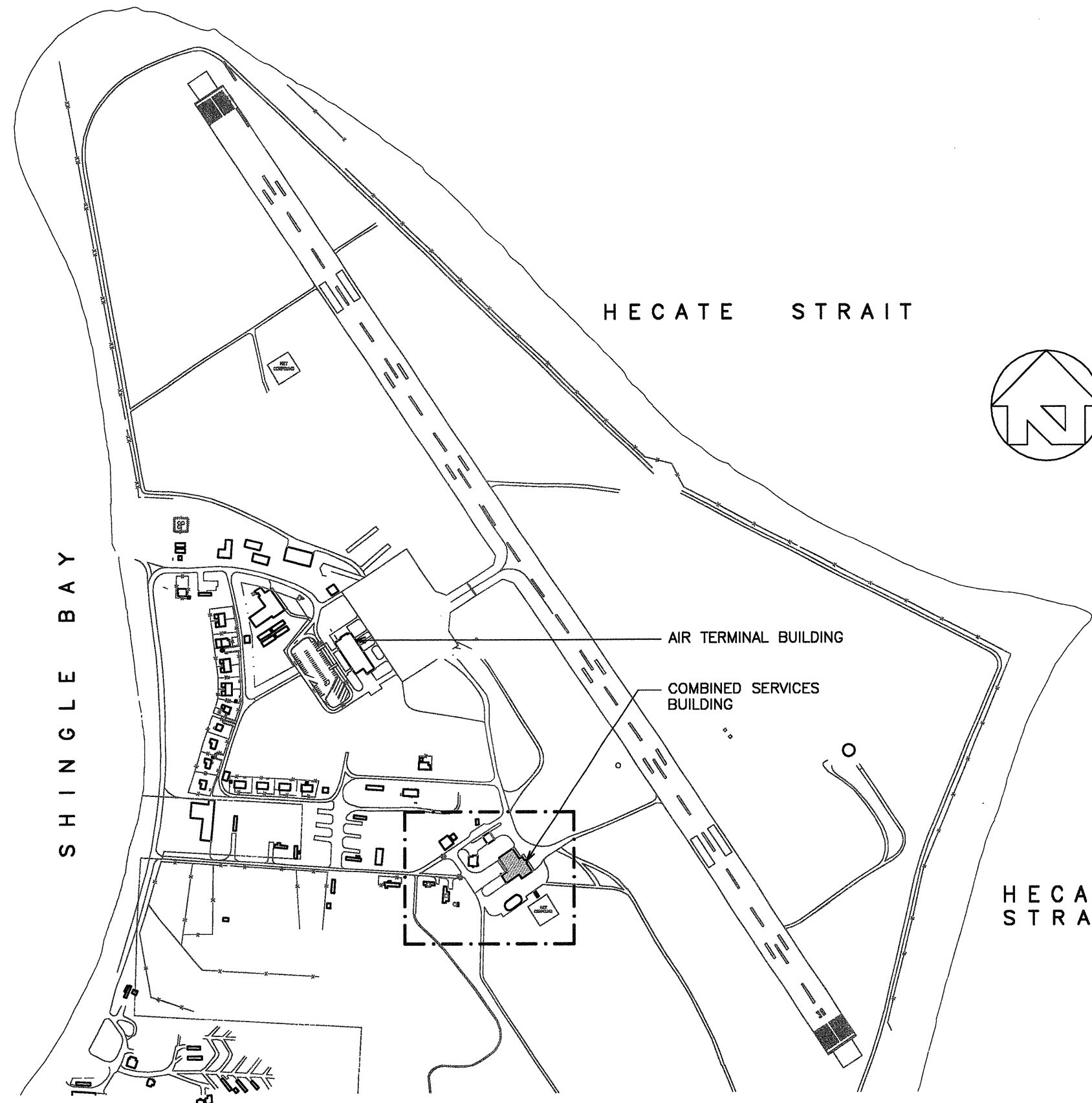




**SANDSPIT REGIONAL AIRPORT  
COMBINED SERVICES BUILDING**

# ROOF RESTORATION

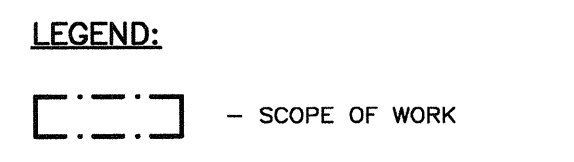
1 AIRPORT ROAD, SANDSPIT, B.C



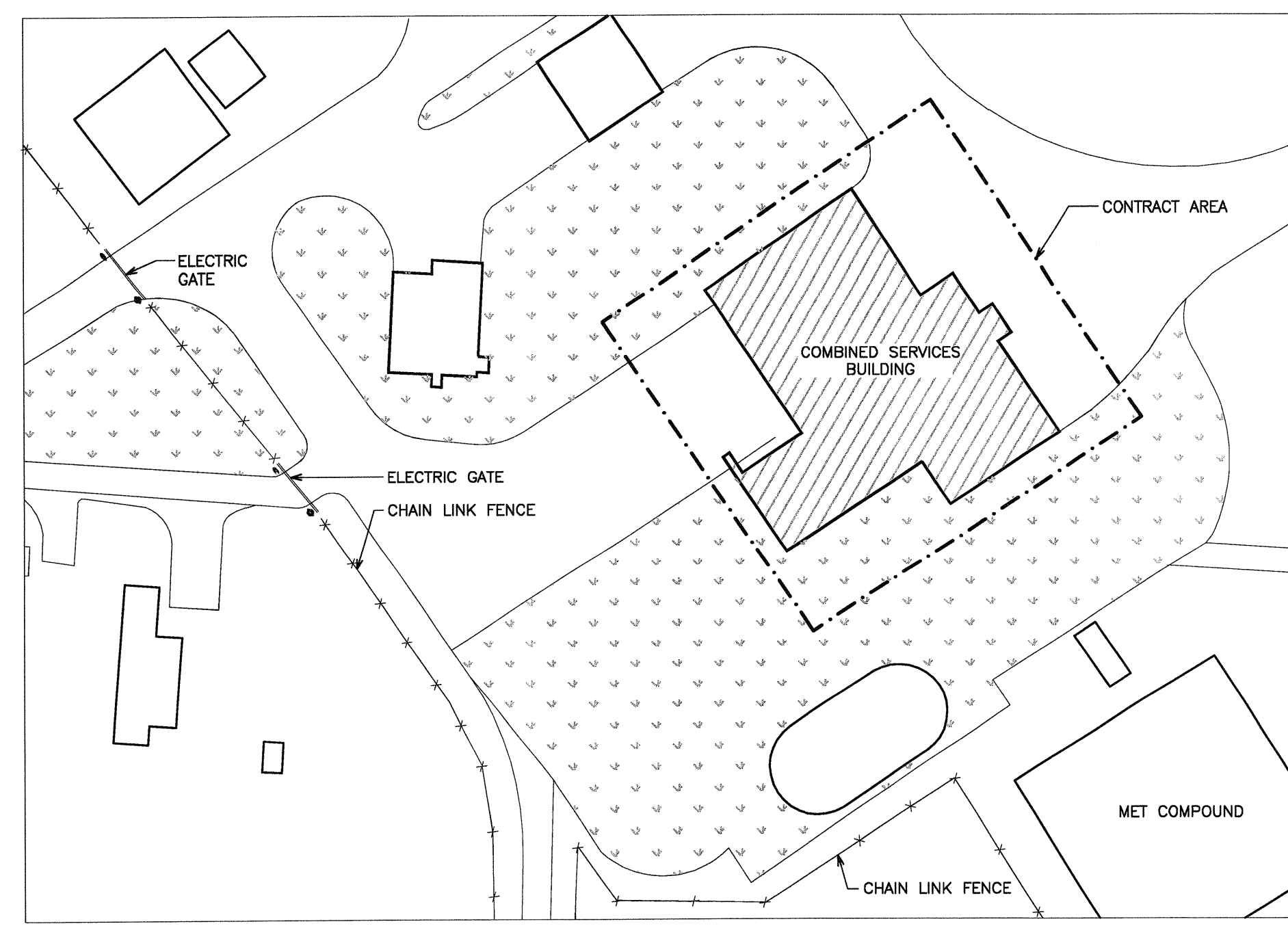
**AIRPORT SITE PLAN**  
SCALE: N.T.S.

**DRAWING LIST**

- R-1.1 SITE PLAN AND GENERAL NOTES
- R-2.1 ROOF PLAN
- R-3.1 EXTERIOR ELEVATIONS
- R-4.1 CROSS SECTIONS AND WALL SECTIONS
- R-5.1 DETAILS
- R-5.2 DETAILS
- R-5.3 DETAILS
- S-1.1 STRUCTURAL DETAILS



**LEGAL DESCRIPTION:** QUEEN CHARLOTTE DISTRICT  
**CIVIC ADDRESS:** 1 AIRPORT ROAD SANDSPIT, B.C. VOT 170



**COMBINED SERVICES BUILDING SITE PLAN**  
SCALE: N.T.S.

**GENERAL SCOPE OF WORK**

1. REMOVAL AND DISPOSAL OF EXISTING ROOF ASSEMBLY MATERIALS ABOVE THE STRUCTURAL PLYWOOD DECK.
2. EXISTING FIXTURES, DEVICES, AND EQUIPMENT MOUNTED ON THE EXISTING ROOF ARE TO BE REMOVED AND REINSTALLED AS REQUIRED TO ACCOMMODATE THE WORK. RELOCATE EXISTING ANTENNAE AND LIGHTS AND MAINTAIN IN SERVICE AT ALL TIMES. AND REINSTALL AT COMPLETION. CONTRACTOR TO ENGAGE TELECOMMUNICATION CONTRACTOR FOR THE TEMPORARY RELOCATION OF ROOF ANTENNAE.
3. ALL MECHANICAL, ELECTRICAL, AND OTHER ITEMS THAT ARE AFFECTED BY THE ROOF RESTORATION MUST BE REPLACED IN ACCORDANCE WITH CURRENT APPLICABLE CODES AND USING GOOD PRACTICE. MODIFY AS REQUIRED.
4. CONFIRM THE EXISTENCE OF THE ORIGINAL AIR AND VAPOUR BARRIERS DURING CONSTRUCTION. NOTIFY DEPARTMENTAL REPRESENTATIVE OF INADEQUACIES OR DETERIORATION SO THAT ISSUES MAY BE ADDRESSED. AREA OF THE AIR AND VAPOUR BARRIERS THAT ARE COMPROMISED TO ACCOMMODATE CONSTRUCTION MUST BE REINSTATED TO MEET THE ORIGINAL DESIGN INTENT, OR ALTERED AS INSTRUCTED BY DEPARTMENTAL REPRESENTATIVE.
5. SUPPLY AND INSTALLATION OF WOOD CURBS WHERE REQUIRED AT BASE OF MECHANICAL EQUIPMENT AND ACCESS HATCH. REPLACE DETERIORATED PLYWOOD SHEATHING WHERE INDICATED BY THE DEPARTMENTAL REPRESENTATIVE, WITH PRESSURE TREATED PLYWOOD SHEATHING.
6. SUPPLY AND INSTALLATION OF AIR AND VAPOUR BARRIER MEMBRANE, RIGID INSULATION, PROTECTION BOARD AND TWO PLY OF MODIFIED BITUMINOUS ROOFING MEMBRANE, WALKWAYS AND PERIMETER WARNING ZONE MATERIALS. REMOVE AND REINSTALL EXISTING GAP FLASHING AND DRAINAGE MAT, REMOVE AND REPLACE COUNTER-FLASHINGS.
7. REPLACE CORRODED SECTIONS OF MECHANICAL EXHAUST FLUES WITH SIZE AND TYPE TO MATCH EXISTING.
8. REPLACE EXISTING ROOF HATCH AND MODIFY ROOF ACCESS AS INDICATED ON THE DRAWINGS.
9. INSTALL PORTABLE LADDER BRACKET AT ACCESS POINT TO LOWER ROOF AREA.
10. CLEAN ALL WORK TO THE SATISFACTION OF THE DEPARTMENTAL REPRESENTATIVE.
11. ALL OTHER WORK SPECIFIED HEREIN OR NOTED ON DRAWINGS.

**STAGING**

1. CONTRACTOR TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY BE COMPRISED OF: SCAFFOLDING, STAGING, FALSE WORK, COMBINATIONS OF THE PROCEEDING OR OTHER METHODS APPROVED BY WORKSAFEBC.
2. ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. CONTRACTOR TO SUBMIT A PLAN OF THE BUILDING (PROVIDED) INDICATING THE TYPE OF ACCESS TO BE EMPLOYED ON EACH PORTION OF THE BUILDING.
3. ALL ACCESS SHALL BE CAPABLE OF RESISTING ITS DEAD LOAD AND THE LIVE LOAD OF THE WORKERS AND STORED MATERIALS. LIVE LOADING TO CONFORM TO CAN/CSA S289.2 MB7, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(B).
4. REFERENCE: BRITISH COLUMBIA OCCUPATIONAL HEALTH AND SAFETY REGULATION (REGULATION 296/97) PART 13.

**WOOD FRAMING**

**GENERAL**

1. ALL DESIGN, DETAILS, MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO CURRENT EDITIONS OF THE FOLLOWING AS A MINIMUM:
  - CAN/CSA-086 - ENGINEERING DESIGN IN WOOD
  - CSA 0121 - DOUGLAS FIR PLYWOOD
  - CSA 0111 - WIRE NAILS, SPIKES AND STAPLES
  - CAN/CSA-B34 - MISCELLANEOUS BOLTS AND SCREWS
  - "WOOD DESIGN MANUAL" - CANADIAN WOOD COUNCIL
  - "WOOD BUILDING TECHNOLOGY" - CANADIAN WOOD COUNCIL
2. ANY CHANGES TO THE FRAMING SHOWN ON THESE DRAWINGS SHALL HAVE PRIOR WRITTEN APPROVAL OF RJC. FRAMING CHANGES WHICH HAVE NOT BEEN SO APPROVED WILL BE REJECTED.
3. ANY TIMBER NOT GRADE MARKED WILL BE REJECTED.
4. FINISHES SHALL BE DETAILED TO ACCOMMODATE SHRINKAGE OF THE TIMBER OVER TIME.
5. DO NOT COVER WOOD FRAMING WITH FINISHES UNTIL RJC'S FRAMING REVIEW IS COMPLETE. PROVIDE 24 HOURS ADVANCE NOTIFICATION WHEN FRAMING REVIEWS ARE REQUIRED.
6. NOTCHING AND DRILLING OF STRUCTURAL ELEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH IN THE BUILDING CODE PART 9, UNLESS OTHERWISE APPROVED IN WRITING BY RJC.
7. ALL NEW TIMBER AND SHEATHING TO BE PRESERVATIVE TREATED WHERE SPECIFIED, FIELD TREAT ALL CUT EDGES.

