



Public Works
Government Services
Canada

Architectural and
Engineering Services

Ontario Region

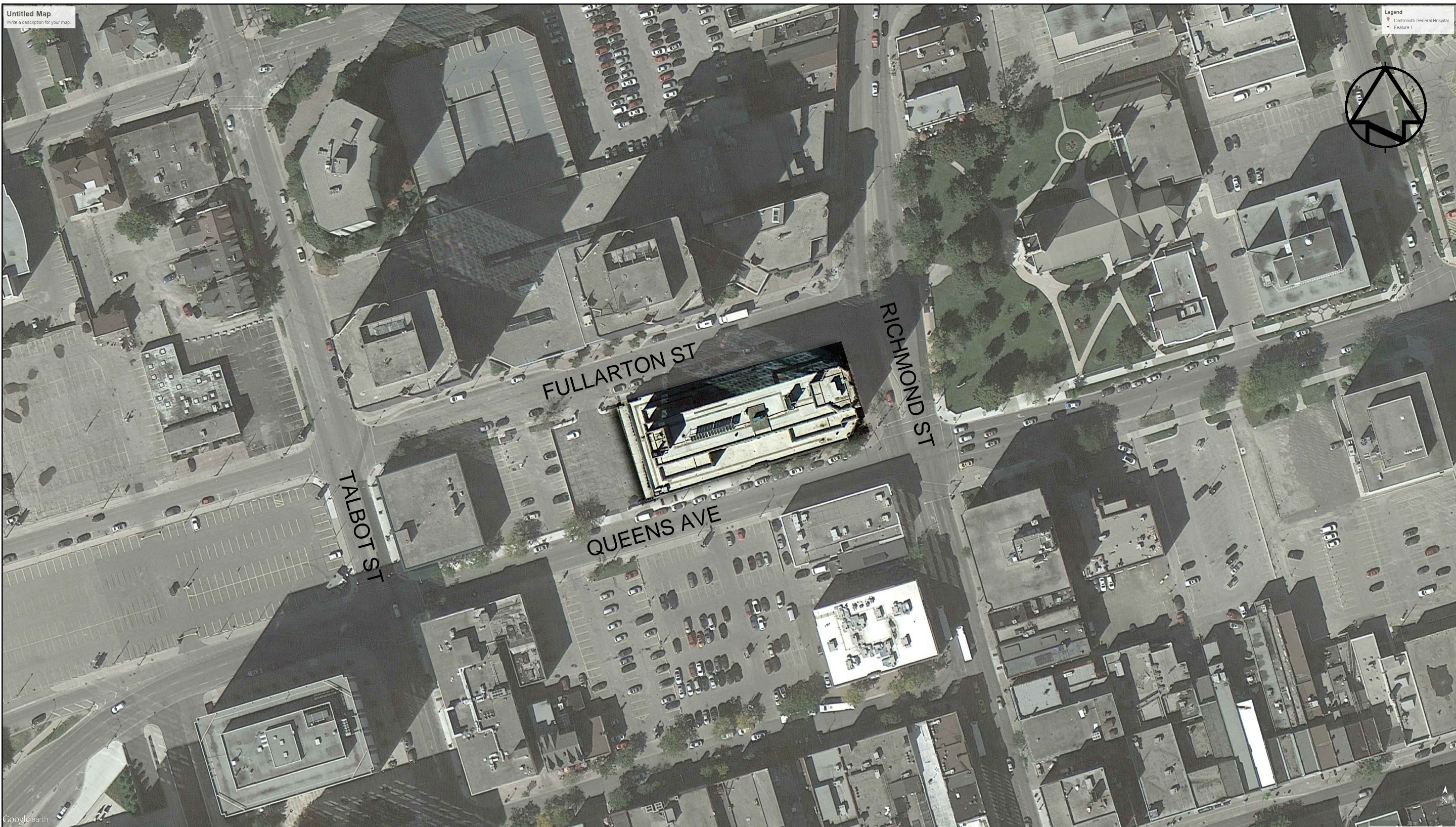
Travaux publics
Services gouvernementaux
Canada

Services d'architecture
et de génie

Région de l'Ontario


DOMINION PUBLIC BUILDING
457 RICHMOND ST, LONDON, ONTARIO
N6A3E3
6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

ISSUED FOR BID 2016-09-02
PWGSC Proj. No.: R.079143.042

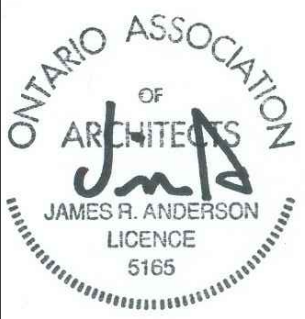


LOCATION PLAN



 Public Works and
Government Services Canada
Travaux publics et
Services gouvernementaux Canada

DIALOG®

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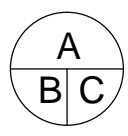
REPORT INCONSISTENCIES AND OMISSIONS TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

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2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (647)966-0220 Fax: (416)966-0223
MECHANICAL ENGINEER
DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223
ELECTRICAL ENGINEER
DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223

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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

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|  | A Detail No. No. du détail |
| | B drawing no. - where detail required dessin no. - où détail exigé |
| | C drawing no. - where detailed dessin no. - où détaillé |

project title
titre du projet
DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
**LOCATION PLAN AND
DRAWING LIST**

drawn by
dessiné par AV

designed by
conçu par AV

approved by
approuvé par RN

bid
offre DA project manager
administrateur de projets

project date
date du projet 2016-09-02

project no.
no. du projet R.079143.042

drawing no.
dessiné no. A0.000

LIST OF DRAWINGS

- | | |
|--------|--|
| A0.000 | LOCATION PLAN AND DRAWING LIST |
| A0.001 | SIXTH FLOOR LOCATION PLAN |
| A0.002 | CROSS-OVER SIGNAGE FOR BASEMENT |
| A0.003 | CROSS-OVER SIGNAGE FOR MAIN FLOOR LEVEL |
| A0.004 | CROSS-OVER SIGNAGE FOR FLOOR LEVELS 2& 3 |
| A0.005 | CROSS-OVER SIGNAGE FOR FLOOR LEVELS 4& 5 |
| A0.006 | CROSS-OVER SIGNAGE FOR FLOOR LEVEL 6 |

ARCHITECTURAL

- | | | | |
|------------|-----------------------------------|------------|-----------------------------------|
| EAST-A0.00 | EAST PHASE LOCATION PLAN, LEVEL 6 | WEST-A0.00 | WEST PHASE LOCATION PLAN, LEVEL 6 |
| EAST-A0.01 | LEGENDS AND SCHEDULES | WEST-A0.01 | LEGENDS AND SCHEDULES |
| EAST-A0.02 | DOOR SCHEDULES | WEST-A0.02 | DOOR SCHEDULES |
| EAST-A1.50 | DEMOLITION PLAN | WEST-A1.50 | DEMOLITION PLAN |
| EAST-A1.51 | DEMOLITION REFLECTED CEILING PLAN | WEST-A1.51 | DEMOLITION REFLECTED CEILING PLAN |
| EAST-A2.01 | CONSTRUCTION AND FINISHES PLAN | WEST-A2.01 | CONSTRUCTION AND FINISHES PLAN |
| EAST-A2.02 | FURNITURE PLAN | WEST-A2.02 | REFLECTED CEILING PLAN |
| EAST-A2.03 | REFLECTED CEILING PLAN | | |
| EAST-A3.01 | WALL CROSS-SECTION | | |
| EAST-A6.01 | MILLWORK DETAILS | | |
| EAST-A6.02 | MILLWORK DETAILS | | |

MECHANICAL

- | | | | |
|------------|---|------------|--|
| EAST-M0.01 | MECHANICAL LEGEND, SCHEDULES, AND DETAILS | WEST-M0.01 | MECHANICAL LEGEND & SCHEDULES |
| EAST-M2.01 | FIRE PROTECTION AND PLUMBING PLAN | WEST-M0.02 | MECHANICAL DETAILS |
| EAST-M2.02 | HVAC PLAN | WEST-M1.01 | FIRE PROTECTION & PLUMBING DEMOLITION PLAN |
| | | WEST-M1.02 | HVAC DEMOLITION PLAN |
| | | WEST-M2.01 | FIRE PROTECTION AND PLUMBING UPGRADE PLAN |
| | | WEST-M2.02 | HVAC UPGRADE PLAN |

ELECTRICAL

- | | | | |
|------------|--------------------------------------|------------|----------------------------|
| E0.01 | ELECTRICAL LEGENDS AND SPECIFICATION | WEST-E1.01 | ELECTRICAL DEMOLITION PLAN |
| EAST-E2.02 | ELECTRICAL PLAN | WEST-E2.01 | ELECTRICAL PLAN |
| | | E6.01 | ELECTRICAL DETAILS |

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project title
titre du projet

