE TO BE REMOVED AT THE END OF EACH WORKING DAY AND REINSTALLED PRIOR TO THE NEXT DAY'S START UP. COORDINATE WITH FACILITY MANAGER ON SITE.
 10. ALL UNUSED AND ABANDONED PITCH POCKETS, VENTS, CURBS, SLEEPERS, PROJECTIONS, ETC. ARE TO BE REMOVED FROM THE DESIGNATED AREAS AND DISPOSED OF. OBTAIN VERIFICATION AND AUTHORIZATION FROM THE DEPARTMENTAL REPRESENTATIVE BEFORE REMOVING ANY SUSPECTED UNUSED OR ABANDONED PROJECTIONS. NEW DECKING IS TO BE INSTALLED AS REQUIRED TO CLOSE OFF ANY OPENINGS PRIOR TO THE INSTALLATION OF THE NEW ROOFING SYSTEM
 11. DISCONNECT ELECTRICAL AND MECHANICAL SERVICES AS REQUIRED
 12. ENSURE THAT PROJECTIONS AND ANY EQUIPMENT (ELECTRICAL CONDUIT, GAS LINES ETC.) ARE CORRECTLY SECURED TO THE DECKING WHERE APPLICABLE. IF ANY INADEQUATE SECUREMENT IS FOUND, THE DEPARTMENTAL REPRESENTATIVE IS TO BE INFORMED AND WORK AROUND THAT AREA IS TO BE HALTED UNTIL THE SITUATION HAS BEEN RECTIFIED.
 13. ANY ROOFTOP EQUIPMENT REQUIRING DISCONNECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IN CONSULTATION WITH THE DEPARTMENTAL REPRESENTATIVE UNLESS OTHERWISE SPECIFIED IN THIS DOCUMENT
 14. CONTRACTORS SHALL ADD NEW WOOD BLOCKING AS NECESSARY TO MAINTAIN MINIMUM HEIGHTS AT PERIMETERS AND CURBS. CONTRACTOR SHALL REPLACE ANY SERIOUSLY DAMAGED OR DETERIORATED WOOD AT PERIMETERS AND PROJECTIONS WITH NEW PRESSURE TREATED WOOD BLOCKING OR EXTERIOR GRADE, GOOD ONE SIDE PLYWOOD TO MATCH EXISTING. DETERMINATION OF THE SUITABILITY TO RE-USE OR REPLACE EXISTING WOOD TO BE AT THE SOLE DISCRETION OF THE DEPARTMENTAL REPRESENTATIVE.
 15. THE MINIMUM HEIGHT ABOVE THE FINISHED ROOF AT CURB LOCATIONS AND AT WALL BASES IS TO BE 200MM. THE MINIMUM HEIGHT AT PARAPETS IS TO BE 150MM ABOVE THE FINISHED ROOF
 16. THE NEW VAPOUR RETARDER SHALL ACT AS A TEMPORARY ROOF MEMBRANE PROVIDING COMPLETE, CONTINUOUS WATERPROOFING TO THE ROOF PRIOR TO THE INSTALLATION OF THE NEW N.V.S. INSULATION SYSTEM. CONTRACTOR TO ENSURE TEMPORARY ROOF MEMBRANE IS WATERTIGHT AND HAS SUFFICIENT TEMPORARY DRAINAGE PRIOR TO INSTALLATION OF THE NEW N.V.S. INSULATION SYSTEM.
 17. TROWEL LIGHT WEIGHT CONCRETE SLURRY AROUND ALL PROJECTIONS (CURBS, CHIMNEYS, SLEEPERS, ETC.) TO FORM A DRAINAGE CRICKET OR SADDLE WITH POSITIVE SLOPE TO THE NEAREST ROOF DRAIN.
 18. EMBED A LAYER OF MINIMUM 125MM N.V.S. INSULATION BOARDS IN A STAIR STEP PATTERN AWAY FROM THE DRAIN INTO THE MINIMUM 3MM LAYER CONCRETE TO CREATE A FOUNDATION FOR THE LIGHT WEIGHT CONCRETE TOP POUR. THE MAXIMUM RISE BETWEEN STEPS IN THE INSULATION IS TO BE 25MM. N.V.S. INSULATION TO ACHIEVE A MINIMUM RSI VALUE OF 20 ACROSS EACH ROOF
 19. INSTALL THE LIGHTWEIGHT CONCRETE SLURRY OVER TOP OF THE INSULATION BOARDS. THE SLURRY COAT IS TO HAVE A MINIMUM THICKNESS OF 25MM AND IS TO BE TROWELLED TO ATTAIN A MINIMUM 1% SLOPE.
 20. INSTALL RELIEF VENTS ON ALL N.V.S. ROOF AREAS ENSURING ONE VENT FOR EVERY 100M2 OF ROOF AREA AND A MINIMUM OF TWO VENTS PER ROOF OR AS INDICATED ON ROOF PLAN.
 21. PROVIDE INSULATION SUMPS OF 1.2M X 1.2M WITH 600MM X 600MM CENTRAL FLAT AREA INSTALLED OVER THE PREPARED SUBSTRATE. NEW INSULATION SUMPS TO RUN FROM 50MM IN THICKNESS AT THE OUTER EDGE DOWN TO 25MM AT THE CENTRAL FLAT. CENTRAL FLAT TO BE 25MM THICK.
 22. THE INSULATED SUMPS TO BE MANUFACTURED OF RIGID MINERAL WOOL FIBREBOARD INSULATION WITH BITUMEN SATURATED AND LIGHTLY SANDED SURFACE. PROVIDE FILLER INSULATION OF RIGID MINERAL WOOL FIBRE BOARD WITH APPROPRIATE THICKNESS FOR INSTALLATION UNDER NEW INSULATION SUMP AS REQUIRED.
 23. WHERE NEW MEMBRANE FLASHINGS ABUT STEEL OR ALUMINUM SUBSTRATES, GRIND METAL TO GENERATE A "WHITE-METAL" SURFACE AND REMOVE LOOSE PARTICLES. EXTEND PREPARATION AREA A MINIMUM OF 25MM BEYOND THE TERMINATION OF THE ROOFING/FLASHING SYSTEM.
 24. WHERE NEW ADHERED MEMBRANE FLASHINGS ABUT WOOD OR PLYWOOD FLASHING SUBSTRATES TAPE THE JOINTS BETWEEN PLYWOOD OR WOOD PANELS USING THE SPECIFIED TAPE AND PRIME WOOD OR PLYWOOD SURFACES TO RECEIVE THE SPECIFIED FLASHING SYSTEM WITH PRIMER AND ALLOW PRIMER TO SET PRIOR TO APPLICATION OF THE FLASHING SYSTEM.
 25. MAIN ROOF IS PRESUMED TO BE MODIFIED BITUMEN MEMBER ON 75mm POLY ISO ROOF MEMBRANE WITH ADHERED VAPOUR BARRIER ON 50mm CONCRETE TOPPING ON V-RIB METAL FORM, AND ON OWSJ & STEEL FRAMING. REMOVE ALL TO LEVEL OF CONCRETE TOPPING AND PREPARE FOR NEW VAPOUR RETARDER - REFER TO 1/A-07 FOR PREVIOUS INTRUSIVE INVESTIGATION

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ROOF REPLACEMENT

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drawing title
titre du dessin
SITE PLAN

drawn by
dessiné par CS

designed by
conçu par CS

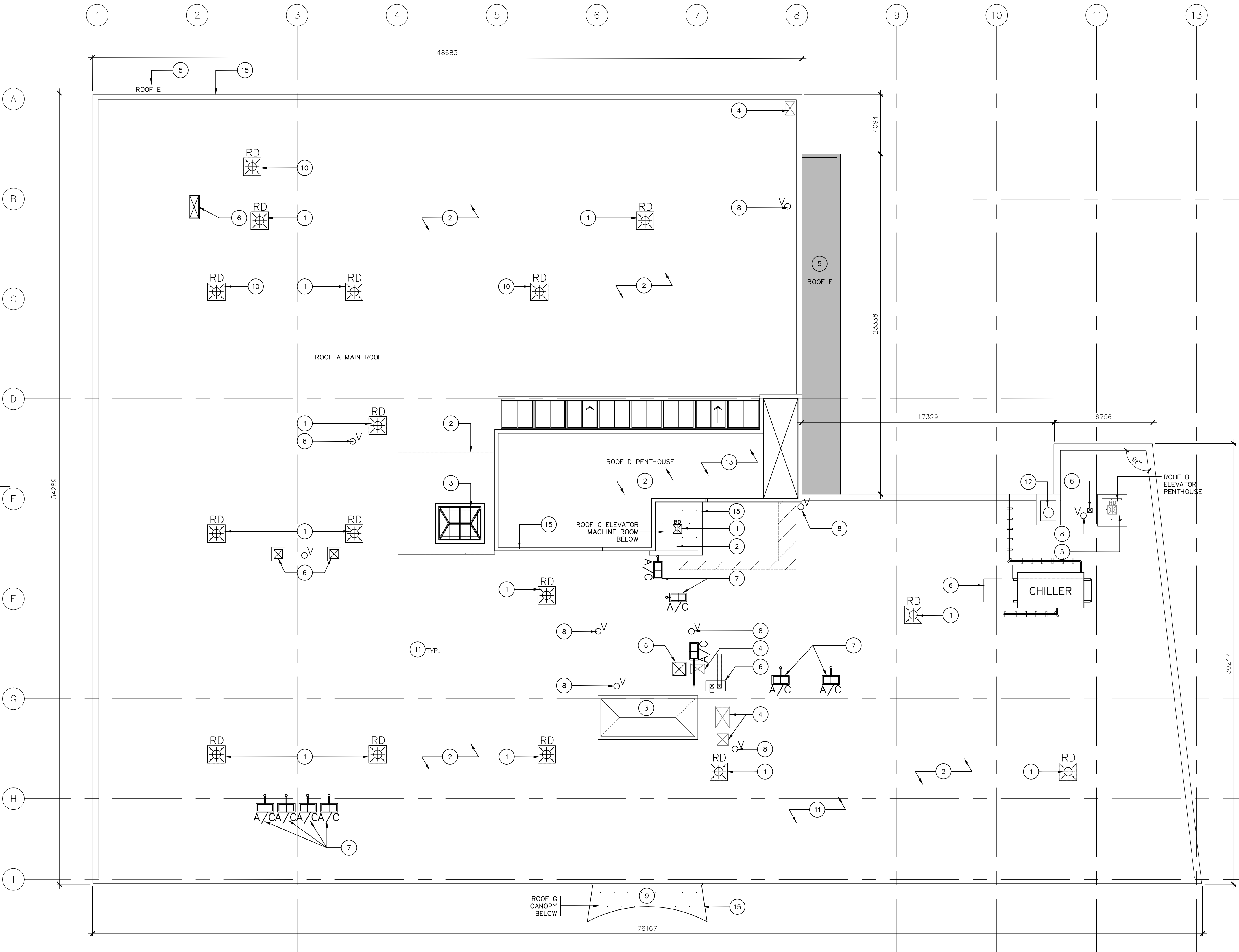
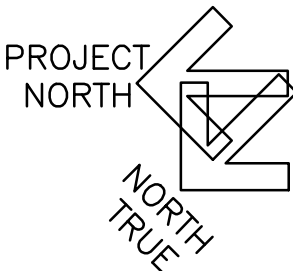
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approuvé par RN

bid
offre AM

project date
date du projet 2016-06-30

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no. du projet R.076458.002
DIALOG NO. 11036T0100

drawing no.
dessiné no. A-00A



1 DEMOLITION ROOF PLAN
A-01 SCALE: 1:150

GENERAL NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORK.
2. PATCH, MATCH AND MAKE GOOD EXISTING FINISHES TO REMAIN THAT ARE AFFECTED BY DEMOLITION AND CONSTRUCTION, INCLUDING 2ND FLOOR CEILING AFFECTED BY ROOF REPLACEMENT SCOPE OF WORK.
3. PATCH, MATCH AND MAKE GOOD EXISTING CONSTRUCTION TO REMAIN AND MAINTAIN INTEGRITY OF FIRE SEPARATION.