**MATERIALS**

1. NAILS SHALL BE COMMON ROUND STEEL WIRE NAILS OR COMMON SPIRAL NAILS.
2. MISCELLANEOUS STEEL TO BE CSA G40.21 OR APPROVED EQUAL.

**STRUCTURAL STEEL**

1. STRUCTURAL STEEL SECTIONS SHALL BE NEW AND CONFORM TO THE FOLLOWING:
  - A. ROLLED PLATES ----- CSA G40.21 GRADE 300W
  - B. BOLTS (SEE PLANS AND DETAILS) ----- ASTM A325 OR ASTM A490
2. ALL CONNECTIONS TO BE DESIGNED BY FABRICATOR UNLESS NOTED OTHERWISE.
3. PRIOR TO SUBMITTING SHOP DRAWINGS THE CONTRACTOR SHALL NOTIFY RJC IN WRITING THAT THE FABRICATOR IS CERTIFIED TO A MINIMUM OF DIVISION 2 OF CSA W47.1.
4. COMPONENTS, CONNECTIONS AND SPLICES NOT SHOWN ON THE STRUCTURAL DRAWINGS BUT REQUESTED BY THE FABRICATOR MUST HAVE SHOP DRAWINGS SIGNED AND SEALED BY THE FABRICATOR'S ENGINEER OR A LETTER SHALL BE SUBMITTED AT THE END OF SHOP DRAWING PRODUCTION SIGNED AND SEALED BY THIS ENGINEER, IDENTIFYING WHAT WAS DESIGNED AND LISTING THE FINAL DRAWINGS WITH DATES AND REVISION NUMBERS. TESTING OF THESE CONNECTIONS SHALL BE AT THE DISCRETION OF RJC AND TO THE CONTRACTORS ACCOUNT.
5. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO START OF STEEL FABRICATION.
6. FABRICATION, ERECTION, STRUCTURAL DESIGN AND DETAILING OF ALL STEEL SHALL BE IN ACCORDANCE WITH CSA S16.
7. CONNECTION DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE ALTERED BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL FROM READ JONES CHRISTOFFERSEN LTD.
8. STEEL TO BE EXPOSED IN FINISHED WORK SHALL BE HOT DIPPED GALVANIZED.
9. UNLESS NOTED OTHERWISE, DO NOT OVERSIZE HOLES IN STEEL TO FIT ANY ANCHOR LOCATIONS.

**GENERAL NOTES**

1. **DEFINITIONS:**
  - A. RJC: READ JONES CHRISTOFFERSEN LTD. OR ITS REPRESENTATIVE.
2. THIS SET OF DRAWINGS SHOWS THE COMPLETED PROJECT. IT DOES NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORM WORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.
3. THE INFORMATION ON THIS DRAWING SHALL NOT BE USED FOR ANYTHING OTHER THAN THE SPECIFIED WORKS OR PART OF THE WORKS FOR WHICH IT HAS BEEN AUTHORIZED BY RJC.
4. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN, AND SIGNED AND STAMPED BY AN ENGINEER OF RJC. THE DRAWINGS SHALL NOT BE USED FOR PRICING OR TENDER UNLESS SO INDICATED IN THE REVISIONS COLUMN.
5. SECTION MARK SHOWN THIS MEANS SECTION #4 ON DRAWING R-3.1.
6. THE CONTRACT DOCUMENTS ARE BASED ON DIMENSIONS FROM ORIGINAL DRAWINGS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH STANDARD DETAILING AND CONSTRUCTION PRACTICE. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY VARIATIONS FROM THE ASSUMED CONDITIONS. IT IS UNDERSTOOD THAT MINOR MODIFICATIONS MAY BE REQUIRED TO THE WORK INDICATED. THE CONTRACTOR SHALL COOPERATE WITH THE CONSULTANT IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT RESULT IN A CHANGE IN CONTRACT PRICE. DO NOT PROCEED WITH MODIFICATIONS TO THE EXISTING STRUCTURE OR THE NEW WORK WITHOUT WRITTEN APPROVAL FROM RJC.
7. RJC'S DRAWINGS, WHETHER IN ELECTRONIC FORMAT OR HARD COPY, MAY NOT BE USED AS OR MODIFIED TO PROVIDE SHOP DRAWINGS UNLESS:
  - RJC IS COMPENSATED FOR THE DRAWINGS AND
  - THE CONTRACTOR RESPONSIBLE FOR THE SHOP DRAWINGS SIGNS RJC'S STANDARD AUTHORIZATION AND WAIVER FORM.
8. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
9. DO NOT OVERLOAD THE STRUCTURE. ENSURE ALL REASONABLE PRECAUTIONS ARE TAKEN TO PREVENT DAMAGE TO THE UNDERLYING STRUCTURES REMAINING IN PLACE. PROVIDE SHORING AS NECESSARY TO PREVENT OVERLOADING OF THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
10. CONTRACTOR TO ENSURE THAT EXISTING STRUCTURAL MEMBERS AND SERVICES ARE NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, HOLE AUGURING OR OTHER CONSTRUCTION ACTIVITIES.
11. DO NOT CUT OR DRILL ANY OPENINGS IN STRUCTURAL MEMBERS WITHOUT WRITTEN PERMISSION OF RJC.
12. CONTRACTOR TO ENSURE THAT EXISTING AIR AND VAPOUR BARRIERS ARE MAINTAINED IN AREAS OF CONSTRUCTION. ANY INADEQUACIES IN AIR OR VAPOUR BARRIERS TO BE BROUGHT TO THE ATTENTION OF THE CONSULTANT (RJC).

**DESIGN PARAMETERS**

1. THE COMPLETED ROOF REPLACEMENT SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN SUBSTANTIAL ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL BUILDING CODE OF CANADA.

**NON-BUILDING ENVELOPE ELEMENTS**

1. 'NON-BUILDING ENVELOPE' OR 'SECONDARY STRUCTURAL' ELEMENTS ARE NOT INCLUDED IN THIS DESIGN BY RJC WHERE REQUIRED TO EXECUTE THE WORK SHOWN ON THE DRAWINGS. REMOVE SECONDARY STRUCTURAL ELEMENTS AND REINSTALL IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
2. EXAMPLES OF 'NON-BUILDING ENVELOPE' OR 'SECONDARY STRUCTURAL' ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO:
  - A. ARCHITECTURAL COMPONENTS SUCH AS CEILINGS, MILLWORK, ETC.
  - B. MECHANICAL AND ELECTRICAL EQUIPMENT AND THEIR COMPONENTS
3. SHOP DRAWINGS FOR 'NON-BUILDING ENVELOPE' OR 'SECONDARY STRUCTURAL' ELEMENTS WHICH MAY EFFECT THE PRIMARY BUILDING ENVELOPE SYSTEM SHALL BE SUBMITTED TO RJC. THESE DRAWINGS WILL BE REVIEWED ONLY FOR THE EFFECT OF THE ELEMENT ON THE PRIMARY BUILDING ENVELOPE SYSTEM.

**FIELD REVIEW BY RJC**

1. RJC PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE DRAWINGS. THIS REVIEW IS NOT A 'FULL TIME' REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY RJC. FIELD REVIEW BY RJC IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE RJC GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. RJC WILL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CRONTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 

RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS. THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF RJC AND IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE ROOFING DESIGN CONCEPT. THE REVIEW IS NOT AN APPROVAL OF THE DESIGN, DETAILS, AND DIMENSIONS INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR THE WORK WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. PROVIDE 72 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.
3. THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE IN NATURE.

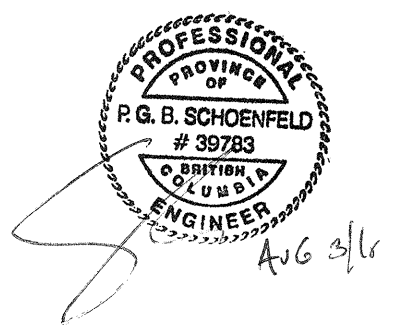
**ABBREVIATIONS**

THE FOLLOWING COMMON ABBREVIATIONS ARE REFERENCED WITHIN THE DRAWINGS:

ARCH. --- ARCHITECTURAL	MIN. --- MINIMUM
BTWN. --- BETWEEN	N.I.C. --- NOT IN CONTRACT
CL. --- CENTER LINE	N.T.S. --- NOT TO SCALE
CLR. --- CLEAR	O/C. --- ON CENTRE
CONC. --- CONCRETE	PL. --- PROPERTY LINE
CONT. --- CONTINUOUS	R.D. --- ROOF DRAIN
C/W --- COMPLETE WITH	RTN. --- RETURN
DET. --- DETAIL	REQ'D --- REQUIRED
DWS. --- DRAWING	SIM. --- SIMILAR
ELEV. --- ELEVATION	SPEC. --- SPECIFICATIONS
ELEC. --- ELECTRICAL	S.S. --- STAINLESS STEEL
EXIST. --- EXISTING	STRUCT. --- STRUCTURAL
EXT. --- EXTERIOR	THK. --- THICK
F.D. --- FLOOR DRAIN	THRU --- THROUGH
G.L. --- GRID LINE	TYP. --- TYPICAL
INT. --- INTERIOR	T.O.S. --- TOP OF SLAB
MAX. --- MAXIMUM	U.N.O. --- UNLESS NOTED OTHERWISE
MANUF. --- MANUFACTURED	U/S --- UNDERSIDE
MECH. --- MECHANICAL	W/ --- WITH

**Drawing Notes**

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ISSUED FOR BUILDING PERMIT	JUN 07/16	KWT
ISSUED FOR CLASS A COST ESTIMATE	MAR 29/16	KWT
ISSUED FOR 99% REVIEW SET	MAR 11/16	KWT
ISSUED FOR 66% REVIEW SET	DEC 18/15	PCM

No.	Revision	Date	By
Client/client			

**TRANSPORT CANADA**

Project title/Titre du projet  
**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C

**ROOF RESTORATION**

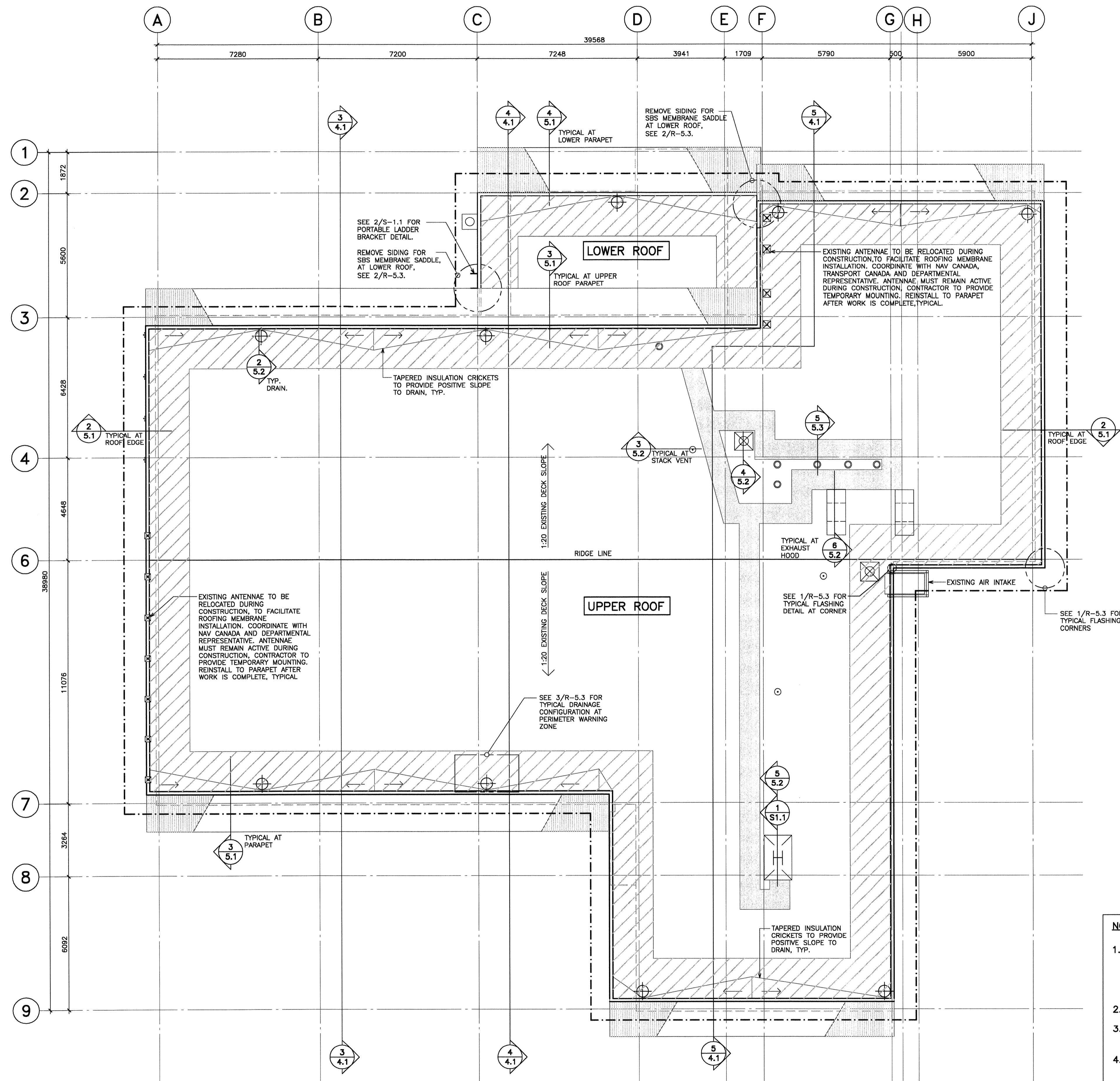
RJC PROJECT NO. VAN.032105.0013

Consultant Signature Only  
Designed by/Concept par  
PCM  
Drawn by/Dessiné par  
KJB Date  
JULY 29, 2016  
PWGSC Project Manager/Administrateur de Projets TPSGC

Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de genie, TPSGC

**SITE PLAN AND GENERAL NOTES**

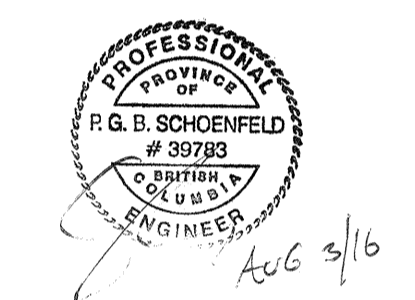
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**LEGEND**

- AREA OF RE-ROOF
- PERIMETER WARNING ZONE (1.829m WIDE)
- TRAFFIC CAP SHEET WALKWAYS (0.914m WIDE)
- EXISTING ROOF DRAIN. SEE 2/R-5.2
- EXHAUST FAN ON CURB. SEE 4/R-5.2
- HATCH SEE 5/R-5.2
- SLOPE
- MECH. FLUE SEE 5/R-5.3
- EXISTING SCUPPER. SEE 4/R-5.3
- EXISTING ANTENNAE. SEE PLAN
- PLUMBING STACK VENT. SEE 3/R-5.2
- EXHAUST HOOD. SEE 6/R-5.2

- Drawings Notes**
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ISSUED FOR 66% REVIEW SET	DEC 18/15	PCM	
No.	Revision	Date	By

Client/client

**TRANSPORT CANADA**

Project title/Titre du projet  
**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C.