DOMINION PUBLIC BUILDING

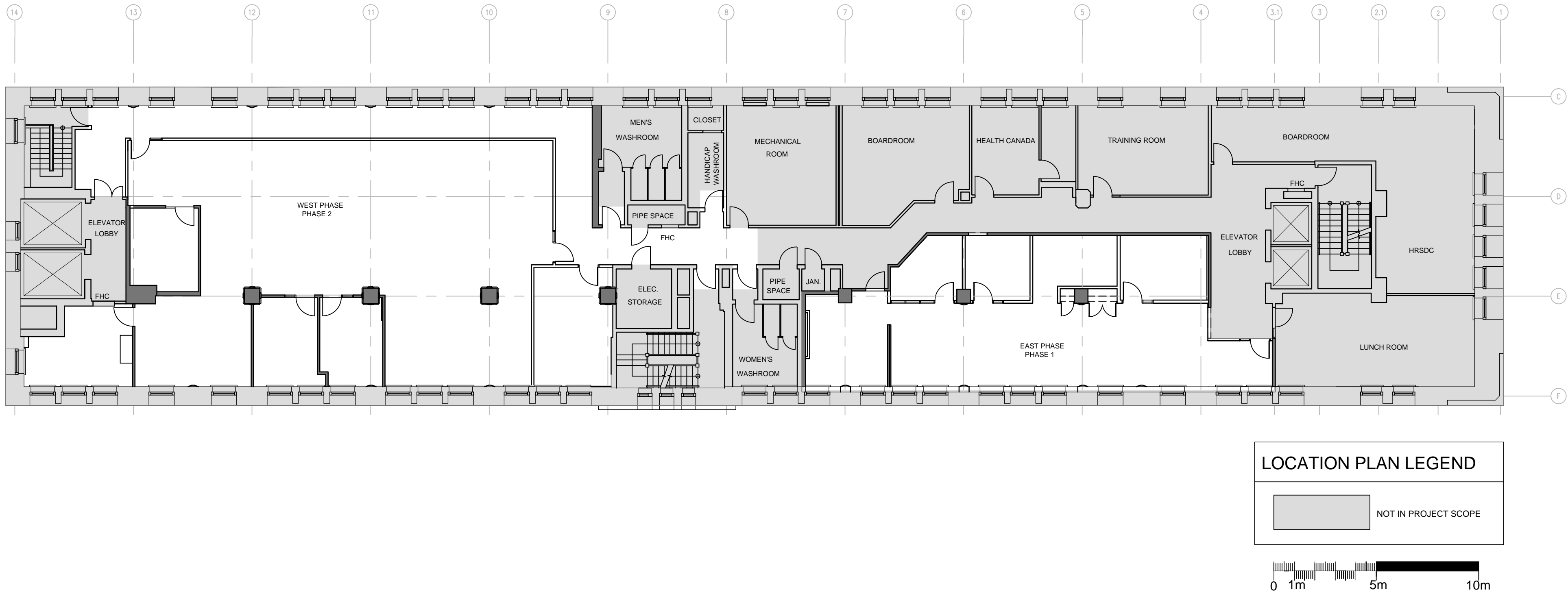
457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

**SIXTH FLOOR
LOCATION PLAN**

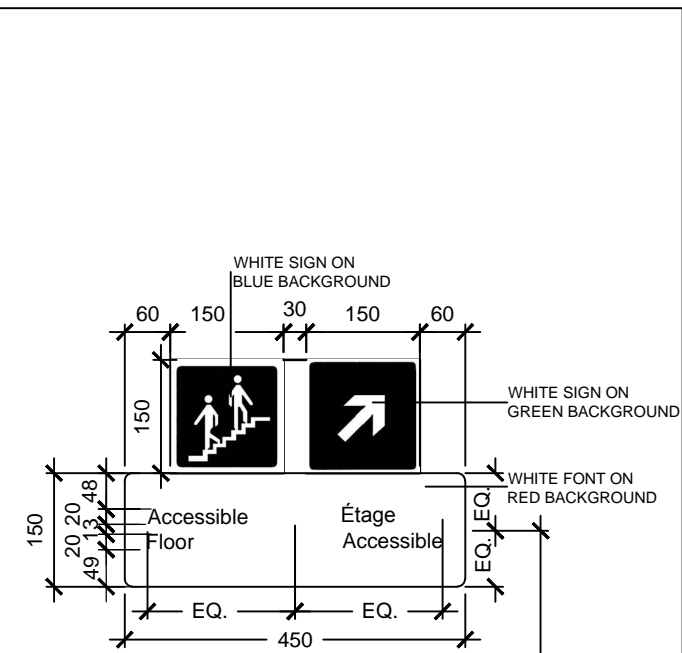
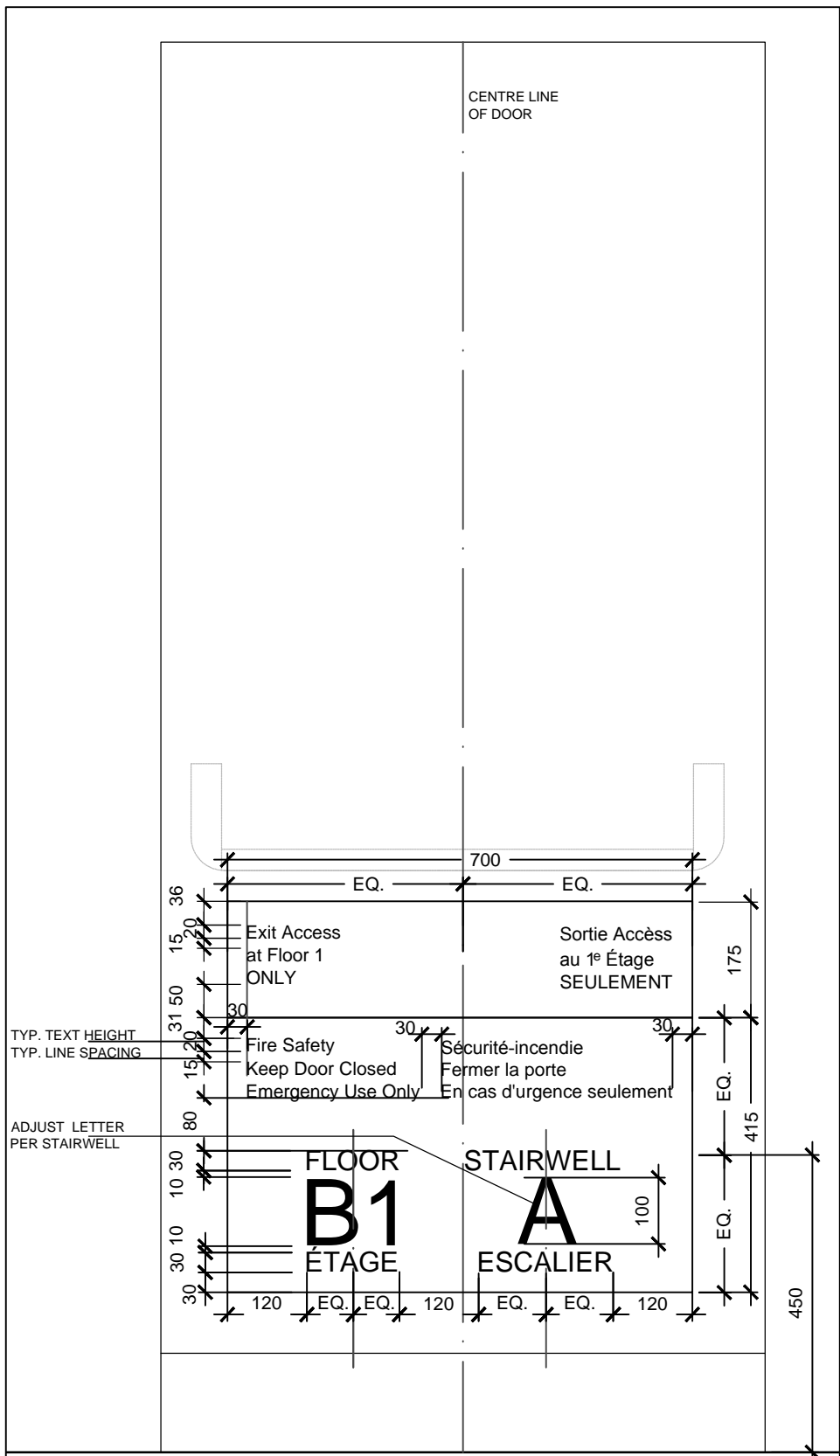
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| drawn by dessiné par | AV | |
| designed by conçue par | AV | |
| approved by approuvé par | DN | |
| bid offre | DA | project manager administrateur de projets |
| project date date du projet | 2016-09-02 | |
| project no. no. du projet | R.079143.042 | |
| drawing no. dessiné no. | A0.001 | |



1

SIXTH FLOOR LOCATION PLAN

A0.001 SCALE: 1:150



GENERAL NOTE:

THIS DRAWING IS FOR SIGNAGE ONLY. FOR DOOR SCHEDULE REFER TO EAST-A0.02 AND WEST-A0.02

INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

SCENARIO 1: EXISTING DOOR IS SOLID.
INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