LEGEND

- RD DEMOLISH EXISTING ROOF DRAIN AND INSTALL NEW AS SPECIFIED
TAPER INSULATION AT DRAINS AS SPECIFIED
- OV EXISTING PLUMBING VENTS
- EXISTING EXHAUST DUCTS REFER TO DETAIL
- REMOVE EXISTING PAVER
- AC EXISTING FREE-STANDING A/C CONDENSERS PROVIDE NEW RIGID INSULATION PADS UNDER PRESENT CONCRETE PAVERS AS PER MANUFACTURERS INSTRUCTIONS
- EXISTING CURB AND ROOF OPENING TO BE DEMOLISHED. FILL OPENING WITH COMPOSITE DECK
- RD EXISTING ROOF DRAIN TO REMAIN

KEY NOTES

- 1 DEMOLISH EXISTING ROOF DRAIN AT ROOF LEVEL, EXISTING RAIN WATER LEADER BELOW ROOF SLAB TO REMAIN. PREPARE RWL FOR NEW ROOF DRAIN INSTALLATION.
- 2 REMOVE EXISTING ROOFING, INSULATION AND SHEATHING BOARD. CLEAN AND PREPARE CONCRETE ROOF SLAB FOR NEW ROOF INSTALLATION.
- 3 EXISTING SKYLIGHT AND ROOF CURB TO REMAIN, DEMOLISH EXISTING FLASHING AND ROOFING TIED INTO SKYLIGHT.
- 4 EXISTING ROOF OPENING AND ROOF CURB ENCLOSED WITH METAL FLASHING. DEMOLISH EXISTING ROOFING, FLASHING AND ROOF OPENING. INFILL ROOF OPENING WITH COMPOSITE DECK. ALIGN NEW INFILL WITH ADJACENT ROOF SLAB.
- 5 EXISTING ROOF AND PARAPET TO REMAIN.
- 6 EXISTING DUCT AND ROOF CURB TO REMAIN, DEMOLISH ROOFING, INSULATION AND FLASHING AROUND ROOF CURB. PATCH, REPAIR AND PREPARE ROOF CURB FOR NEW ROOF INSTALLATION. PROVIDE SLOPE UNDER CHILLER. TYP.
- 7 EXISTING FREE-STANDING A/C CONDENSERS AND GOOSE NECK ROOF CONNECTION TO REMAIN IN OPERATIONS FOR ALL TIME.
- 8 EXISTING VENT TO REMAIN. DEMOLISH EXISTING ROOFING, BLOCKING AND FLASHING AROUND PLUMBING VENTS.
- 9 DEMOLISH EXISTING ROOF MEMBRANE. PATCH AND MAKE GOOD ALL AREA AFFECTED BY DEMOLITION. PREPARE SURFACE FOR NEW ROOFING CANOPY TO BE NEW MODIFIED BITUMEN MEMBRANE ON CEMENTIOUS BOARD. NEW INSULATION OR N.V.S. REQUIRED
- 10 DEMOLISH EXISTING ROOF DRAIN AND CAP RWL CONNECTED TO ROOF DRAIN.
- 11 THIS ROOF IS PRESUMED TO BE MODIFIED BITUMEN MEMBER ON 75mm POLY ISO ROOF MEMBRANE WITH ADHERED VAPOUR BARRIER ON 50mm CONCRETE TOPPING ON V-RIB METAL FORM, AND ON OWSJ & STEEL FRAMING. REMOVE ALL TO LEVEL OF CONCRETE TOPPING AND PREPARE FOR NEW VAPOUR RETARDER
- 12 EXISTING CHIMNEY
- 13 SINGLE PLY ON INSULATION
- 14 EXISTING CONDUIT TO CHILLER - SEE 4/A-06
- 15 EXISTING PARAPET CAP FLASHING AND ALL MEMBRANE AND EXISTING WOOD BLOCKING TO BE REMOVED FOR NEW FLASHINGS
- 16 CONTRACTOR RESTRICTED ACCESS STAIR TO PARKING/ROOF

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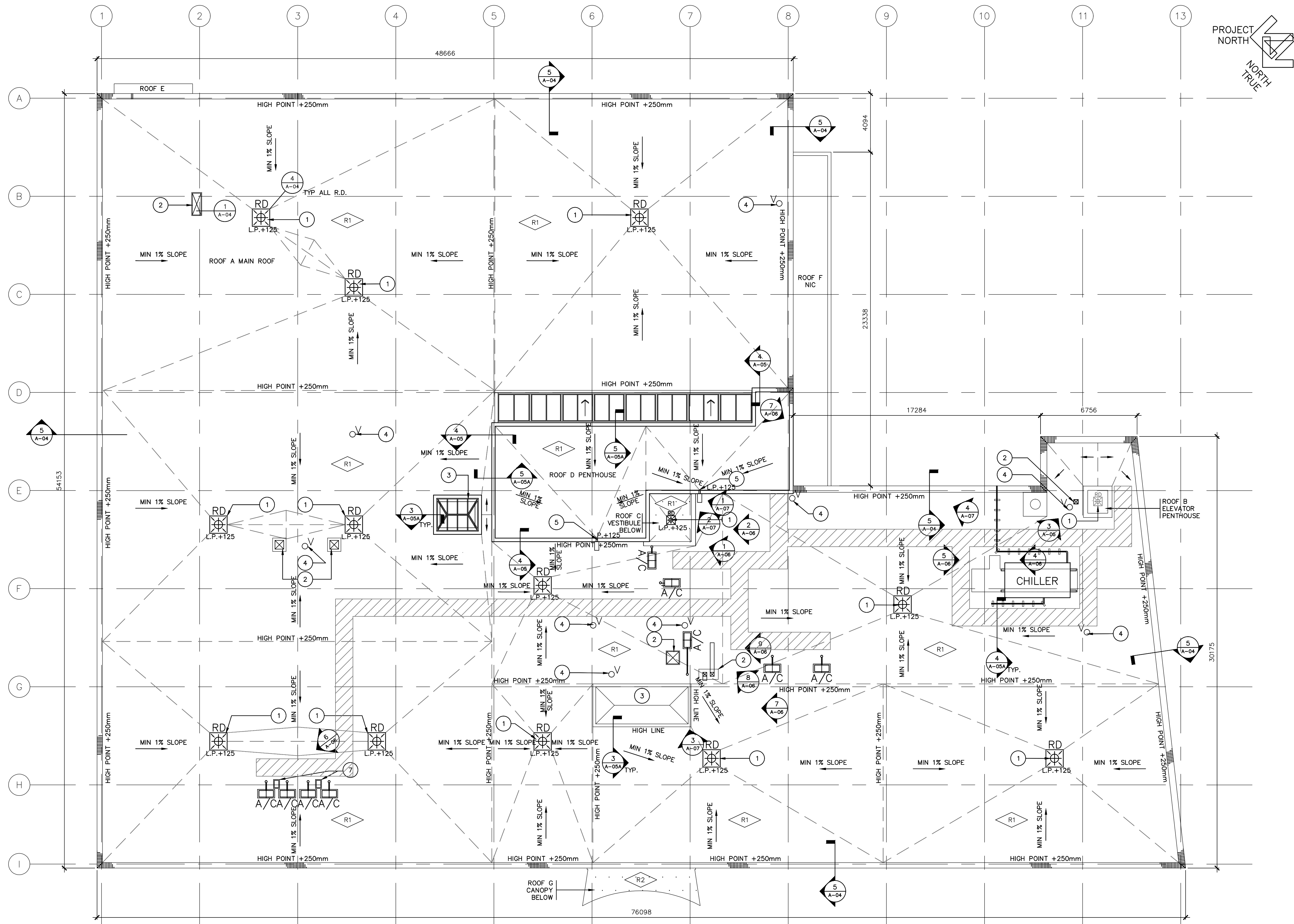
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A-01



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2. PATCH, MATCH AND MAKE GOOD EXISTING CONSTRUCTION TO REMAIN AND MAINTAIN INTEGRITY OF FIRE SEPARATION.

- 1 NEW ROOF DRAINS ABOVE
- 2 EXISTING ROOF DRAIN ABOVE TO BE DEMOLISHED. CAP OFF RWL CONNECTED TO THE ROOF DRAIN PERMANENTLY
- 3 CONTRACTOR RESTRICTED ACCESS STAIR TO ROOF



1 ROOF PLAN
A-03 SCALE: 1:150

GENERAL NOTES:

1. PROVIDE SLOPE AS INDICATED ON DRAWINGS.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ROOF TOP EQUIPMENT AND DRAINAGE SCOPE OF WORK.
3. PROVIDE DRAIN SUMP MINIMUM 1.2MX1.2M WITH MIN MIN 1% SLOPE AND 600mmX600mm FLAT CENTRE IF SPECIFIED AT DRAIN LOCATIONS.
4. MAINTAIN MIN 1% ROOF SLOPES TO DRAIN (TYPICAL)
5. PROVIDE RELIEF VENT AS REQUIRED FOR ROOF MEMBRANE AND LIGHT WEIGHT INSULATION CONCRETE ROOF SYSTEM.

ROOF CONSTRUCTION

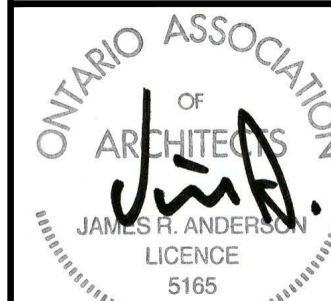
- R1 CAP SHEET MEMBRANE
BASE SHEET MEMBRANE
VENTING BASE SHEET MEMBRANE
LIGHT WEIGHT CONCRETE ON STEPPED INSULATION
3mm INSULATING SLURRY COVER
VAPOUR RETARDER
EXISTING ROOF SLAB
- R2 ROOFING
EXISTING ROOF SLAB

KEY NOTES

- 1 NEW ROOF DRAIN TIED INTO EXISTING RAIN WATER LEADER BELOW ROOF
- 2 EXISTING EXHAUST DUCTS, TIE IN NEW ROOFING AND PROVIDE NEW FLASHING.
- 3 EXISTING SKYLIGHT TO REMAIN, TIE IN NEW ROOFING AND PROVIDE NEW FLASHING
- 4 EXISTING PLUMBING VENT TO REMAIN, TIE IN NEW ROOFING AND PROVIDE NEW FLASHING.
- 5 SCUPPER DRAIN, CONNECT SCUPPER DRAIN TO EXISTING RWL. REFER TO PHOTO 4/A-05.
- 6 EXISTING SPLASH PAD
- 7 NEW ROOFING & FLASHING AROUND EXISTING GOOSE NECK VENTS

LEGEND

- RD NEW ROOF DRAIN AT ROOF LEVEL
- OV EXISTING PLUMBING VENTS TO REMAIN
- EXISTING EXHAUST DUCTS TO REMAIN REFER TO DETAIL
- AC EXISTING FREE-STANDING A/C CONDENSERS PROVIDE NEW RIGID INSULATION PADS AS PER MANUFACTURERS INSTRUCTIONS
- NEW WALKWAY MEMBRANE
- L.P. LOW POINT

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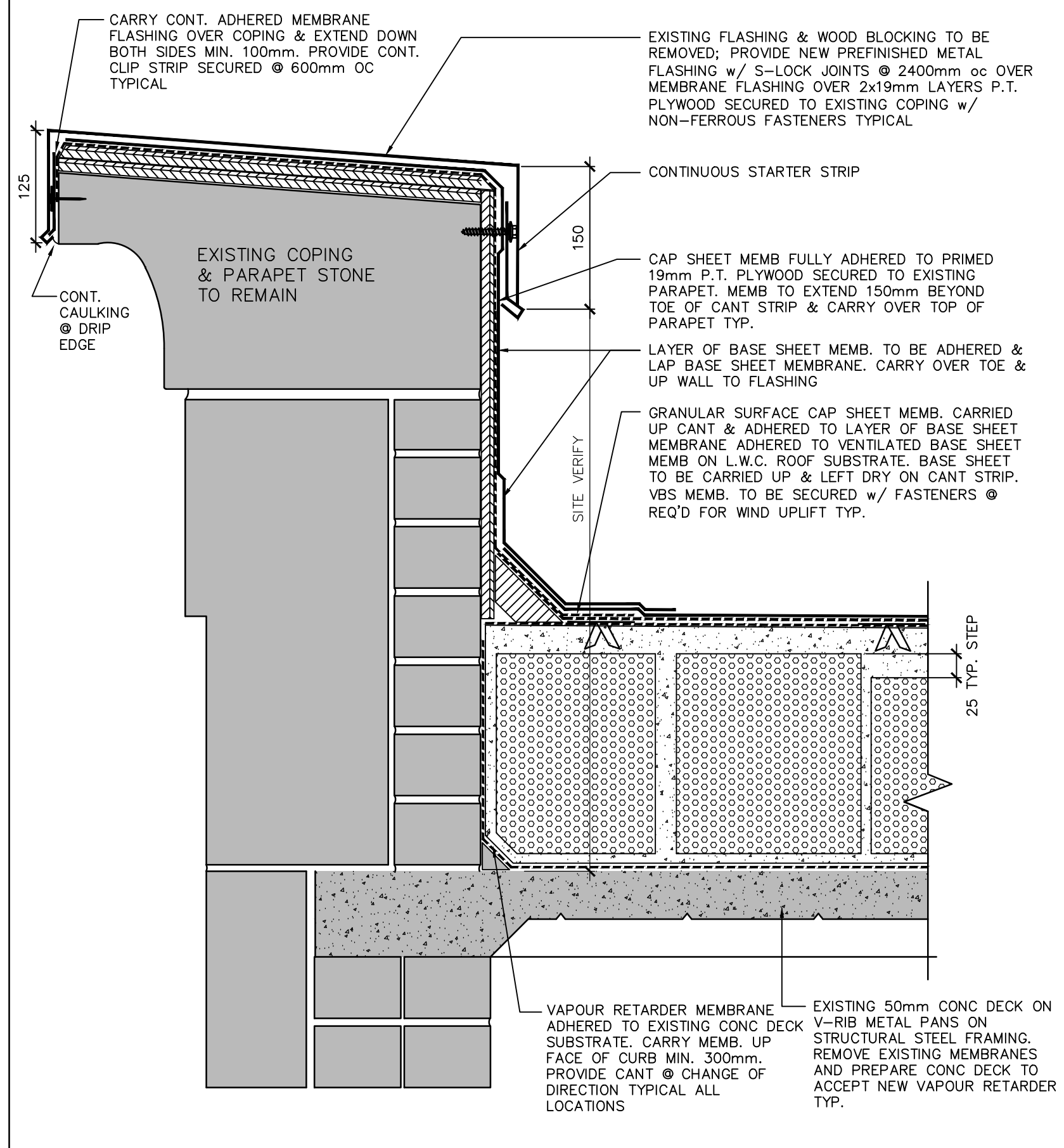
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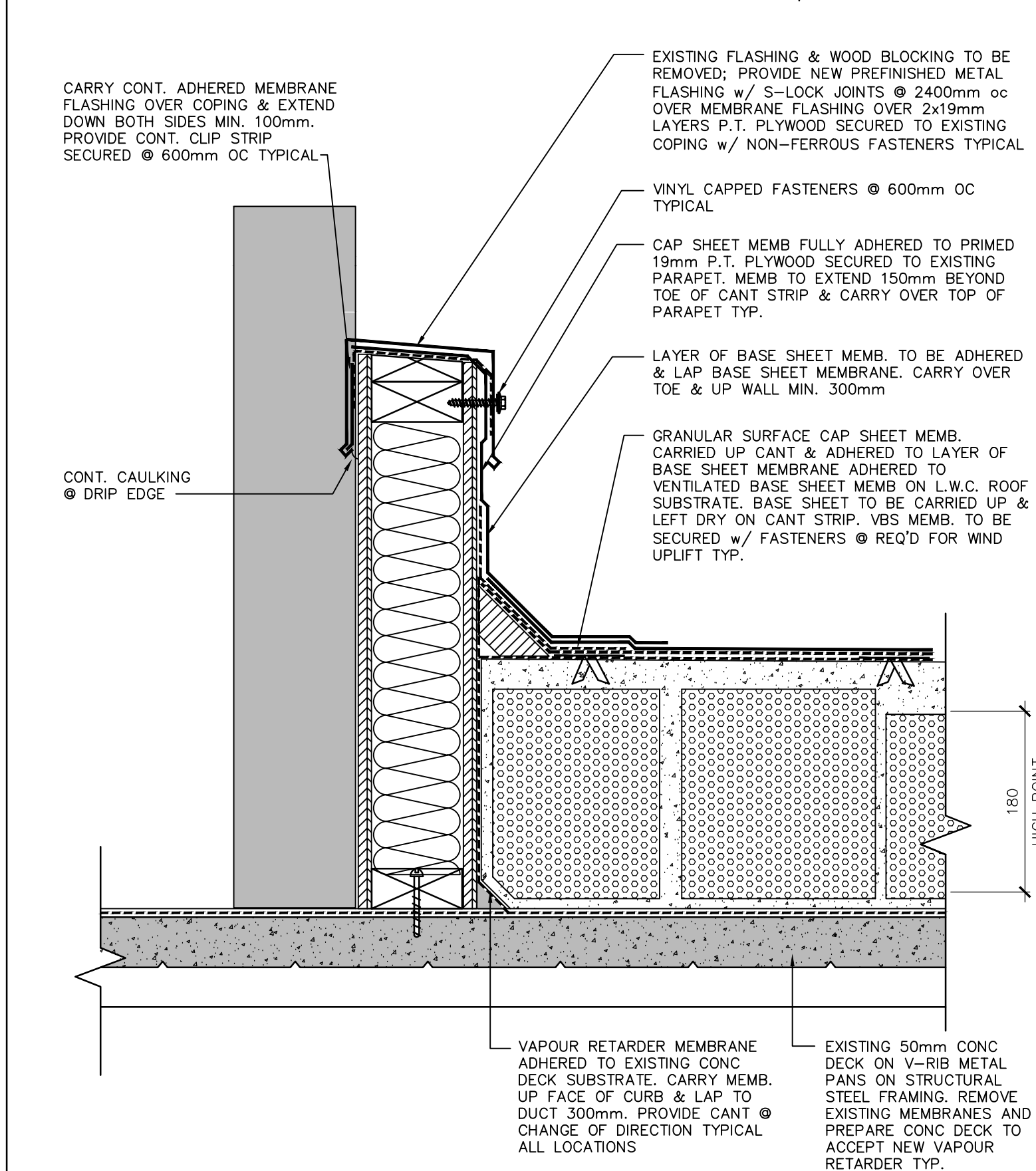
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dessiné no.
A-03