**ROOF RESTORATION**

RJC PROJECT NO. VAN.032105.0013

Consultant Signature Only

Designed by/Concept par  
PCM

Drawn by/Dessine par  
KJB Date  
JULY 29, 2016

PWGSC Project Manager/Administrateur de Projets TPSGC

Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de genie, TPSGC

Drawing title/ Titre du dessin

**ROOF PLAN**

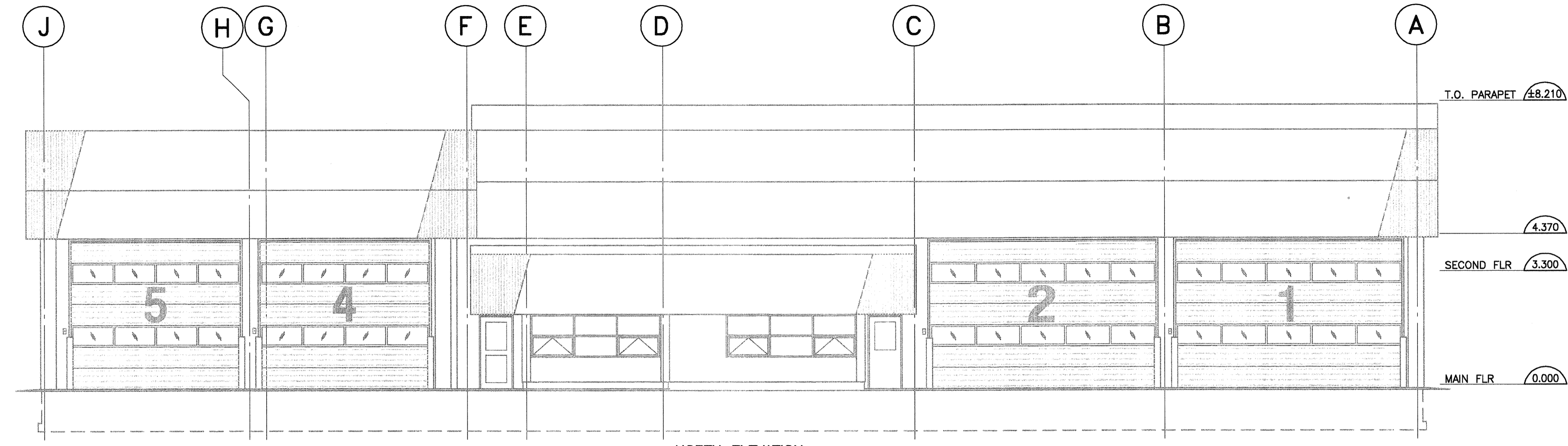
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**R.077015.0001**

Sheet / Feuille  
**R-2.1**

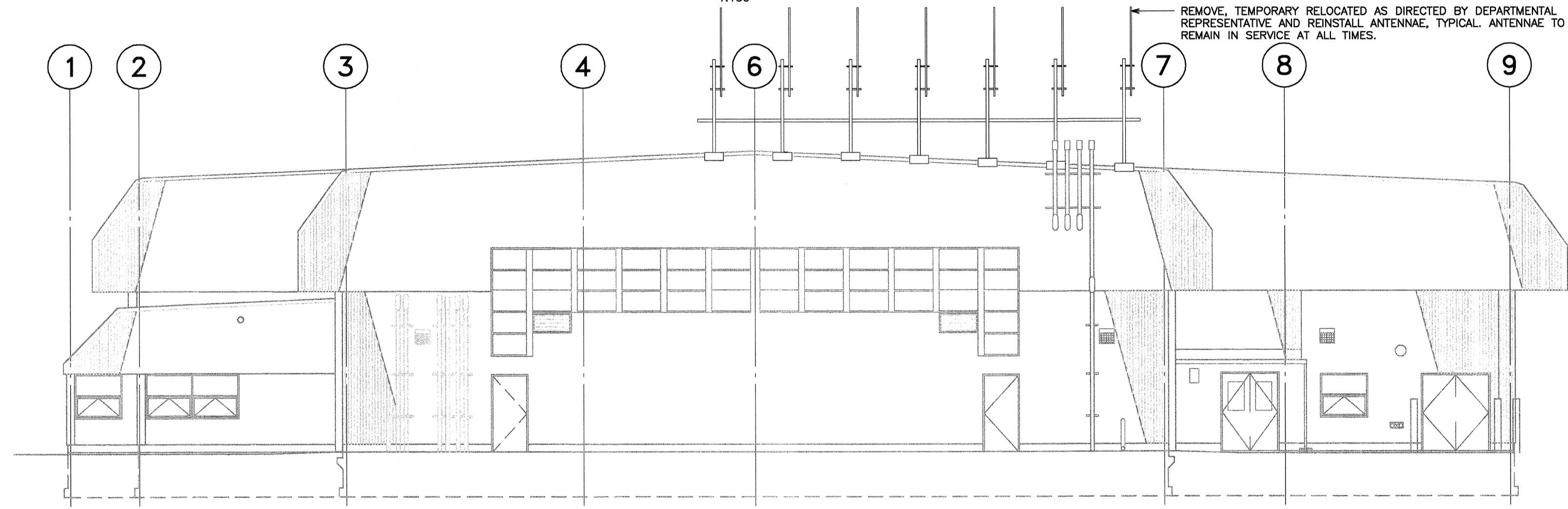
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- NOTES:**
- ALL EXISTING FIXTURES, DEVICES AND EQUIPMENT PRESENTLY MOUNTED ON THE EXISTING CLADDING ARE TO BE REMOVED AND REINSTALLED AS MAY BE REQUIRED TO COMPLETE THE SCOPE OF WORK, USING QUALIFIED TRADESMAN. EXISTING ANTENNAS ARE TO REMAIN IN SERVICE DURING CONSTRUCTION.
  - CONTRACTOR TO CONFIRM ALL DIMENSIONS AND CONDITIONS ON SITE.
  - PROVIDE CRICKETS AT ALL VENTS AND CURBS AS REQUIRED TO PROVIDE DRAINAGE.
  - PONDING WATER EXCEEDING 9mm (3/8") DEPTH OVER A 2m<sup>2</sup> (20ft<sup>2</sup>) AREA WILL NOT BE ACCEPTED.

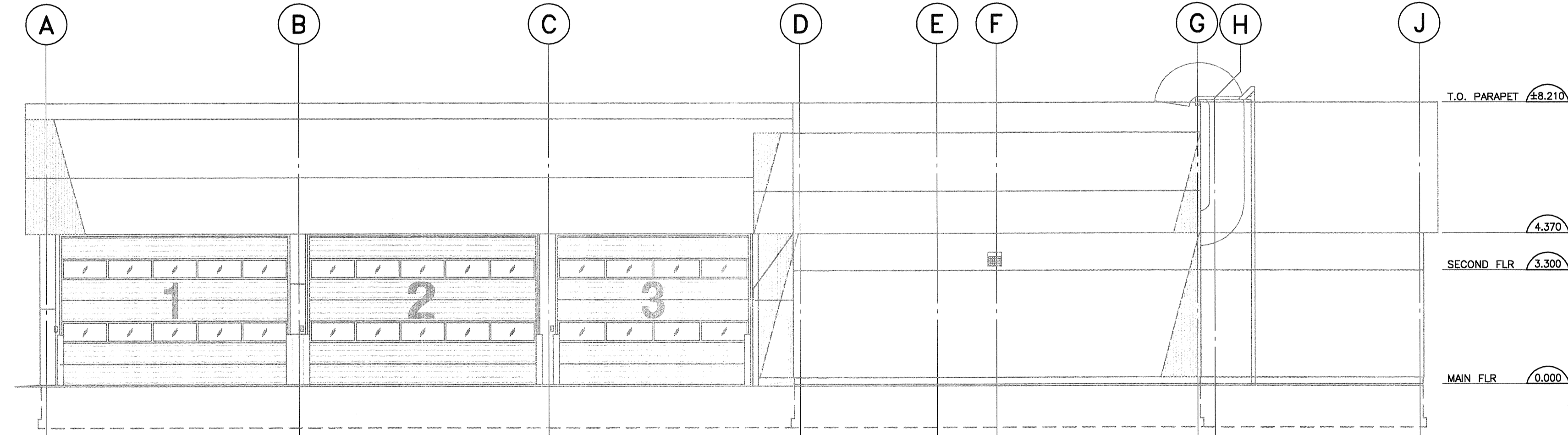
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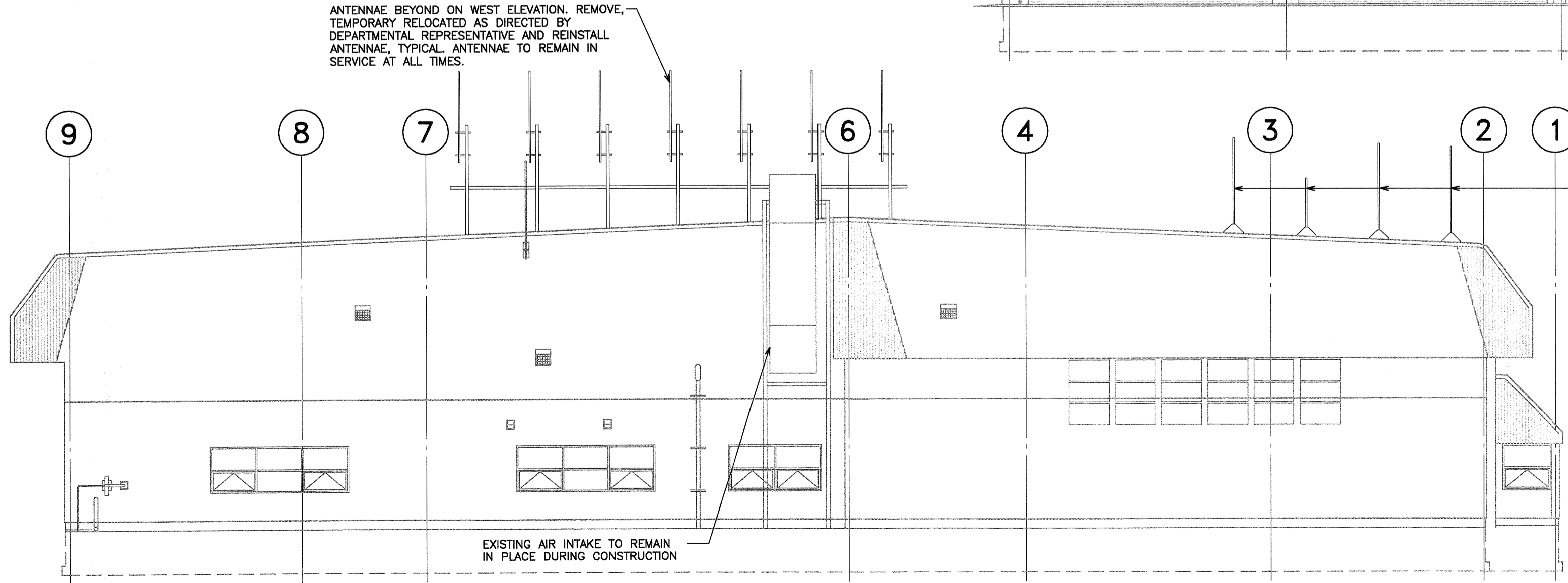
**NORTH ELEVATION**  
1:100



**WEST ELEVATION**  
1:100



**SOUTH ELEVATION**  
1:100

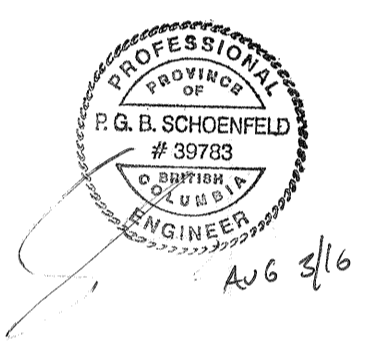


**EAST ELEVATION**  
1:100

**NOTE:**  
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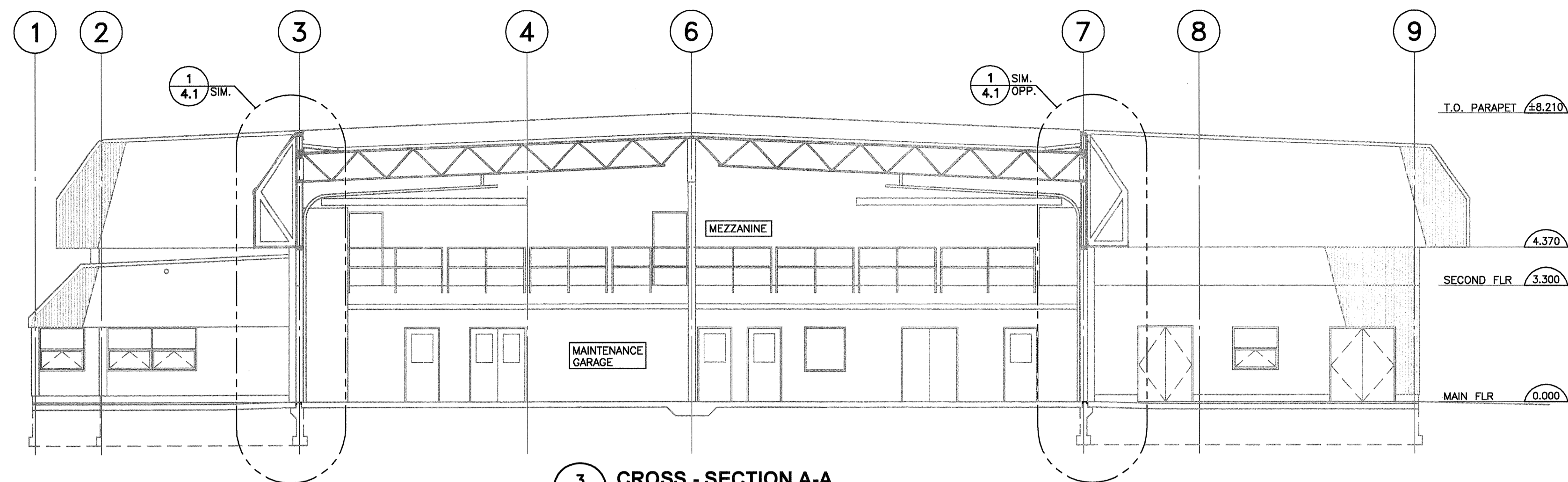
Client/client  
**TRANSPORT CANADA**

Project title/Titre du projet  
**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C.  
**ROOF RESTORATION**  
RJC PROJECT NO. VAN.032105.0013