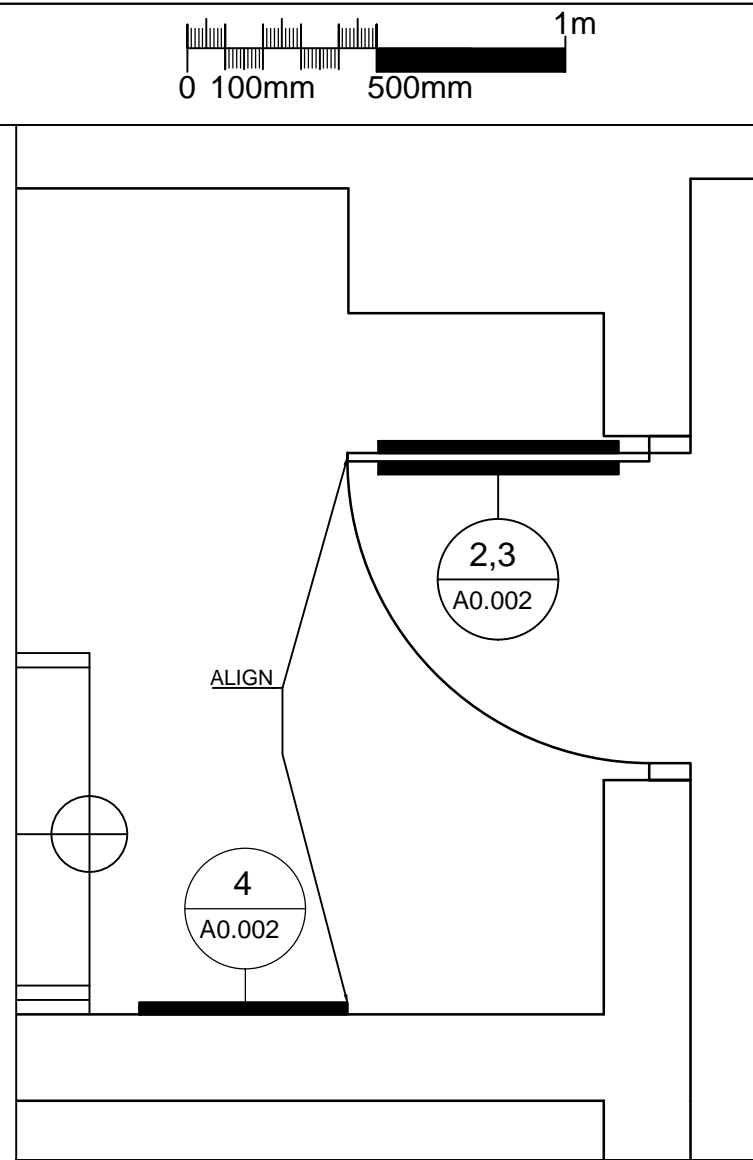
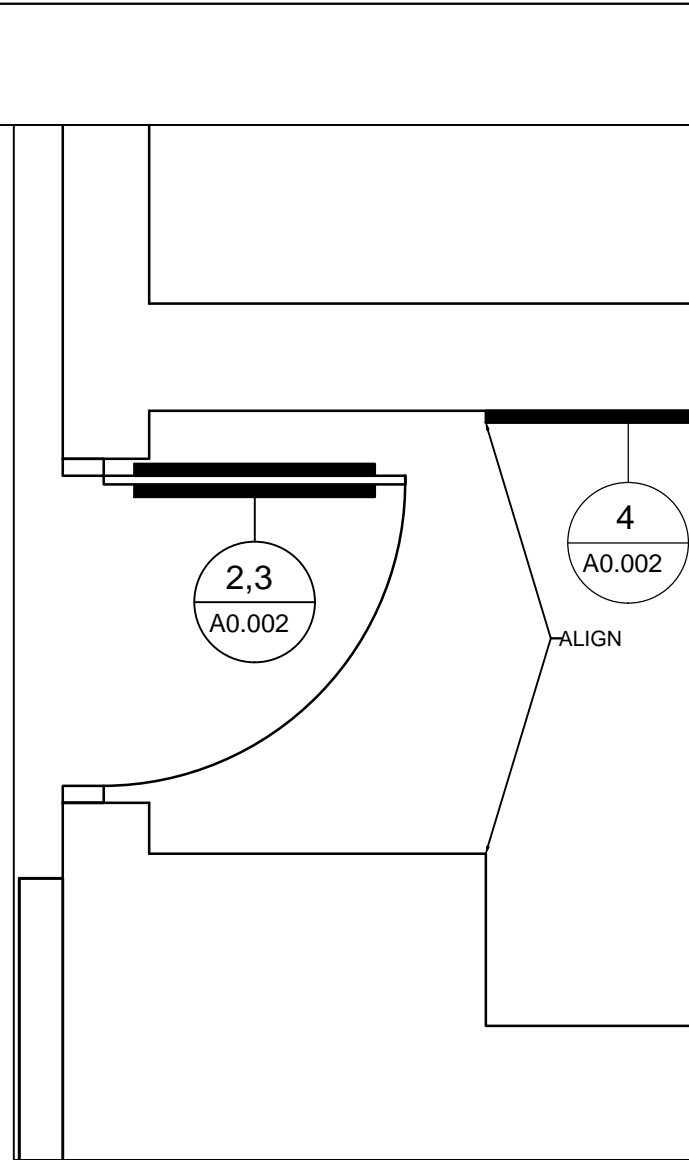
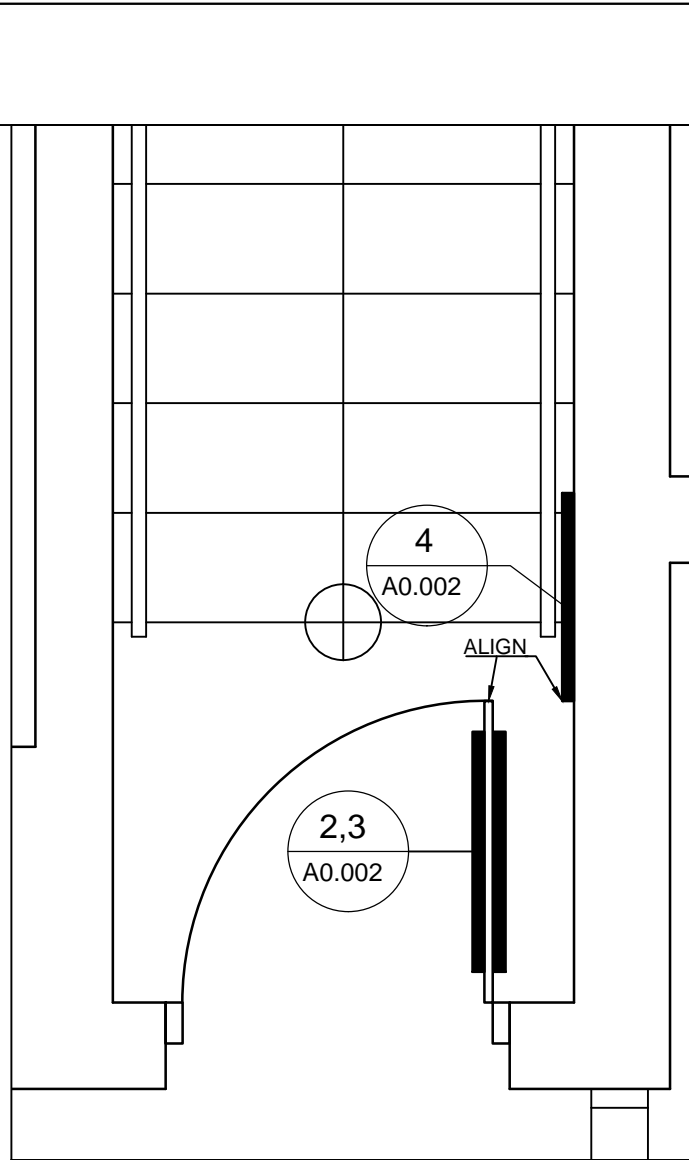
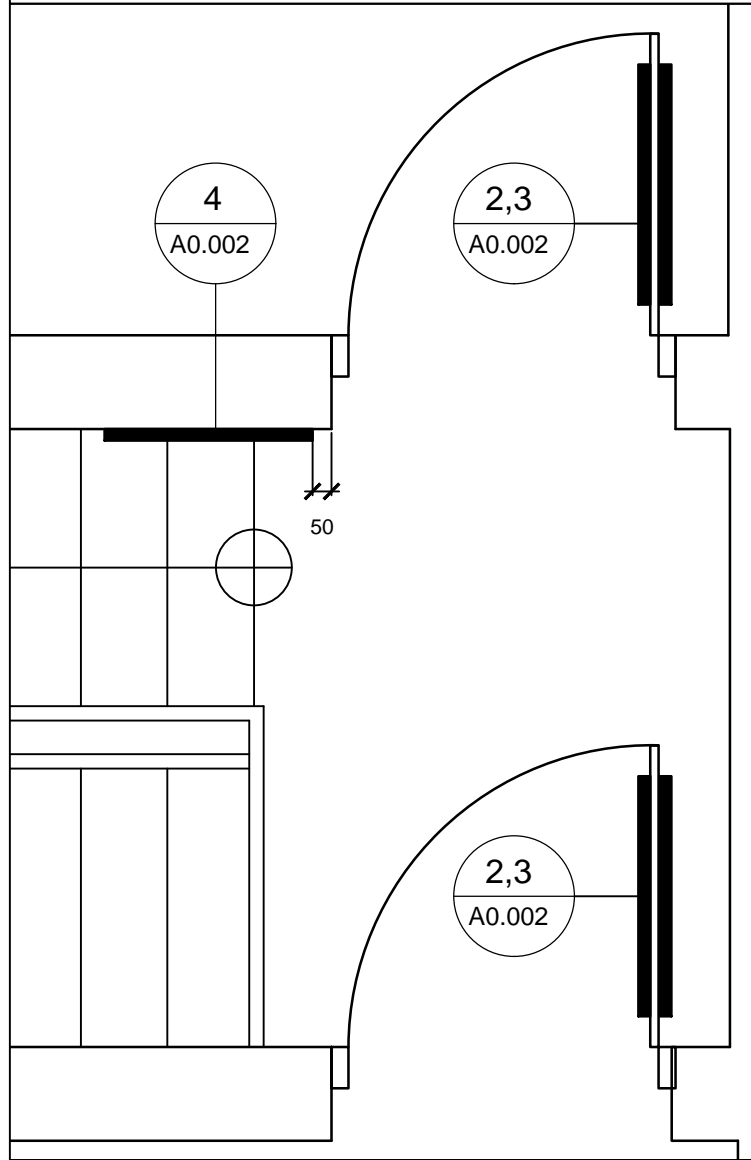
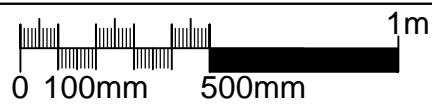
SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION
INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

USE SCENARIO 2 ONLY IF NECESSARY, SCENARIO 1 IS PREFERRED

FOR ALL THE COLORS INDICATED ON THE DRAWINGS:

THE NUMBERS BELOW REFER TO COLORS INCLUDED IN A U.S. GOVERNMENT PUBLICATION ENTITLED FEDERAL STANDARD NO. 595B, COLORS USED IN GOVERNMENT PROCUREMENT.

