



**RETURN BIDS TO:**  
**RETOURNER LES SOUMISSIONS À:**  
**Public Works and Government Services Canada**  
**ATB Place North Tower**  
**10025 Jasper Ave./10025 ave. Jaspe**  
**5th floor/5e étage**  
**Edmonton**  
**Alberta**  
**T5J 1S6**  
**Bid Fax: (780) 497-3510**

## REQUEST FOR PROPOSAL DEMANDE DE PROPOSITION

**Proposal To: Public Works and Government Services Canada**

We hereby offer to sell to Her Majesty the Queen in right of Canada, in accordance with the terms and conditions set out herein, referred to herein or attached hereto, the goods, services, and construction listed herein and on any attached sheets at the price(s) set out therefor.

**Proposition aux: Travaux Publics et Services Gouvernementaux Canada**

Nous offrons par la présente de vendre à Sa Majesté la Reine du chef du Canada, aux conditions énoncées ou incluses par référence dans la présente et aux annexes ci-jointes, les biens, services et construction énumérés ici sur toute feuille ci-annexée, au(x) prix indiqué(s).

**Comments - Commentaires**

**Vendor/Firm Name and Address**  
**Raison sociale et adresse du**  
**fournisseur/de l'entrepreneur**

**Issuing Office - Bureau de distribution**  
Public Works and Government Services Canada  
ATB Place North Tower  
10025 Jasper Ave./10025 ave Jasper  
5th floor/5e étage  
Edmonton  
Alberta  
T5J 1S6

<b>Title - Sujet</b> Appraisal Services	
<b>Solicitation No. - N° de l'invitation</b> EP721-171361/A	<b>Date</b> 2016-09-08
<b>Client Reference No. - N° de référence du client</b> AAFC EP721-171361	
<b>GETS Reference No. - N° de référence de SEAG</b> PW-\$EDM-014-10853	
<b>File No. - N° de dossier</b> EDM-6-39140 (014)	<b>CCC No./N° CCC - FMS No./N° VME</b>
<b>Solicitation Closes - L'invitation prend fin</b> <b>at - à 02:00 PM</b> <b>on - le 2016-09-26</b>	<b>Time Zone</b> <b>Fuseau horaire</b> Mountain Daylight Saving Time MDT
<b>F.O.B. - F.A.B.</b> <b>Plant-Usine:</b> <input type="checkbox"/> <b>Destination:</b> <input type="checkbox"/> <b>Other-Autre:</b> <input type="checkbox"/>	
<b>Address Enquiries to: - Adresser toutes questions à:</b> Lau (EDM), Chris	<b>Buyer Id - Id de l'acheteur</b> edm014
<b>Telephone No. - N° de téléphone</b> (780) 566-2195 ( )	<b>FAX No. - N° de FAX</b> (780) 497-3510
<b>Destination - of Goods, Services, and Construction:</b> <b>Destination - des biens, services et construction:</b> DEPARTMENT OF PUBLIC WORKS AND GOVERNMENT SERVICES CANADA ATB PLACE NORTH, 5TH FLOOR 10025 JASPER AVE EDMONTON Alberta T5J1S6 Canada	

**Instructions: See Herein**

**Instructions: Voir aux présentes**

<b>Delivery Required - Livraison exigée</b> See Herein	<b>Delivery Offered - Livraison proposée</b>
<b>Vendor/Firm Name and Address</b> <b>Raison sociale et adresse du fournisseur/de l'entrepreneur</b>	
<b>Telephone No. - N° de téléphone</b> <b>Facsimile No. - N° de télécopieur</b>	
<b>Name and title of person authorized to sign on behalf of Vendor/Firm</b> <b>(type or print)</b> <b>Nom et titre de la personne autorisée à signer au nom du fournisseur/</b> <b>de l'entrepreneur (taper ou écrire en caractères d'imprimerie)</b>	
<b>Signature</b>	<b>Date</b>

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EP721-171361/A  
Client Ref. No. - N° de réf. du client  
AAFC EP721-171361

Amd. No. - N° de la modif.  
File No. - N° du dossier  
EDM-6-39140

Buyer ID - Id de l'acheteur  
edm014  
CCC No./N° CCC - FMS No./N° VME

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## PART 1 - GENERAL INFORMATION

### 1.1 Statement of Work

The Work to be performed is detailed under Article 6.2 of the resulting contract clauses.

### 1.2 Debriefings

Bidders may request a debriefing on the results of the bid solicitation process. Bidders should make the request to the Contracting Authority within 15 working days from receipt of the results of the bid solicitation process. The debriefing may be in writing, by telephone or in person.

### 1.3 Trade Agreements

The requirement is subject to the provisions of the Agreement on Internal Trade (AIT).

### 1.4 Canadian Content

The requirement is limited to Canadian goods and/or services.

## PART 2 - BIDDER INSTRUCTIONS

### 2.1 Standard Instructions, Clauses and Conditions

All instructions, clauses and conditions identified in the bid solicitation by number, date and title are set out in the *Standard Acquisition Clauses and Conditions Manual* (<https://buyandsell.gc.ca/policy-and-guidelines/standard-acquisition-clauses-and-conditions-manual>) issued by Public Works and Government Services Canada.

Bidders who submit a bid agree to be bound by the instructions, clauses and conditions of the bid solicitation and accept the clauses and conditions of the resulting contract.

The 2003 (2016-04-04) Standard Instructions - Goods or Services - Competitive Requirements, are incorporated by reference into and form part of the bid solicitation.

### 2.2 Submission of Bids

Bids must be submitted only to Public Works and Government Services Canada (PWGSC) Bid Receiving Unit by the date, time and place indicated on page 1 of the bid solicitation.

### 2.3 Former Public Servant

Contracts awarded to former public servants (FPS) in receipt of a pension or of a lump sum payment must bear the closest public scrutiny, and reflect fairness in the spending of public funds. In order to comply with Treasury Board policies and directives on contracts awarded to FPSs, bidders must provide the information required below before contract award. If the answer to the questions and, as applicable the information required have not been received by the time the evaluation of bids is completed, Canada will inform the Bidder of a time frame within which to provide the information. Failure to comply with Canada's request and meet the requirement within the prescribed time frame will render the bid non-responsive.

### Definitions

For the purposes of this clause,

"former public servant" is any former member of a department as defined in the [Financial Administration Act](#), R.S., 1985, c. F-11, a former member of the Canadian Armed Forces or a former member of the Royal Canadian Mounted Police. A former public servant may be:

- a. an individual;
- b. an individual who has incorporated;
- c. a partnership made of former public servants; or
- d. a sole proprietorship or entity where the affected individual has a controlling or major interest in the entity.

"lump sum payment period" means the period measured in weeks of salary, for which payment has been made to facilitate the transition to retirement or to other employment as a result of the implementation of various programs to reduce the size of the Public Service. The lump sum payment period does not include the period of severance pay, which is measured in a like manner.

"pension" means a pension or annual allowance paid under the [Public Service Superannuation Act](#) (PSSA), R.S., 1985, c. P-36, and any increases paid pursuant to the [Supplementary Retirement Benefits Act](#), R.S., 1985, c. S-24 as it affects the PSSA. It does not include pensions payable pursuant to the [Canadian Forces Superannuation Act](#), R.S., 1985, c. C-17, the [Defence Services Pension Continuation Act](#), 1970, c. D-3, the [Royal Canadian Mounted Police Pension Continuation Act](#), 1970, c. R-10, and the [Royal Canadian Mounted Police Superannuation Act](#), R.S., 1985, c. R-11, the [Members of Parliament Retiring Allowances Act](#), R.S. 1985, c. M-5, and that portion of pension payable to the [Canada Pension Plan Act](#), R.S., 1985, c. C-8.

#### **Former Public Servant in Receipt of a Pension**

As per the above definitions, is the Bidder a FPS in receipt of a pension? **Yes ( ) No ( )**

If so, the Bidder must provide the following information, for all FPSs in receipt of a pension, as applicable:

- a. name of former public servant;
- b. date of termination of employment or retirement from the Public Service.

By providing this information, Bidders agree that the successful Bidder's status, with respect to being a former public servant in receipt of a pension, will be reported on departmental websites as part of the published proactive disclosure reports in accordance with [Contracting Policy Notice: 2012-2](#) and the [Guidelines on the Proactive Disclosure of Contracts](#).

#### **Work Force Adjustment Directive**

Is the Bidder a FPS who received a lump sum payment pursuant to the terms of the Work Force Adjustment Directive? **Yes ( ) No ( )**

If so, the Bidder must provide the following information:

- a. name of former public servant;
- b. conditions of the lump sum payment incentive;
- c. date of termination of employment;
- d. amount of lump sum payment;
- e. rate of pay on which lump sum payment is based;
- f. period of lump sum payment including start date, end date and number of weeks;
- g. number and amount (professional fees) of other contracts subject to the restrictions of a work force adjustment program.

For all contracts awarded during the lump sum payment period, the total amount of fees that may be paid to a FPS who received a lump sum payment is \$5,000, including Applicable Taxes

## **2.4 Enquiries - Bid Solicitation**

All enquiries must be submitted in writing to the Contracting Authority no later than ten (10) calendar days before the bid closing date. Enquiries received after that time may not be answered.

Bidders should reference as accurately as possible the numbered item of the bid solicitation to which the enquiry relates. Care should be taken by bidders to explain each question in sufficient detail in order to enable Canada to provide an accurate answer. Technical enquiries that are of a proprietary nature must be clearly marked "proprietary" at each relevant item. Items identified as "proprietary" will be treated as such except where Canada determines that the enquiry is not of a proprietary nature. Canada may edit the question(s) or may request that the Bidder do so, so that the proprietary nature of the question(s) is eliminated, and the enquiry can be answered to all bidders. Enquiries not submitted in a form that can be distributed to all bidders may not be answered by Canada.

## **2.5 Applicable Laws**

Any resulting contract must be interpreted and governed, and the relations between the parties determined, by the laws in force in Saskatchewan.

Bidders may, at their discretion, substitute the applicable laws of a Canadian province or territory of their choice without affecting the validity of their bid, by deleting the name of the Canadian province or territory specified and inserting the name of the Canadian province or territory of their choice. If no change is made, it acknowledges that the applicable laws specified are acceptable to the bidders.

## **PART 3 - BID PREPARATION INSTRUCTIONS**

### **3.1 Bid Preparation Instructions**

Canada requests that bidders provide their bid in separately bound sections as follows:

Section I: Technical Offer (1 hard copy)

Section II: Financial Offer (1 hard copy)

Section III: Certifications (1 hard copy)

Prices must appear in the financial bid only. No prices must be indicated in any other section of the bid.

Canada requests that bidders follow the format instructions described below in the preparation of their bid:

- (a) use 8.5 x 11 inch (216 mm x 279 mm) paper;
- (b) use a numbering system that corresponds to the bid solicitation.

In April 2006, Canada issued a policy directing federal departments and agencies to take the necessary steps to incorporate environmental considerations into the procurement process [Policy on Green Procurement](http://www.tpsgc-pwgsc.gc.ca/ecologisation-greening/achats-procurement/politique-policy-eng.html) (<http://www.tpsgc-pwgsc.gc.ca/ecologisation-greening/achats-procurement/politique-policy-eng.html>). To assist Canada in reaching its objectives, bidders should:

- 1) use 8.5 x 11 inch (216 mm x 279 mm) paper containing fibre certified as originating from a sustainably-managed forest and containing minimum 30% recycled content; and
- 2) use an environmentally-preferable format including black and white printing instead of colour printing, printing double sided/duplex, using staples or clips instead of cerlox, duotangs or binders.

## **Section I: Technical Bid**

In their technical bid, bidders should explain and demonstrate how they propose to meet the requirements and how they will carry out the Work.

## **Section II: Financial Bid**

Bidders must submit their financial bid in accordance with the Basis of Payment. The total amount of Applicable Taxes must be shown separately.

### **3.1.1 Electronic Payment of Invoices – Bid**

If you are willing to accept payment of invoices by Electronic Payment Instruments, complete Annex “E” Electronic Payment Instruments, to identify which ones are accepted.

If Annex “E” Electronic Payment Instruments is not completed, it will be considered as if Electronic Payment Instruments are not being accepted for payment of invoices.

Acceptance of Electronic Payment Instruments will not be considered as an evaluation criterion.

## **Section III: Certifications**

Bidders must submit the certifications required under Part 5.

## **PART 4 - EVALUATION PROCEDURES AND BASIS OF SELECTION**

### **4.1 Evaluation Procedures**

- (a) Bids will be assessed in accordance with the entire requirement of the bid solicitation including the technical and financial evaluation criteria.
- (b) An evaluation team composed of representatives of Canada will evaluate the bids.

#### **4.1.1 Technical Evaluation**

Mandatory and point rated technical evaluation criteria are included in Annex “C”

#### **4.1.2 Financial Evaluation**

The Total Bid Price will be calculated in the following method:

The unit price quoted for each item will be multiplied by the estimated quantity to arrive at a total price per item. The total prices per item will be aggregated to determine the Total Assessed Bid Price.

### **4.2 Basis of Selection - Lowest Price Per Point**

1. To be declared responsive, a bid must:
  - a. comply with all the requirements of the bid solicitation;
  - b. meet all mandatory technical evaluation criteria; and
  - c. obtain the required minimum of 60% percent overall of the points for the technical evaluation criteria which are subject to point rating. The rating is performed on a scale of 125 points.

2. Bids not meeting (a) or (b) or (c) will be declared non-responsive. Neither the responsive bid that receives the highest number of points nor the one that proposed the lowest price will necessarily be accepted. The responsive bid with the lowest evaluated price per point will be recommended for award of a contract.

## PART 5 – CERTIFICATIONS AND ADDITIONAL INFORMATION

Bidders must provide the required certifications and additional information to be awarded a contract.