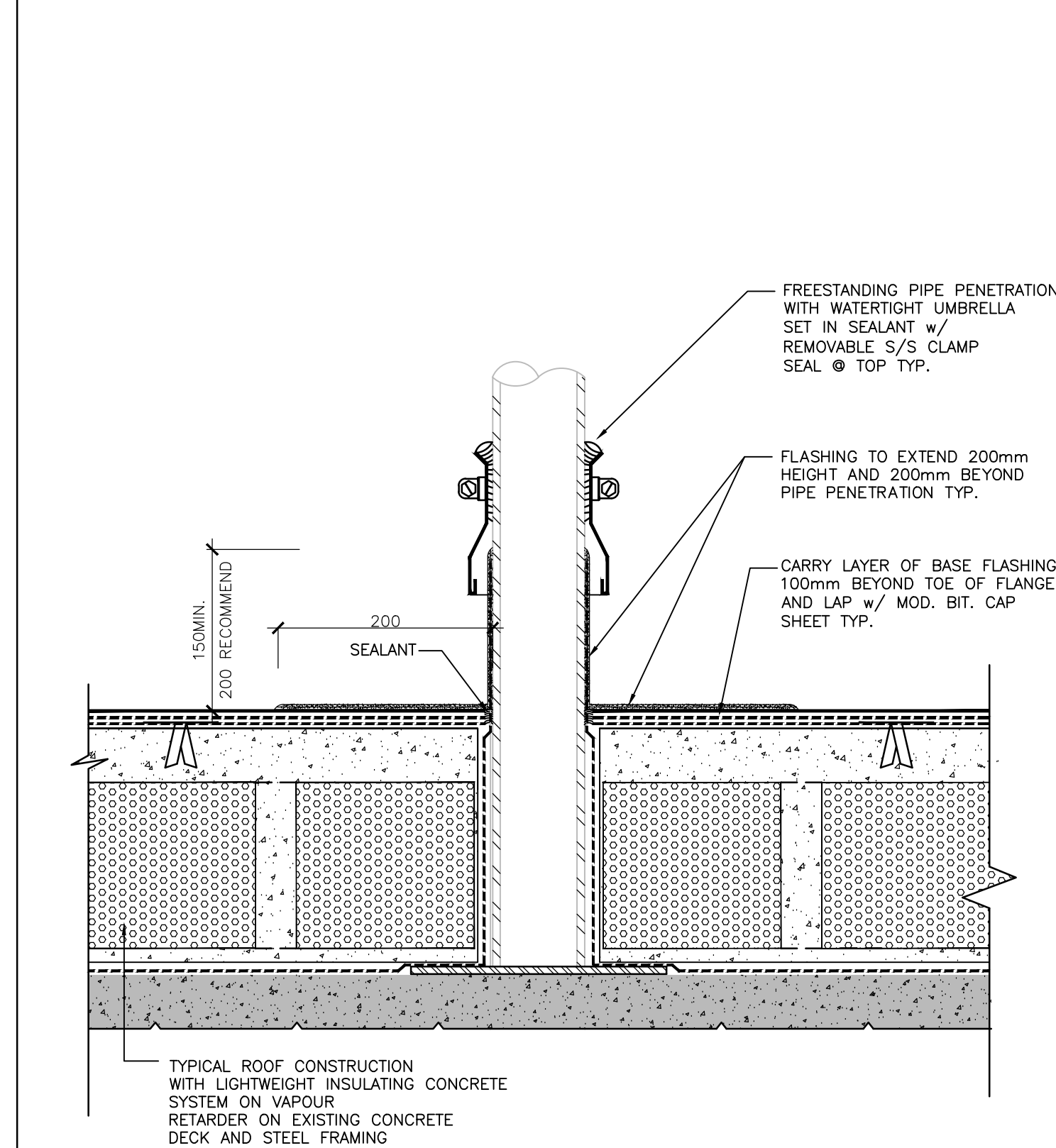
5 TYPICAL PARAPET DETAILS

A-04 SCALE: 1:5



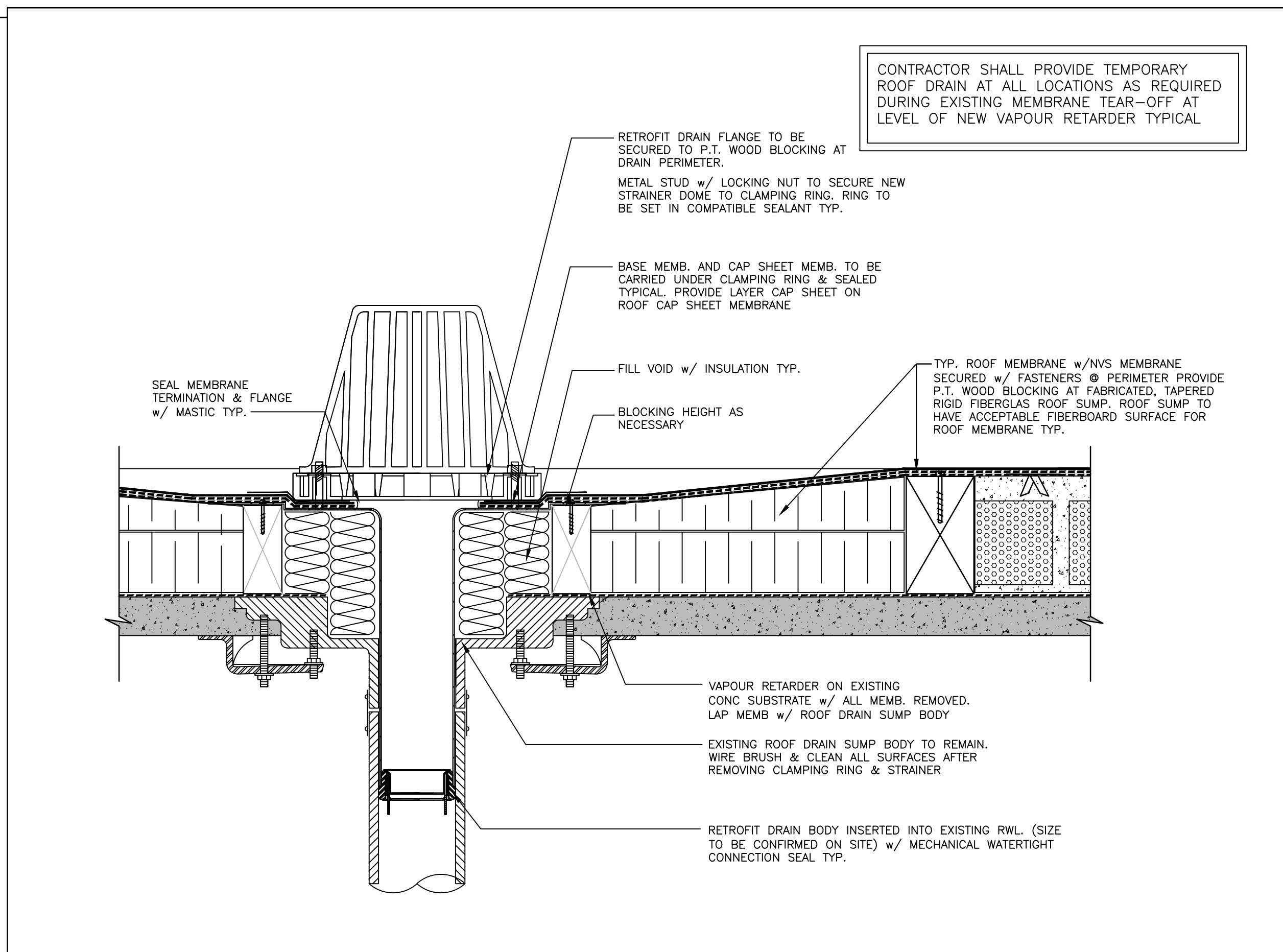
3 TYPICAL ROOF CURB DETAIL

A-04 SCALE: 1:5



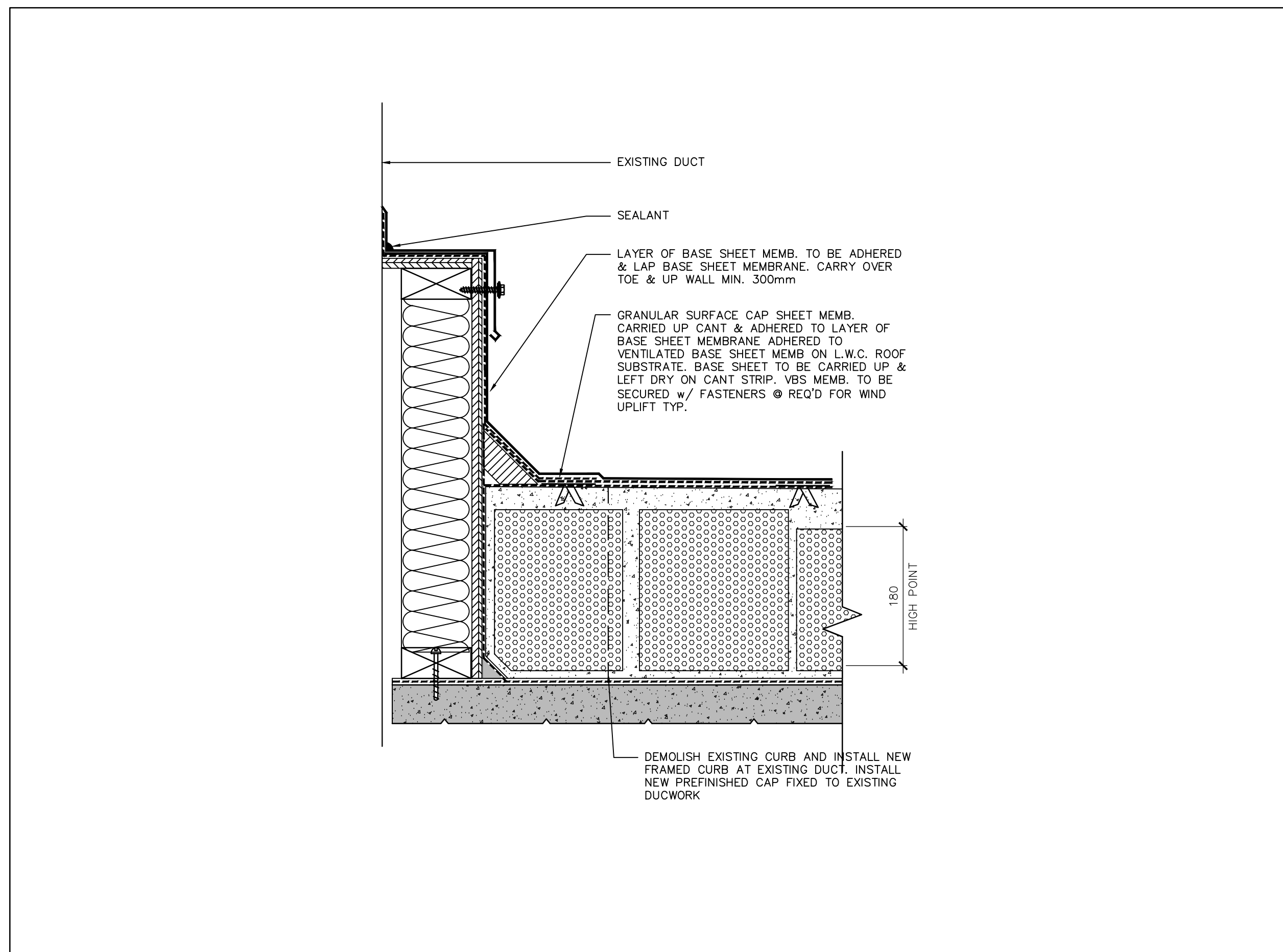
2 TYPICAL ROOF PENETRATION DETAIL

A-04 SCALE: 1:5



4 TYPICAL ROOF DRAIN

A-04 SCALE: 1:5



1 TYPICAL HVAC CURB

A-04 SCALE: 1:5



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project title
titre du projet

ROOF REPLACEMENT

LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO

drawing title
titre du dessin

TYPICAL ROOF DETAILS

drawn by
dessiné par

CS

designed by
conc par

CS

approved by
approuvé par

RN

bid
offre

AM

project manager
administrateur
de projets

project date
date du projet

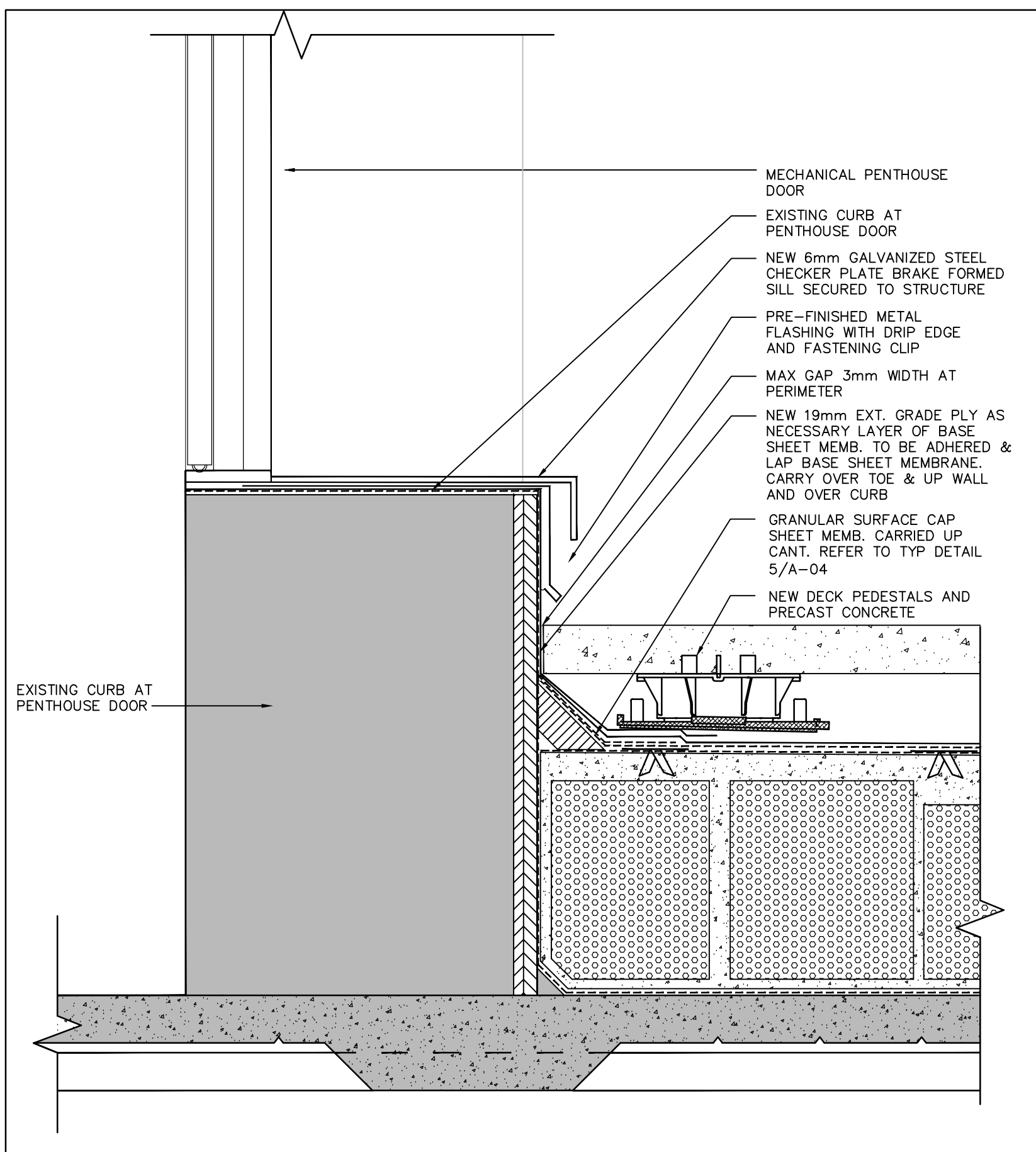
2016-06-30

project no.
no. du projet

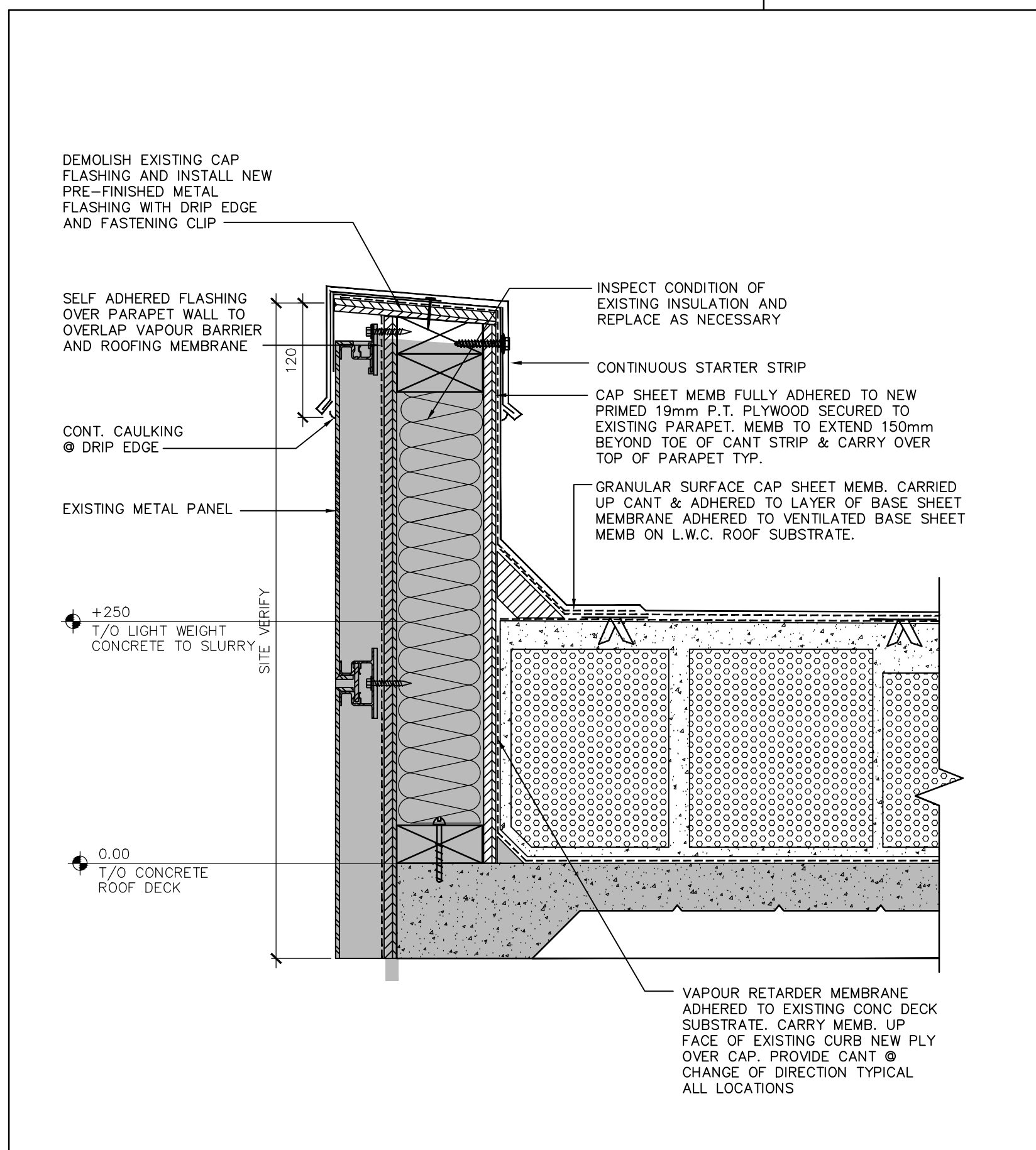
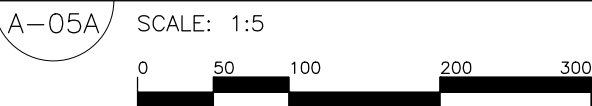
R.076458.002
DIALOG NO. 11036T0100

drawing no.
dessiné no.