RED: 11120
GREEN: 14120
BLUE 15092



3 SCENARIO 2 - DOOR SIGN
FRONT & BACK SIDES
A0.002 SCALE: 1:10

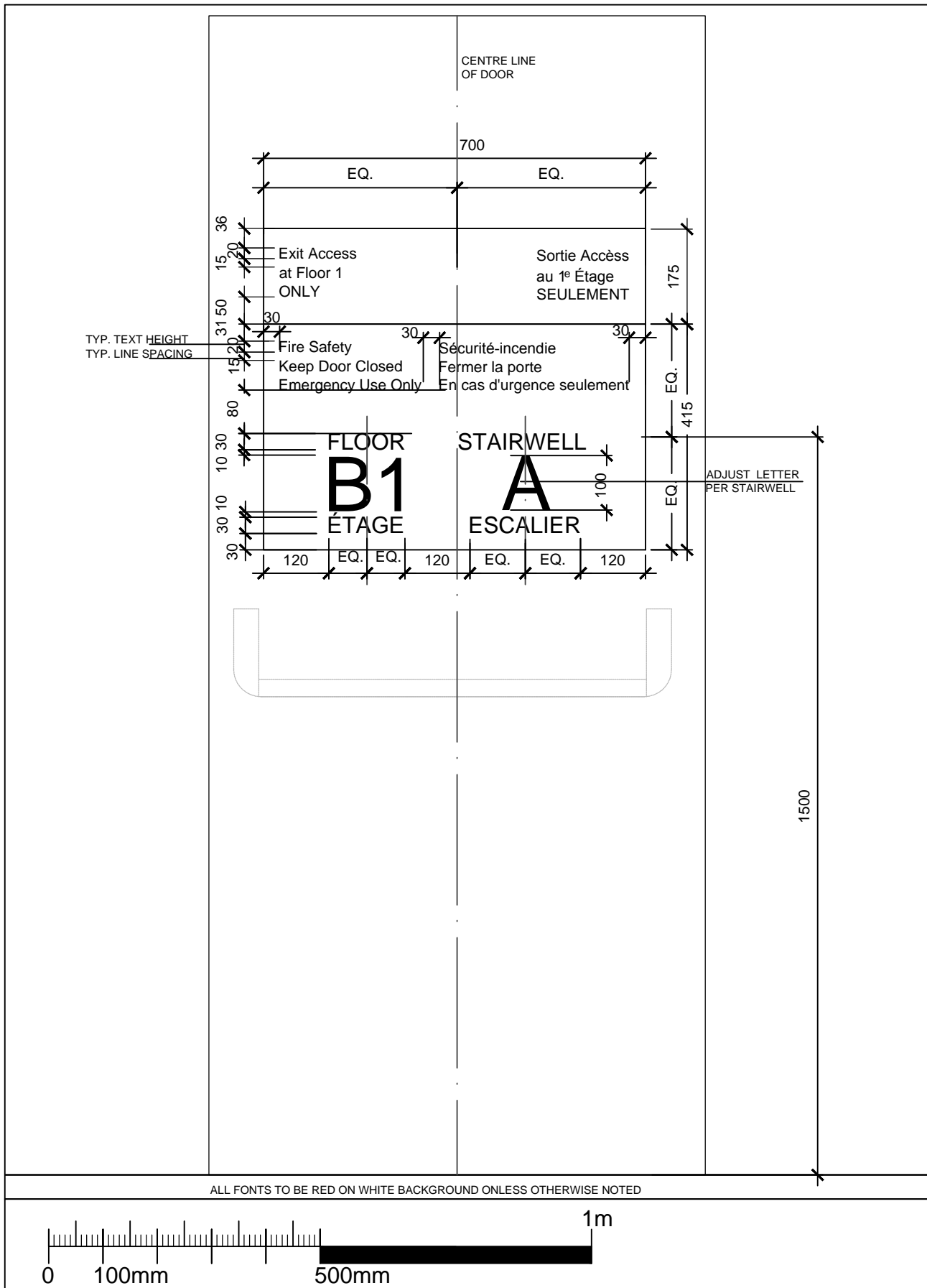
4 WALL SIGN
A0.002 SCALE: 1:10

5 STAIR WELL A
A0.002 SCALE: 1:20

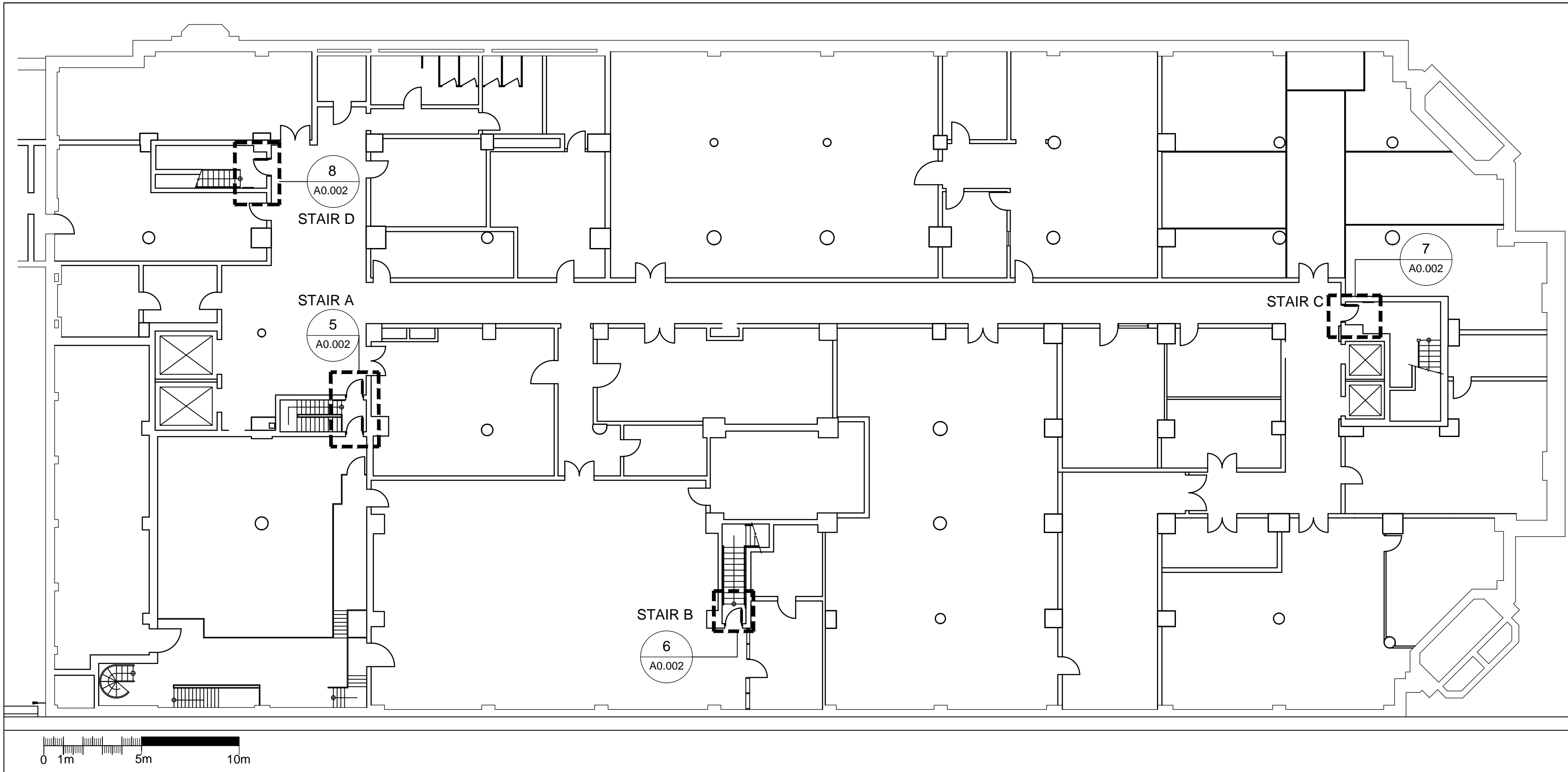
6 STAIR WELL B
A0.002 SCALE: 1:20

7 STAIR WELL C
A0.002 SCALE: 1:20

8 STAIR WELL D
A0.002 SCALE: 1:20



2 SCENARIO 1 - DOOR SIGN
FRONT & BACK SIDES
A0.002 SCALE: 1:10



1 BASEMENT FLOOR PLAN
A0.002 SCALE: 1:150

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project title
titre du projet