The certifications provided by Bidders to Canada are subject to verification by Canada at all times. Unless specified otherwise, Canada will declare a bid non-responsive, or will declare a contractor in default if any certification made by the Bidder is found to be untrue whether made knowingly or unknowingly, during the bid evaluation period or during the contract period.

The Contracting Authority will have the right to ask for additional information to verify the Bidder's certifications. Failure to comply and to cooperate with any request or requirement imposed by the Contracting Authority will render the bid non-responsive or constitute a default under the Contract.

### 5.1 Certifications Required with the Bid

Bidders must submit the following duly completed certifications as part of their bid.

#### 5.1.1 Integrity Provisions - Declaration of Convicted Offences

In accordance with the *Ineligibility and Suspension Policy* (<http://www.tpsgc-pwgsc.gc.ca/ci-if/politique-policy-eng.html>), the Bidder must provide with its bid the required documentation, as applicable, to be given further consideration in the procurement process.

#### 5.1.2 Additional Certifications Required with the Bid

##### 5.1.2.1 Canadian Content Certification

This procurement is limited to Canadian services.

The Bidder certifies that:

( ) the service offered is a Canadian service as defined in paragraph 2 of clause A3050T.

5.1.3.1.1 SACC Manual clause A3050T (2014-11-27), Canadian Content Definition

### 5.2 Certifications Precedent to Contract Award and Additional Information

The certifications and additional information listed below should be submitted with the bid, but may be submitted afterwards. If any of these required certifications or additional information is not completed and submitted as requested, the Contracting Authority will inform the Bidder of a time frame within which to provide the information. Failure to provide the certifications or the additional information listed below within the time frame provided will render the bid non-responsive.

#### 5.2.1 Integrity Provisions – Required Documentation

In accordance with the *Ineligibility and Suspension Policy* (<http://www.tpsgc-pwgsc.gc.ca/ci-if/politique-policy-eng.html>), the Bidder must provide the required documentation, as applicable, to be given further consideration in the procurement process.



## 5.2.2 Federal Contractors Program for Employment Equity - Bid Certification

By submitting a bid, the Bidder certifies that the Bidder, and any of the Bidder's members if the Bidder is a Joint Venture, is not named on the Federal Contractors Program (FCP) for employment equity "[FCP Limited Eligibility to Bid](http://www.esdc.gc.ca/en/jobs/workplace/human_rights/employment_equity/federal_contractor_program.page?&_ga=1.229006812.1158694905.1413548969)" list available at the bottom of the page of the [Employment and Social Development Canada \(ESDC\) - Labour's](http://www.esdc.gc.ca/en/jobs/workplace/human_rights/employment_equity/federal_contractor_program.page?&_ga=1.229006812.1158694905.1413548969) website ([http://www.esdc.gc.ca/en/jobs/workplace/human\\_rights/employment\\_equity/federal\\_contractor\\_p](http://www.esdc.gc.ca/en/jobs/workplace/human_rights/employment_equity/federal_contractor_program.page?&_ga=1.229006812.1158694905.1413548969)rogram.page?&\_ga=1.229006812.1158694905.1413548969).

Canada will have the right to declare a bid non-responsive if the Bidder, or any member of the Bidder if the Bidder is a Joint Venture, appears on the "[FCP Limited Eligibility to Bid](http://www.esdc.gc.ca/en/jobs/workplace/human_rights/employment_equity/federal_contractor_program.page?&_ga=1.229006812.1158694905.1413548969)" list at the time of contract award.

## 5.2.3 Additional Certifications Precedent to Contract Award

### 5.2.3.1 Status and Availability of Resources

5.2.3.1.1 SACC Manual clause [A3005T](#) (2010-08-16), Status and Availability of Resources

### 5.2.3.2 Education and Experience

5.2.3.2.1 SACC Manual clause [A3010T](#) (2010-08-16), Education and Experience

## PART 6 - RESULTING CONTRACT CLAUSES

The following clauses and conditions apply to and form part of any contract resulting from the bid solicitation.

### 6.1 Security Requirements

There is no security requirement applicable to this Contract.

### 6.2 Statement of Work

The Contractor must perform the Work in accordance with the Statement of Work at Annex "A".

### 6.3 Standard Clauses and Conditions

All clauses and conditions identified in the Contract by number, date and title are set out in the [Standard Acquisition Clauses and Conditions Manual](https://buyandsell.gc.ca/policy-and-guidelines/standard-acquisition-clauses-and-conditions-manual) (<https://buyandsell.gc.ca/policy-and-guidelines/standard-acquisition-clauses-and-conditions-manual>) issued by Public Works and Government Services Canada.

#### 6.3.1 General Conditions

[2010B](#) (2016-04-04), General Conditions - Professional Services (Medium Complexity) apply to and form part of the Contract.

### 6.4 Term of Contract

#### 6.4.1 Period of the Contract

The Work is to be performed during the period of \_\_\_\_\_ (*fill in start date of the work*) to \_\_\_\_\_ (*fill in end date of the work*).

## **6.5 Authorities**

### **6.5.1 Contracting Authority**

The Contracting Authority for the Contract is:

Name: Christopher Lau  
Title: Procurement Specialist  
Public Works and Government Services Canada  
Acquisitions Branch  
Directorate: Western Region  
Address: 10025 Jasper Ave., 5th Floor, Edmonton, AB T5J1S6

Telephone: 780-566-2195  
Facsimile: 780-497-3510  
E-mail address: christopher.lau@pwgsc.gc.ca

The Contracting Authority is responsible for the management of the Contract and any changes to the Contract must be authorized in writing by the Contracting Authority. The Contractor must not perform work in excess of or outside the scope of the Contract based on verbal or written requests or instructions from anybody other than the Contracting Authority.

### **6.5.2 Project Authority**

The Project Authority for the Contract is:

Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Organization: \_\_\_\_\_  
Address: \_\_\_\_\_

Telephone : \_\_\_\_\_  
Facsimile: \_\_\_\_\_  
E-mail address: \_\_\_\_\_

The Project Authority is the representative of the department or agency for whom the Work is being carried out under the Contract and is responsible for all matters concerning the technical content of the Work under the Contract. Technical matters may be discussed with the Project Authority, however the Project Authority has no authority to authorize changes to the scope of the Work. Changes to the scope of the Work can only be made through a contract amendment issued by the Contracting Authority.

### **6.5.3 Contractor's Representative**

Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Organization: \_\_\_\_\_  
Address: \_\_\_\_\_

Telephone : \_\_\_\_\_  
Facsimile: \_\_\_\_\_  
E-mail address: \_\_\_\_\_

## **6.6 Proactive Disclosure of Contracts with Former Public Servants**

By providing information on its status, with respect to being a former public servant in receipt of a [Public Service Superannuation Act](#) (PSSA) pension, the Contractor has agreed that this information will be reported on departmental websites as part of the published proactive disclosure reports, in accordance with [Contracting Policy Notice: 2012-2](#) of the Treasury Board Secretariat of Canada

## **6.7 Payment**

### **6.7.1 Basis of Payment**

In consideration of the Contractor satisfactorily completing all of its obligations under the Contract, the Contractor will be paid firm lot prices, as specified in Annex "A" for a cost of \$\_\_\_\_\_ (*insert the amount at contract award*). Customs duties are included and Applicable Taxes are extra.

Canada will not pay the Contractor for any design changes, modifications or interpretations of the Work, unless they have been approved, in writing, by the Contracting Authority before their incorporation into the Work.

### **6.7.2 Limitation of Price**

SACC Manual clause [C6000C](#) (2011-05-16), Limitation of Price

### **6.7.3 SACC Manual Clauses**

SACC Manual clause [H1000C](#) (2008-05-12), Single Payment

SACC Manual clause [A9117C](#) (2007-11-30), T1204 - Direct Request by Customer Department

### **6.7.4 Electronic Payment of Invoices – Contract**

The Contractor accepts to be paid using any of the following Electronic Payment Instrument(s):

- a. Visa Acquisition Card;
- b. MasterCard Acquisition Card;
- c. Direct Deposit (Domestic and International);
- d. Electronic Data Interchange (EDI);
- e. Wire Transfer (International Only);
- f. Large Value Transfer System (LVTS) (Over \$25M)

## **6.8 Invoicing Instructions**

The Contractor must submit invoices in accordance with the section entitled "Invoice Submission" of the general conditions. Invoices cannot be submitted until all work identified in the invoice is completed.

Invoices must be distributed as follows:

- (a) The original and one (1) copy must be forwarded to the address shown on page 1 of the Contract for certification and payment.

## **6.9 Certifications**

### **6.9.1 Compliance**

The continuous compliance with the certifications provided by the Contractor in its bid and the ongoing cooperation in providing associated information are conditions of the Contract. Certifications are subject

to verification by Canada during the entire period of the Contract. If the Contractor does not comply with any certification, fails to provide the associated information, or if it is determined that any certification made by the Contractor in its bid is untrue, whether made knowingly or unknowingly, Canada has the right, pursuant to the default provision of the Contract, to terminate the Contract for default.

### 6.9.2 SACC Manual Clauses

SACC Manual Clauses [A3060C](#) (2008-05-12), Canadian Content Certification

### 6.10 Applicable Laws

The Contract must be interpreted and governed, and the relations between the parties determined, by the laws in force in \_\_\_\_\_. (*Insert the name of the province or territory as specified by the Bidder in its bid, if applicable*).

### 6.11 Priority of Documents

If there is a discrepancy between the wording of any documents that appear on the list, the wording of the document that first appears on the list has priority over the wording of any document that subsequently appears on the list.

- (a) the Articles of Agreement;
- (b) the general conditions 2010B, (2014-09-25) General Conditions – Professional Services (Medium Complexity);
- (c) Annex “A”, Statement of Work;
- (d) Annex “B”, Basis of Payment;
- (e) Annex “C”, Mandatory Criteria, Evaluation Criteria and Selection Method;
- (f) Annex “D”, Insurance Requirement;
- (g) the Contractor's bid dated \_\_\_\_\_

### 6.12 Insurance – Specific Requirements

The Contractor must comply with the insurance requirements specified in Annex “C”. The Contractor must maintain the required insurance coverage for the duration of the Contract. Compliance with the insurance requirements does not release the Contractor from or reduce its liability under the Contract.

The Contractor is responsible for deciding if additional insurance coverage is necessary to fulfill its obligation under the Contract and to ensure compliance with any applicable law. Any additional insurance coverage is at the Contractor's expense, and for its own benefit and protection.

The Contractor must forward to the Contracting Authority within ten (10) days after the date of award of the Contract, a Certificate of Insurance evidencing the insurance coverage and confirming that the insurance policy complying with the requirements is in force. For Canadian-based Contractors, coverage must be placed with an Insurer licensed to carry out business in Canada, however, for Foreign-based Contractors, coverage must be placed with an Insurer with an A.M. Best Rating no less than “A-”. The Contractor must, if requested by the Contracting Authority, forward to Canada a certified true copy of all applicable insurance policies.

## **ANNEX "A"**

### **STATEMENT OF WORK**

#### **1. Purpose**

Agriculture and Agri-Food Canada (AAFC) has been provided direction to move forward with the divestiture through a transfer to the Province of Saskatchewan of select water infrastructure which could include up to 26 AAFC dams/water retention structures/canals over the next 3 to 6 years.

Public Works and Government Services Canada (Client) on behalf of AAFC requires a full narrative appraisal report to provide the value estimates necessary to facilitate the divestiture of AAFC's interest to the Province of Saskatchewan for the control and ownership of several canals and associated lands and easements (subject properties) located in the Province of Saskatchewan. The appraisal report is to establish a Market Value of the Fee Simple Interest of the subject(s) assuming Scenarios that are further described in this Statement of Work (SoW).

#### **2. General Description of Subject Properties**

The following list of subject properties are proposed for divestiture:

<b>Projects/Subject Properties</b>
Swift Current Main Canal
Waldeck Canal
Canal/right-of-way near City of Swift Current sewage lagoon

\*Please note a single appraisal report is required that includes separate value estimates for each of the three projects/subject properties.

The approximate location of the subject properties are included with the SoW.

Following is general background information with respect to these properties.

- The Swift Current Main Canal (including Waldeck and canal/right-of-way) and associated lands and easements (subject properties) are located in the Province of Saskatchewan in Swift Current/the Swift Current area. The Swift Current Main Canal was constructed in the late 1940's and consists of an earthen canal with structure to divert water as necessary for operations. The general purpose/use of the canal is to act as a source for irrigation water and to convey water from the Swift Current Creek to other canals and storage reservoirs which are used as part of a system for irrigation purposes and as an Urban Water Supply.

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### 3. Background Information Available

Public Works and Government Services Canada (PWGSC) expects to be able to provide the appraiser with the following additional information upon award of the contract. Please note a number of the listed items are included with the SoW.

- Date of Construction.
- Land use area/acres (note: some of the subject properties may include land area that is under review by Department of Justice (DoJ)).
- Copies of titles available from AAFC.
- Spreadsheets and maps that summarize the parcels that are involved. Canada Lands at each project to be valued (see attached images and spreadsheets).

**\*Canada Lands** to be valued for each canal are included in the landownership spreadsheets and as a visual aid only are labelled Canada Land Parcels (**coloured blue**) on the maps. The subject property (coloured blue) include lands that are/form the canal and lands adjacent to the physical canal.

**Please note:** The maps provided are for visual aid only (please see disclaimer on maps) and should be used together with the landownership spreadsheets. The information contained in the landownership spreadsheets is considered to be the landownership record verified by Department of Justice Canada.

Canal/right-of-way near the City of Swift Current's sewage lagoon is shown on a portion of a quarter section at the top of the map labeled Swift Current Main Canal – Detail 1.

- A startup meeting/canal overview that includes a visual presentation (WebEx conference call) will be held with the successful bidder.
- Lease or license or memorandum of understanding agreements for uses within the “take line” owned by AAFC.
- Current construction costs and cubic volume of earth/material used to construct the canals.
- Information for inspection will be provided upon award of the contract.