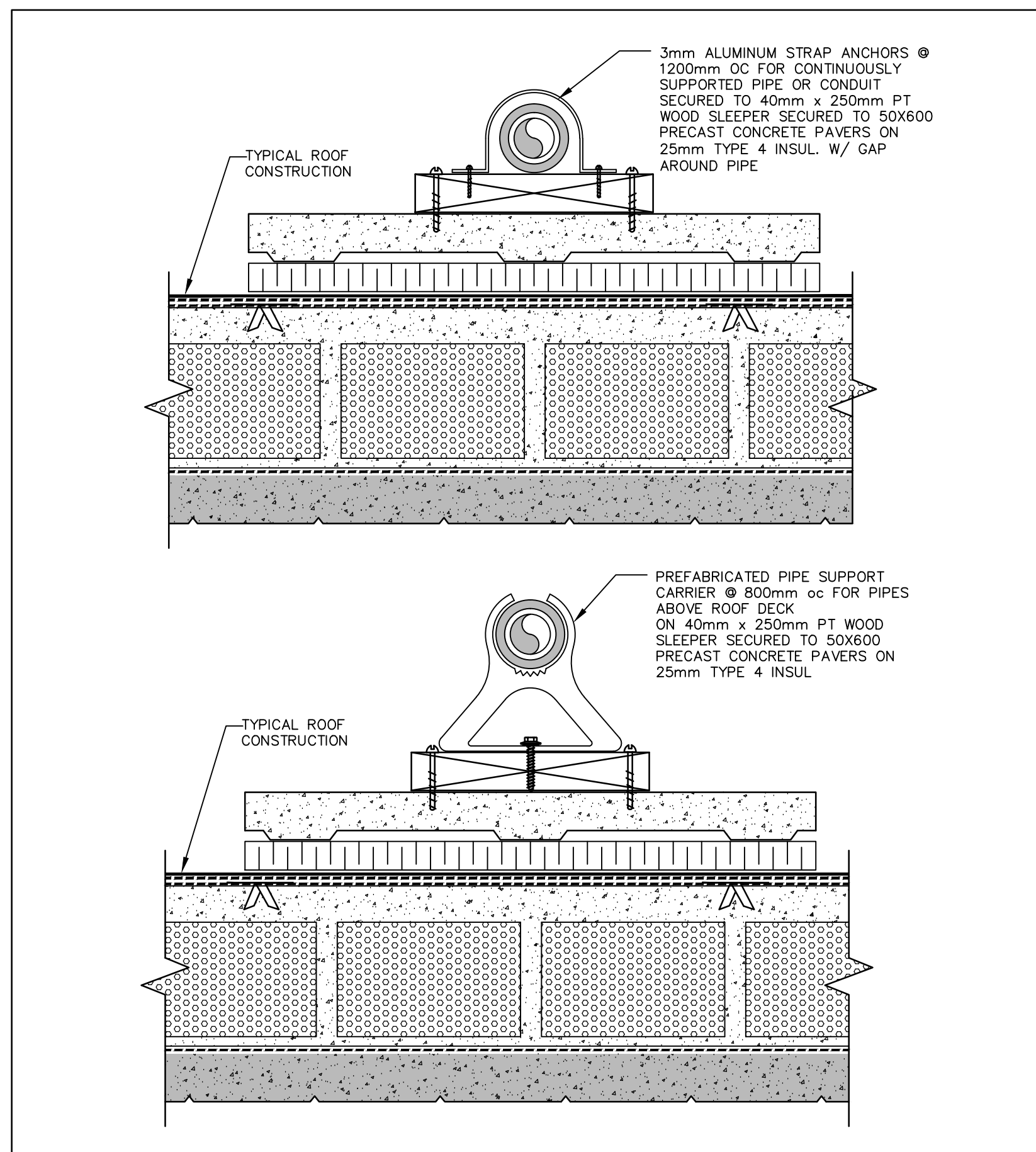
A-04



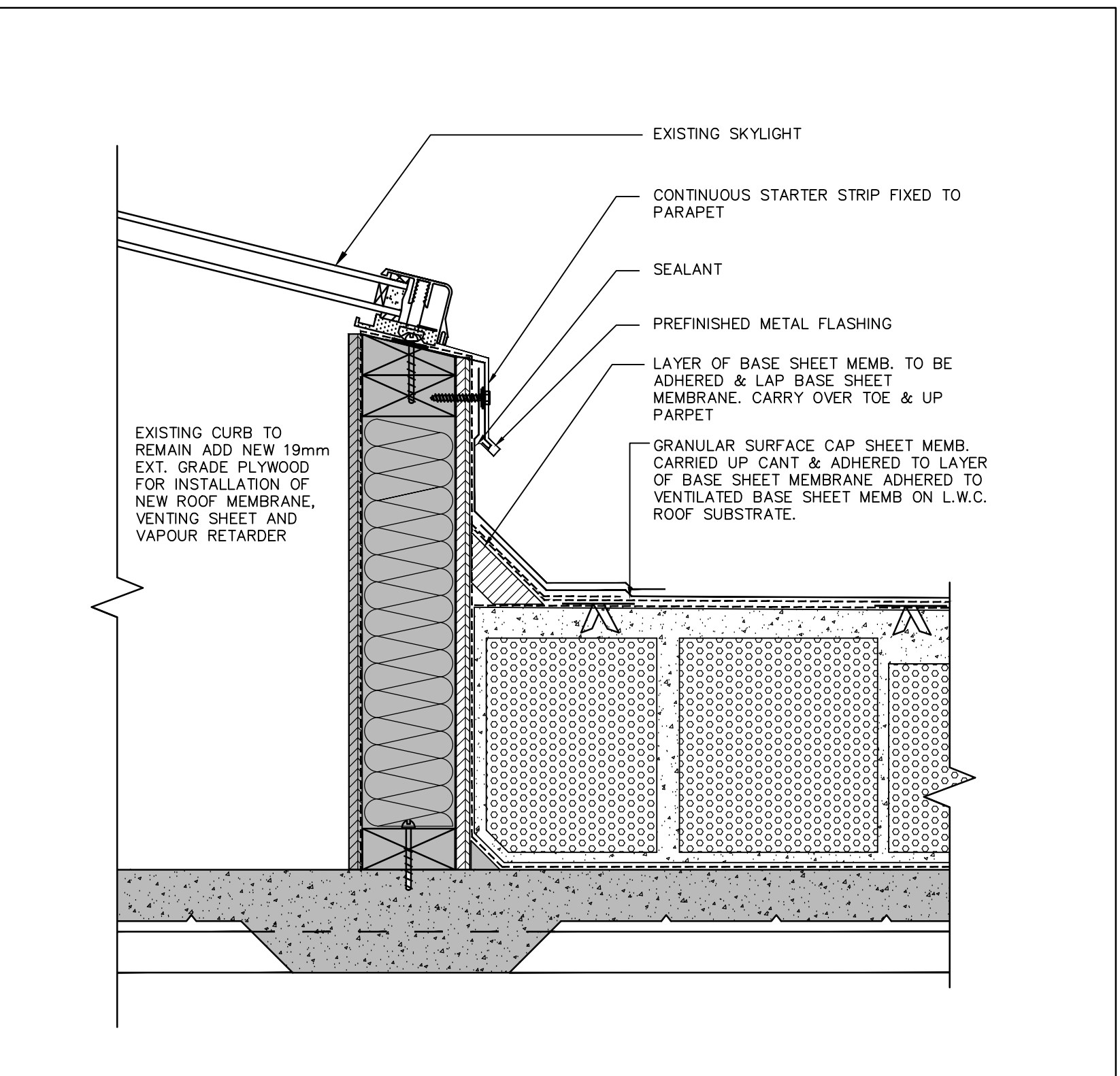
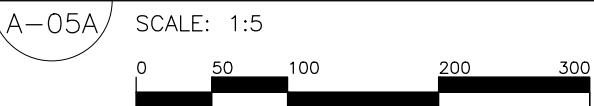
6 MECHANICAL ROOM DOOR THRESHOLD DETAIL



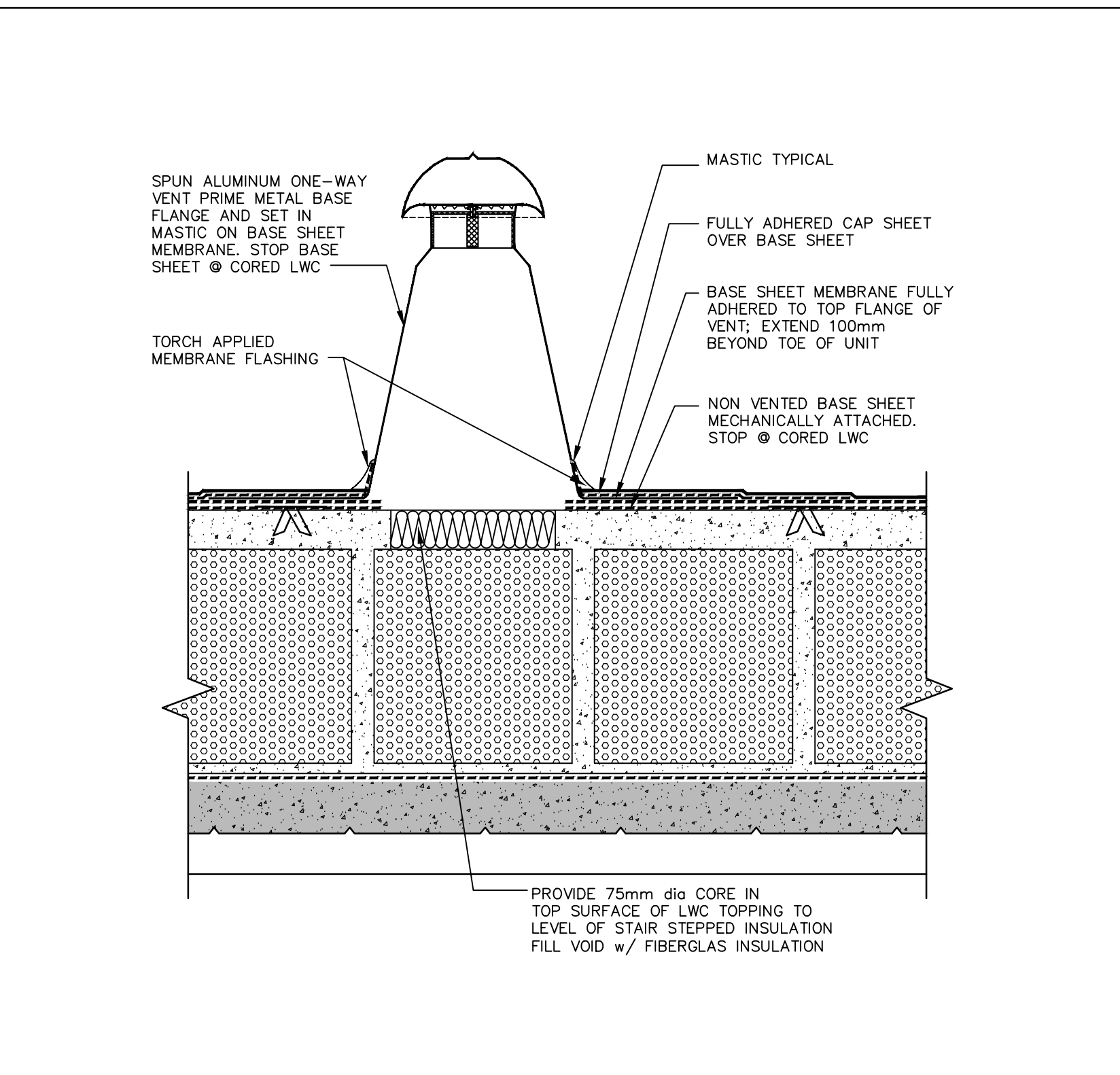
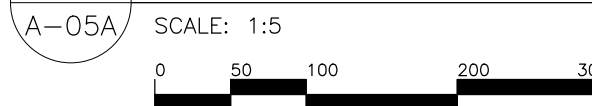
5 MECHANICAL ROOM EXTERIOR WALL DETAIL



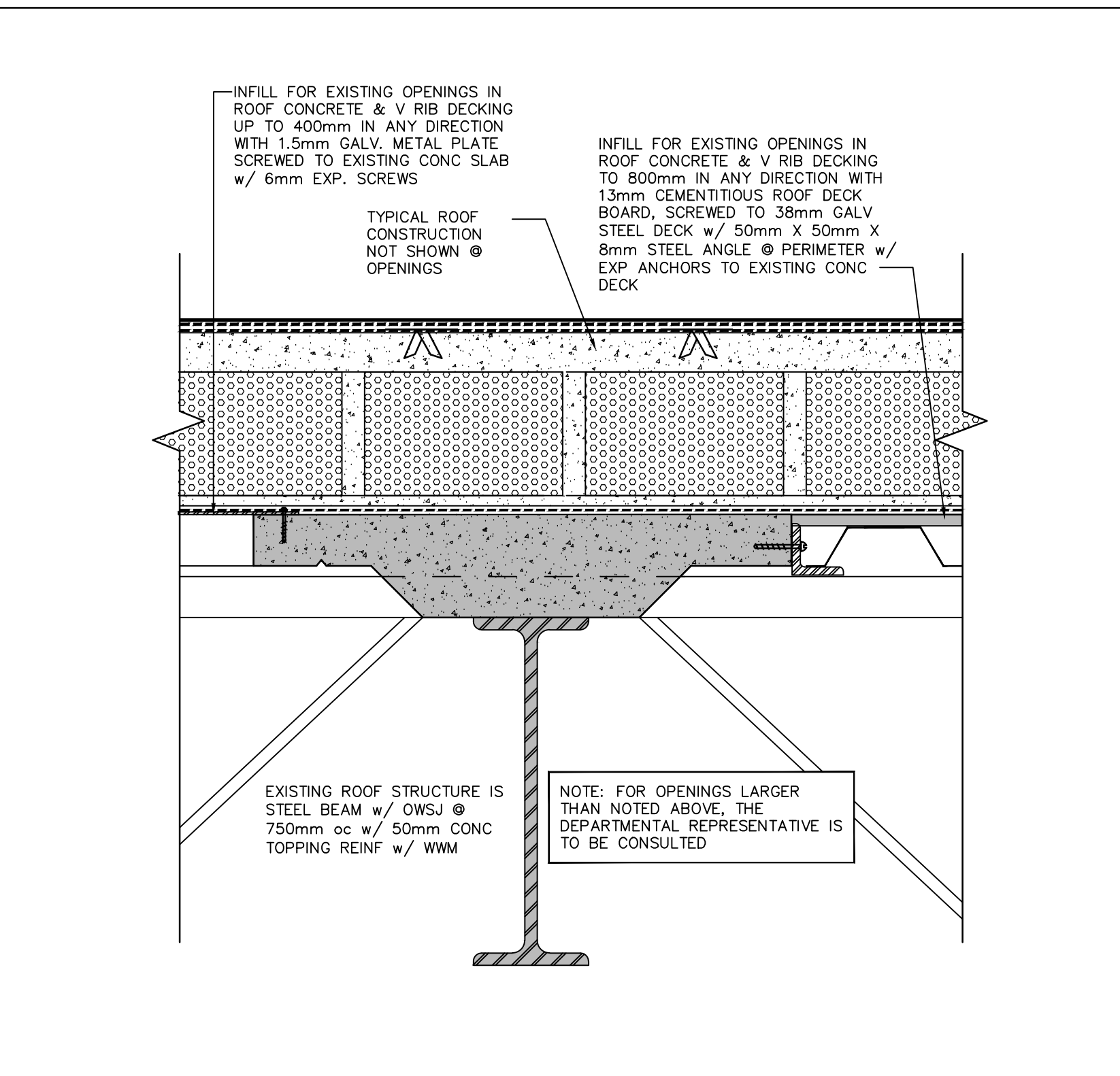
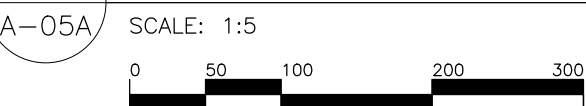
4 PIPE SUPPORT DETAILS TYPICAL



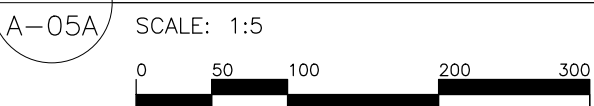
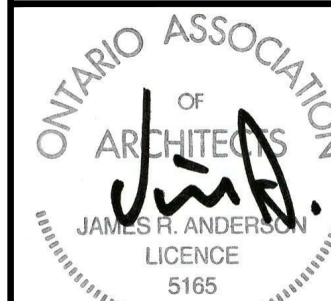
3 TYPICAL SKYLIGHT PARAPET DETAIL