DOMINION PUBLIC BUILDING
457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
**CROSS-OVER SIGNAGE
FOR BASEMENT**

drawn by
dessiné par AV

designed by
conçu par AV

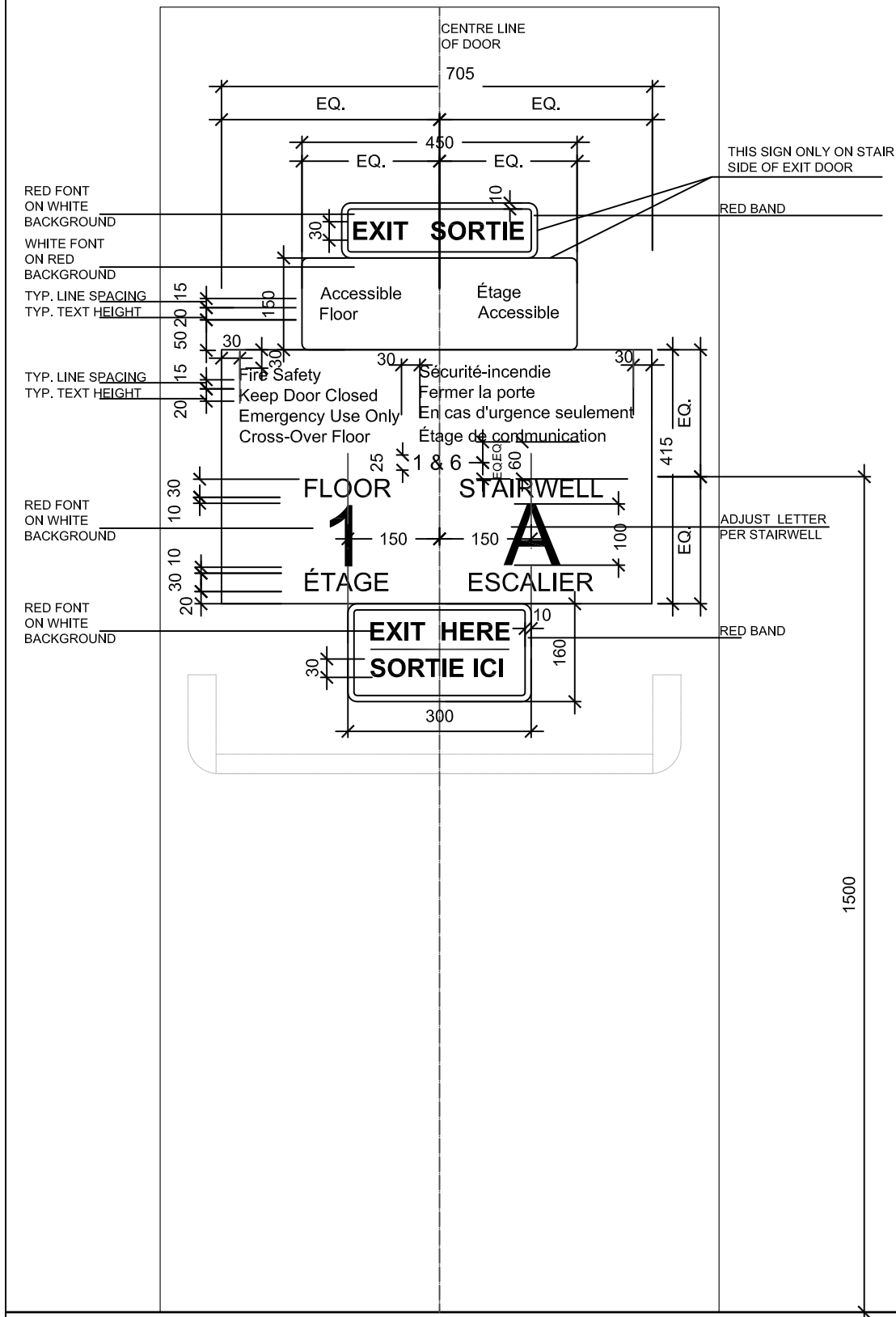
approved by
approuvé par DN

bid
offre DA project manager
administrateur
de projets

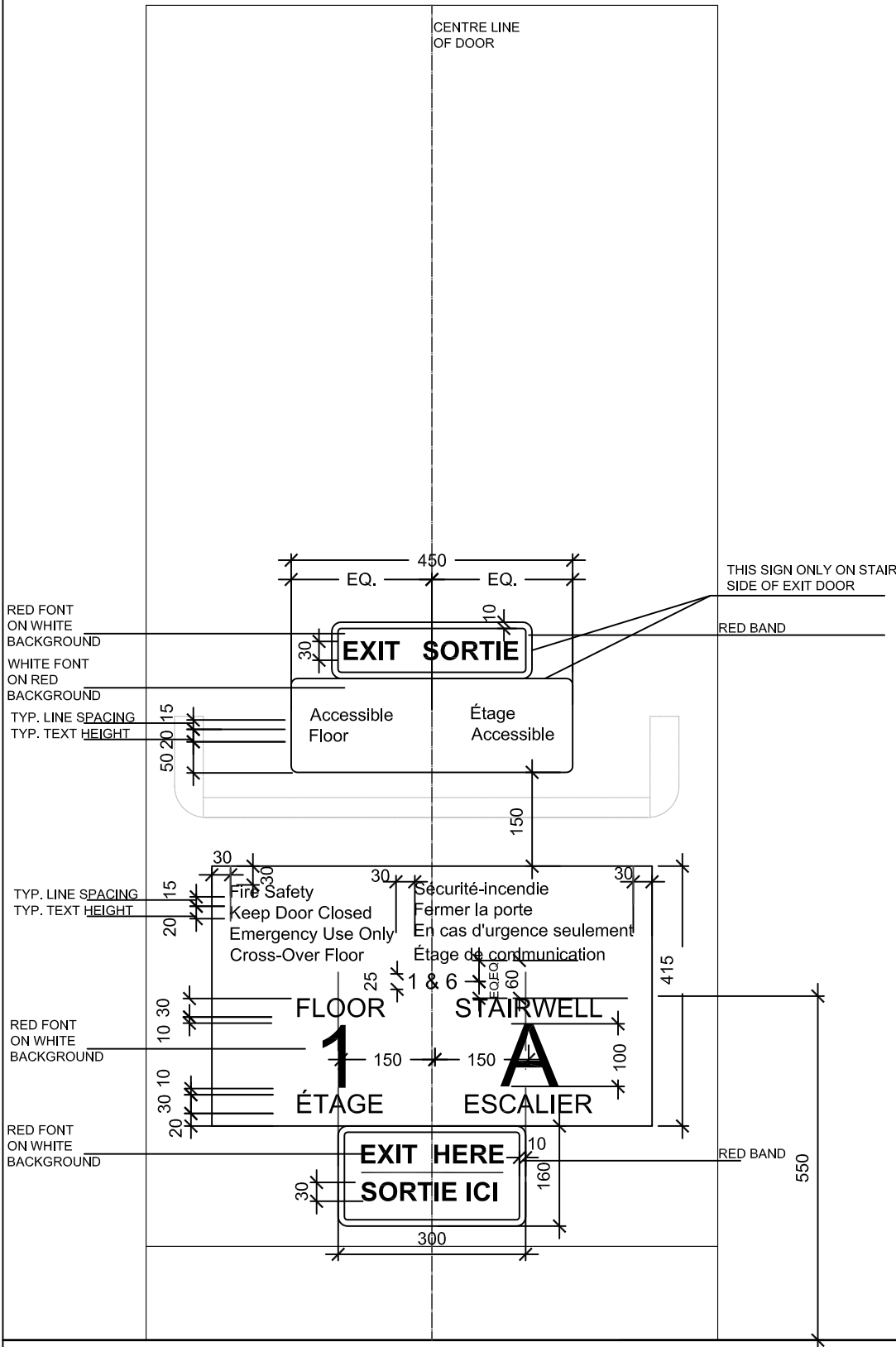
project date
date du projet 2016-09-02

project no.
no. du projet R.079143.042

drawing no.
dessiné no. A0.002



2 SCENARIO 1 - SIGN ON DOOR
A0.003 SCALE: 1:10



3 SCENARIO 2 - SIGN ON WALL
A0.003 SCALE: 1:10

GENERAL NOTE:

THIS DRAWING IS FOR SIGNAGE ONLY. FOR DOOR SCHEDULE REFER TO EAST-A0.02 AND WEST-A0.02

INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

SCENARIO 1: EXISTING DOOR IS SOLID.
INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

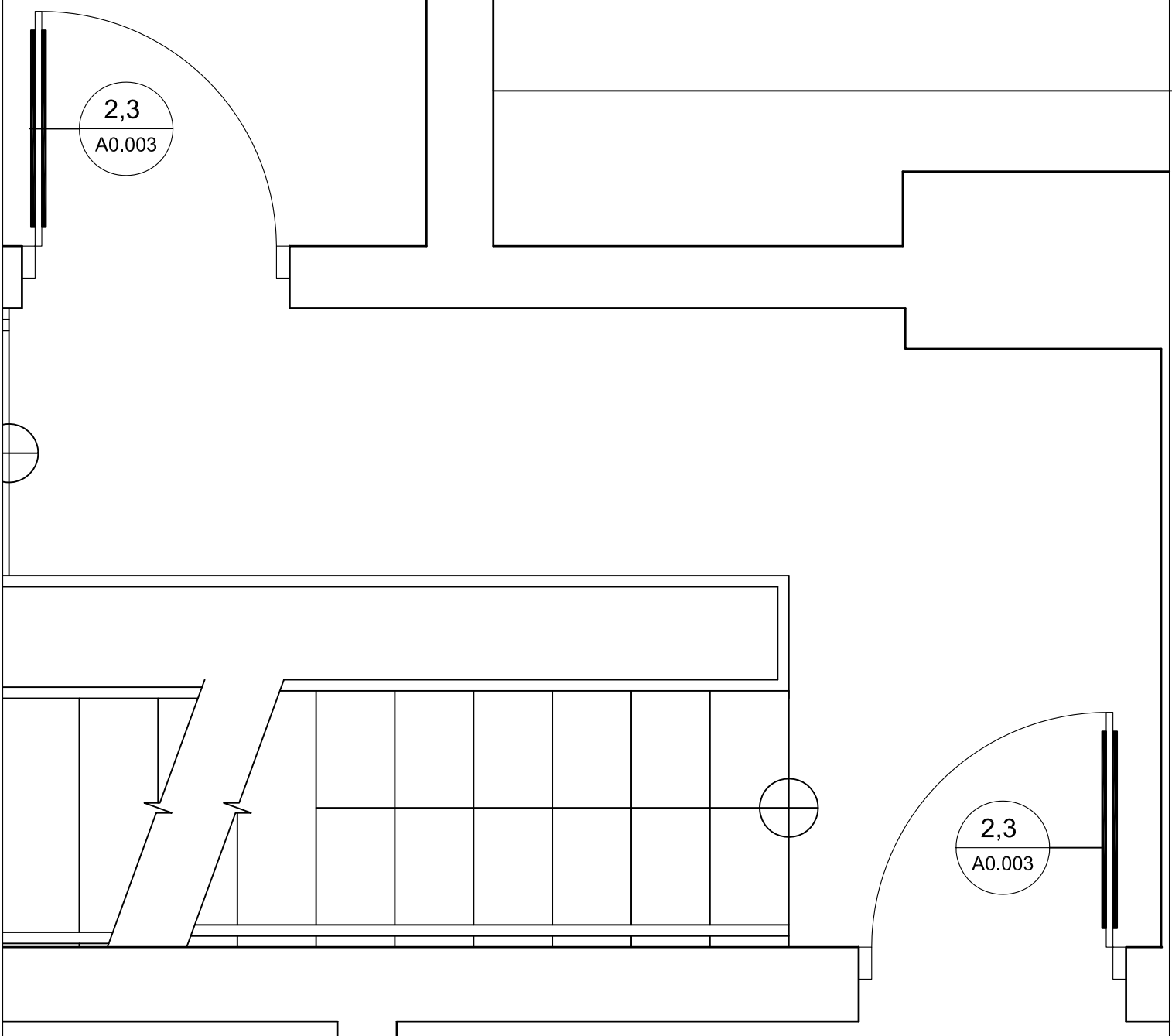
SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION
INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