Please note, AAFC cost estimates are provided for the analysis; however the appraiser is required to confirm the figures. Also, the appraiser is required to cross check information provided by AAFC and PWGSC.

PWGSC and AAFC will attempt to provide relevant material if available; however the appraiser should be prepared to complete research/use historic resources as required to fill in information gaps.

#### 4. Deliverables

- A single appraisal report is required with separate values required for each of the three projects/subject properties listed and with each project/subject property having value estimates for the 3 scenarios further described in the SoW.
- The appraiser may value the subject land by parcel, quarter section, half section, Section, or by block. The specifics of each parcel, the subject market, and the highest and best use of the land will likely determine which approach is most appropriate. If the land is relatively homogeneous then a value per acre applied to a homogeneous block is appropriate. If the lands have different value attributes then separate values should be established.
- Canada's lands are held in fee simple. The appraiser is to value the subject lands as fee simple.
- The effective date for the valuation is to be prospective at April 1, 2017.
- Subject to the contracts being in place, the expectation is that the subject properties will be inspected in the fall of 2016 with delivery of the draft report due the first week of February 2017 and delivery of final report due the first week of March 2017. Inspection and delivery dates to be confirmed.

**Scenarios** - Two types of value estimates (which include **3 value scenarios**) are required to comply with Treasury Board Policy. Following is a description of the scenarios.

- **Scenario 1 - Value in Use**

The Value in Use would reflect the value of the land acquired for the creation of the canals and depreciated capital infrastructure investments. The depreciated value of the canals will be determined in accordance with industry standards. This reflects the benefit received by the Province in not having to create the infrastructure.

- **Scenario 2 – Value in Exchange**

Scenario 2 requires estimated values assuming the following two scenarios.

**Part A – Sold “AS - IS” with No Requirement for Continuing Operation**

The appraiser is to value the canals (subject properties) on an “as is” basis with the diversionary infrastructure, such as the weir and control gates that directs water into the canals, abandoned in place.

The subject properties include multiple titled subject parcels. It is probable that most of the subject titled parcels would require assembly to have utility and value. The appraiser is to identify the highest and best use of the subject lands to estimate their market value. If there is a limited market, to possibly only the adjoining property owner, a range (i.e. nominal \$/acre to \$value/acre of adjacent land) would be acceptable, with an

explanation. If there is an open market then a value must be estimated, in this regard the appraiser should group the subject lands into limited and open market segments and value them accordingly.

**Please note:** the intent is not for an estimated value specific for each title parcel unless the Highest and Best Use analysis determines a specific value is warranted.

**Please note:** specific to this scenario that the portion of canal that goes through the AAFC Research Centre adjacent to Swift Current, would be assembled with that property and can be disregarded. This impacts the use of the subject as a corridor.

### Remediation

Assuming the hypothetical discontinuation of the water system, the appraiser should **comment** on if remediation would be required to effect the sale of the subject properties, and discuss the extent of remediation that would be considered to make the lands marketable.

### Part B – Sold with Requirement of Continued Operation

Part B is to consider the market value in exchange given the restrictions that will be imposed on the transfer to the Province. The legal restrictions for the canals/subject properties are to ensure continued public use together with the assumption of all future liabilities arising from the ownership and operation of these assets.

Although the canals have lease and licence agreements for their use, it is anticipated that without an operational subsidy that these projects/subject properties would not be marketable as they are part of a larger operating water distribution system that includes the Duncairn Dam and Highfield Dam. As such if the Highest and Best Use determines that there would be no open market demand for the existing canals and associated dam structures (valuing the dams is not part of this assignment), the value of the subject properties would reflect there being no open market. Therefore the income from the lease and licence agreements should be considered with the operational costs of the canals/subject properties and the adjoining dams (operational cost of dams to be provided) to determine if a negative, nominal, or positive estimated value would be achieved.

### Additional Context

Value in exchange based on continued public use. In addition to the subject properties under Scenario 2B, examples would include transfers of bridges, airports, etc., that must continue to operate. Frequently requiring an operational subsidy with the transfer. Therefore, it is probable that the value of the subject may be nominal to reflect transfer of ownership, with other good and valuable consideration.



## Scenarios Summary

The assignment is primarily a due diligence exercise that provides a “book value based on market value in fee simple” for the transaction (scenario 1 - value in use); a worst case scenario (scenario 2— part A) if the Province does not acquire the property (low probability of occurrence given the need for a water supply for the community and other benefits to the surrounding area); and a market value based on continuing public purpose (scenario 2 – part B). The latter requires that the Province takes on the operational responsibility for public infrastructure from AAFC.

\*Please note the costs provided by AAFC and PWGSC need to be checked for reasonableness.

## 5. Deliverables Continued

- Appraisal Guidelines:

The appraisal report is to be completed in accordance with the “PWGSC Valuation Guidelines 1B1” which can be viewed at [1B1 Narrative Appraisal Report - Valuation Guidelines - Real Property - PWGSC](#). The report must also comply with the Appraisal Institute of Canada’s Canadian Uniform Standards of Professional Appraisal Practice.

- Use of both metric and imperial units are required for the report. The report is to be provided in English.
- Submission of a draft report for review of compliance with the 1B1 Guidelines is required prior to delivery of the final report. The draft report should be submitted electronically.
- The Appraiser will produce the final report within 2 weeks after receiving comments on the draft final report.
- Six hard copies and one digital copy in PDF format of each final report are required.

## 6. Defined Terms

### APPRAISER

The appraiser or appraisal firm engaged to complete the property valuation in accordance with the Statement of Work.

### CLIENT

Public Works and Government Services Canada (Valuations Program).

### EFFECTIVE VALUATION DATE

Date of April 1, 2017

### HIGHEST AND BEST USE:

As defined by the Appraisal Institute of Canada being "the most profitable, likely use to which a property can be put. Alternatively, it is that use from among reasonably probable and legal alternative uses found to be physically possible, appropriately supported, financially feasible and

which results in the highest land value. The opinion as to such a use is based on the most profitable, continuous use to which the property is adapted and for which there is likely to be a demand in the reasonably near future."

### **MARKET VALUE**

As defined by the Appraisal Institute of Canada being "the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus."

Implicit in the definition of Market Value is the consummation of a sale as of the effective date and the passing of title from seller to buyer under conditions whereby:

- (i) the buyer and seller are typically motivated.
- (ii) both parties are well informed or well advised and acting in what they consider their best interests;
- (iii) a "reasonable time" for exposure to the open market has passed as at the effective date of the appraisal;
- (iv) payment is made in cash in Canadian dollars or in terms of financial arrangements comparable thereto;
- (v) the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale; and

Solicitation No. - N° de l'invitation  
EP721-171361/A  
Client Ref. No. - N° de réf. du client  
AAFC EP721-171361

Amd. No. - N° de la modif.  
File No. - N° du dossier  
EDM-6-39140

Buyer ID - Id de l'acheteur  
edm014  
CCC No./N° CCC - FMS No./N° VME

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## ADDITIONAL SUBJECT PROPERTY INFORMATION

Parcel Lists  
Property Sketches  
Location Maps

**SWIFT CURRENT** - as of June 23, 2016

RM	LSD	Qtr	Sec	Twp	Rge	M	Pcl	Plan #	Title No.	Parcel No.	Acres	Date Searched	Clear / Interests
165		NE	32	16	9	3		CZ2246	124912739	152291808	5.57	10-Mar-14	Clear
165		NW	32	16	9	3		CZ2246	124912751	152291820	1.94	10-Mar-14	Clear
165		SW	5	17	9	3		CZ2246	114265414	144703256	3.62	10-Mar-14	Clear
165		SE	6	17	9	3		CZ2246	124912773	144703267	4.26	10-Mar-14	Clear
165		SW	6	17	9	3		CZ2246	124912795	144703278	4.38	10-Mar-14	Clear
136		SW	30	15	10	3		80SC06854	122859401	143257990	118.28	10-Mar-14	Clear
166		NE	1	17	10	3		CZ2246	124912953	152292001	6.00	10-Mar-14	Clear
166	15	NE	1	17	10	3			130161619	161565767	0.27	11-Mar-14	Clear
166		NW	1	17	10	3		71SC05891	126996452	153207222		10-Mar-14	Tied Parcel #153207233 parcel picture unavailable
166		NW	1	17	10	3		71SC05891	126996463	153207233		10-Mar-14	Tied Parcel #153207222 parcel picture unavailable
166		NW	1	17	10	3		CZ2246	130051426	161552000	5.05	10-Mar-14	Tied Parcel #161552011
166		NW	1	17	10	3		CZ2246	130051459	161552011	1.40	10-Mar-14	Tied Parcel #161552000
166		NW	1	17	10	3		72SC11601	121280228	150781518	0.51		
166		SE	1	17	10	3		CZ2246	124912830	152291886	1.79	10-Mar-14	Clear
166		NE	2	17	10	3		CZ2246	124912852	152291909	10.85	10-Mar-14	Clear
166		NW	2	17	10	3		CZ2246	124912874	152291921	3.08	10-Mar-14	Tied Parcel #152291943
166		NW	2	17	10	3		CZ2246	124912896	152291943	1.88	10-Mar-14	Tied Parcel #152291921
166		NW	7	17	10	3		DS4875	124452693	152094315	9.08	11-Mar-14	Clear
166		SW	11	17	10	3		CZ2246	124912919	152291965	7.68	10-Mar-14	Clear
166		SW	11	17	10	3		CZ2246	124912931	152291987	3.41	10-Mar-14	Clear
166		NE	12	17	10	3	B	DW313	124374304	152064503	2.05	11-Mar-14	Clear
166		NE	19	17	10	3		DW25	124597301	152146436	6.86	11-Mar-14	Clear
166		NW	19	17	10	3		DW25	124597312	152146447	1.97	11-Mar-14	Clear
166		SW	19	17	10	3		DW25	124597323	152146458	7.24	11-Mar-14	TransGas Easement reg'd Nov 24, 1960
136		NW	32	15	11	3	Q	CZ3057	123840198	151886931	0.34	10-Mar-14	Clear
166		NE	2	16	11	3	A	DS1653	124373505	152063917	4.98	11-Mar-14	Clear Herbert?
166		NE	2	16	11	3	B	DS1653	124373527	152063939	0.23	11-Mar-14	Clear Herbert?
166		SW	4	16	11	3		CZ3057	123840378	151887000	0.46	10-Mar-14	Tied Parcel #sd 151887022, 161596233
166		SW	4	16	11	3		CZ3057	123840390	151887022	0.31	10-Mar-14	Tied Parcel #s 151887000, 161596233
166		SW	4	16	11	3		80SC10459	130947587	161596187	0.38	11-Mar-14	Clear
166		SE	5	16	11	3		80SC10459	130947611	161596198	1.19	11-Mar-14	Clear
166		SE	5	16	11	3	R	CZ3057	130947633	161596200	7.34	10-Mar-14	Clear
166		SW	5	16	11	3		80SC10459	122937453	151542558	0.79	11-Mar-14	Clear
166		SW	5	16	11	3		80SC10459	122937475	151542570	0.00	11-Mar-14	Clear
166		SW	5	16	11	3		CZ3057	123840435	151887066	4.66	10-Mar-14	Clear
166		SW	5	16	11	3		CZ3057	123840457	151887088	1.27	10-Mar-14	Clear
166		NW	6	16	11	3	A	101746098	123840479	151887101	0.68	11-Mar-14	Clear
166		NW	6	16	11	3	M	CZ3057	123840491	151887123	1.63	10-Mar-14	Clear
166		SE	6	16	11	3		80SC10459	122937419	151542514	1.57	11-Mar-14	Clear
166		SE	6	16	11	3	P	CZ3057	123840514	151887145	8.47	10-Mar-14	Clear
166		SW	6	16	11	3		69SC02952	121268729	150775612	0.80	11-Mar-14	Clear
166		SW	6	16	11	3		80SC10459	122937352	151542457	0.45	11-Mar-14	Clear
166		SW	6	16	11	3		80SC10459	122937374	151542479	1.25	11-Mar-14	Clear
166		SW	6	16	11	3		80SC10459	122937396	151542491	0.16	11-Mar-14	Clear
166		SW	6	16	11	3	N	CZ3057	123840536	151887167	7.50	10-Mar-14	Clear
166		NE	10	16	11	3		DS1653	124373549	152063951	7.03	11-Mar-14	Clear
166		NW	11	16	11	3		DS1653	124373561	152063973	4.30	11-Mar-14	Clear
166		SE	11	16	11	3		DS1653	124373583	152063995	5.19	11-Mar-14	Clear
166		SW	11	16	11	3		DS1653	124373606	152064019	3.27	11-Mar-14	Clear
166		SW	14	16	11	3			123195360	143276621	161.06	11-Mar-14	Clear