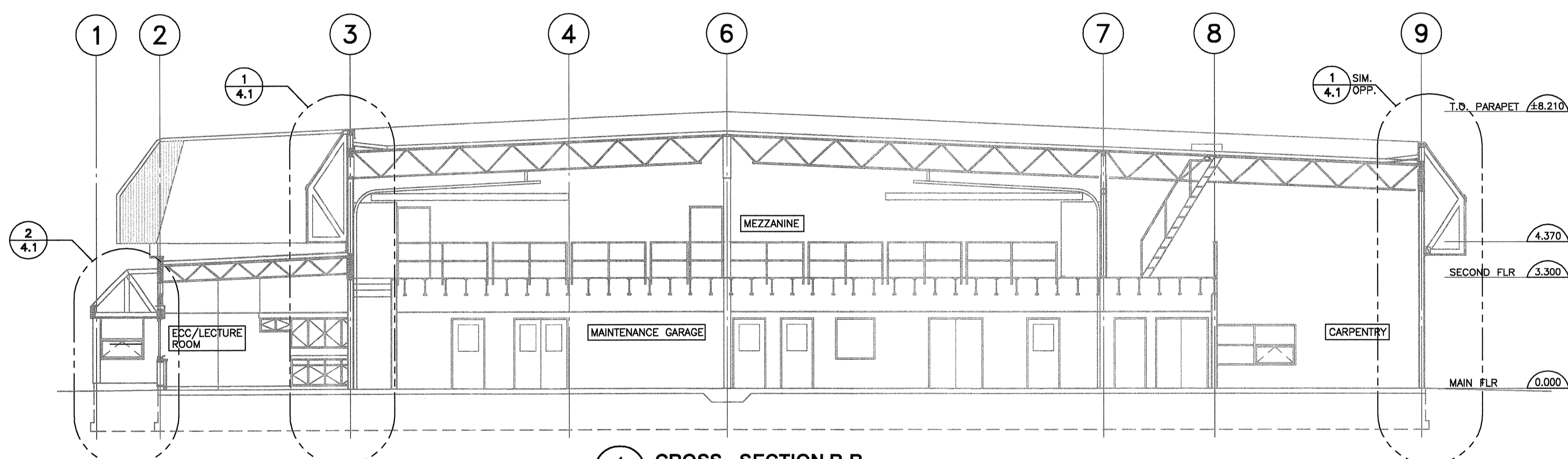
Consultant Signature Only  
Designed by/Concept par  
PCM  
Drawn by/Dessine par  
KJB  
Date  
JULY 29, 2016  
PWGSC Project Manager/Administrateur de Projets TPSGC  
Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de génie, TPSGC

Drawing title/ Titre du dessin  
**EXTERIOR ELEVATIONS**

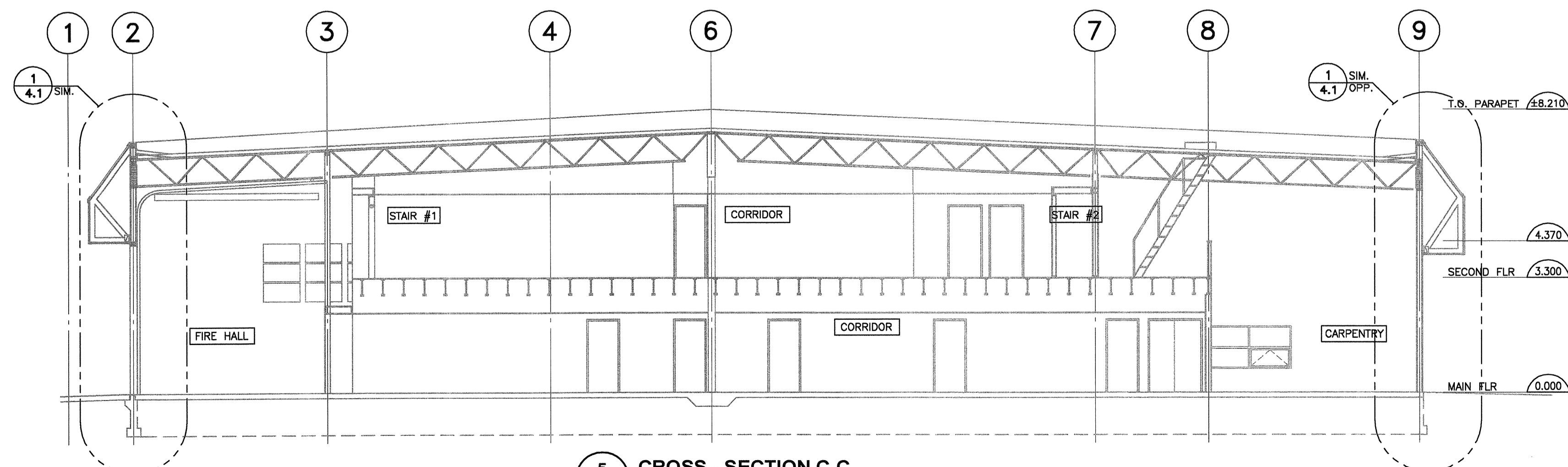
Project No. / No. du projet	Sheet / Feuille	Revision no. / Revision no.
R.077015.0001	R-3.1	0



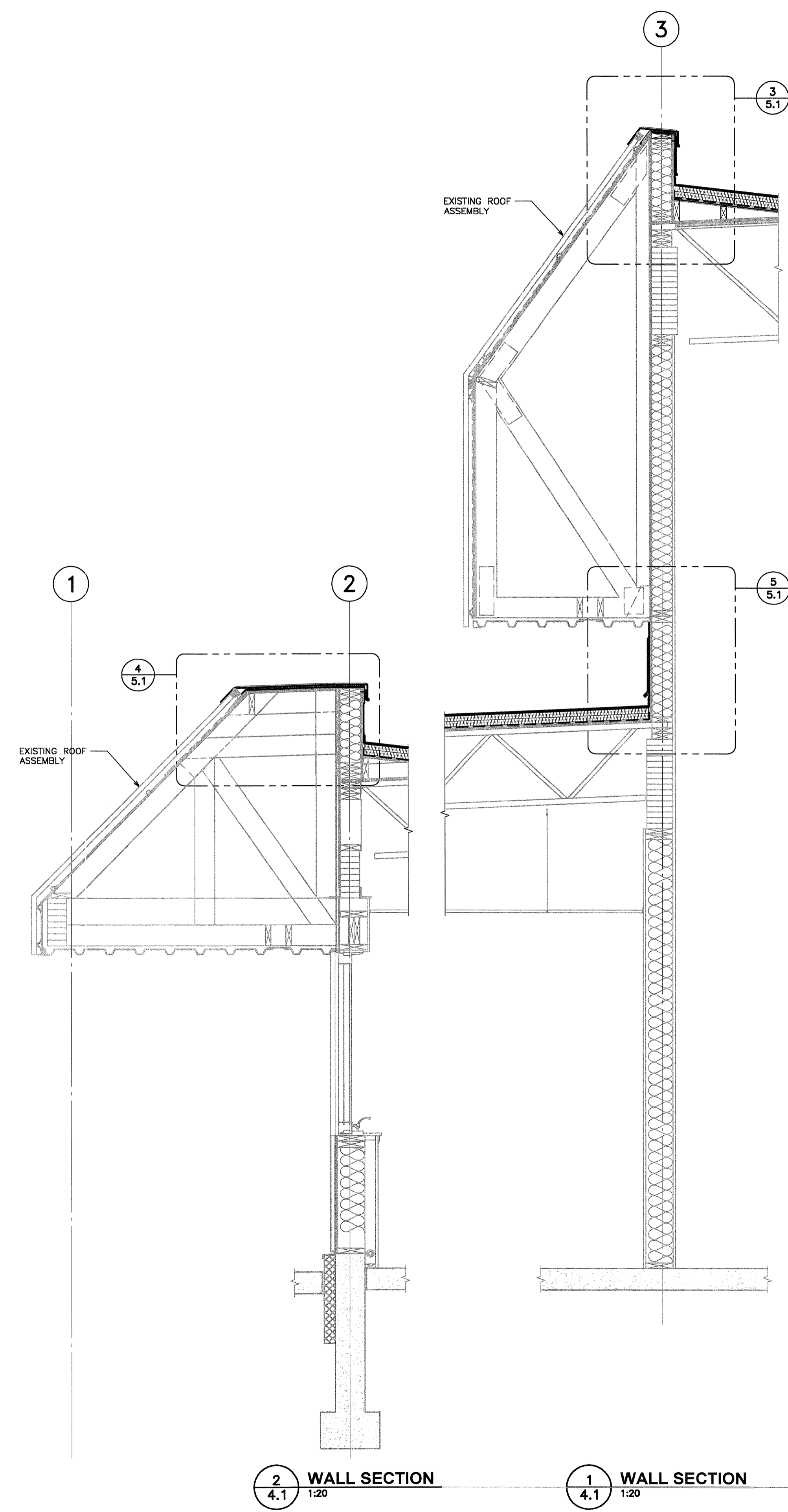
**3 CROSS - SECTION A-A**  
4.1 1:100



**4 CROSS - SECTION B-B**  
4.1 1:100

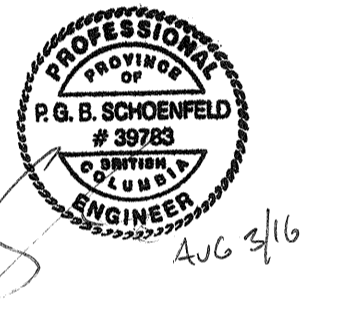


**5 CROSS - SECTION C-C**  
4.1 1:100



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	ISSUED FOR 86% REVIEW SET	DEC 18/15	PCM

Clien/cient

**TRANSPORT CANADA**

Project title/Titre du projet

**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C.

**ROOF RESTORATION**

RJC PROJECT NO. VAN.032105.0013

Consultant Signature Only

Designed by/Concept par  
PCM

Drawn by/Dessiné par  
KJB

Date  
JULY 29, 2016

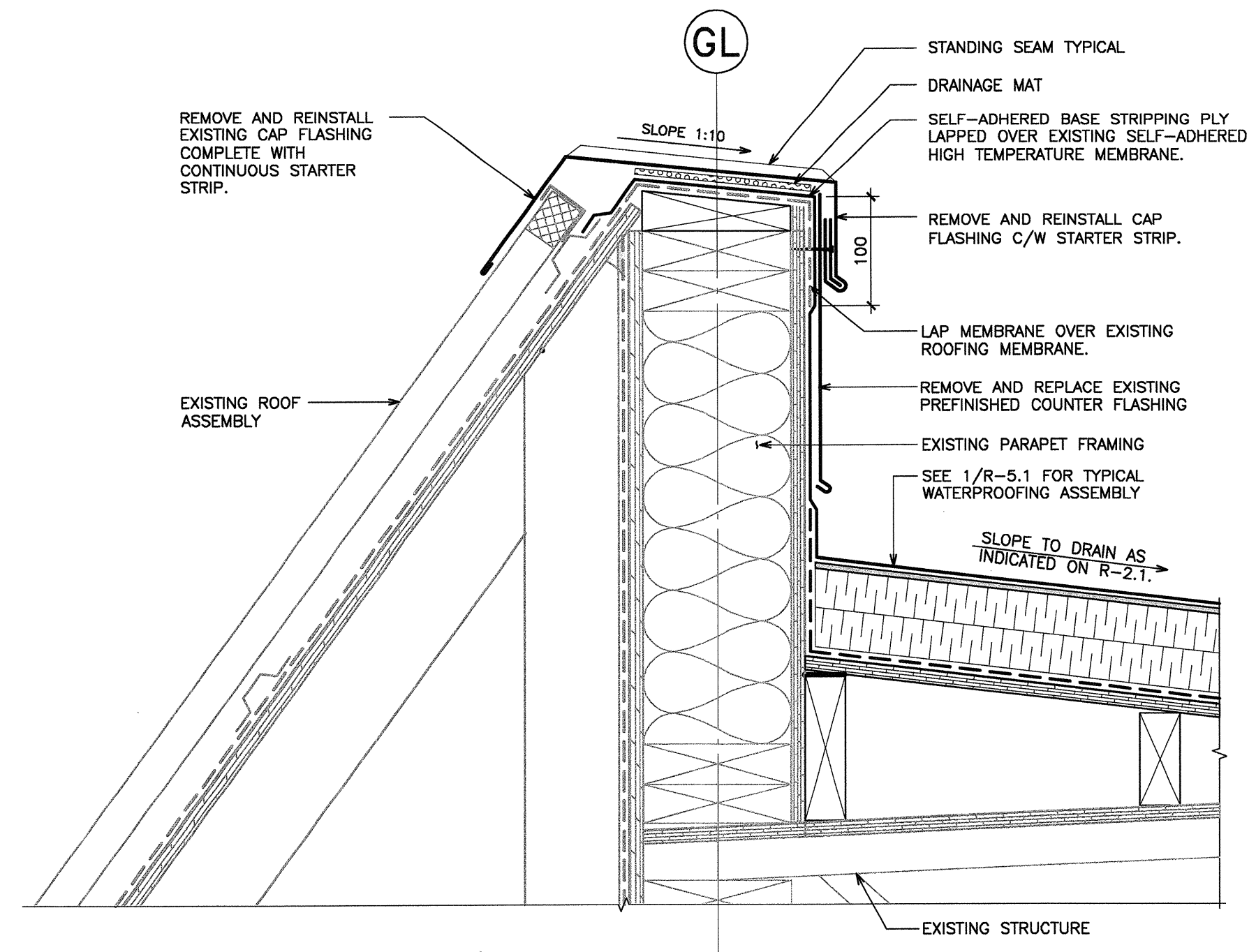
PWGSC Project Manager/Administrateur de Projets TPSPGC

Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de génie, TPSPGC

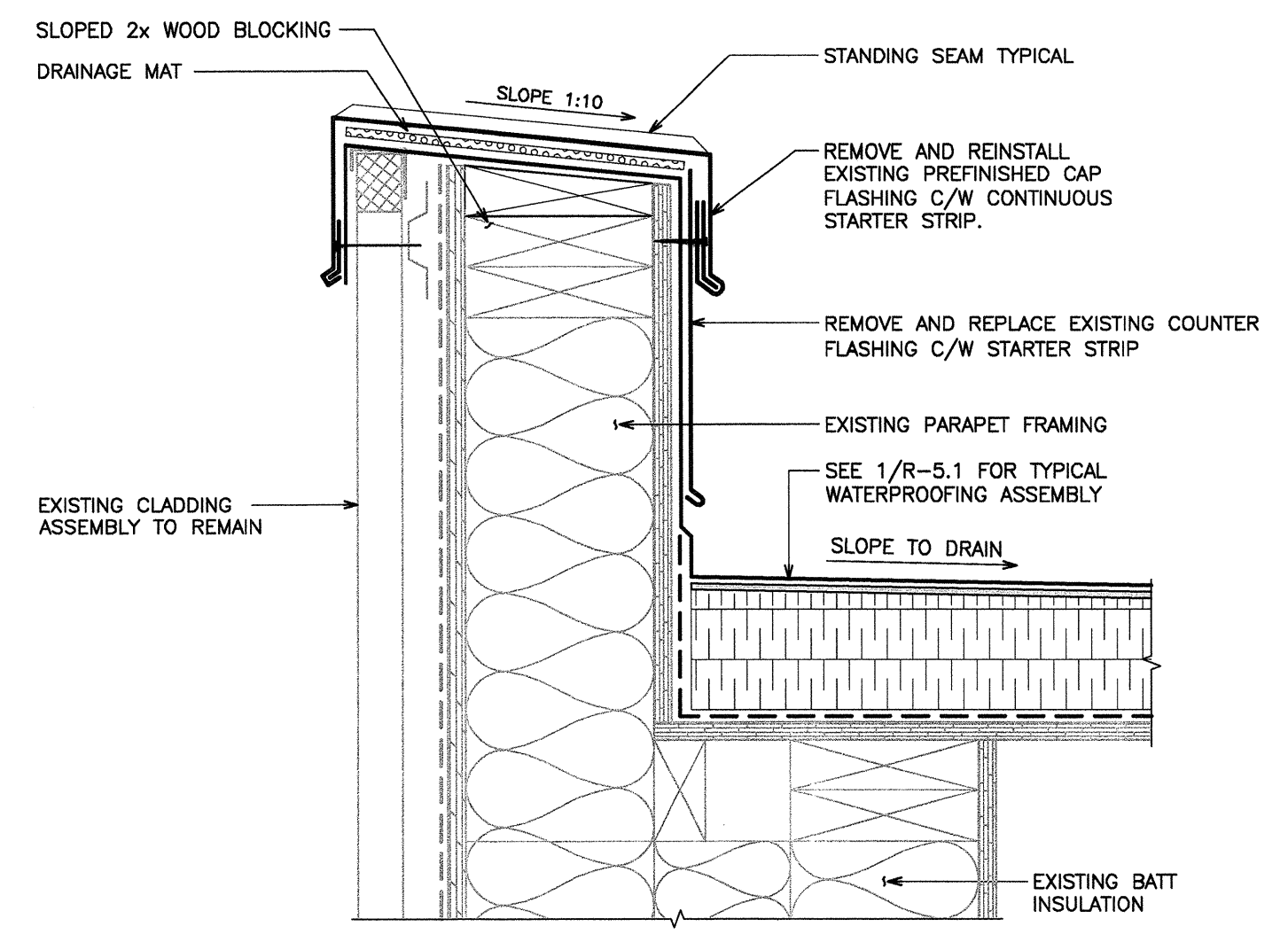
Drawing title/ Titre du dessin

**CROSS-SECTIONS AND WALL SECTIONS**

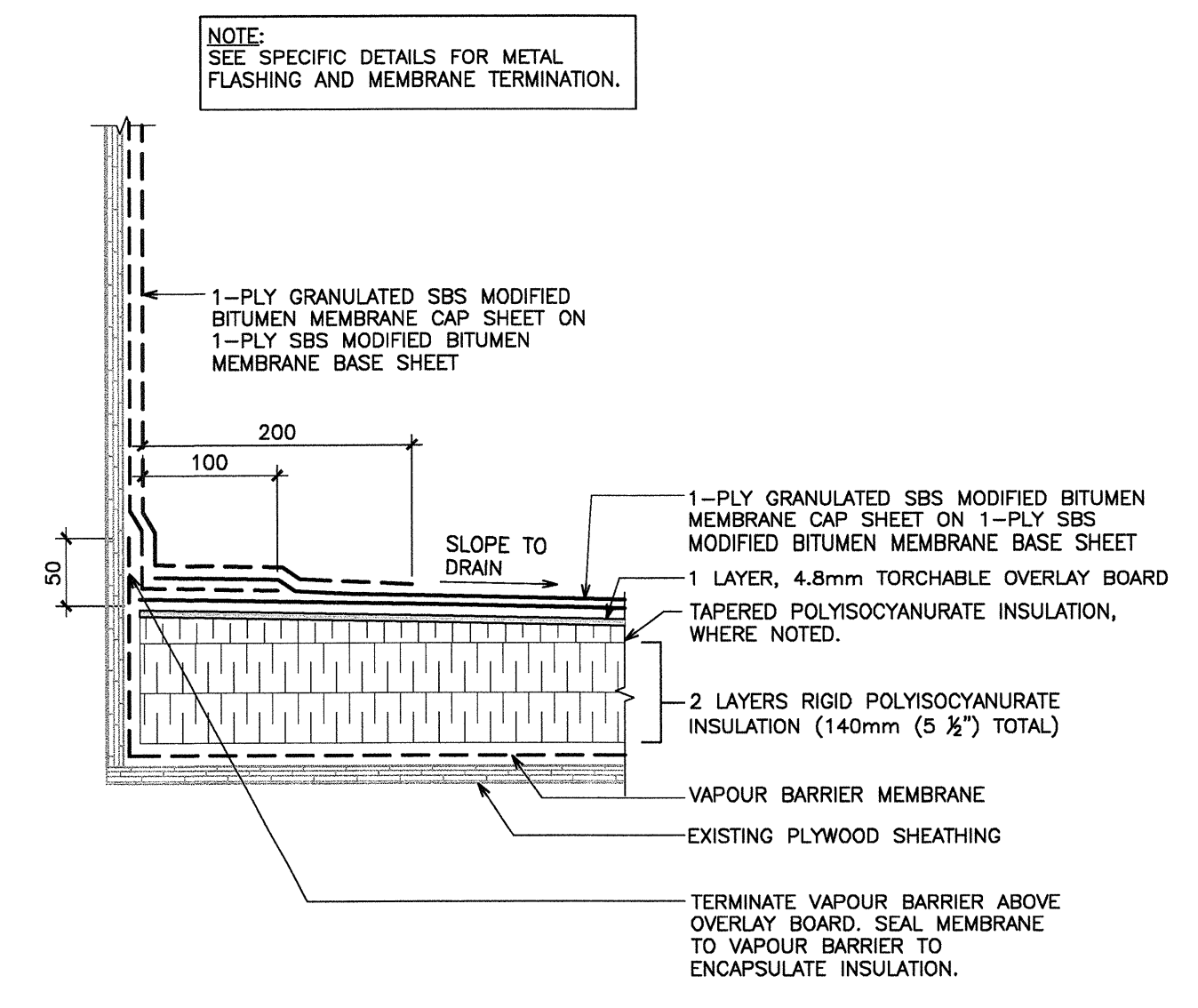
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**3**  
**5.1** TYPICAL PARAPET  
1:5



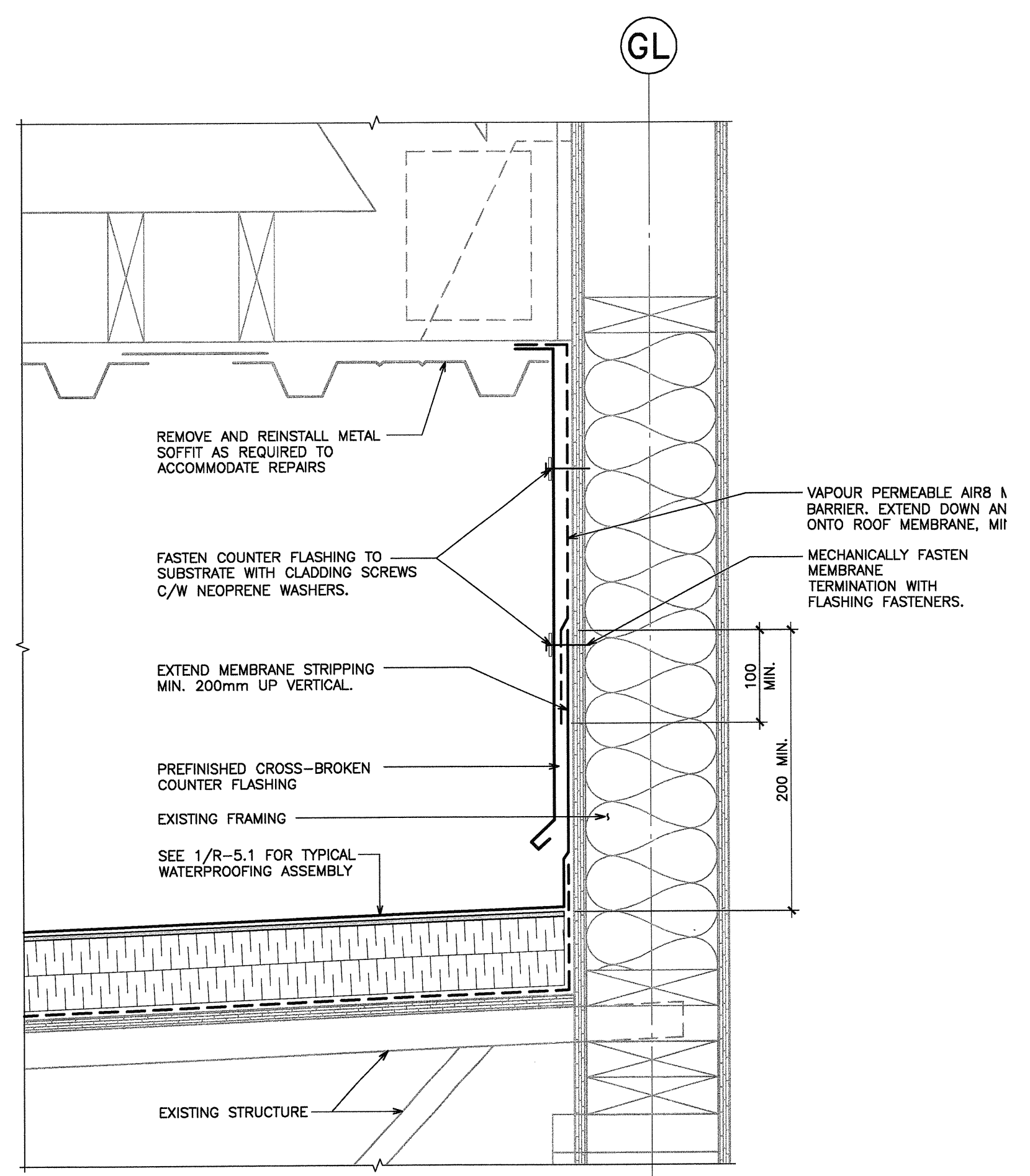
**2**  
**5.1** TYPICAL ROOF EDGE DETAIL  
1:5



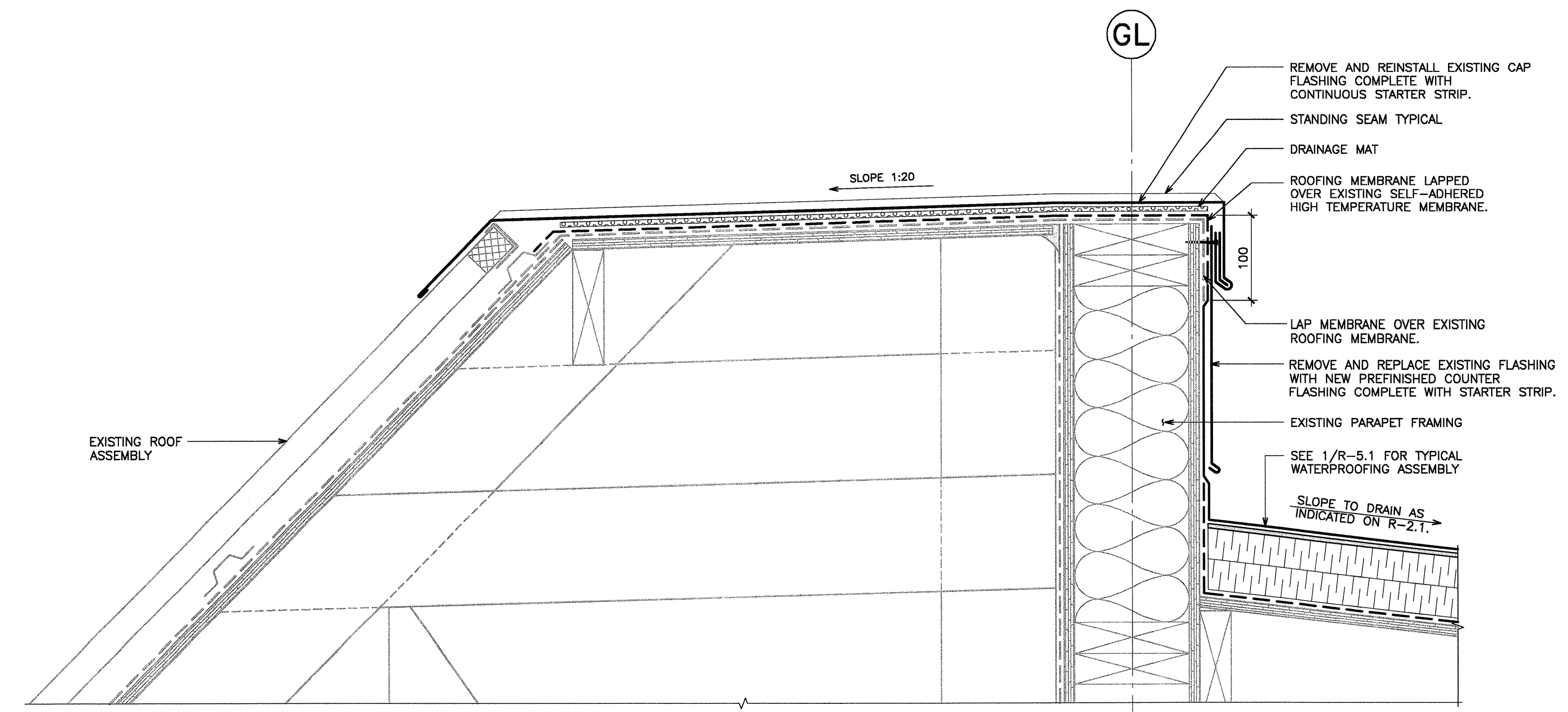
**1**  
**5.1** TYPICAL ROOF MEMBRANE WATERPROOFING ASSEMBLY  
1:5

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**5**  
**5.1** BASE OF WALL UNDER METAL CLADDING OVERHANG  
1:5



**4**  
**5.1** TYPICAL PARAPET AT LOW ROOF  
1:5

**NOTE:**

- CONTRACTOR IS TO REVIEW THE CONDITION OF THE EXISTING PLYWOOD SHEATHING AND WOOD FRAMING WITH THE DEPARTMENTAL REPRESENTATIVE IMMEDIATELY AFTER REMOVING THE EXISTING ROOFING.