USE SCENARIO 2 ONLY IF NECESSARY, SCENARIO 1 IS PREFERRED

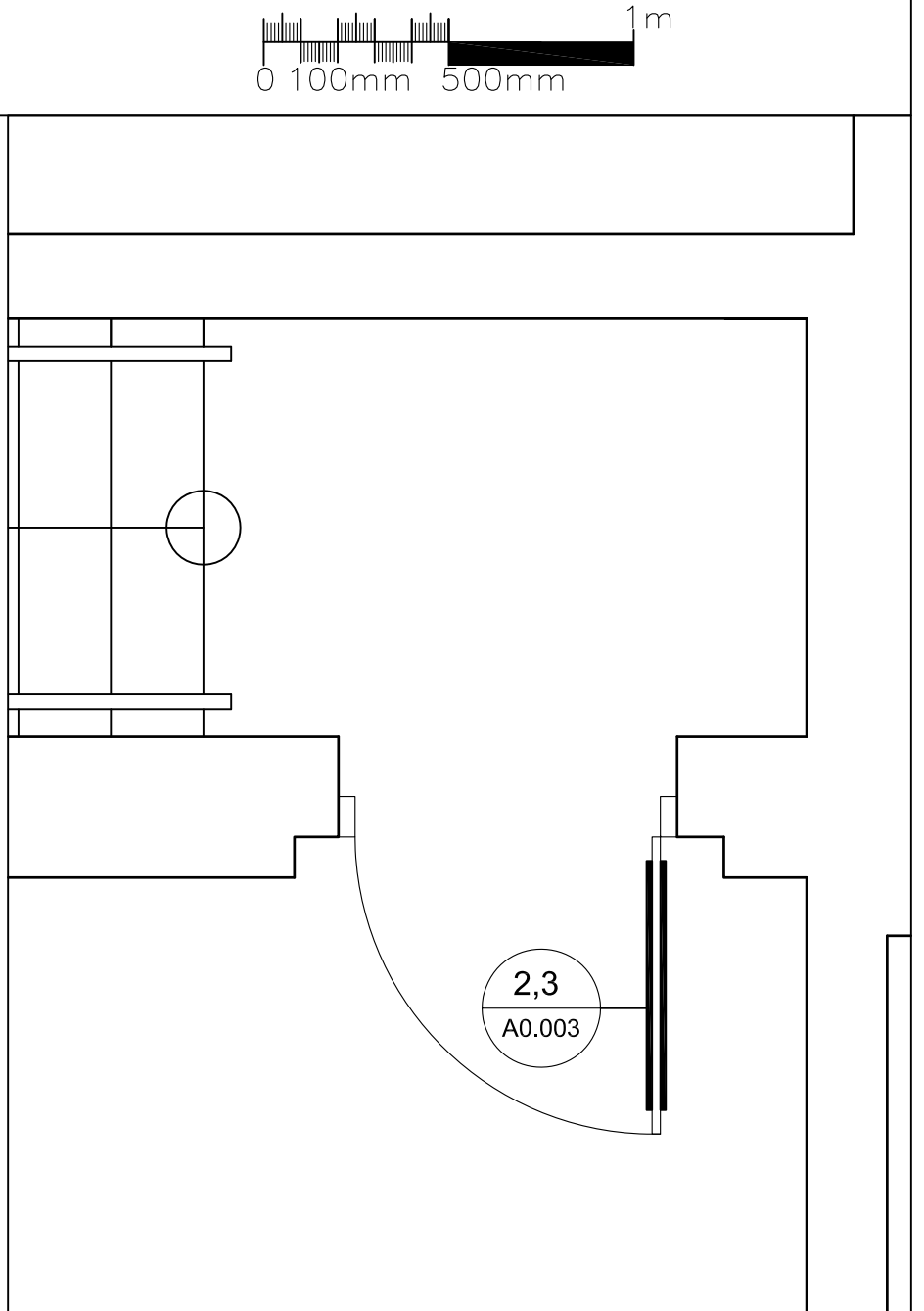
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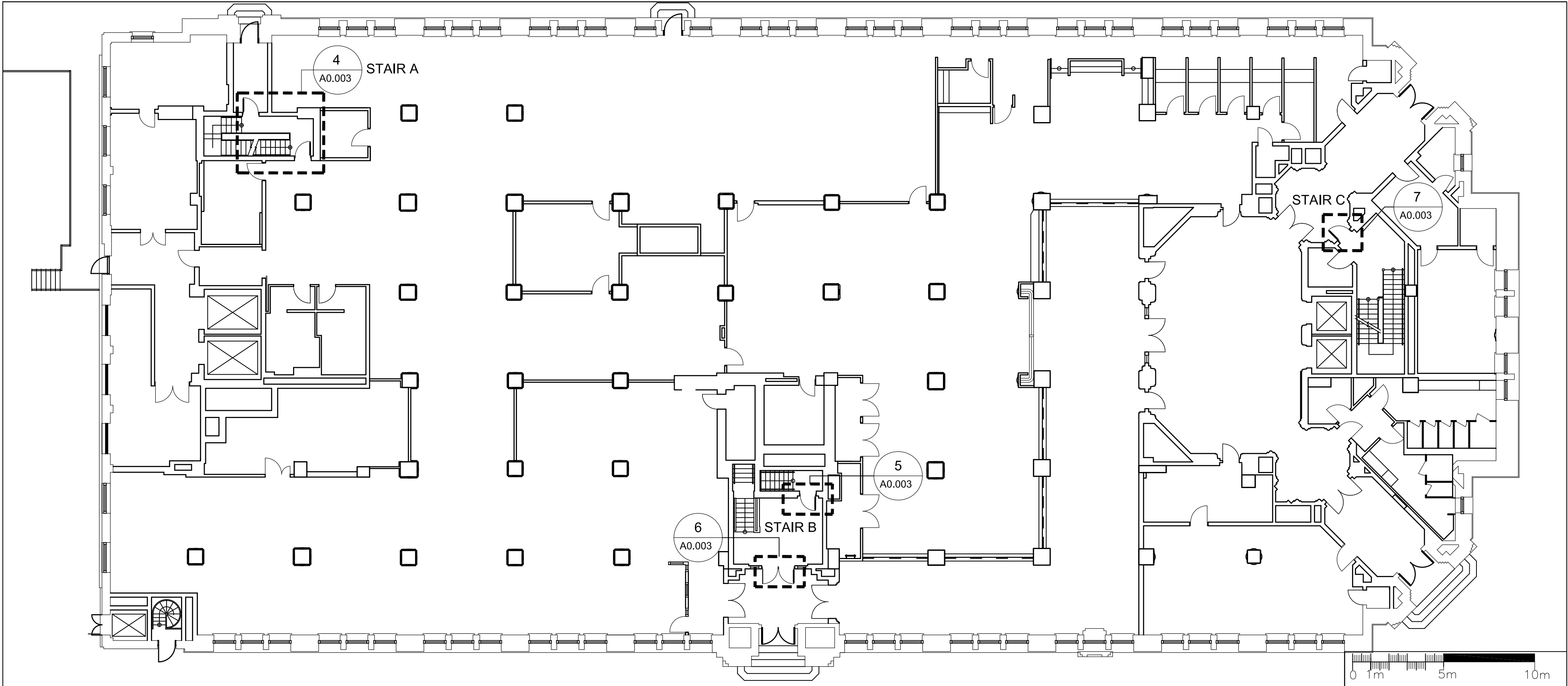
RED: 11120 GREEN: 14120 BLUE 15092



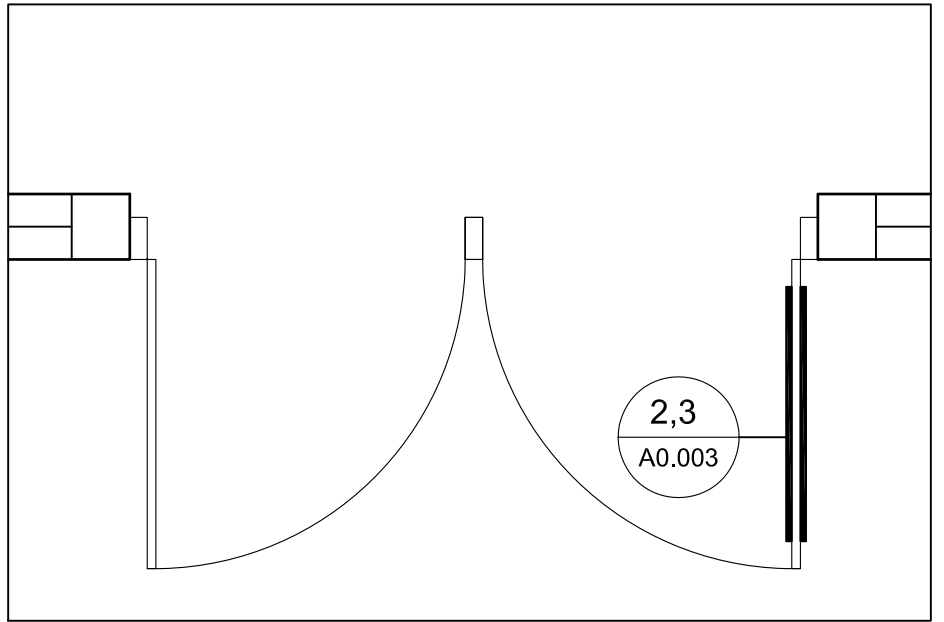
4 STAIR WELL A
A0.003 SCALE: 1:20



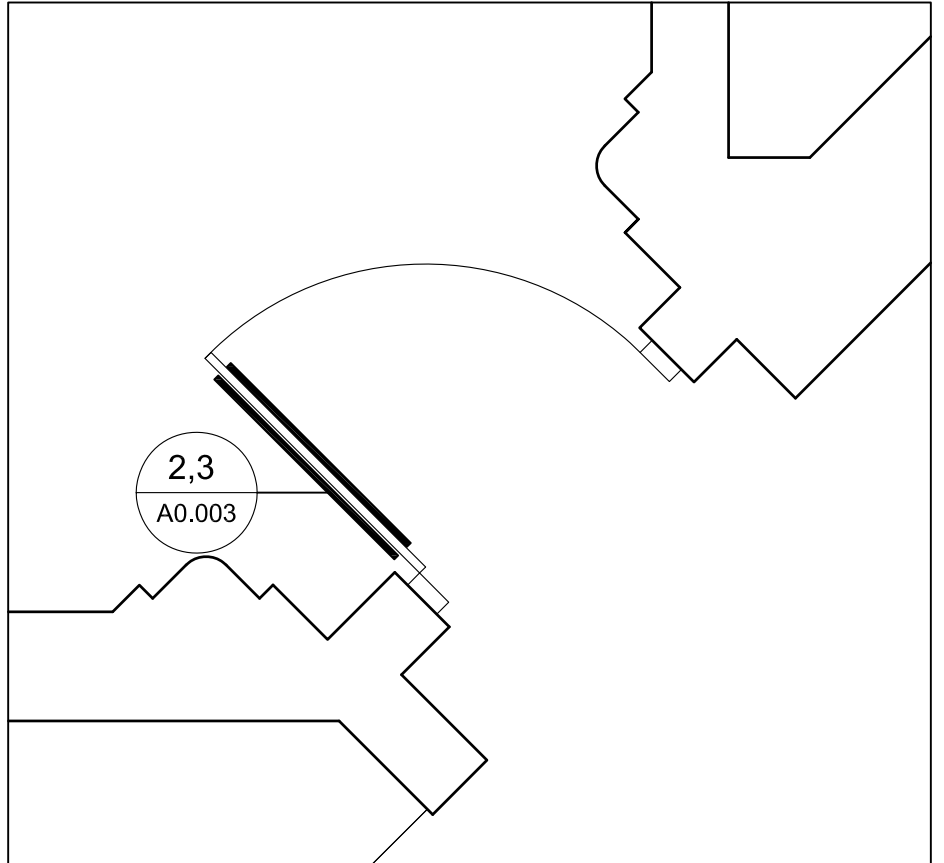
5 STAIR WELL B
A0.003 SCALE: 1:20



1 MAIN FLOOR PLAN
A0.003 SCALE: 1:150



6 STAIR WELL B
A0.003 SCALE: 1:20



7 STAIR WELL C
A0.003 SCALE: 1:20

Stamp



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| | dessin no. - ou detail exige |
| | drawing no. - where detailed |
| | dessin no. - ou detaillé |