166		NW	15	16	11	3	A	101746133	123195382	151648667	1.53	11-Mar-14	Clear
166		NW	15	16	11	3		CZ3134	123873790	151900264	20.01	11-Mar-14	Clear
166		SE	15	16	11	3		CZ3134	123873813	151900286	23.35	11-Mar-14	Clear
166		SE	15	16	11	3		DS1653	130161372	152064031	0.15	11-Mar-14	Clear
166		SW	15	16	11	3		CZ3134	123873835	151900309	32.07	11-Mar-14	Clear
166		SW	15	16	11	3		DS1653	130161406	152064053	17.54	11-Mar-14	Clear
166		NE	16	16	11	3		CZ3134	123873857	151900321	27.77	11-Mar-14	Clear
166		NE	16	16	11	3		DS1653	130161439	152064075	15.98	11-Mar-14	Clear
166		NW	16	16	11	3		DS1653	130161440	152064110	0.70	11-Mar-14	Clear
166		SE	16	16	11	3		DS1653	130161451	152064097	5.77	11-Mar-14	Clear
166		NE	21	16	11	3		CZ3134	123873879	151900343	0.25	11-Mar-14	Clear
166		NE	21	16	11	3		CZ3134	123873891	151900365	2.52	11-Mar-14	Clear
166		NE	21	16	11	3		CZ3134	123873914	151900387	1.02	11-Mar-14	Clear
166		NW	21	16	11	3		CZ3134	123873936	151900400	1.87	11-Mar-14	Clear
166		NW	21	16	11	3		CZ3134	123873958	151900422	0.63	11-Mar-14	Clear
166		NW	21	16	11	3		DS1653	124373729	152064132	8.20	11-Mar-14	Clear
166		SE	21	16	11	3		DS1653	130161495	152064154	0.46	11-Mar-14	Clear
166		SW	21	16	11	3		DS1653	130161518	152064176	5.87	11-Mar-14	Clear
166		NW	28	16	11	3		CZ3332	123876197	151900545	9.94	11-Mar-14	Clear
166		NW	28	16	11	3		DW492	124374887	152064941	13.39	11-Mar-14	Tied Parcel #s 152064862, 152064884, 152064907, 152064929, 152064963
166		SW	28	16	11	3		DW492	124374900	152064963	12.86	11-Mar-14	Tied Parcel #s 152064862, 152064884, 152064907, 152064929, 152064941
166		NE	33	16	11	3		DW586	124597558	152146548	2.11	11-Mar-14	Clear
166		NW	33	16	11	3		DW492	130207070	152064840	10.41	11-Mar-14	The Current Dominant Tenement Easement reg'd Apr 19, 1972
166		NW	33	16	11	3		DW492	124374809	152064862	7.77	11-Mar-14	Tied Parcel #s 152064884, 152064907, 152064929, 152064941, 152064963
166		SW	33	16	11	3		DW492	124374821	152064884	5.23	11-Mar-14	Tied Parcel #s 152064862, 152064907, 152064929, 152064941, 152064963
166		SW	33	16	11	3		DW492	124374843	152064907	1.79	11-Mar-14	Tied Parcel #s 152064862, 152064884, 152064929, 152064941, 152064963
166		SW	33	16	11	3		DW492	124374865	152064929	2.07	11-Mar-14	Tied Parcel #s 152064862, 152064884, 152064907, 152064941, 152064963
166		NE	1	17	11	3		DS2967	130192185	152222082	6.92	11-Mar-14	Clear
166		NE	2	17	11	3		83SC02627	121642590	150969347	0.07	11-Mar-14	Clear
166		NE	2	17	11	3		83SC02627	121642602	150969358	0.04	11-Mar-14	Clear
166		NE	2	17	11	3	B	DS452	121465380	141773058	8.71	11-Mar-14	Clear, also in SE & SW 2
166		NE	2	17	11	3	16	101811169	114270229	146344798	0.13	11-Mar-14	Clear
166		NE	2	17	11	3		83SC15875	124911413	152290661	0.01	11-Mar-14	Clear
166	St/L 9	NE	2	17	11	3		DS452	140770953	164132838	4.97	11-Mar-14	Clear; also in NW, SE 7 SW 2-17-11 W3
166	St/L 7	NE	2	17	11	3		DS452	140770863	164132849	5.26	11-Mar-14	Clear; also in NW & SW 2-17-11 W3
166		SW	2	17	11	3	C	DS452	121465391	141772675	1.06	11-Mar-14	Clear

166	16	NE	4	17	11	3			119021598	149668925	39.92	11-Mar-14	Clear
166	15	NE	4	17	11	3			121513496	150901545	27.65	11-Mar-14	Clear
166		NE	4	17	11	3		DW586	124597570	152146560	1.90	11-Mar-14	Tied Parcel #s 141771922, 141771955, 141771999, 152146582
166		NE	4	17	11	3		DW586	124597592	152146582	1.09	11-Mar-14	Tied Parcel #s 141771922, 141771955, 141771999, 152146560
166		NW	4	17	11	3		DW586	124597615	141771999	1.17	11-Mar-14	Tied Parcel #s 141771922, 141771955, 152146560, 152146582
166		NW	4	17	11	3		DW25	124597334	141772013	7.00	11-Mar-14	Clear
166		SE	4	17	11	3		DW586	124597637	141771922	3.94	11-Mar-14	Tied Parcel #s 141771955, 141771999, 152146560, 152146582
166		SE	4	17	11	3		DS5136	130192208	151902985	1.47	11-Mar-14	Tied Parcel #s 141771977, 151903009
166		SE	4	17	11	3		DS5136	130192219	151903009	2.67	11-Mar-14	Tied Parcel #s 141771977, 151902985
166		SW	4	17	11	3		DW586	124597659	141771955	0.20	11-Mar-14	Tied Parcel #s 141771922, 141771999, 152146560, 152146582
166		SW	4	17	11	3		DS5136	130192231	141771977	2.87	11-Mar-14	Tied Parcel #s 151902985, 151903009
166		SW	4	17	11	3		DW25	124597356	141771988	6.59	11-Mar-14	Clear
166		NE	5	17	11	3		DN450	124537079	141772338	39.83	11-Mar-14	Clear
166		NW	5	17	11	3		DN450	124537114	141766364	0.28	11-Mar-14	Clear
166		SE	5	17	11	3		DN450	124537091	141772327	11.44	11-Mar-14	Clear
166		SW	8	17	11	3		DN450	124537136	141772349	0.23	11-Mar-14	Clear
166		SE	9	17	11	3		DW25	124597378	141766319	11.94	11-Mar-14	Clear
166		SE	9	17	11	3		64SC06982	120991237	141772046	1.64	11-Mar-14	Clear
166		SE	9	17	11	3			121513610	150901657	36.29	11-Mar-14	Tied Parcel #150901679
166		SE	9	17	11	3			121513632	150901679	44.61	11-Mar-14	Tied Parcel #150901657
166		SW	9	17	11	3		DW25	124597390	141772080	2.85	11-Mar-14	Clear
166		SW	9	17	11	3	A	101810551	119022342	149669207	7.19	11-Mar-14	Clear
166		NE	10	17	11	3		DW25	124597413	141766320	0.73	11-Mar-14	Clear
166		NW	10	17	11	3		DW25	124597424	141772114	11.56	11-Mar-14	Clear
166		NE	13	17	11	3		DW25	124597435	141772136	7.09	11-Mar-14	Clear
166		NE	13	17	11	3	A	101810573	119022689	149669320	0.66	10-Mar-14	Clear
166		NW	13	17	11	3		DW25	124597446	152146504	6.74	11-Mar-14	Clear
166		NW	13	17	11	3		DW25	124597457	152146515	2.72	11-Mar-14	TransGas Easement reg'd Aug 25, 1961
166		NE	14	17	11	3		DW25	124597479	141772181	4.51	11-Mar-14	SaskPower Easement reg'd Dec 8, 1960; Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772237, 141772259, 161571898, 161571900, 161571911

166		SE	14	17	11	3		DW25	124597480	141772158	2.04	11-Mar-14	SaskPower Easement reg'd Dec 8, 1960; Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772181, 141772237, 141772259, 161571898, 161571900, 161571911
166		SE	14	17	11	3		DN417	124513578	141773496	3.17	11-Mar-14	Clear
166		SW	14	17	11	3		DW25	124597491	141766331	7.34	11-Mar-14	Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141772158, 141772181, 141772237, 141772259, 161571898, 161571900, 161571911
166		SW	14	17	11	3		DN417	124513589	141773508	3.73	11-Mar-14	Clear
166		NE	15	17	11	3		DW25	124597503	141772259	6.92	11-Mar-14	SaskPower Easement reg'd Dec 8, 1960; Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772181, 141772237, 161571898, 161571900, 161571911
166		NW	15	17	11	3		DW25	124597514	141772237	10.21	11-Mar-14	SaskPower Easement reg'd Dec 8, 1960; Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772181, 141772259, 161571898, 161571900, 161571911
166		SE	15	17	11	3		DW25	130195177	161571898	0.18	11-Mar-14	Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772181, 141772237, 141772259, 161571900, 161571911
166		SE	15	17	11	3		DW25	130195212	161571900	2.98	11-Mar-14	Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772181, 141772237, 141772259, 161571898, 161571911
166		SE	15	17	11	3		DW25	130195234	161571911	5.52	11-Mar-14	Many Islands Pipelines Easement reg'd May 23, 1972; Tied Parcel #s 141766331, 141772158, 141772181, 141772237, 141772259, 161571898, 161571900
166		SW	15	17	11	3		DW25	124597468	141772226	5.88	11-Mar-14	Clear
166		SE	24	17	11	3		DW25	124597547	141772260	15.44	11-Mar-14	Clear



166		SE	24	17	11	3	A	101810742	119023848	149669915	12.79	11-Mar-14	Clear
166		NE	1	16	12	3		CZ3057	123840558	151887189	2.52	10-Mar-14	Clear
166		NE	1	16	12	3		CZ3057	123840569	151887190	9.84	10-Mar-14	Clear
166		NE	1	16	12	3		CZ3057	123840570	151887202	1.08	10-Mar-14	Clear
166		NE	1	16	12	3		80SC10459	126378197	152899239	0.65	11-Mar-14	Clear
166		NE	1	16	12	3		80SC10459	126378209	152899240	0.12	11-Mar-14	Clear
166		NE	1	16	12	3		80SC10459	126378210	152899251	0.64	11-Mar-14	Clear
166		NE	1	16	12	3		80SC10459	126378221	152899262	0.90	11-Mar-14	Clear
166		NW	1	16	12	3	L	CZ3057	123840581	151887213	2.10	10-Mar-14	Clear
166		NW	12	16	12	3		80SC10459	122937251	151542356	3.58	11-Mar-14	Clear
166		NW	12	16	12	3		80SC10459	122937273	151542378	0.81	11-Mar-14	Clear
166		NW	12	16	12	3	J	CZ3057	130168504	151887224	8.16	10-Mar-14	Clear
166		SE	12	16	12	3	K	CZ3057	130168526	143270906	5.20	10-Mar-14	Clear
166		SE	12	16	12	3		80SC10459	122937194	151542299	0.77	11-Mar-14	Clear
166		SE	12	16	12	3		80SC10459	122937217	151542312	0.27	11-Mar-14	Clear
166		SE	12	16	12	3		80SC10459	122937239	151542334	0.18	11-Mar-14	Clear
166		SW	12	16	12	3		80SC10459	122937295	151542390	0.58	11-Mar-14	Clear
166		SW	12	16	12	3		80SC10459	122937318	151542413	0.50	11-Mar-14	Clear
166		SW	12	16	12	3		80SC10459	122937330	151542435	0.06	11-Mar-14	Clear
166		SW	12	16	12	3		CZ3057	130168548	151887246	2.81	10-Mar-14	Clear
166		SW	12	16	12	3		CZ3057	130168560	151887268	7.44	10-Mar-14	Clear
166		NE	13	16	12	3		80SC10459	122937138	143271008	0.25	11-Mar-14	Clear
166		NE	13	16	12	3		CZ3057	130168582	151887291	3.60	10-Mar-14	Clear
166		NE	13	16	12	3		CZ3057	130168616	151887314	1.93	10-Mar-14	Clear
166		NE	13	16	12	3		CZ3057	130168650	151887336	0.01	10-Mar-14	Clear
166		NW	13	16	12	3		80SC10459	122937071	151542187	0.05	11-Mar-14	Clear
166		NW	13	16	12	3		80SC10459	122937082	151542198	0.75	11-Mar-14	Clear
166		NW	13	16	12	3		80SC10459	122937093	151542200	0.08	11-Mar-14	Clear
166		NW	13	16	12	3	K	80SC10459	122937105	151542211	0.29	11-Mar-14	Clear
166		NW	13	16	12	3	L	80SC10459	122937116	151542222	0.41	11-Mar-14	Clear
166		NW	13	16	12	3	M	80SC10459	122937127	151542233	0.01	11-Mar-14	Clear
166		NW	13	16	12	3	D	CZ3057	130168324	151887358	2.41	10-Mar-14	Clear
166		NW	13	16	12	3	E	CZ3057	130168470	151887370	3.34	10-Mar-14	Clear
166		SE	13	16	12	3	H	CZ3057	130168492	151887392	0.06	10-Mar-14	Clear
166		SW	13	16	12	3	N	80SC10459	122937149	151542244	0.54	11-Mar-14	Clear
166		SW	13	16	12	3	O	80SC10459	122937150	151542255	1.51	11-Mar-14	Clear
166		SW	13	16	12	3	Q	80SC10459	122937161	151542266	1.78	11-Mar-14	Clear
166		SW	13	16	12	3	S	80SC10459	122937172	151542277	0.33	11-Mar-14	Clear
166		SW	13	16	12	3	T	80SC10459	122937183	151542288	1.00	11-Mar-14	Clear
166		SW	13	16	12	3		CZ3057	130168830	151887415	11.40	10-Mar-14	Clear
166		SW	13	16	12	3		CZ3057	130168852	151887426	1.57	10-Mar-14	Clear
166		NW	16	16	12	3	C	82SC07968	122893667	151521285	11.45	11-Mar-14	Clear
166		NW	16	16	12	3	D	82SC07968	122893689	151521308	2.55	11-Mar-14	Clear
166		NE	17	16	12	3		82SC07968	122893713	151521331	7.69	11-Mar-14	Tied Parcel #143263863
166		NE	17	16	12	3		82SC07968	122893757	151521364	2.67	11-Mar-14	Clear
166		NW	17	16	12	3		82SC07968	122893779	143258575	14.92	11-Mar-14	SaskPower Easement reg'd Apr 3, 1948
166		NE	18	16	12	3		DS1080	124757994	143271042	0.39	11-Mar-14	Clear
166		NE	18	16	12	3	AA	101802934	121583336	150942663	3.96	11-Mar-14	SaskPower Easement reg'd Oct 4, 1948
166		NE	18	16	12	3	AB	101802923	123173681	151641402	3.77	11-Mar-14	SaskPower Easement reg'd Oct 4, 1948; Tied Parcel #s 151641413, 151641424
166		NE	18	16	12	3	AC	101802923	123173692	151641413	0.71	11-Mar-14	SaskPower Easement reg'd Oct 4, 1948; Tied Parcel #s 151641402, 151641424