2 ROOF VENTING DETAIL TYPICAL



1 ROOF REPAIR TYPICAL CONDITIONS

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titre du projet
ROOF REPLACEMENT

LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO

drawing title
titre du dessin
TYPICAL ROOF DETAILS

drawn by
dessiné par
CS

designed by
conc par
CS

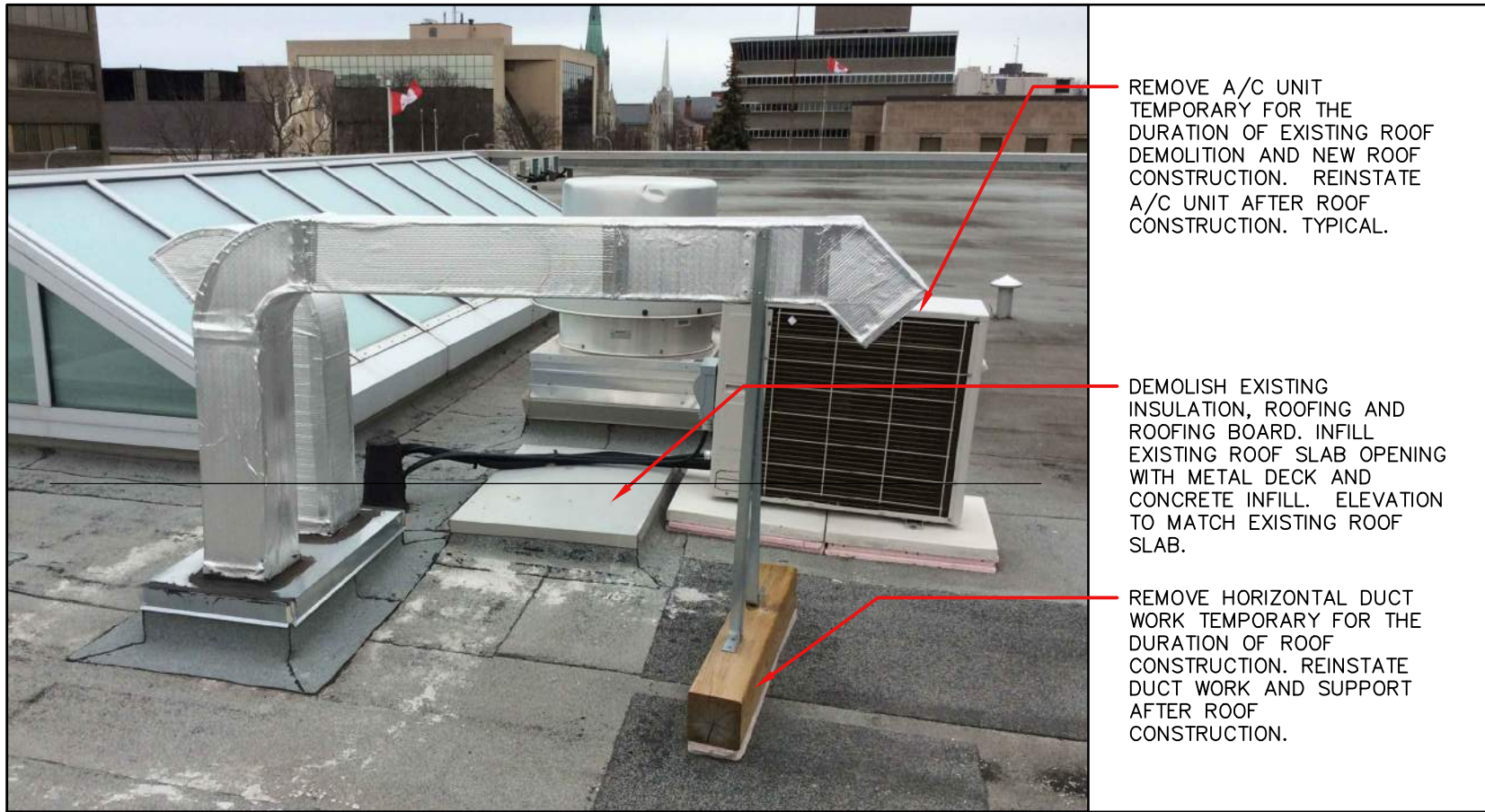
approved by
approuvé par
RN

bid
offre
AM

project date
date du projet
2016-06-30

project no.
no. du projet
R.076458.002
DIALOG NO. 11036T0100

drawing no.
dessiné no.
A-05A



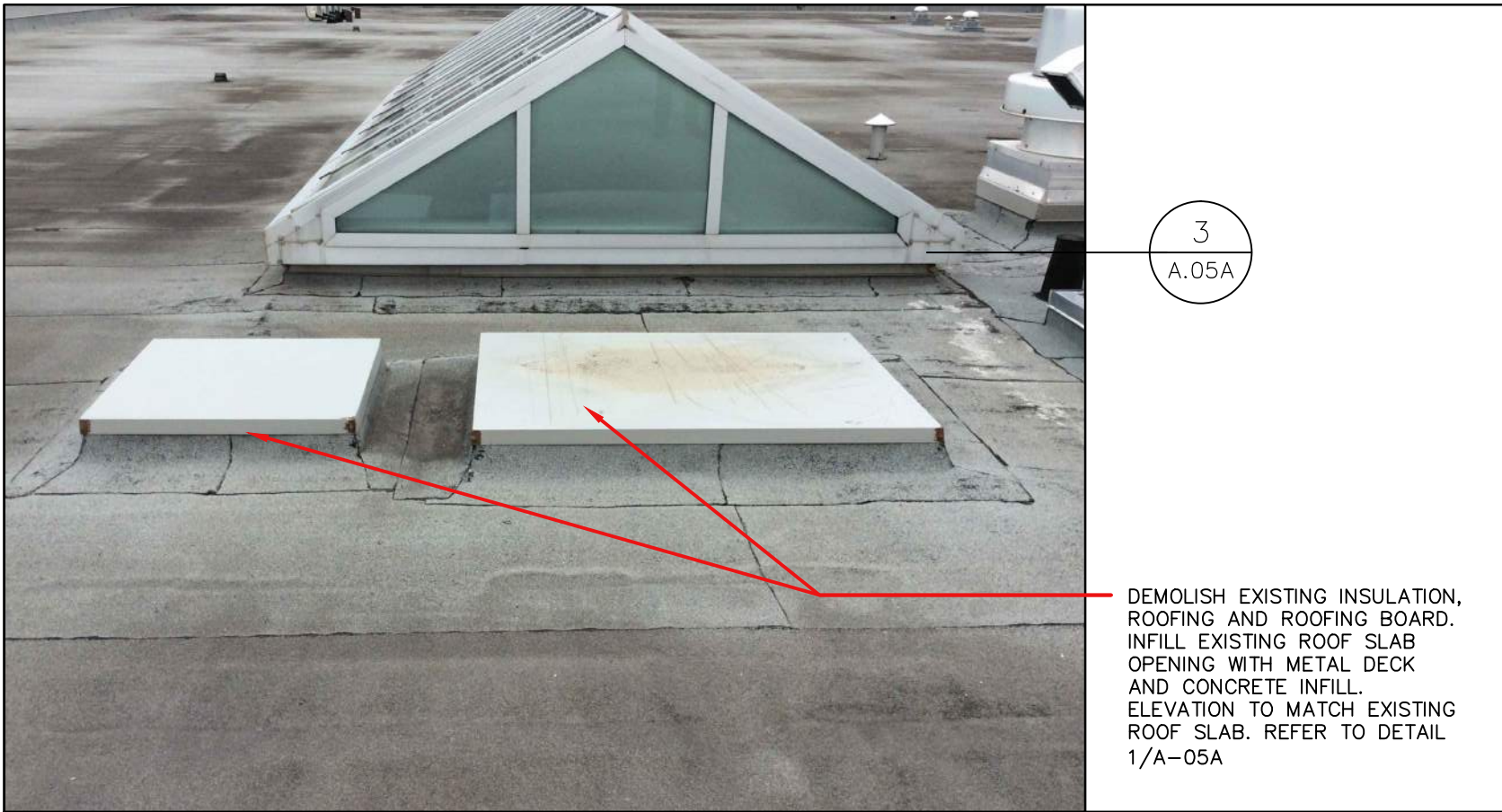