project title
titre du projet
DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
**CROSS-OVER SIGNAGE
FOR MAIN FLOOR LEVEL**

drawn by
dessiné par
AV

designed by
conçue par
AV

approved by
approuvé par
DN

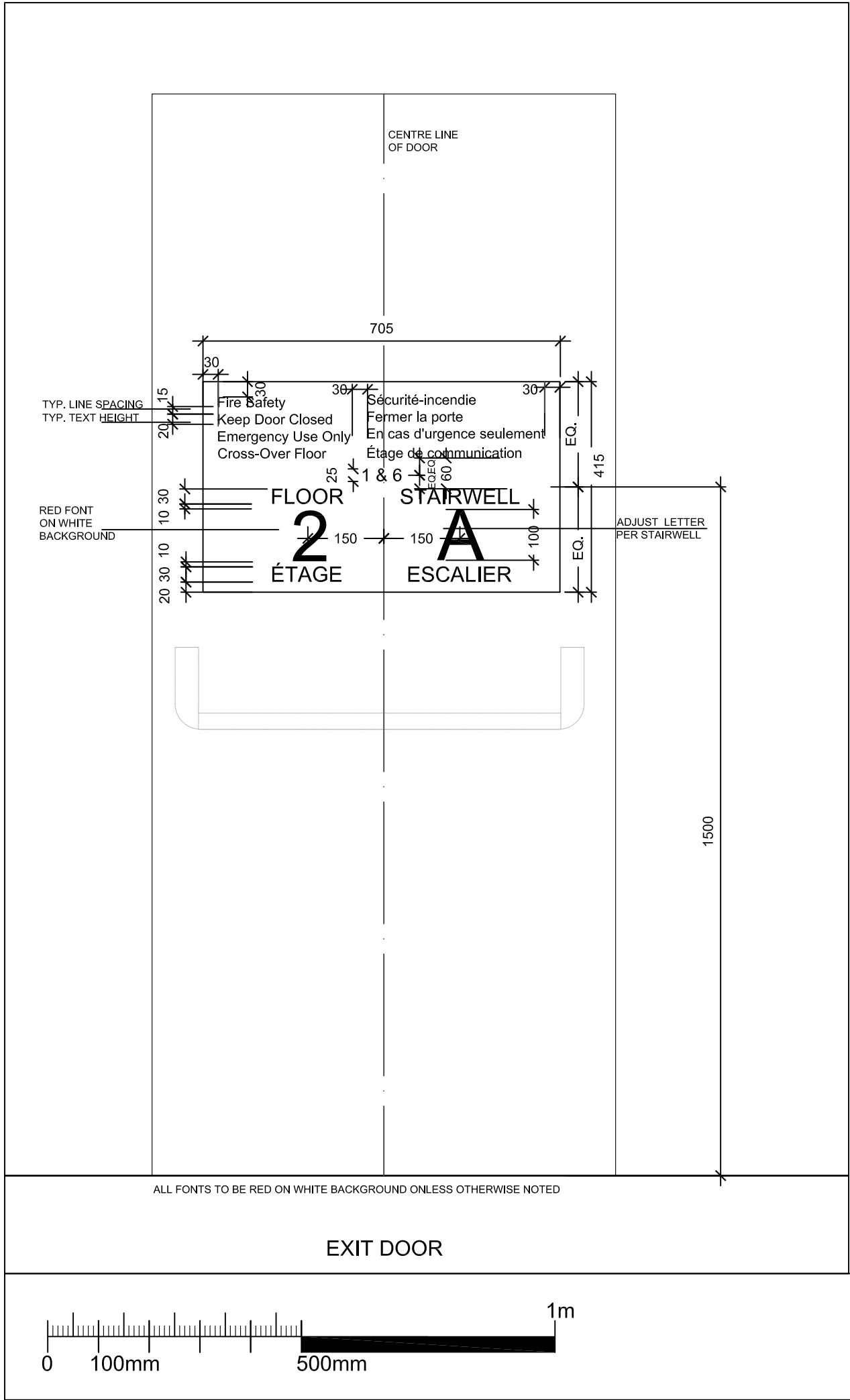
bid
offre
DA

project manager
administrateur
de projets

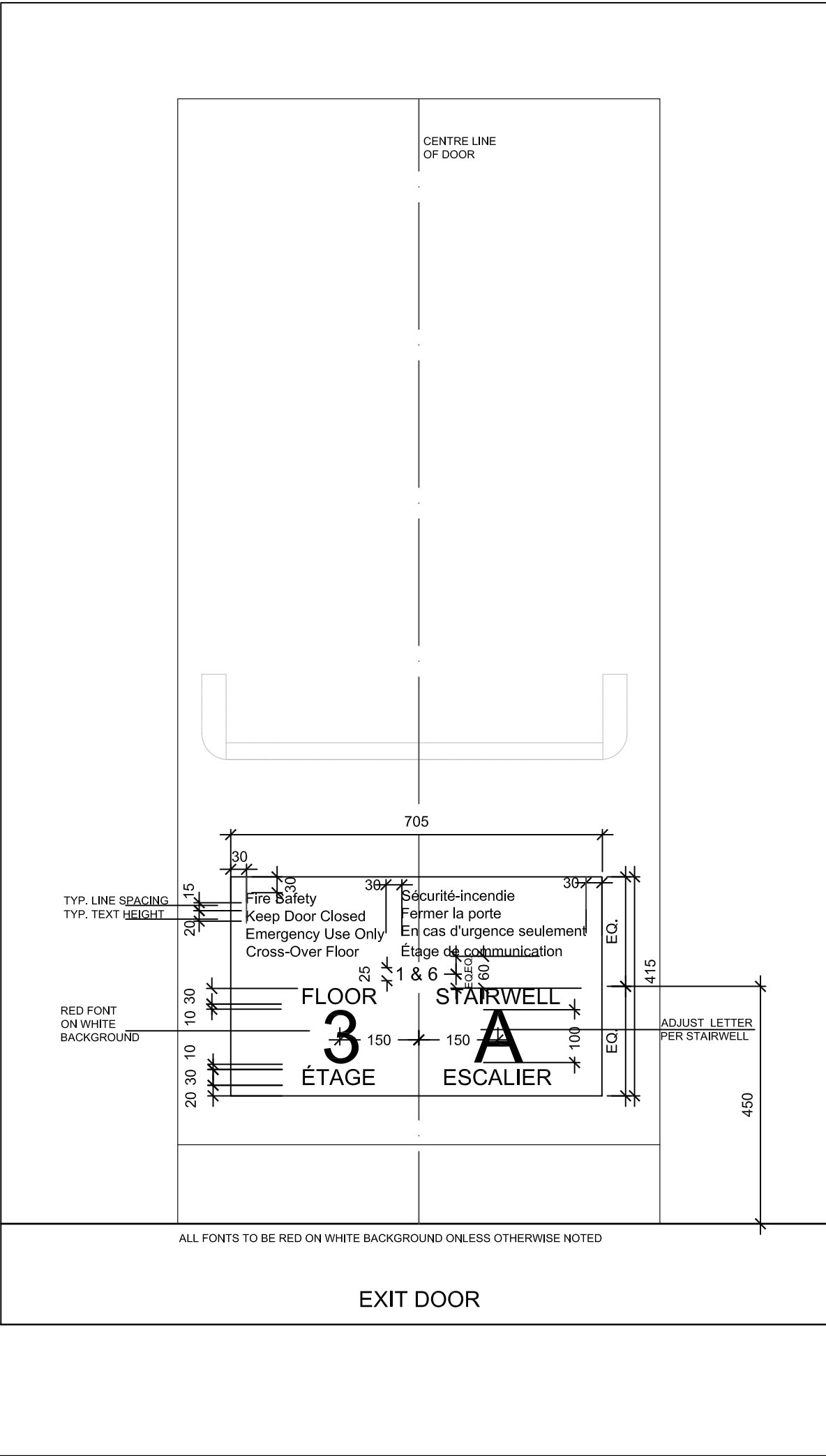
project date
date du projet
2016-09-02

project no.
no. du projet
R.079143.042

drawing no.
dessiné no.
A0.003



2 SCENARIO 1 - SIGN ON DOOR
A0.004 SCALE: 1:10



3 SCENARIO 2 - SIGN ON WALL
A0.004 SCALE: 1:10

GENERAL NOTE:

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INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

SCENARIO 1: EXISTING DOOR IS SOLID.
INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