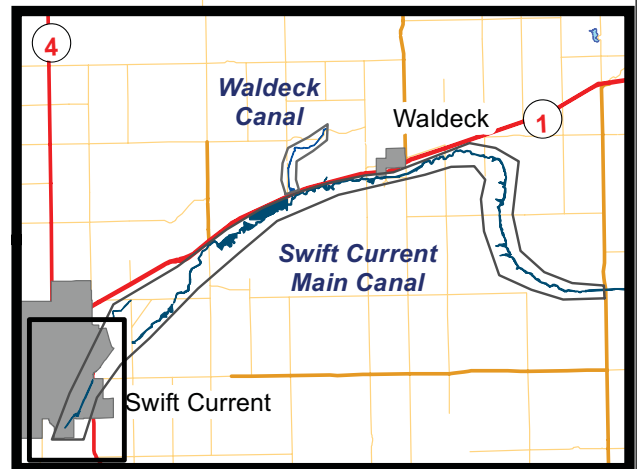
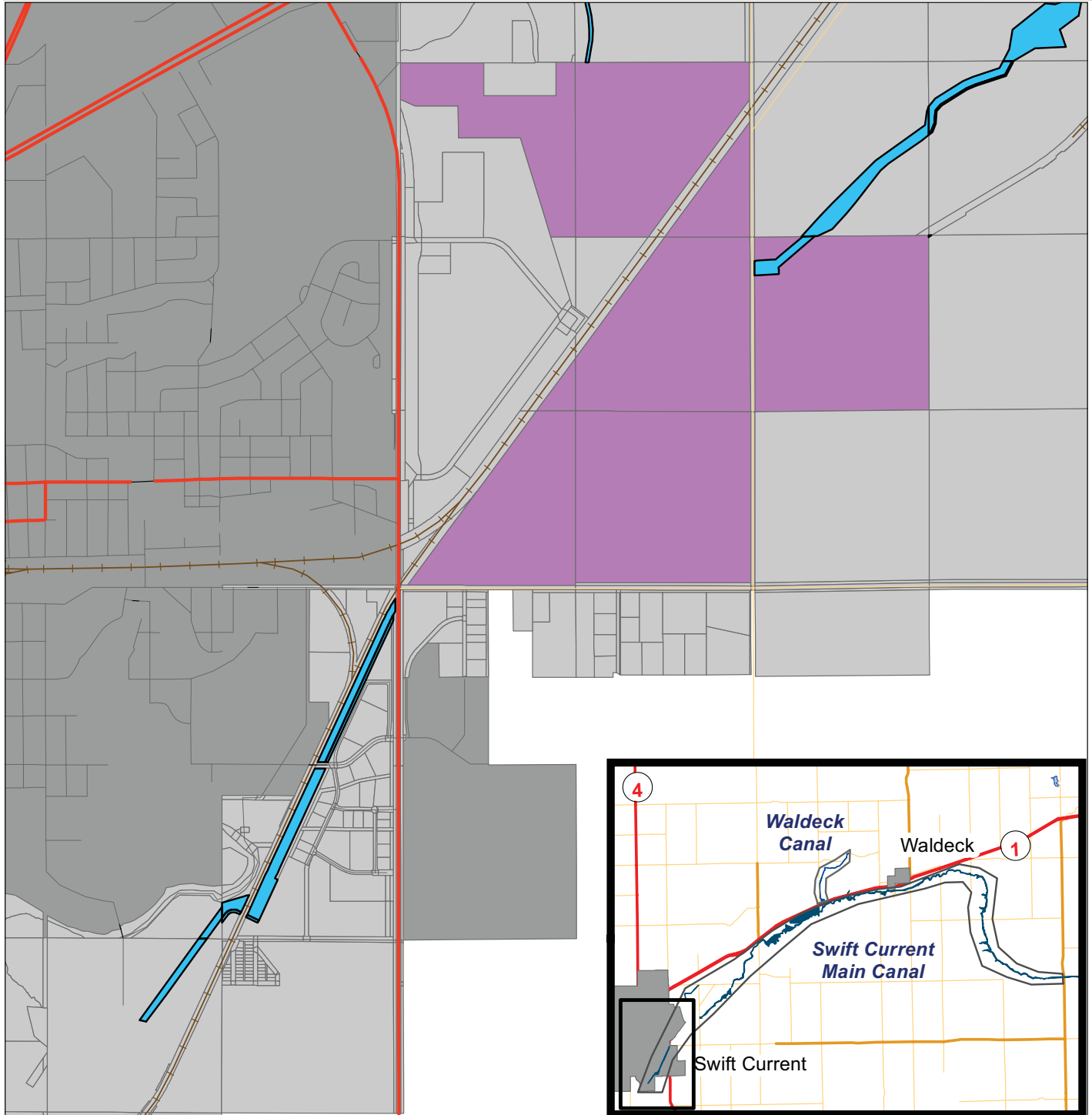
166		NE	18	16	12	3	AD	101802923	123173704	151641424	3.82	11-Mar-14	SaskPower Easement reg'd Oct 4, 1948; Tied Parcel #s 151641402, 151641413
166		NE	18	16	12	3		CZ3180	130186043	151900444	10.14	11-Mar-14	SaskPower Easement reg'd Oct 4, 1948
166		NW	18	16	12	3		DN686	124372841	143269599	7.19	11-Mar-14	Clear
166		NW	18	16	12	3		81SC13130	122885916	143269780	9.58	11-Mar-14	Clear
166		SW	18	16	12	3		81SC13130	122885938	143269779	4.19	11-Mar-14	Clear
166		NE	19	16	12	3		DN686	124372863	143269667	3.18	11-Mar-14	Clear
166		NW	19	16	12	3		DN686	124372896	143259026	4.77	11-Mar-14	Clear
166		SE	19	16	12	3		DS1080	124758018	143271053	0.24	11-Mar-14	Clear
166		SW	19	16	12	3		DN686	121137319	150702960	4.33	11-Mar-14	The Current Dominant Tenement Easement reg'd May 28, 1990
166		SW	19	16	12	3	A	101783864	121202682	150733076	1.12	11-Mar-14	Clear
166		SE	20	16	12	3		82SC07968	122893735	143263863	0.08	11-Mar-14	Tied Parcel #151521331
166		SE	21	16	12	3		63SC09498	120184758	150206352	10.86	11-Mar-14	Clear
166		SE	21	16	12	3		82SC07968	122893791	151521397	0.15	11-Mar-14	Clear
166		SW	21	16	12	3	A	101784023	114344883	146379831	1.57	11-Mar-14	Clear
166		SW	21	16	12	3	A	101784023	114344883	146379831	1.57	11-Mar-14	Clear
166		SW	21	16	12	3	B	82SC07968	122893702	151521320	1.24	11-Mar-14	Clear
166		NE	22	16	12	3		82SC07968	122893870	143269690	1.34	11-Mar-14	SaskPower Easement reg'd Apr 2, 1948
166		SE	22	16	12	3		82SC07968	122893814	143269678	11.49	11-Mar-14	Clear
166		SW	22	16	12	3		82SC07968	122893836	143259037	0.60	11-Mar-14	Clear
166		SW	22	16	12	3		63SC09498	130207104	143269689	13.71	11-Mar-14	Clear
166		NE	23	16	12	3		82SC07968	122893858	143258586	10.56	11-Mar-14	Clear
166		NW	23	16	12	3		82SC07968	122893892	143263896	10.09	11-Mar-14	SaskPower Easement reg'd Apr 2, 1948
166		SE	23	16	12	3		82SC07968	122893915	143263874	0.25	11-Mar-14	SaskPower Easement reg'd Mar 9, 1961; Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	23	16	12	3		82SC07968	122893937	143263885	1.34	11-Mar-14	Clear
166		NW	24	16	12	3	F	CZ3057	123840817	143259161	0.06	10-Mar-14	Clear
166		SE	24	16	12	3	G	CZ3057	130168874	143271019	1.57	10-Mar-14	Clear
166		SE	24	16	12	3	A	101784045	120521203	150365022	0.58	11-Mar-14	Clear
166		SW	24	16	12	3		80SC10459	122936979	151542086	0.30	11-Mar-14	Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	24	16	12	3		80SC10459	122936991	151542109	0.67	11-Mar-14	Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	24	16	12	3		80SC10459	122937015	151542121	0.41	11-Mar-14	Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	24	16	12	3	H	80SC10459	122937037	151542143	0.43	11-Mar-14	Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	24	16	12	3		80SC10459	122937059	151542165	0.31	11-Mar-14	Many Islands Pipelines Easement reg'd Apr 17, 1972
166		SW	24	16	12	3		CZ3057	130168885	151887459	10.83	11-Mar-14	Clear
166		SW	24	16	12	3		CZ3057	130168896	151887471	2.00	11-Mar-14	Clear
166		SE	30	16	12	3		DN686	124372874	152063478	2.92	11-Mar-14	Clear
SC		NW	18	15	13	3		DS1081	124373156	152063636	3.54	11-Mar-14	Clear; within City of Swift Current

SC		NE	19	15	13	3		DS1081	124373134	152063614	6.03	11-Mar-14	TransGas Easement reg'd Jul 17, 1980; 3 City of Swift Current Easement reg'd Apr 19, 1988; Tied Parcel #s 152063580, 152063591, 152063603; within City of Swift Current
SC		NE	19	15	13	3		78SC02006	120904040	150579131	2.34	11-Mar-14	City of Swift Current Easement reg'd Apr 19, 1988
SC		SE	19	15	13	3		DS1081	124373112	152063591	1.48	11-Mar-14	TransGas Easement reg'd Jul 17, 1980; 3 City of Swift Current Easements reg'd Apr 19, 1988; Tied Parcel #s 152063580, 152063603, 152063614; within City of Swift Current
SC		SE	19	15	13	3		DS1081	124373123	152063603	9.48	11-Mar-14	TransGas Easement reg'd Jul 17, 1980; 3 City of Swift Current Easement reg'd Apr 19, 1988; Tied Parcel #s 152063580, 152063591, 152063614; within City of Swift Current
SC		SE	19	15	13	3	H	78SC02006	120904051	150579142	0.20	11-Mar-14	Clear
SC		SE	19	15	13	3	J	78SC02006	120904062	150579153	0.35	11-Mar-14	SaskPower Easement reg'd Aug 28, 1963, Mar 11, 1980; TransGas Easement reg'd Jul 17, 1980
SC		SW	19	15	13	3		DS1081	124373101	152063580	1.13	11-Mar-14	TransGas Easement reg'd Jul 17, 1980; 3 City of Swift Current Easements reg'd Apr 19, 1988; Tied Parcel #s 152063591, 152063603, 152063614; within City of Swift Current
137		NE	28	15	13	3		CJ2006	119755121	150003290	0.01	10-Mar-14	Clear
137		NW	28	15	13	3		DS317	125019783	152339766	3.54	11-Mar-14	Clear
137		NE	32	15	13	3		DJ2414	125005104	152330644	4.87	11-Mar-14	Clear
137		NE	33	15	13	3		CW4550	124595961	152145581	17.67	10-Mar-14	Clear
137		SE	33	15	13	3		81SC13130	122885950	151517426	0.96	11-Mar-14	Clear
137		SE	33	15	13	3		CW4550	124595972	152145592	4.56	10-Mar-14	Clear
137		SW	33	15	13	3		81SC13130	122885961	151517437	11.27	11-Mar-14	Clear
137		NW	34	15	13	3	C	101722889	120586169	150398556	3.31	11-Mar-14	Clear
137		NW	34	15	13	3	A	101722564	130160933	161566049	0.85	10-Mar-14	Tied Parcel #161566050
137		NW	34	15	13	3	B	101722564	130160955	161566050	1.51	10-Mar-14	Tied Parcel #161566049
137		NE	3	16	13	3		CW4550	124596074	143285115	7.24	10-Mar-14	Clear
137		NE	3	16	13	3	A	101760779	122885972	151517448	0.20	11-Mar-14	Clear
137		NE	3	16	13	3	C	101761163	122886018	151517482	0.54	11-Mar-14	Tied Parcel #s 161572844, 161572855
137		NE	3	16	13	3	A	101761163	130205900	161572844	0.53	11-Mar-14	Tied Parcel #s 151517482, 161572855
137		NE	3	16	13	3	B	101761163	130205922	161572855	0.05	11-Mar-14	Tied Parcel #s 151517482, 161572844