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ISSUED FOR 66% REVIEW SET	DEC 18/15	PCM	
No.	Revision	Date	By

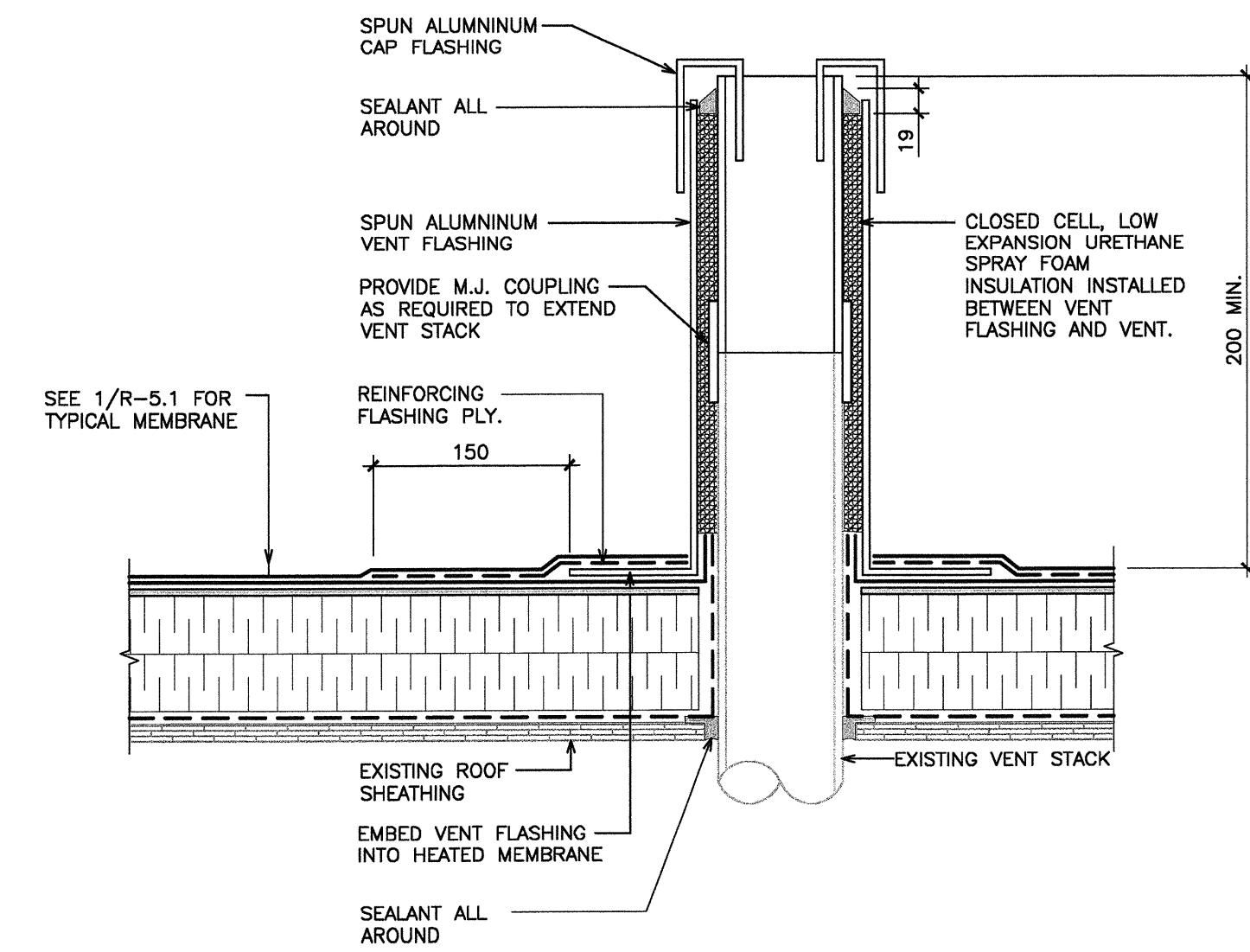
Client/client  
**TRANSPORT CANADA**

Project title/Titre du projet  
**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C.  
**ROOF RESTORATION**  
RJC PROJECT NO. VAN.032105.0013

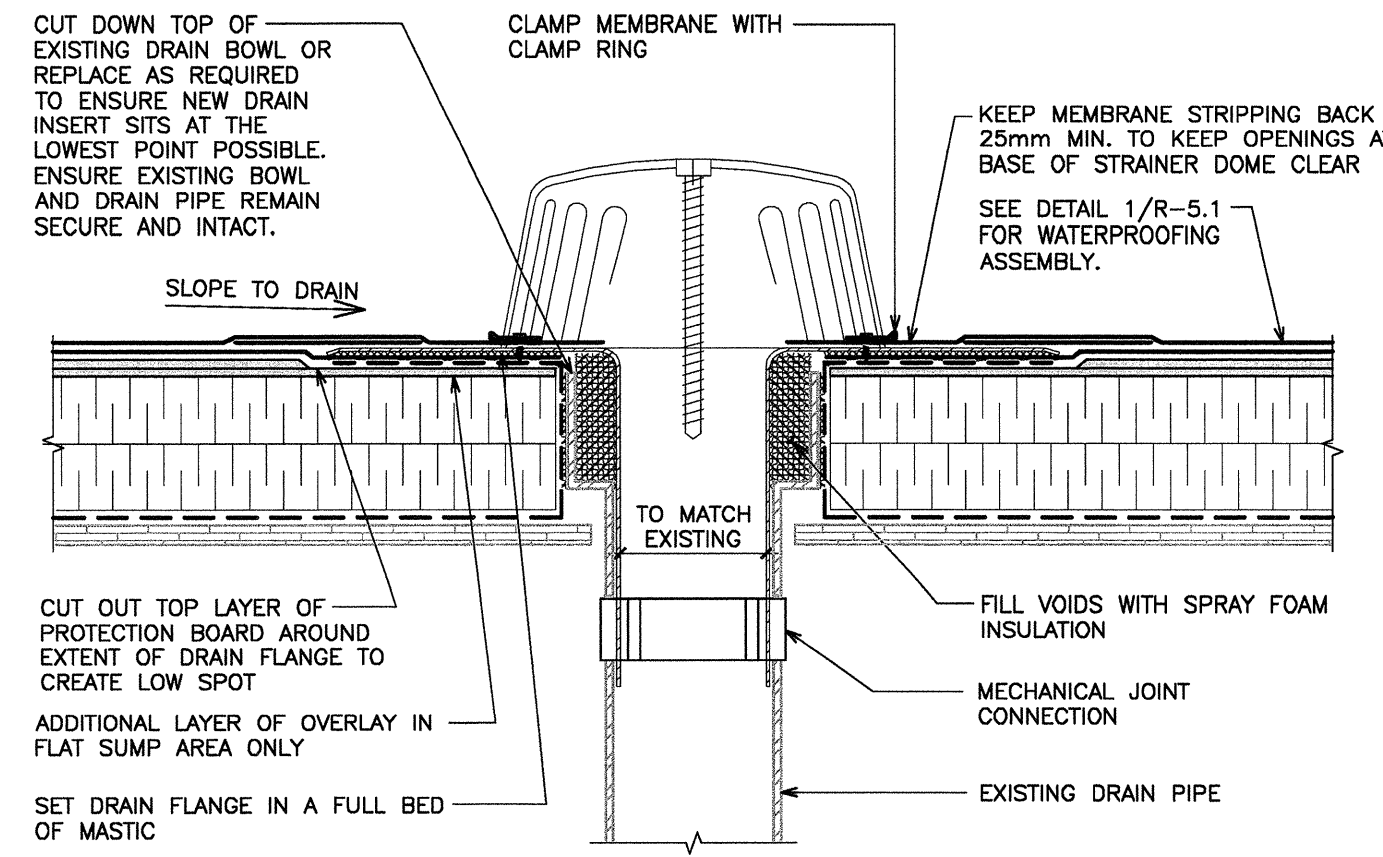
Consultant Signature Only  
Designed by/Concept par  
PCM  
Drawn by/Dessine par  
KJB  
Date  
JULY 29, 2016  
PWGSC Project Manager/Administrateur de Projets TPSGC  
Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de génie, TPSGC

Drawing title/ Titre du dessin  
**DETAILS**

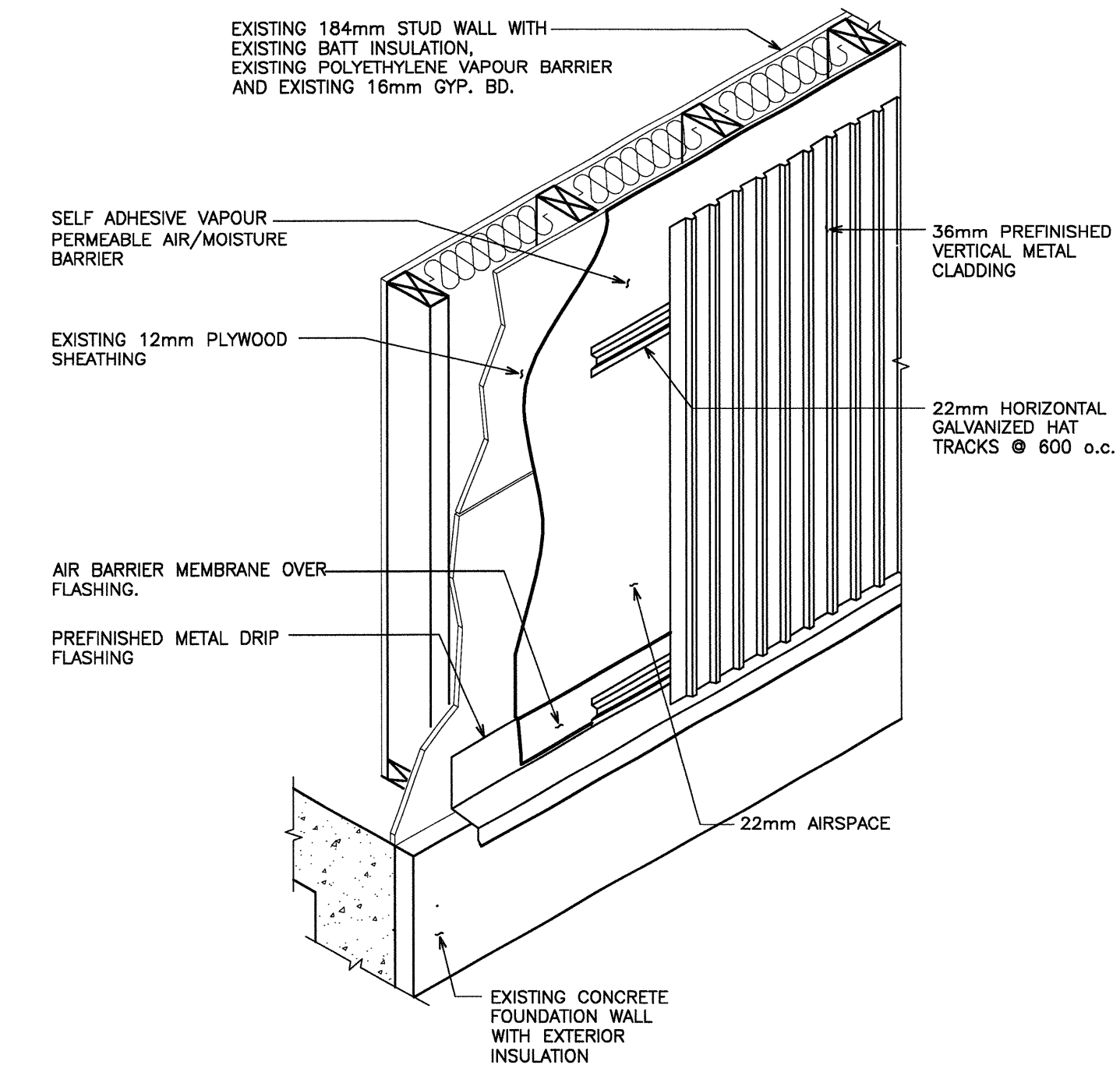
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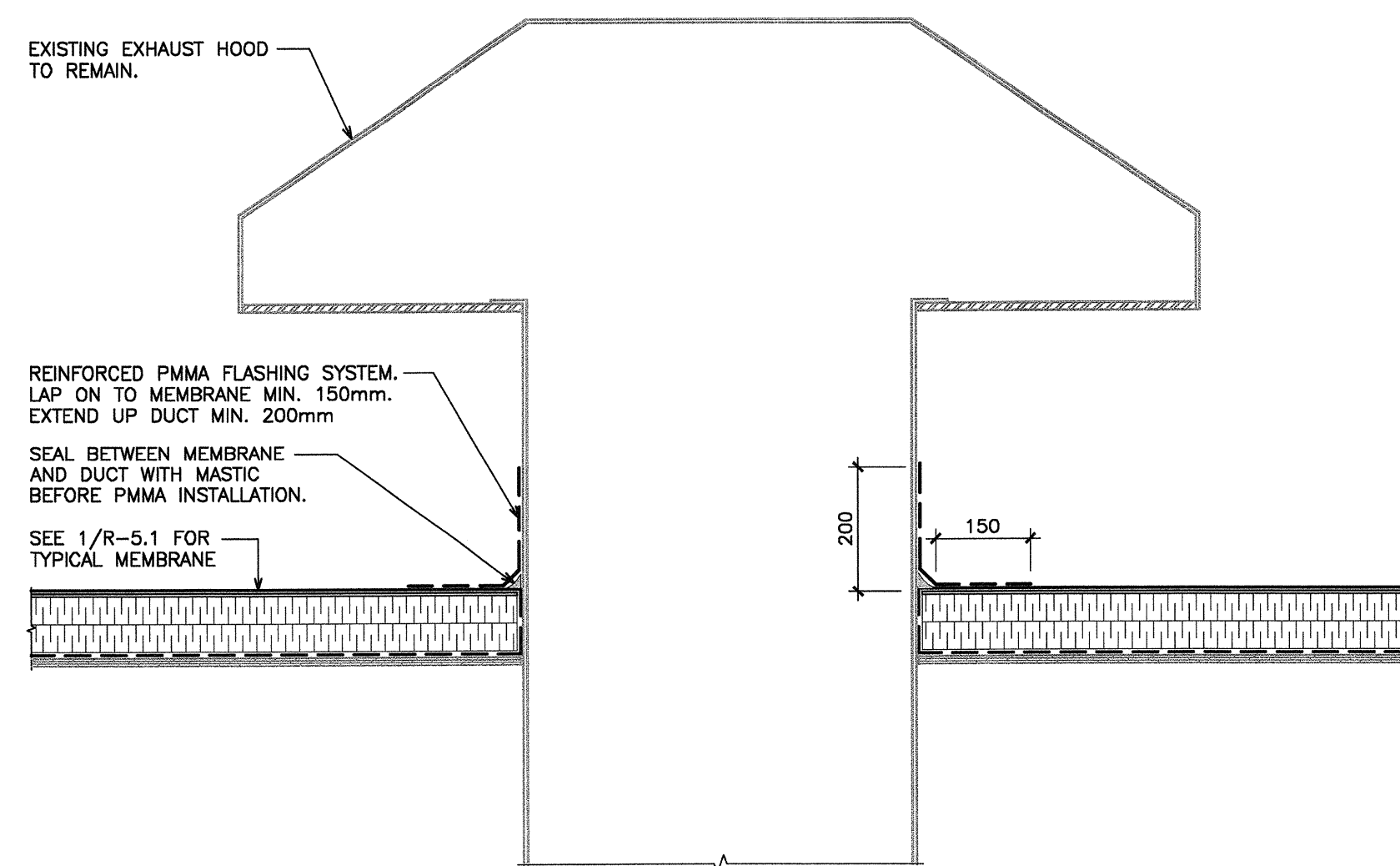
**3**  
**5.2** TYPICAL PLUMBING STACK VENT  
1:5