9 CONDITION AT MECHANICAL EQUIPMENT

A-06 SCALE: 1:5
0 50 100 200 300



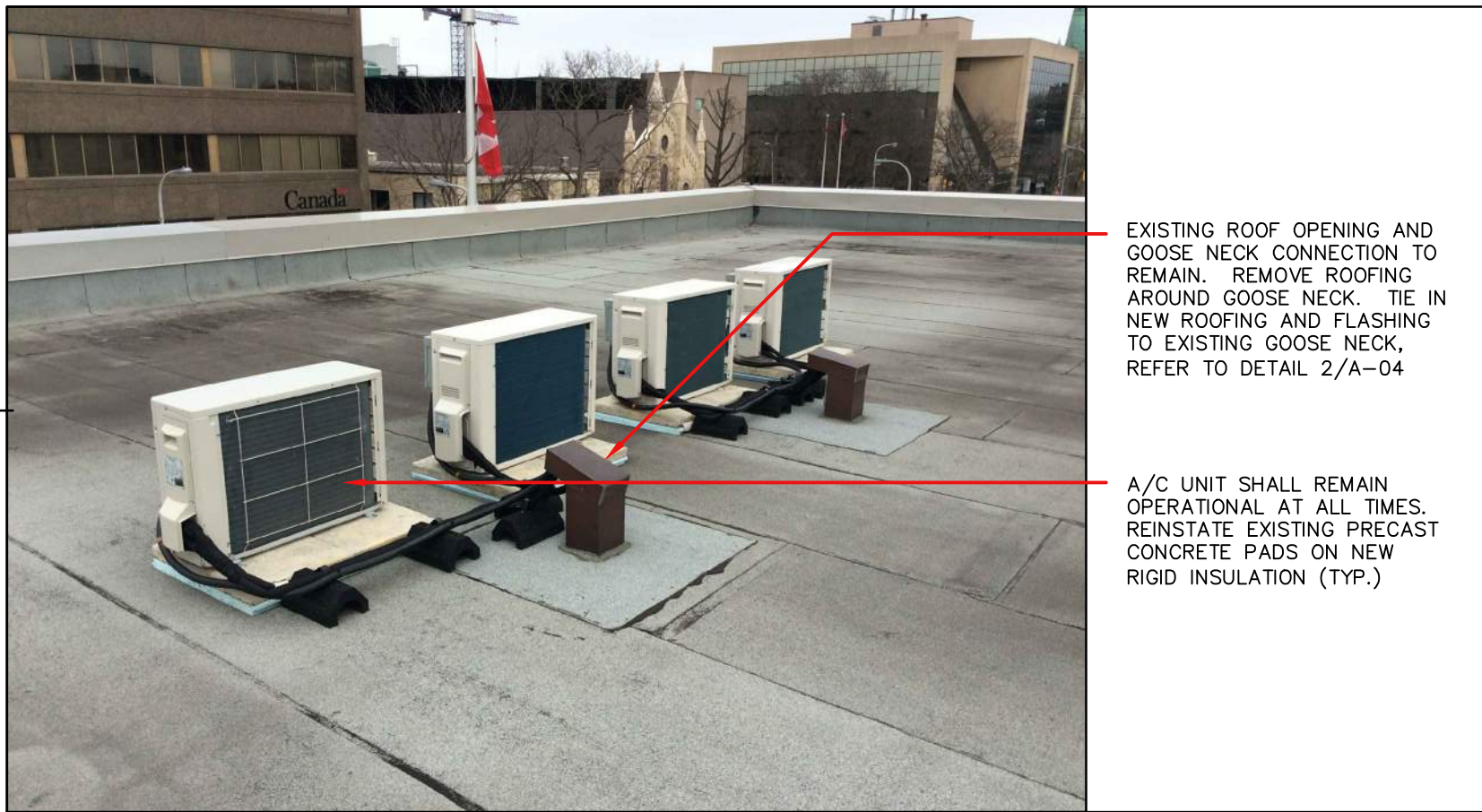
8 TYPICAL CONDITION AT DUCT

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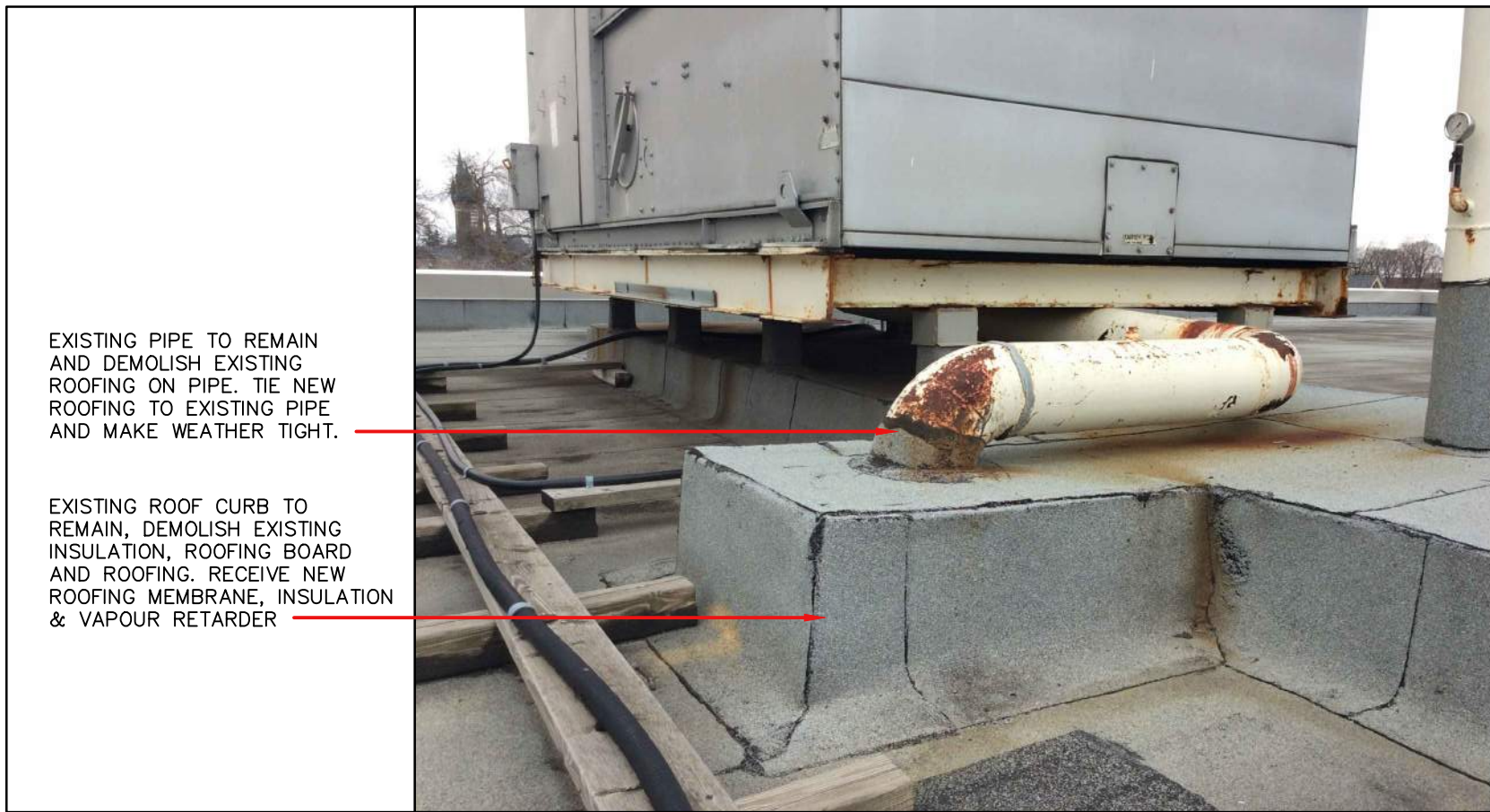
7 TYPICAL CONDITION AT EXISTING ROOF OPENING

A-06 SCALE: 1:5
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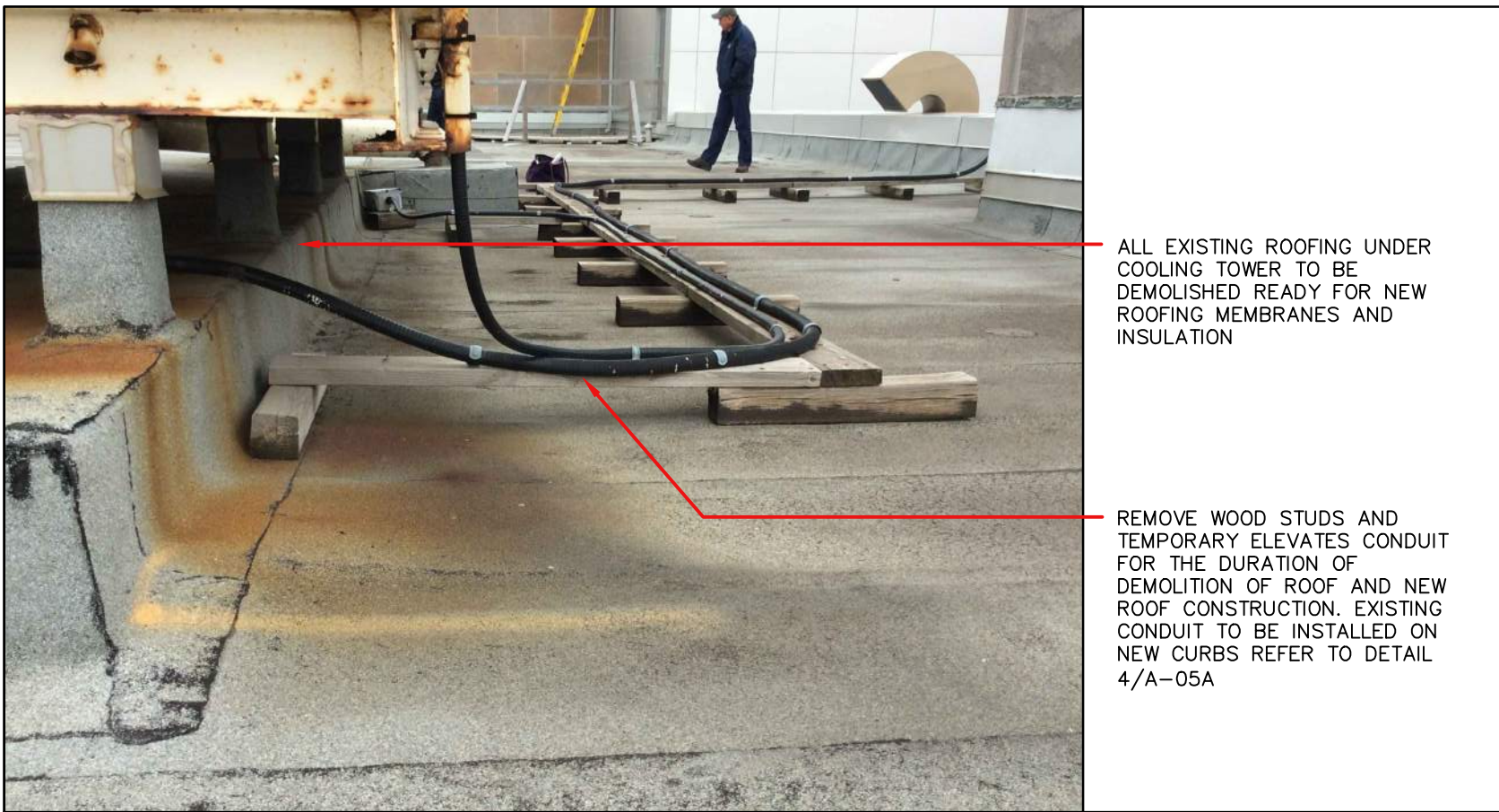
6 TYPICAL CONDITION AT A/C UNIT

A-06 SCALE: 1:5
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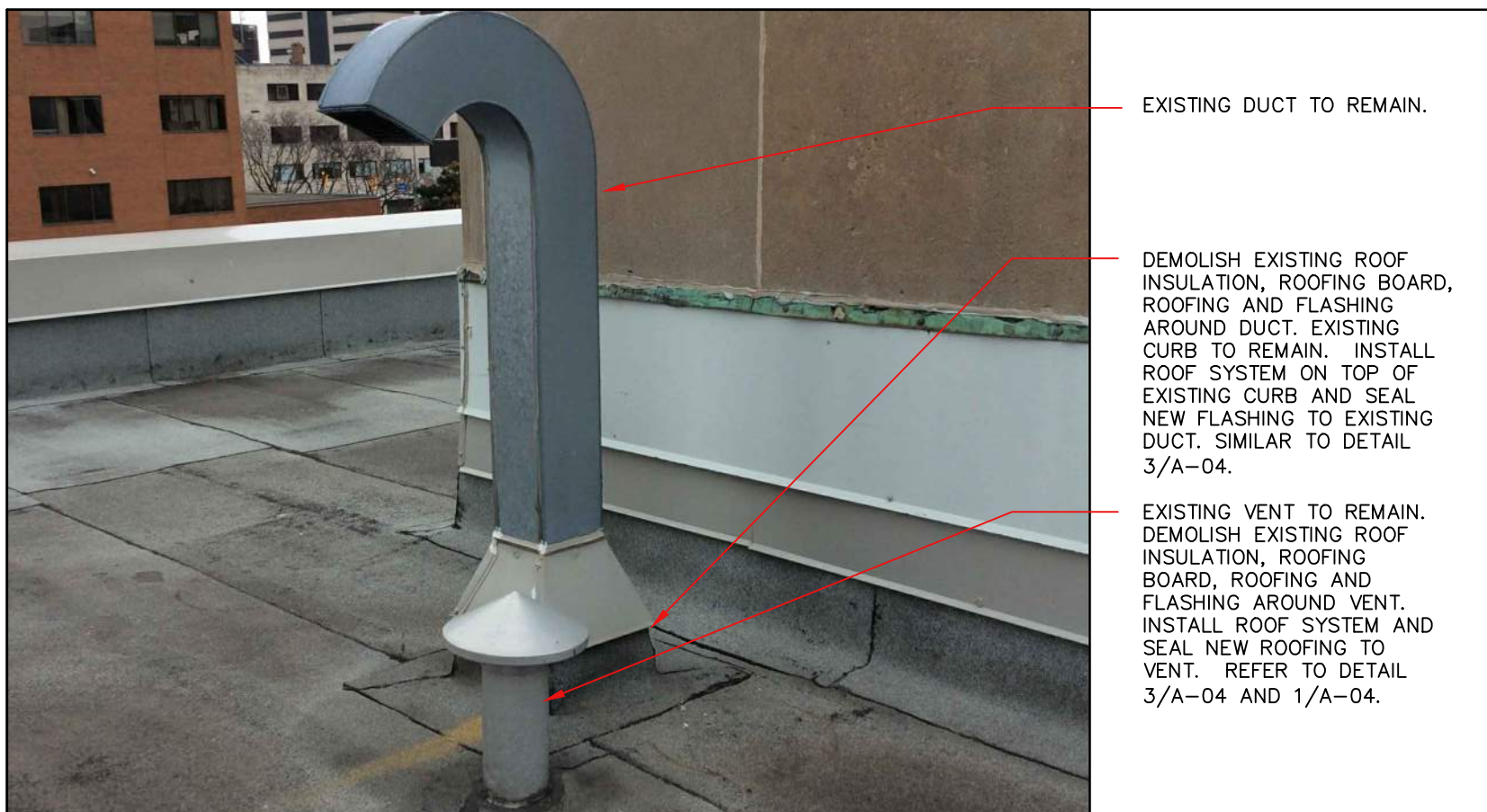
5 TYPICAL CONDITION AT RTU CURB