137		NW	3	16	13	3		CW4550	130145868	143285104	2.27	10-Mar-14	Clear
137		SE	3	16	13	3		CW4550	124596030	143285238	0.36	10-Mar-14	Clear
137		SW	3	16	13	3		CW4550	124596052	143285081	10.61	10-Mar-14	Clear
137		SW	3	16	13	3	A	81SC13130	122886030	151517505	0.69	11-Mar-14	Clear
137		SW	3	16	13	3	B	81SC13130	122886052	151517527	0.79	11-Mar-14	Clear
137		SE	10	16	13	3		81SC13130	122886074	143285137	8.50	11-Mar-14	SaskPower Easement reg'd Jan 8, 1965
137		NE	11	16	13	3		CW4550	124596096	143285216	31.13	10-Mar-14	Clear
137		NE	11	16	13	3		81SC13130	122886096	143285227	0.13	11-Mar-14	Clear
137		NE	11	16	13	3		68SC00037	120982945	150614142	1.11	11-Mar-14	Clear
137		NE	11	16	13	3	F	68SC00037	120982967	150614164	1.20	11-Mar-14	Clear
137		NE	11	16	13	3	G	68SC00037	120982989	150614186	0.31	11-Mar-14	Clear
137		NE	11	16	13	3		68SC00037	120983003	150614209	7.45	11-Mar-14	Clear
137		NW	11	16	13	3		CW4550	124596119	143285193	6.28	10-Mar-14	Clear
137		NW	11	16	13	3		68SC00037	120983025	150614221	0.03	11-Mar-14	Clear
137		SE	11	16	13	3		CW4550	124596131	143285148	9.87	10-Mar-14	Clear
137		SW	11	16	13	3		CW4550	124596153	143285160	30.83	10-Mar-14	Clear
137		SW	11	16	13	3		81SC13130	122886119	143285171	0.43	11-Mar-14	Clear
137		SW	11	16	13	3	C	68SC00037	120983047	150614243	1.32	11-Mar-14	Clear
137		SW	11	16	13	3	D	68SC00037	120983069	150614265	1.50	11-Mar-14	Clear
137		SW	11	16	13	3		68SC00037	120983081	150614287	0.54	11-Mar-14	Clear
137		NW	12	16	13	3		81SC13130	116996934	147769835	11.14	11-Mar-14	Clear
137		NW	12	16	13	3		81SC13130	116996956	147769857	1.94	11-Mar-14	Clear
137		SE	13	16	13	3	A	101762827	114251745	146333527	53.86	11-Mar-14	SaskPower Easement reg'd May 20, 1949; Tied Parcel #146333549
137		SE	13	16	13	3	F	81SC13130	130210399	151517572	0.56	11-Mar-14	Tied Parcel #s 151517594, 151517617
137		SE	13	16	13	3	G	81SC13130	130210412	151517594	0.10	11-Mar-14	Tied Parcel #s 151517572, 151517617
137		SE	13	16	13	3	A	CZ3180	130186054	151900488	4.36	11-Mar-14	Tied Parcel #s 151900501, 151900523



## Swift Current Main Canal - Detail 1

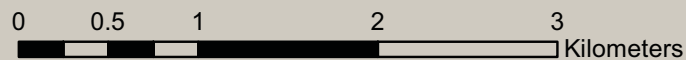


### Legend

- Parcels to be Assessed
- Land Parcels

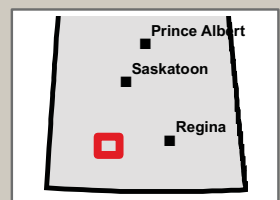
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



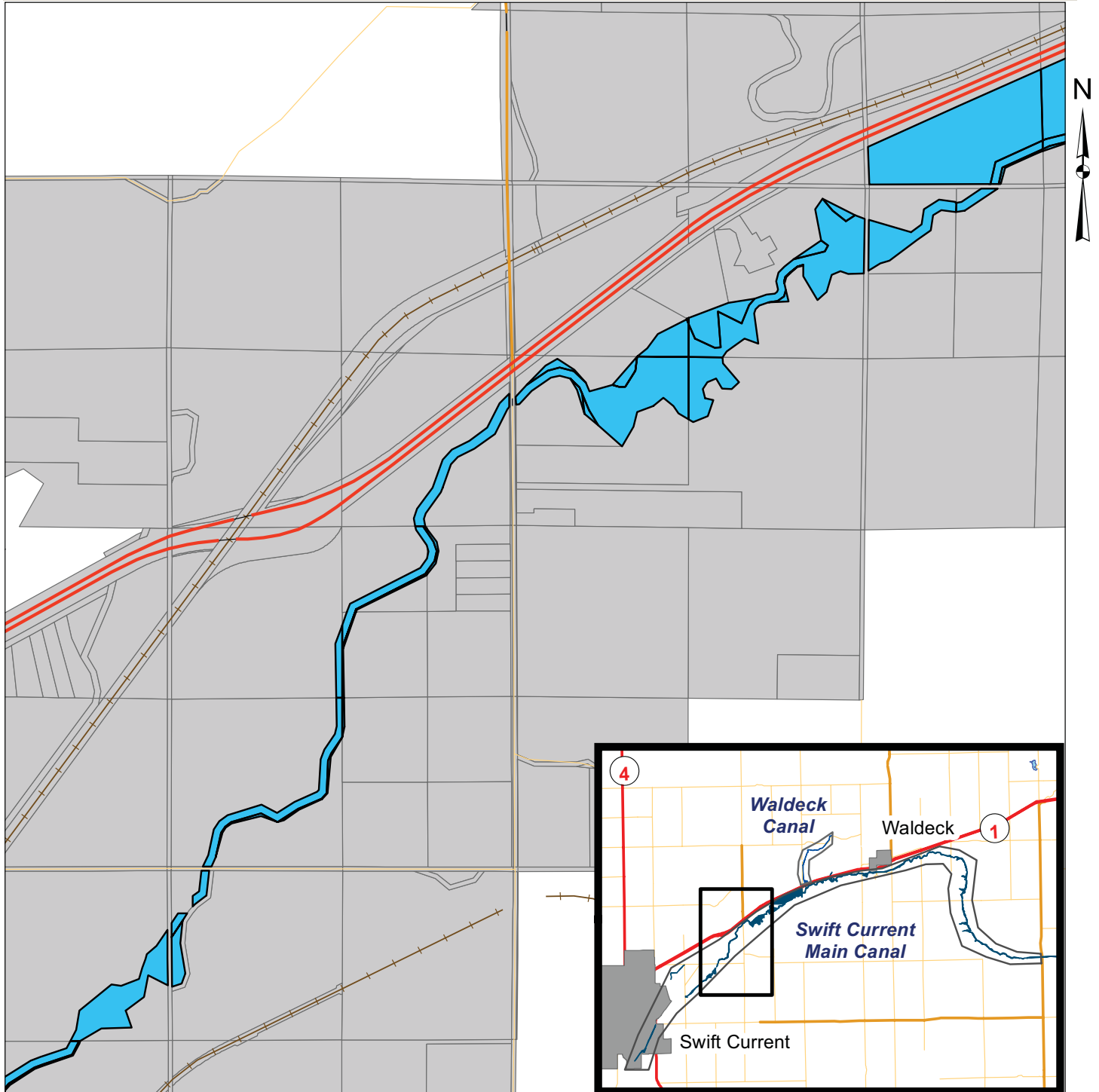
**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
- Project Details

**Disclaimer:**  
User assumes all responsibility for use, interpretation,  
and application of information contained on this map.





## Swift Current Main Canal - Detail 2

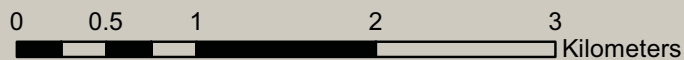


### Legend

- Parcels to be Assessed
- Land Parcels

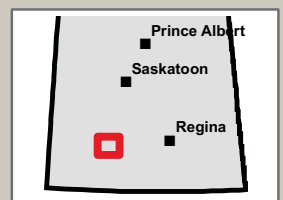
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



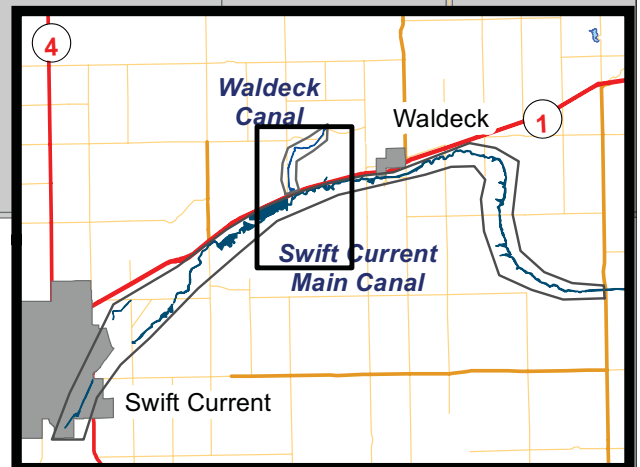
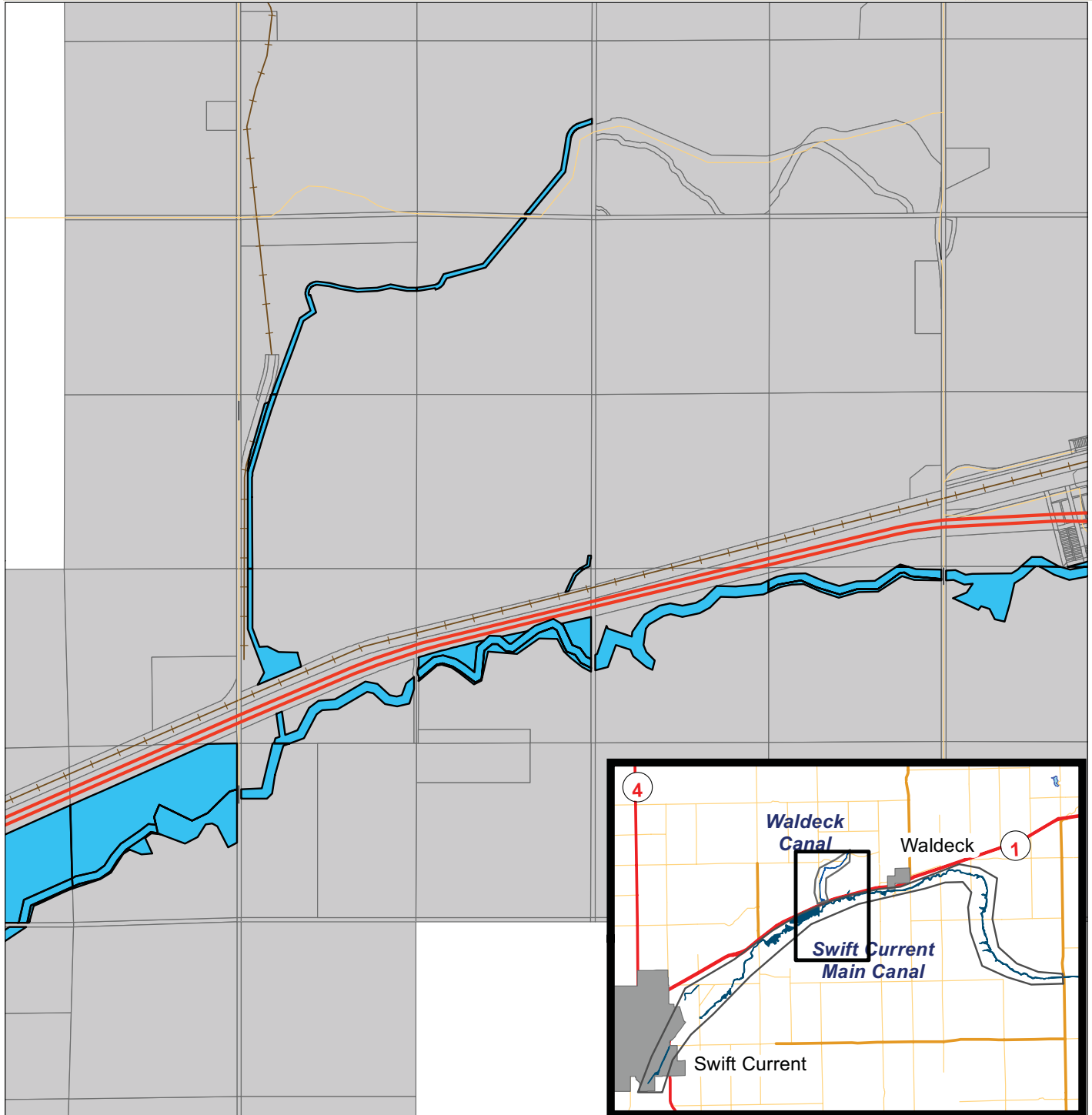
**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
- Project Details

**Disclaimer:**  
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and application of information contained on this map.