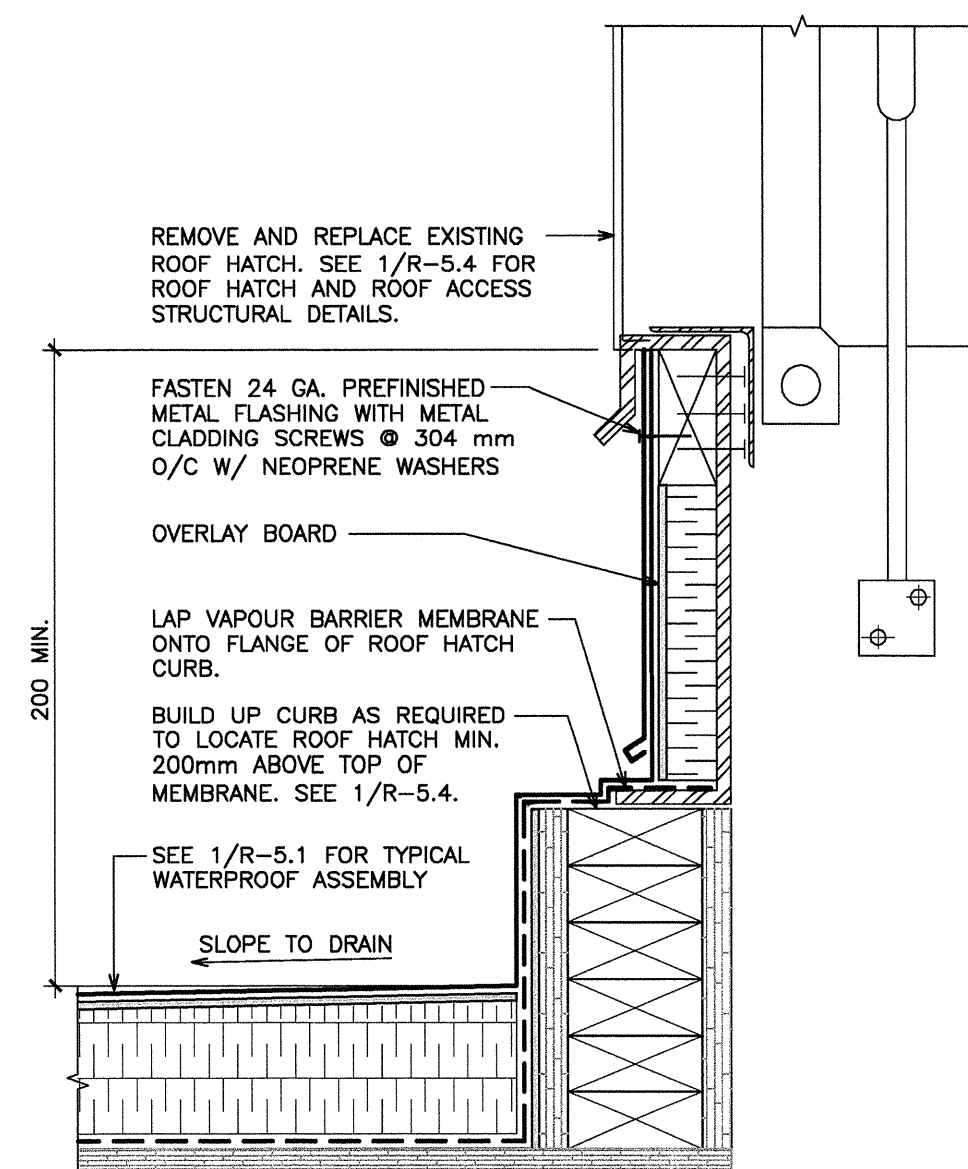
**2**  
**5.2** TYPICAL ROOF DRAIN  
1:5



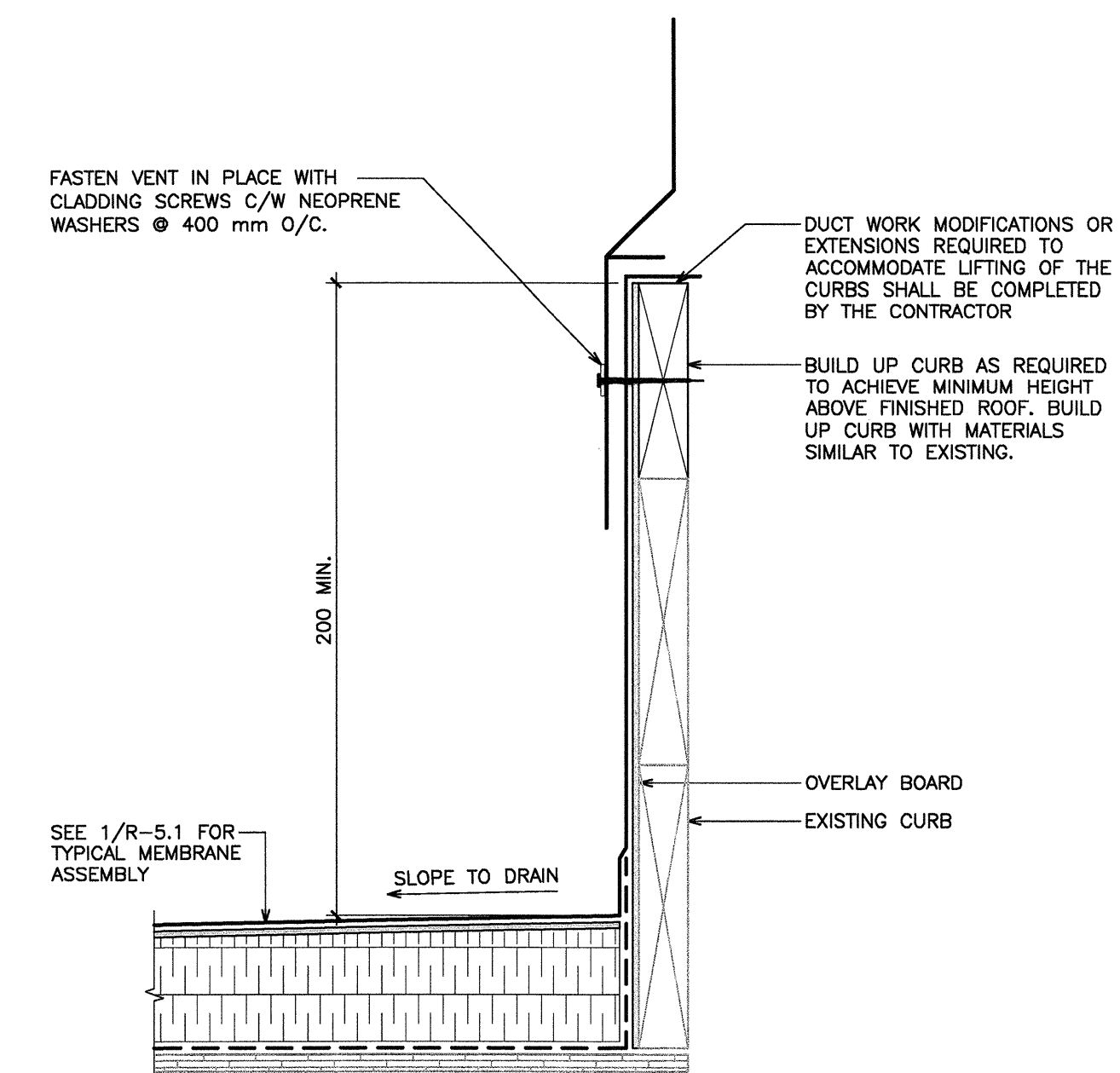
**1**  
**5.2** TYPICAL WALL ASSEMBLY  
N.T.S. (FOR REFERENCE ONLY)



**6**  
**5.2** TYPICAL EXHAUST HOOD DETAIL  
1:10



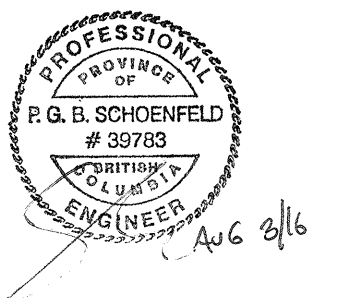
**5**  
**5.2** TYPICAL ROOF HATCH DETAIL  
1:5



**4**  
**5.2** TYPICAL EXHAUST FAN PENETRATION DETAIL  
1:5

**NOTE:**  
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Client/client  
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**SANDSPIT AIRPORT**  
COMBINED SERVICES BUILDING  
1 AIRPORT ROAD, SANDSPIT, B.C.

**ROOF RESTORATION**

RJC PROJECT NO. VAN.032105.0013

Consultant Signature Only

Designed by/Concept par  
PCM

Drawn by/Dessiné par  
KJB

Date  
JULY 29, 2016

PWGSC Project Manager/Administrateur de Projets TPSGC

Regional Manager, Architectural and Engineering Services  
Gestionnaire régionale, Services d'architectural et de génie, TPSGC

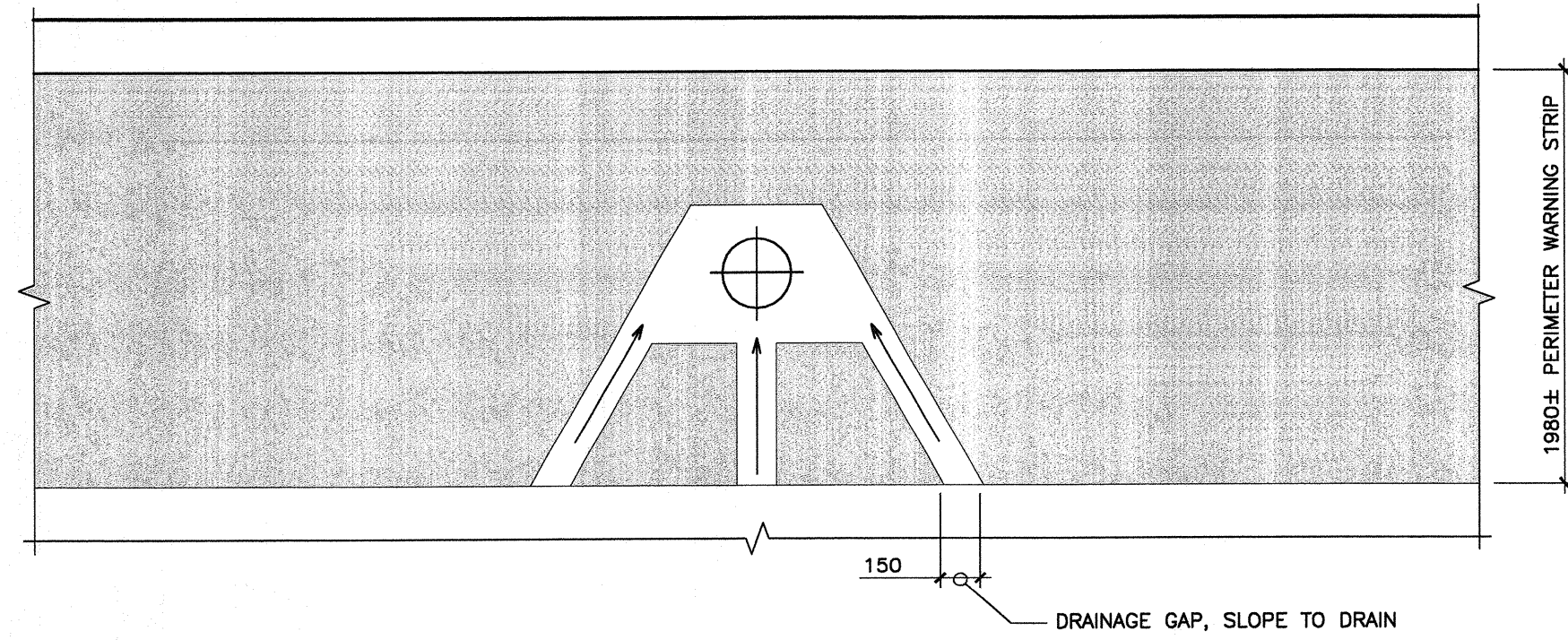
Drawing title/ Titre du dessin

**DETAILS**

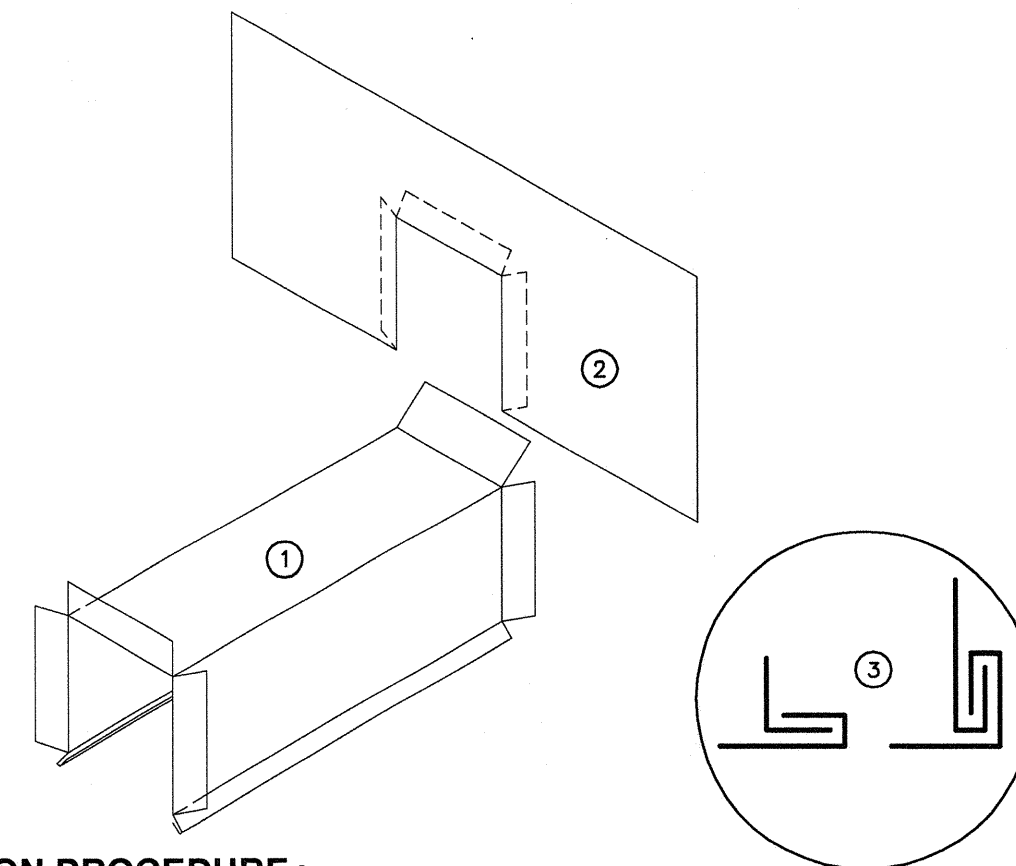
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**R.077015.0001**