A-06 SCALE: 1:5
0 50 100 200 300



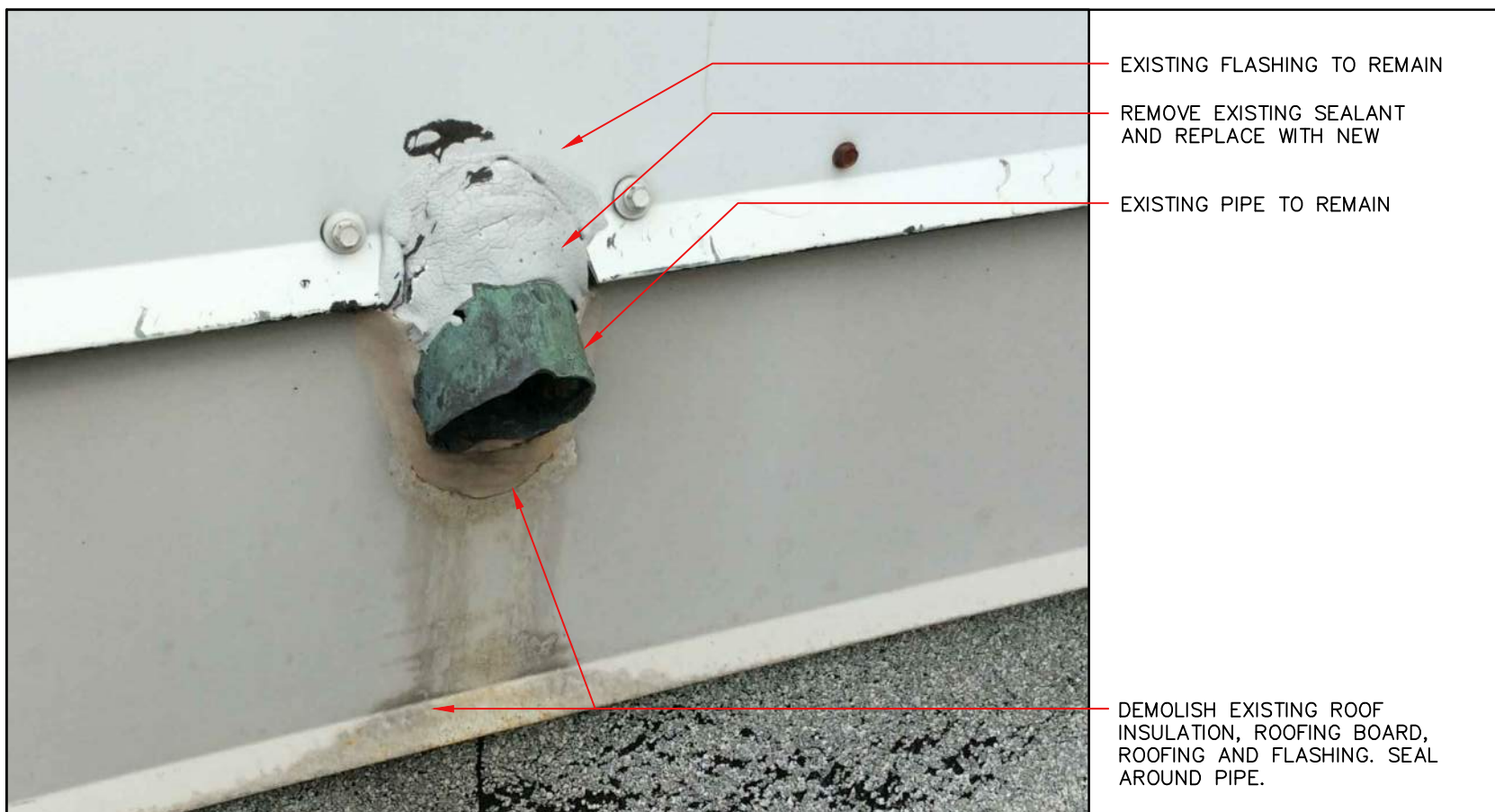
4 TYPICAL CONDITION AT RTU CONDUIT

A-06 SCALE: 1:5
0 50 100 200 300



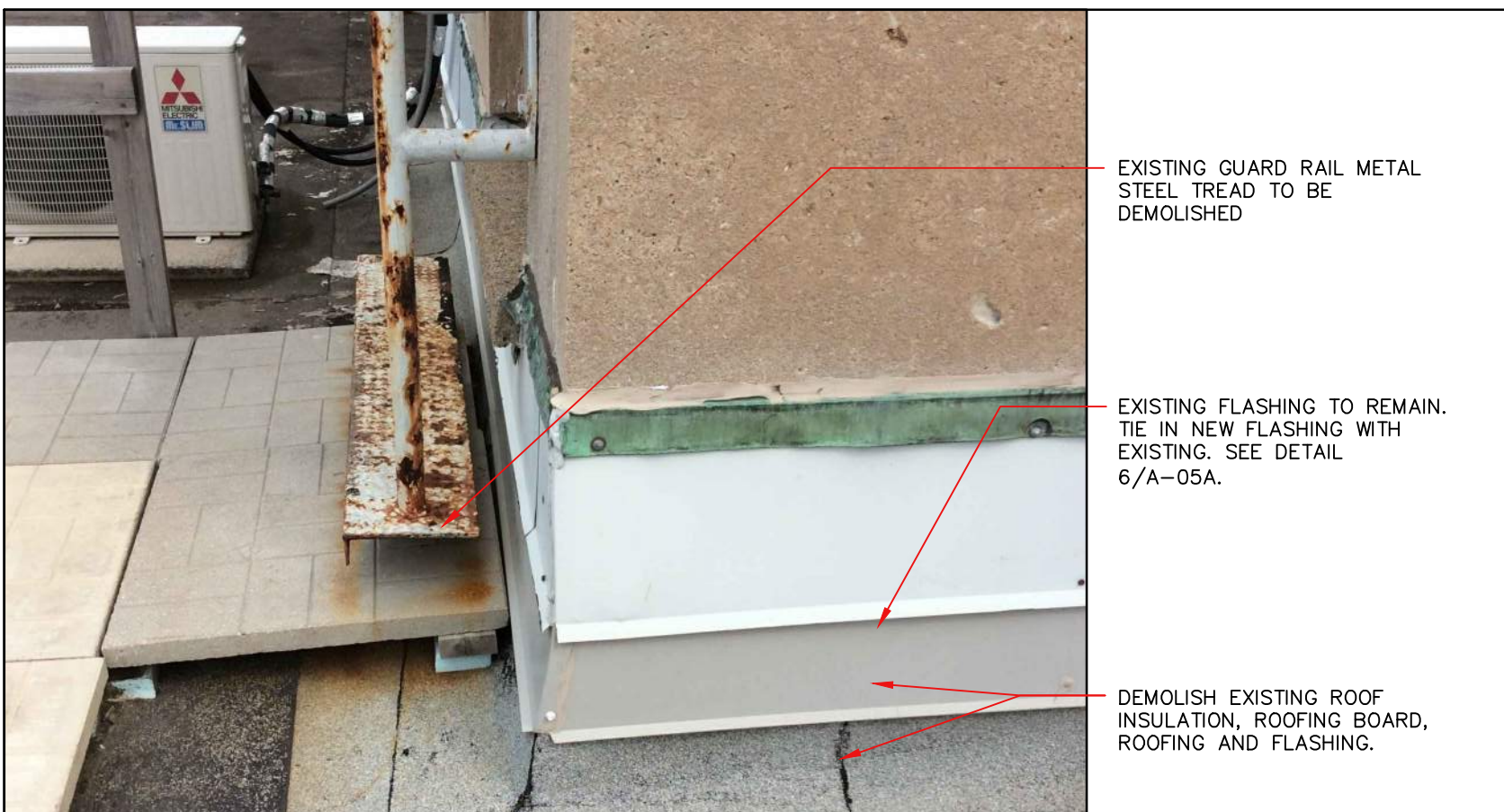
3 TYPICAL CONDITION AT ROOF VENT

A-06 SCALE: 1:5
0 50 100 200 300



2 TYPICAL CONDITION AT RWL THROUGH EXTERIOR WALL

A-06 SCALE: 1:5
0 50 100 200 300



1 TYPICAL CONDITION AT PENTHOUSE CURB

A-06 SCALE: 1:5
0 50 100 200 300

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ROOF REPLACEMENT

LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO

drawing title
titre du dessin

EXISTING ROOF PHOTOS

drawn by
dessiné par CS

designed by
conc par CS

approved by
approuvé par RN

bid
offre AM project manager
administrateur de projets

project date
date du projet 2016-06-30

project no.
no. du projet R.076458.002
DIALOG NO. 11036T0100

drawing no.
dessiné no. A-06

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project title
titre du projet
ROOF REPLACEMENT

LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO

drawing title
titre du dessin
TYPICAL ROOF DETAILS

drawn by dessiné par	CS	
designed by conc par	CS	
approved by approuvé par	RN	
bid offre	AM	project manager administrateur de projets
project date date du projet	2016-06-30	
project no. no. du projet	R.076458.002 DIALOG NO. 11036T0100	
drawing no. dessiné no.	A-07	



- DEMOLISH EXISTING FLASHING & INSTALL NEW FLASHING
- NEW ROOF MEMBRANE TO BE CARRIED UP AND OVER PARAPET
- EXISTING SCUPPER DRAIN TO BE DEMOLISHED AND OPENING MADE WEATHER TIGHT. REFER TO DETAIL 2/A-05.
- DEMOLISH EXISTING SINGLE PLY ROOF MEMBRANE, INSULATION AND VAPOUR BARRIER PREPARE FOR NEW ROOFING

4 PENTHOUSE ROOF @ SCUPPER DRAIN

A-07 SCALE: 1:5
0 50 100 200 300



- EXISTING FLASHING TO REMAIN
- DEMOLISH EXISTING FLASHING, ROOFING BOARD AND INSULATION. EXISTING CURB UNDER ROOFING TO REMAIN. SEE TYPICAL DETAIL 3/A-05A.
- INSTALL NEW FLASHING STARTER STRIP TO EXISTING FLASHING FOR NEW ROOF FLASHING SEAL AND MAKE WATER TIGHT. REFER TO DETAIL 3/A-05A

3 TYPICAL CONDITION AT SKYLIGHT

A-07 SCALE: 1:5
0 50 100 200 300



- EXISTING DUCT WORK TO REMAIN
- REMOVE EXISTING FLASHING
- DEMOLISH EXISTING ROOF INSULATION, ROOFING BOARD, ROOFING AND FLASHING.

4 TYPICAL CONDITION AT EXISTING PARAPET

A-07 SCALE: 1:5
0 50 100 200 300



- EXISTING RAIN WATER LEADER TO REMAIN, CUT NEW OPENING IN PARAPET AND TIE IN NEW ROOFING AND DOWN PIPE TO EXISTING RWL. REFER TO DETAIL 2/A-05
- REMOVE EXISTING ROOF PAVER TEMPORARY FOR ROOF REPLACE CONSTRUCTION. RE-INSTALL AFTER NEW ROOF CONSTRUCTION.

2 TYPICAL CONDITION AT PENTHOUSE SCUPPER DRAIN

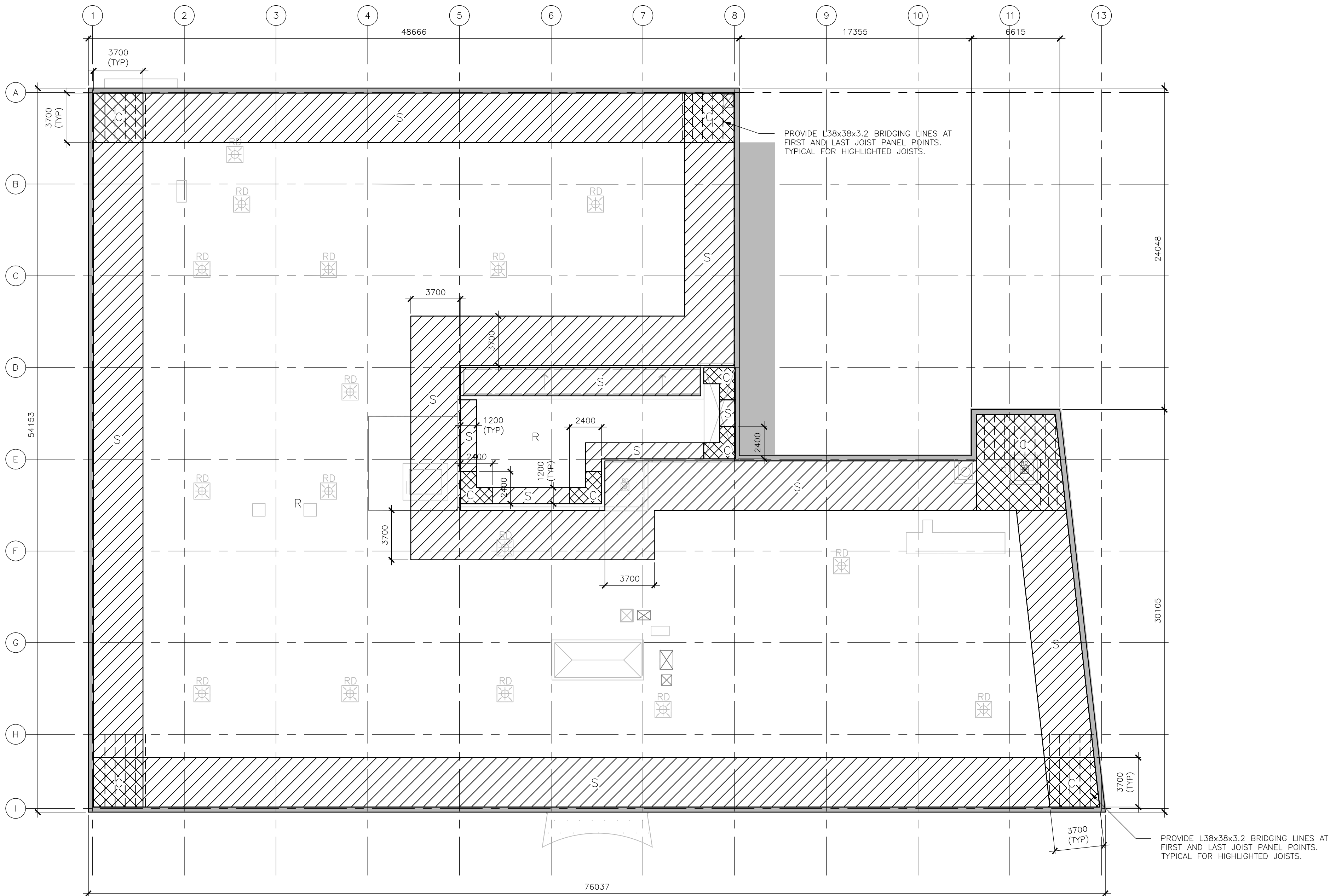
A-07 SCALE: 1:5
0 50 100 200 300



- DEMOLISH EXISTING MODIFIED BITUMEN MEMBRANE, POLY ISO ROOF INSULATION, VAPOUR BARRIER MEMBRANE
- EXISTING CONCRETE TOPPING
- EXISTING VAPOUR BARRIER EXISTING V-RIB METAL FORM ON OWSJ & STEEL FRAMING. REFER TO DETAIL 1/A-05A

1 REPRESENTING CONDITION AT EXISTING ROOF OPENING

A-07 SCALE: 1:5
0 50 100 200 300



1 ROOF WIND UPLIFT DIAGRAM
S-01 SCALE: N.T.S.

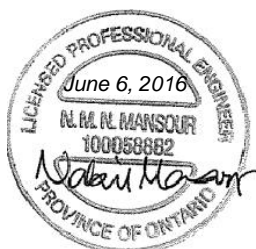
	GROSS WIND UPLIFT (kPa)	
	MAIN ROOF	P/H ROOF
	1.7	1.9
	0.8	1.2
	0.6	0.8

- NOTES:
- $q(0.6) = 0.46 \text{ kPa}$
 - BUILDING IMPORTANCE = NORMAL

Public Works and
Government Services Canada
Architectural and Engineering Services
Ontario Region

Travaux publics et
Services gouvernementaux Canada
Services d'architecture et de génie
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ROOF REPLACEMENT

LAURA SECORD BUILDING
32 CHURCH STREET, ST. CATHARINES, ONTARIO

drawing title
titre du dessin
ROOF UPLIFT DIAGRAM

drawn by
dessiné par DT

designed by
conç par AS

approved by
approuvé par DK

bid
offre AM project manager
administrateur
de projets

project date
date du projet 2016-06-30

project no.
no. du projet R.076458.002
DIALOG NO. 11036T0100

drawing no.
dessiné no. S-01