## Swift Current Main Canal - Detail 3

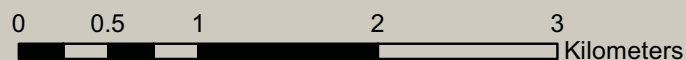


### Legend

- Parcels to be Assessed
- Land Parcels

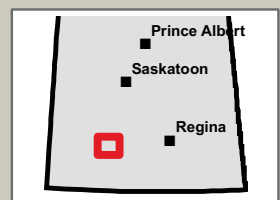
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
- Project Details

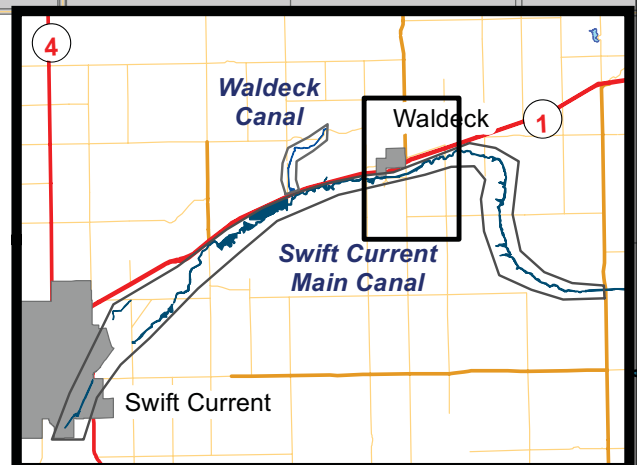
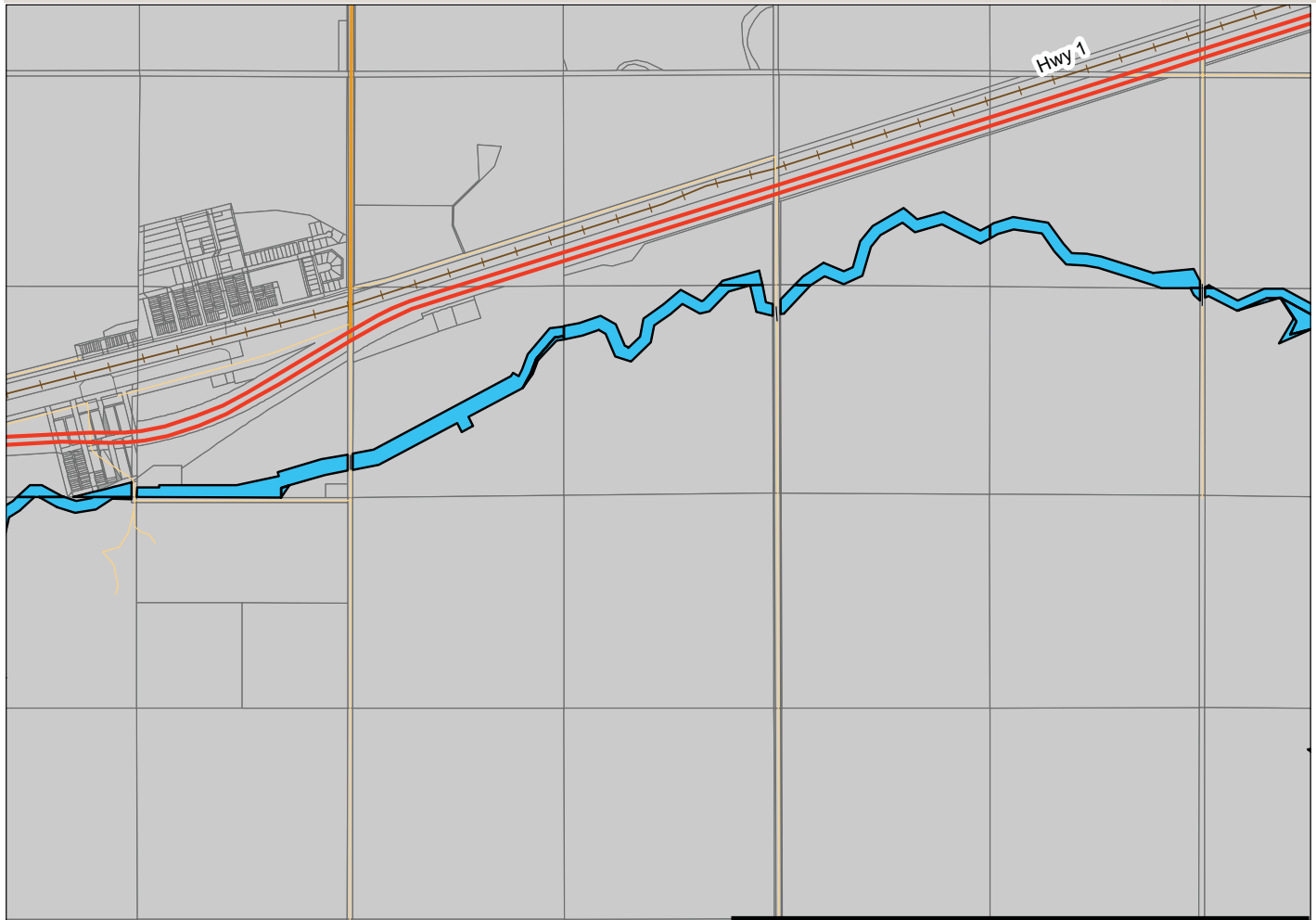
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Canada



## Swift Current Main Canal - Detail 4

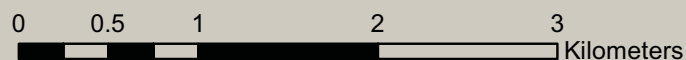


### Legend

- Parcels to be Assessed
- Land Parcels

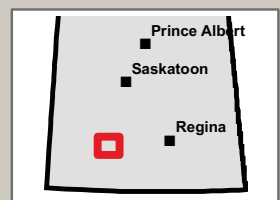
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
- Project Details

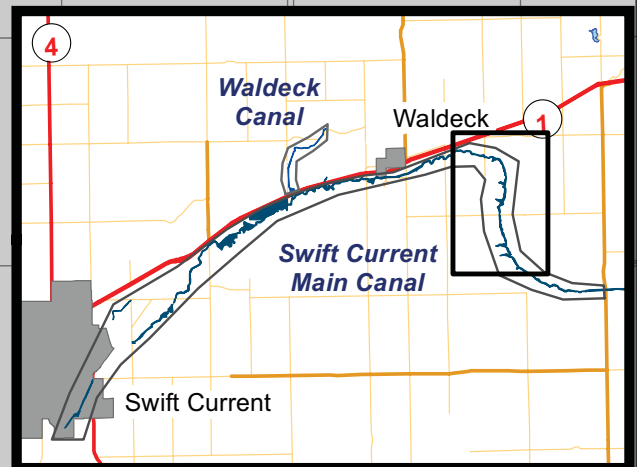
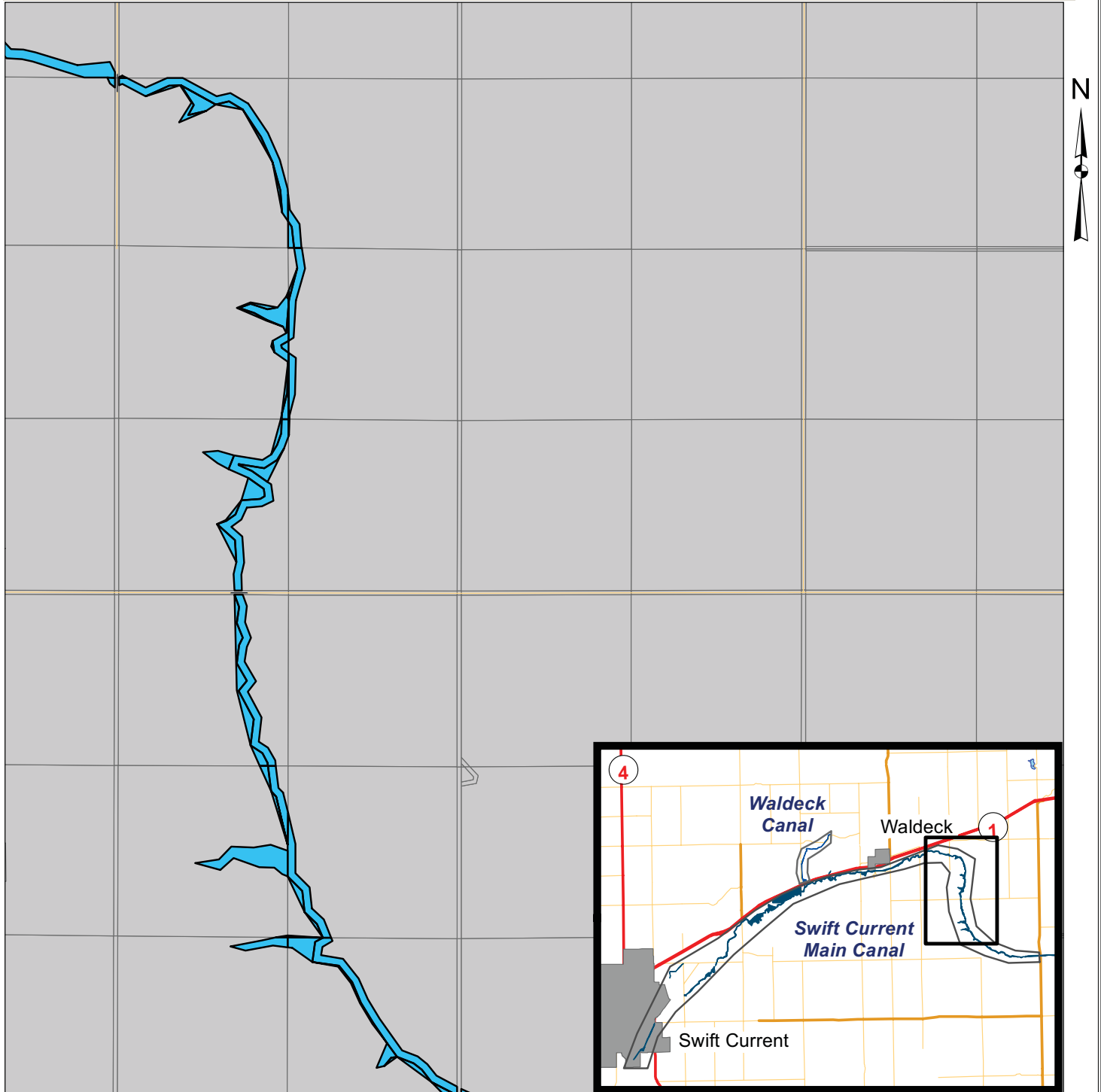
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## Swift Current Main Canal - Detail 5

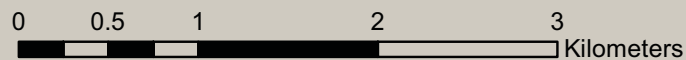


### Legend

- Parcels to be Assessed
- Land Parcels

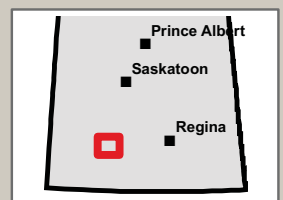
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
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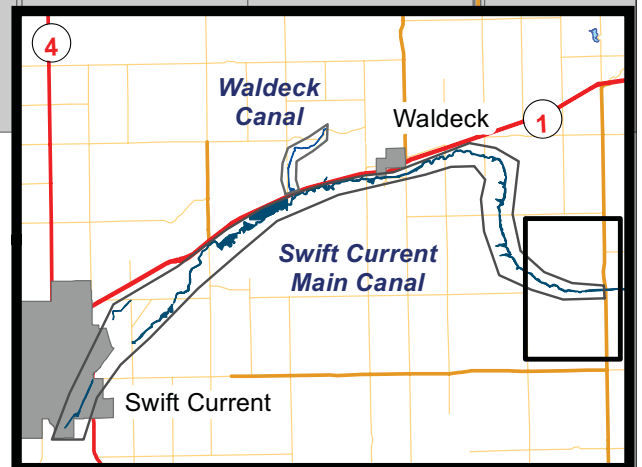
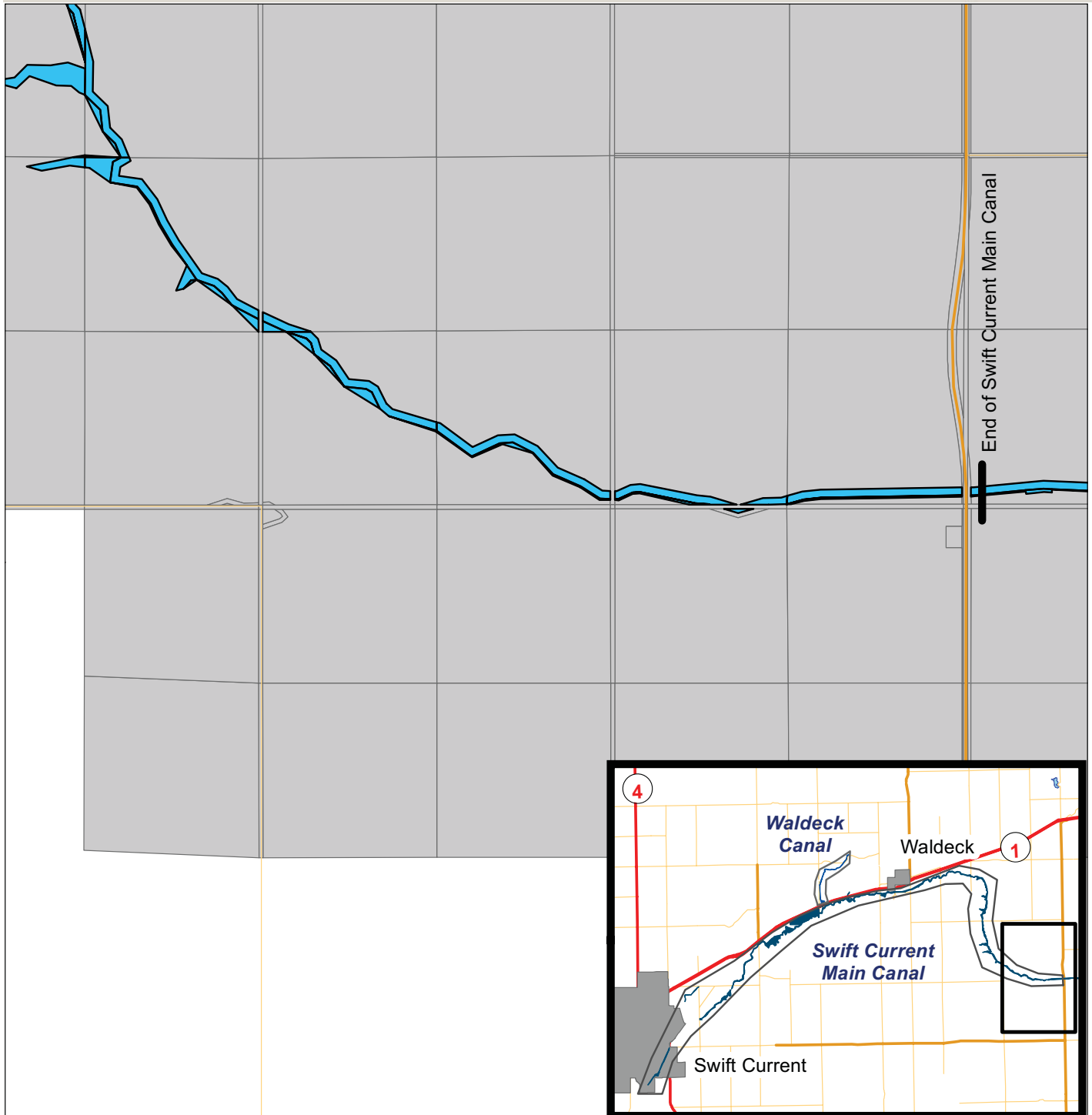