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**R-5.2**

Revision no. / La Revision no.  
**0**



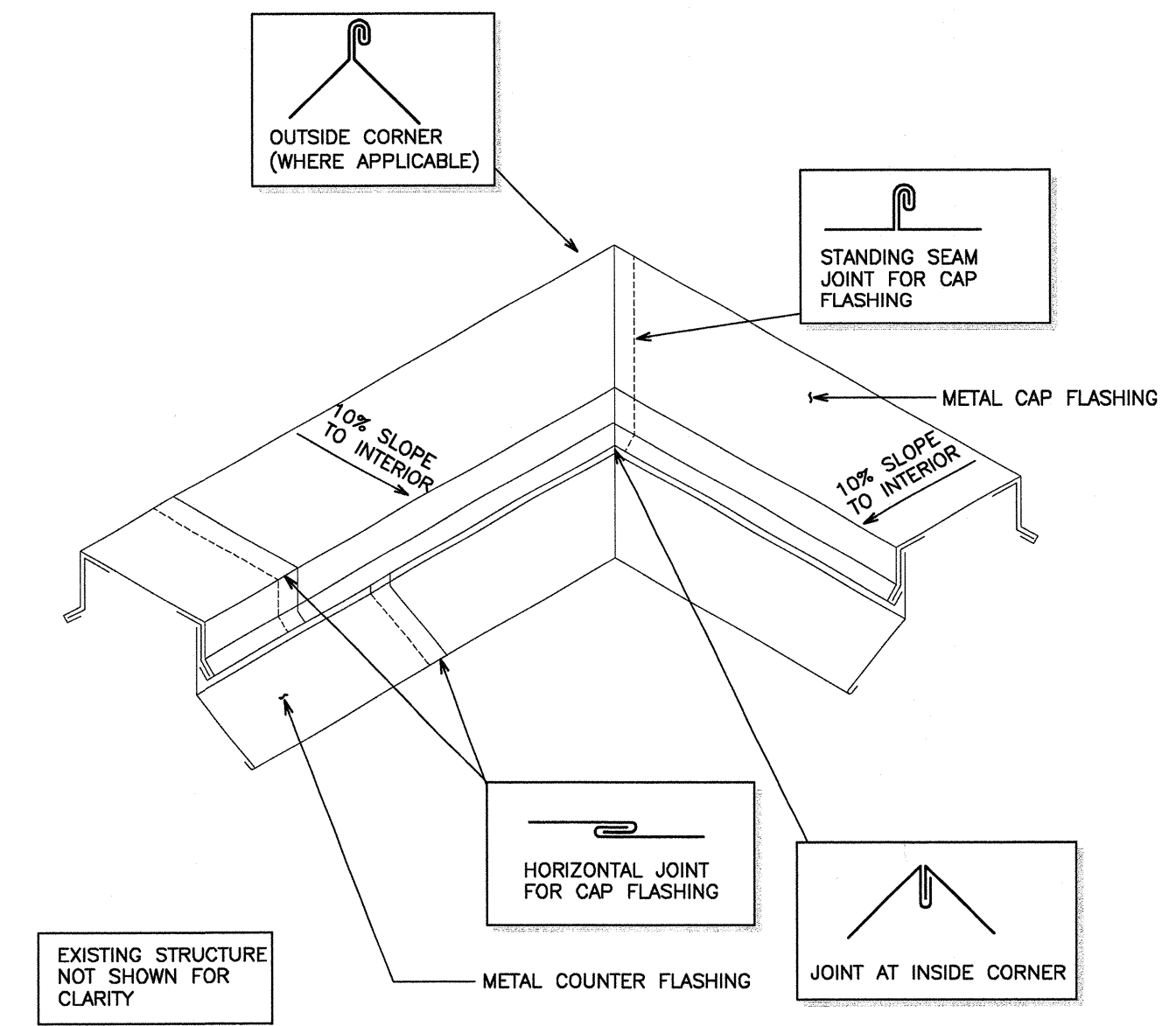
**3** TYPICAL DRAINAGE CONFIGURATION AT PERIMETER WARNING STRIP  
5.3 1:30



**FABRICATION PROCEDURE:**

- METAL CAP FLASHING: CUT TO FORM A 25mm WIDE FLANGE FOR SCAM FABRICATION AT CAP FLASHING/WALL TRANSITIONS. FASTEN OUTSIDE WITH CONTINUOUS CONCEALED CLIP-TYPE FASTENERS OR WITH TWO CONCEALED DISCONTINUOUS CLIPS OR CLADDING SCREWS EVENLY SPACED BETWEEN SEAMS. CAP FLASHING OVER 100mm IN WIDTH MUST PROVIDE POSITIVE SLOPE TO ROOF AREA.
- GUSSET FLANGE: SITE FABRICATED A MINIMUM OF 100mm WIDER THAN THE TOP, INSIDE AND OUTSIDE FACE OF METAL CAP FLASHING. METAL GUSSET FLANGE TO MATCH PROFILE OF CAP FLASHING WITH AN ADDITIONAL ALLOWANCE OF 13mm OF MATERIAL FOR SCAMING. GUSSET FLANGE MUST LAP UNDER SHEATHING MEMBRANE AND WALL CLADDING OR FINISH BY A MINIMUM OF 75mm.
- DOUBLE FOLD SEAM: SITE FORMED STANDING SEAM FOLDED FLAT ON BACK SURFACE OF WALL TRANSITION GUSSET TO FORM DOUBLE FOLD SEAM. OPTIONAL: INSTALL POLYURETHANE CAULKING SEAM TAPE PRIOR TO FORMING DOUBLE FOLDED SEAM.

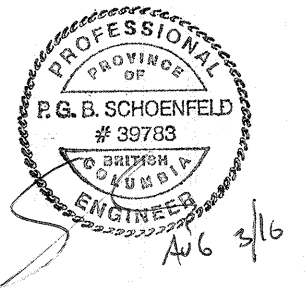
**2** TYPICAL SADDLE FLASHING JOINTS  
5.3 N.T.S.



**1** TYPICAL FLASHING DETAIL AT CORNER  
5.3 N.T.S.

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RJC PROJECT NO. VAN.032105.0013

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Drawing title/ Titre du dessin

**DETAILS**

Project No. / No. du projet

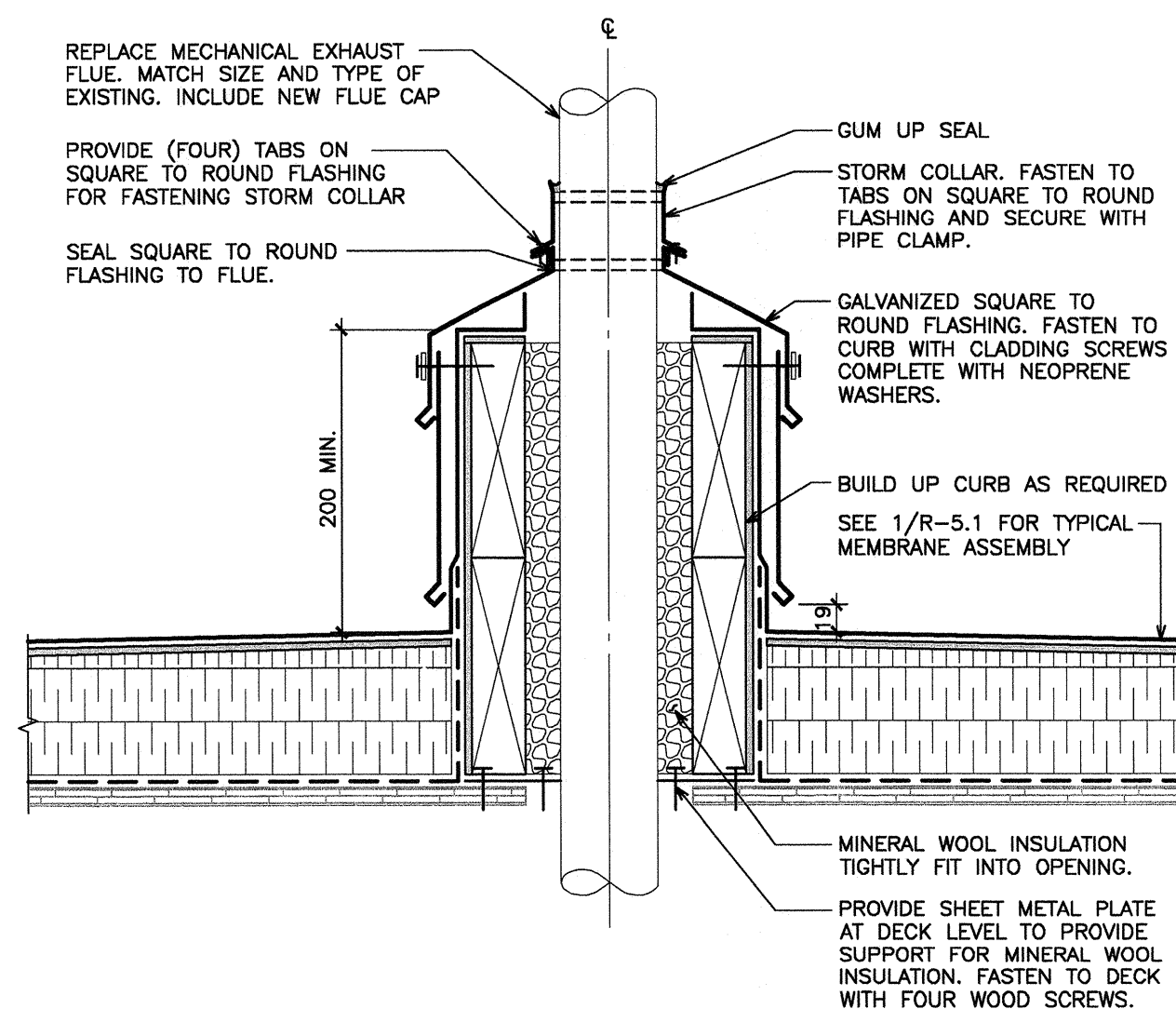
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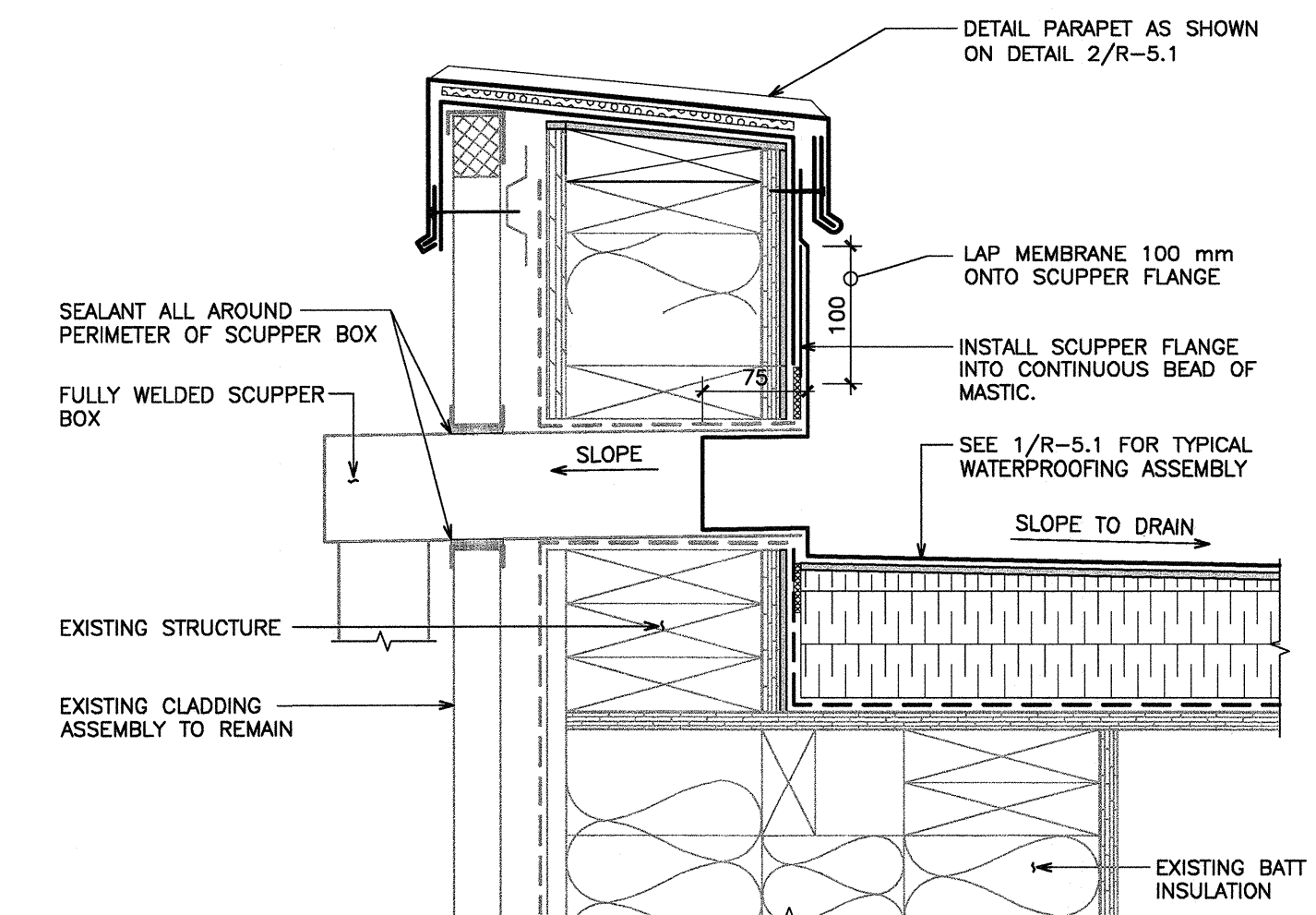
R-5.3

Revision no. / La Revision no.

0



**5** TYPICAL MECHANICAL FLUE DETAIL  
5.3 1:5



**4** EXISTING OVERFLOW SCUPPER DETAIL  
5.3 1:5

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