**Canada**





## Swift Current Main Canal - Detail 6

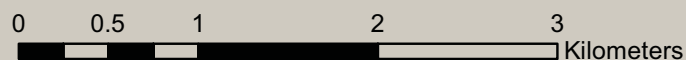


### Legend

- Parcels to be Assessed
- Land Parcels

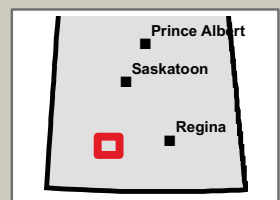
### Canada Parcels

- Canada Land Parcels
- AAFC Research Centre *(not included in divestiture)*



**Sources:**  
Information Services Corporation  
- Base Data  
- Parcels  
- Land Ownership  
  
Water Infrastructure Division  
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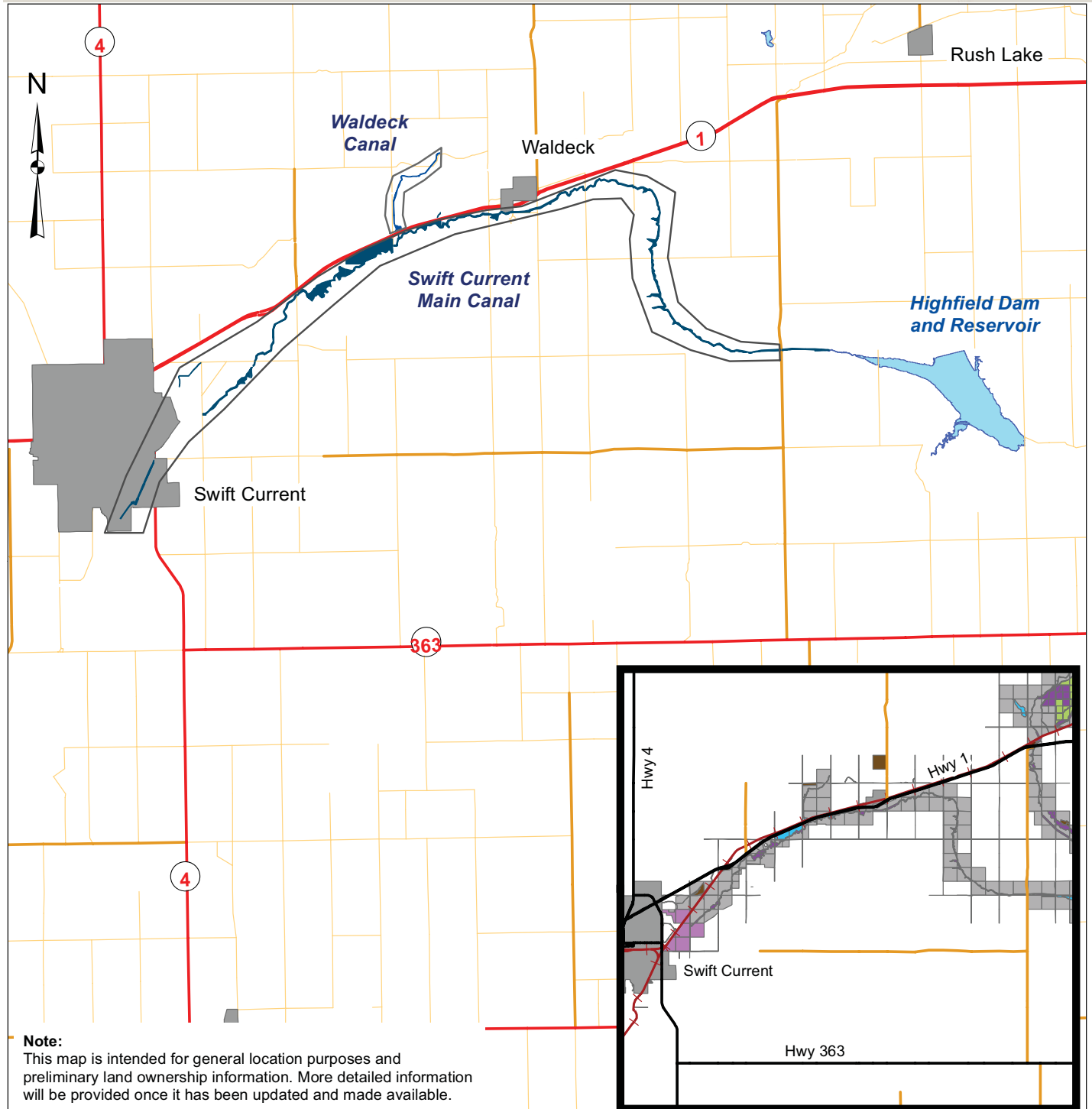
**Disclaimer:**  
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Canada



## Swift Current - Main Canal



### Note:

This map is intended for general location purposes and preliminary land ownership information. More detailed information will be provided once it has been updated and made available.

### Parcel

	Canada Land		Dry Irrigated		RiverParcel
	Unclassified Canada Land		Irrigated		SaskParcel
	CPP Pasture		Private		SaskRoad
			Reservoir		Unpatented

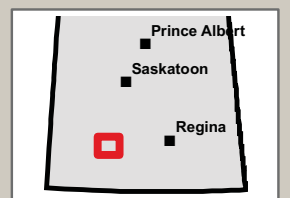
### Sources:

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### Disclaimer:

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EDM-6-39140

Buyer ID - Id de l'acheteur  
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CCC No./N° CCC - FMS No./N° VME

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## ANNEX "B"

### BASIS OF PAYMENT

- Prices quoted are to remain firm for the duration of the Contract.
- Prices are inclusive of ALL costs required to do the Work (including but not limited to: labour, equipment, fuel, materials, travel, accommodation, etc.) and are firm for the period of the Contract.
- FOB Destination for all deliverables / reports.
- Prices quoted do not include GST/HST. However, GST/HST will be added as a separate item on any invoices issued against this Contract.

Item	Description	Unit	Firm Price (CAD)
1.	Firm Lot Price for Appraisal Services for Canal Valuations:	1 Lot	\$ _____
Total Firm Price (CAD)			\$ _____

## ANNEX "C"

### MANDATORY CRITERIA, EVALUATION CRITERIA, AND SELECTION METHOD

#### 1. MANDATORY CRITERIA

##### 1.1 Mandatory Criteria at Solicitation Closing

Please provide a resume to demonstrate adherence to the following mandatory requirements at solicitation closing.

- a) Education: Must have an appraisal designation as an Accredited Appraiser of the Canadian Institute (AACI) or equivalent real estate appraisal designation such as Order of Chartered Appraisers of Quebec (ÉA designation), Royal Institute of Chartered Surveyors (MRICS) or Appraisal Institute (MAI). Proof of designation must be provided upon request.

#### 2. RATING CRITERIA

Each Technical Bid which meets all the Mandatory Requirements specified above, will be evaluated and scored in accordance with the following evaluation criteria:

(Rating: 5=excellent, 4=very good, 3=average, 2 =below average, 1=poor, 0=nothing)			
Evaluation Elements	WEIGHT	RATING	SCORE (Weight X Rating)
Demonstrate Understanding of Requirement	2		
Methodology/Work Plan to complete work, including Schedule and delivery date of final report.	3		
Education and Related Experience in projects of this nature - Lead Appraiser (a minimum of two (2) projects to a maximum three (3) projects, no more than one page each). Must be within past 5 years.	5		
Experience in Saskatchewan 5 points Experience in the Prairies 4 points Experience within Canada 3 points	5		
Provide a brief description of the education, training, and experience in projects of this nature of Team Members	4		
Level of Effort/person hours: Lead Appraiser, Team Members	4		
Timing schedule and delivery date of draft reports and final reports from date of contract award: Time frame: as per stated deliverables above (Fall inspection, draft delivery by first week of February).	2		

Maximum points available	125
Minimum points acceptable	75
<b>TOTAL POINTS AWARDED</b>	

### 3. EVALUATION

Each proposal must meet all of the mandatory requirements set out in the evaluation criteria. Proposals that fail to meet these requirements will be discarded without further consideration.

Each evaluation criterion has a number allotment ("weight") that reflects its importance in proposal submissions. The degree to that the proposal satisfies the requirement of each criterion will be assessed and a "rating" will be assigned ranging from 0 to 4, with 0 meaning the proposal completely fails to satisfy the requirement, and the total allotment meaning the proposal fully meets the outlined criterion. A score will be assessed by multiplying the weight by the rating.

Each proposal must achieve a minimum score of **60%** of the maximum points available in EACH category subject to point rating. Proposals that fail to achieve this score will be considered technically unacceptable and will be given no further consideration.

### 4. SELECTION METHOD

The contractor will be selected on the basis of the assessed **Best Value** to the Crown taking into account technical and cost factors. Best Value to the Crown will be determined on the basis of the **lowest cost-per-point technically acceptable proposal** calculated by dividing the total cost to the Crown by the total points achieved. Where two or more acceptable proposals achieve the identical lowest cost-per-point as a result of the evaluation, final selection will be based on the lowest priced valid proposal.

#### Sample Evaluation:

	Bid #1	Bid #2	Bid #3
Mandatory & Minimum Performance Specification	Fail	Meets All	Meets All
Point Rated Criteria	-	75 / 125	90 / 125
Total Evaluated Bid Price	-	\$25,000	\$27,000
Price per Point	-	\$25,000 / 75 = \$333.33	\$27,000 / 80 = \$300.00
<b>Bid 3 would be considered the recommended bidder for award</b>			

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Please note the contract may include a contract end date (used for internal purposes) that differs from the subject inspection dates and the required report delivery dates.

## ANNEX "D"

### INSURANCE REQUIREMENTS

#### Commercial General Liability Insurance

1. The Contractor must obtain Commercial General Liability Insurance, and maintain it in force throughout the duration of the Contract, in an amount usual for a contract of this nature, but for not less than \$2,000,000 per accident or occurrence and in the annual aggregate.
2. The Commercial General Liability policy must include the following:
  - a. Additional Insured: Canada is added as an additional insured, but only with respect to liability arising out of the Contractor's performance of the Contract. The interest of Canada should read as follows: Canada, as represented by Public Works and Government Services Canada.
  - b. Bodily Injury and Property Damage to third parties arising out of the operations of the Contractor.
  - c. Products and Completed Operations: Coverage for bodily injury or property damage arising out of goods or products manufactured, sold, handled, or distributed by the Contractor and/or arising out of operations that have been completed by the Contractor.
  - d. Personal Injury: While not limited to, the coverage must include Violation of Privacy, Libel and Slander, False Arrest, Detention or Imprisonment and Defamation of Character.
  - e. Cross Liability/Separation of Insureds: Without increasing the limit of liability, the policy must protect all insured parties to the full extent of coverage provided. Further, the policy must apply to each Insured in the same manner and to the same extent as if a separate policy had been issued to each.
  - f. Blanket Contractual Liability: The policy must, on a blanket basis or by specific reference to the Contract, extend to assumed liabilities with respect to contractual provisions.
  - g. Employees and, if applicable, Volunteers must be included as Additional Insured.
  - h. Employers' Liability (or confirmation that all employees are covered by Worker's compensation (WSIB) or similar program)
  - i. Broad Form Property Damage including Completed Operations: Expands the Property Damage coverage to include certain losses that would otherwise be excluded by the standard care, custody or control exclusion found in a standard policy.
  - j. Notice of Cancellation: The Insurer will endeavour to provide the Contracting Authority thirty (30) days written notice of policy cancellation.
  - k. If the policy is written on a claims-made basis, coverage must be in place for a period of at least 12 months after the completion or termination of the Contract.
  - l. Owners' or Contractors' Protective Liability: Covers the damages that the Contractor becomes legally obligated to pay arising out of the operations of a subcontractor.
  - m. Non-Owned Automobile Liability - Coverage for suits against the Contractor resulting from the use of hired or non-owned vehicles.
  - n. Litigation Rights: Pursuant to subsection 5(d) of the [Department of Justice Act](#), S.C. 1993, c. J-2, s.1, if a suit is instituted for or against Canada which the Insurer would, but for this clause, have the right to pursue or defend on behalf of Canada as an Additional Named Insured under the insurance policy, the Insurer must promptly contact the Attorney General of Canada to agree on the legal strategies by sending a letter, by registered mail or by courier, with an acknowledgement of receipt.

**For the province of Quebec, send to:**

*Director Business Law Directorate,  
Quebec Regional Office (Ottawa),*

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*Department of Justice,  
284 Wellington Street, Room SAT-6042,  
Ottawa, Ontario, K1A 0H8*

**For other provinces and territories, send to:**

*Senior General Counsel,  
Civil Litigation Section,  
Department of Justice  
234 Wellington Street, East Tower  
Ottawa, Ontario K1A 0H8*

A copy of the letter must be sent to the Contracting Authority. Canada reserves the right to co-defend any action brought against Canada. All expenses incurred by Canada to co-defend such actions will be at Canada's expense. If Canada decides to co-defend any action brought against it, and Canada does not agree to a proposed settlement agreed to by the Contractor's insurer and the plaintiff(s) that would result in the settlement or dismissal of the action against Canada, then Canada will be responsible to the Contractor's insurer for any difference between the proposed settlement amount and the amount finally awarded or paid to the plaintiffs (inclusive of costs and interest) on behalf of Canada.



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## **ANNEX “E” to PART 3 OF THE BID SOLICITATION**

### **ELECTRONIC PAYMENT INSTRUMENTS**

The Bidder accepts any of the following Electronic Payment Instrument(s):

- ( ) VISA Acquisition Card;
- ( ) MasterCard Acquisition Card;
- ( ) Direct Deposit (Domestic and International);
- ( ) Electronic Data Interchange (EDI);
- ( ) Wire Transfer (International Only);
- ( ) Large Value Transfer System (LVTS) (Over \$25M)