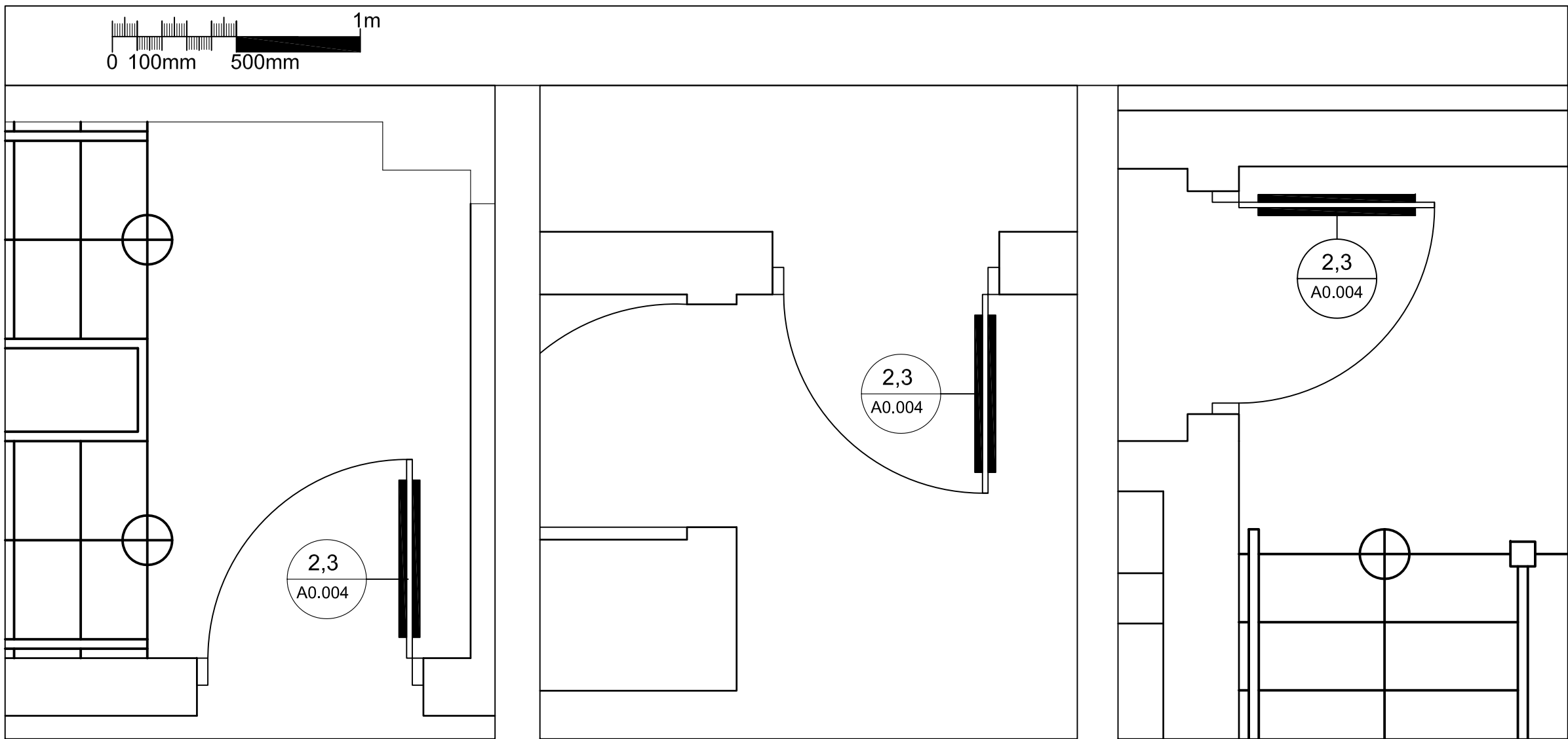
SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION
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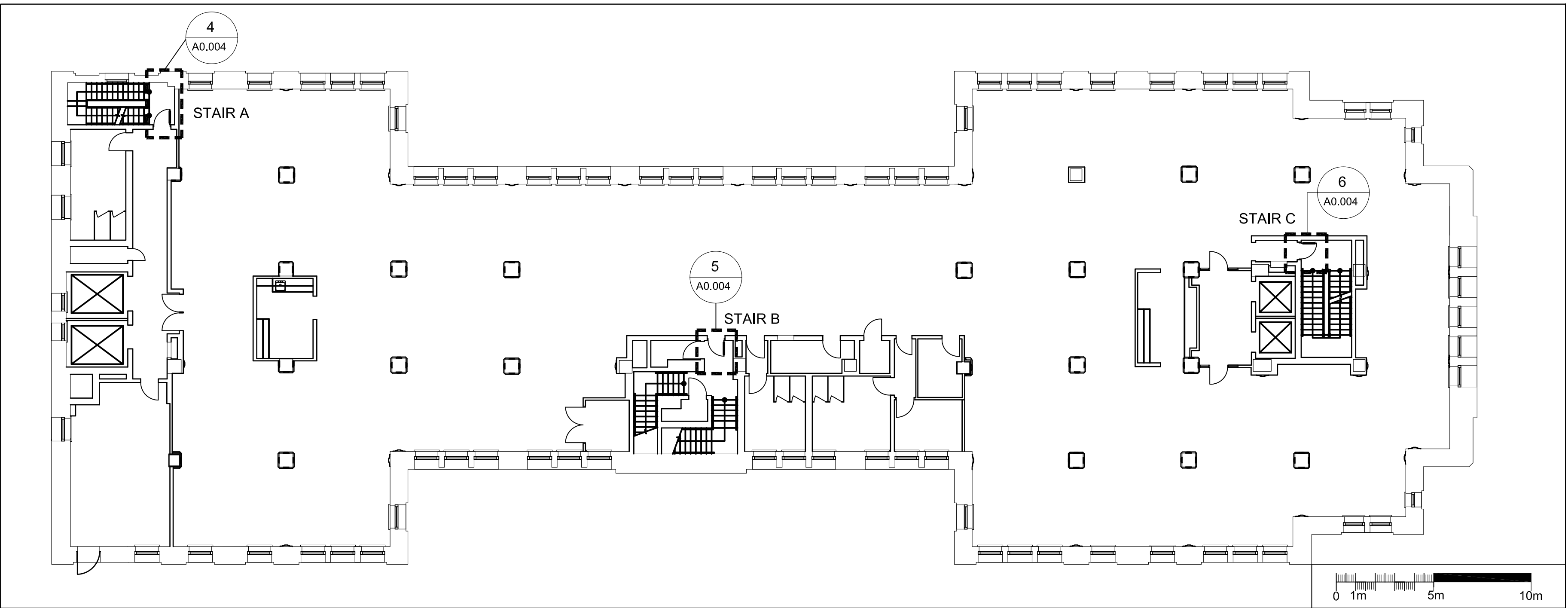
RED: 11120
GREEN: 14120
BLUE 15092



4 STAIR WELL A
A0.004 SCALE: 1:20

5 STAIR WELL B
A0.004 SCALE: 1:20

6 STAIR WELL C
A0.004 SCALE: 1:20



1 TYPICAL FLOOR PLAN, LEVEL 2 & 3
A0.004 SCALE: 1:150



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457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

**CROSS-OVER SIGNAGE
FOR FLOOR LEVELS 2, 3**

drawn by
dessiné par

AV

designed by
conçu par

AV

approved by
approuvé par

DN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

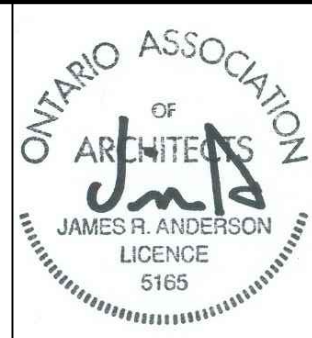
2016-09-02

project no.
no. du projet

R.079143.042

drawing no.
dessiné no.

A0.004



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6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
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CROSS-OVER SIGNAGE
FOR LEVELS 4 & 5

drawn by
dessiné par AV

designed by
conçue par AV

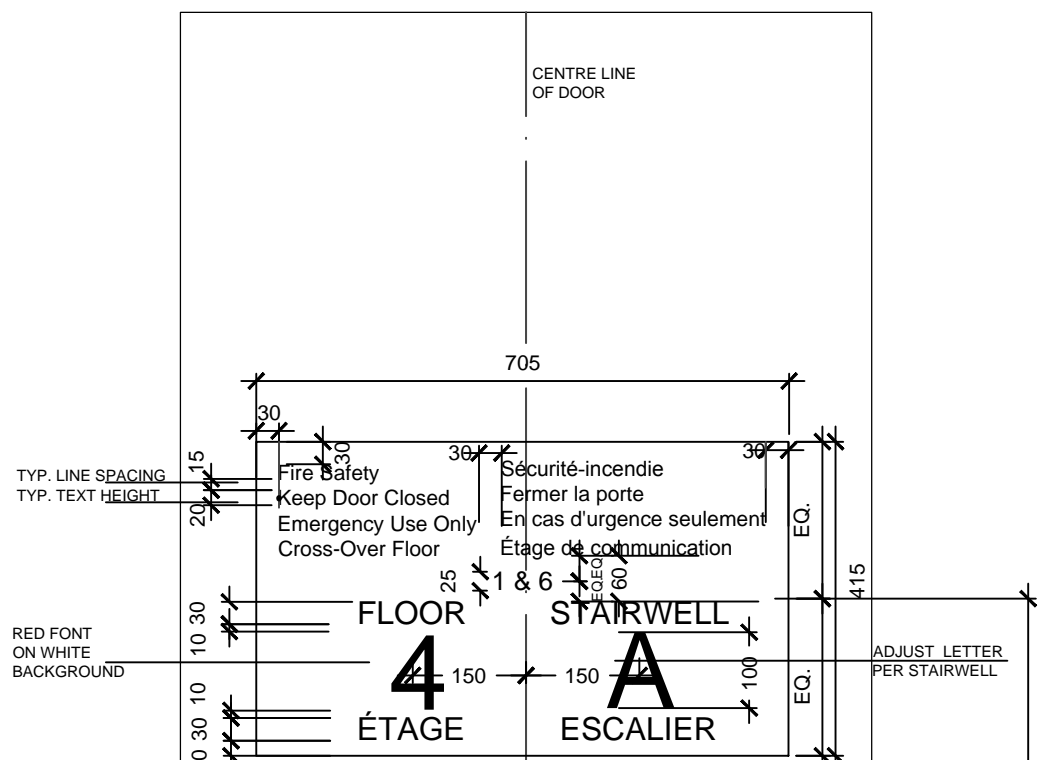
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project date
date du projet 2016-09-02

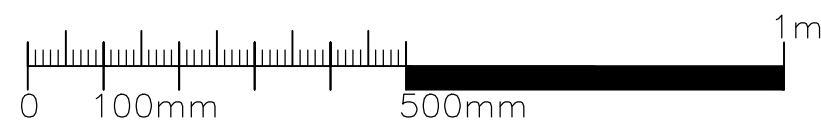
project no.
no. du projet R.079143.042

drawing no.
dessiné no. A0.005

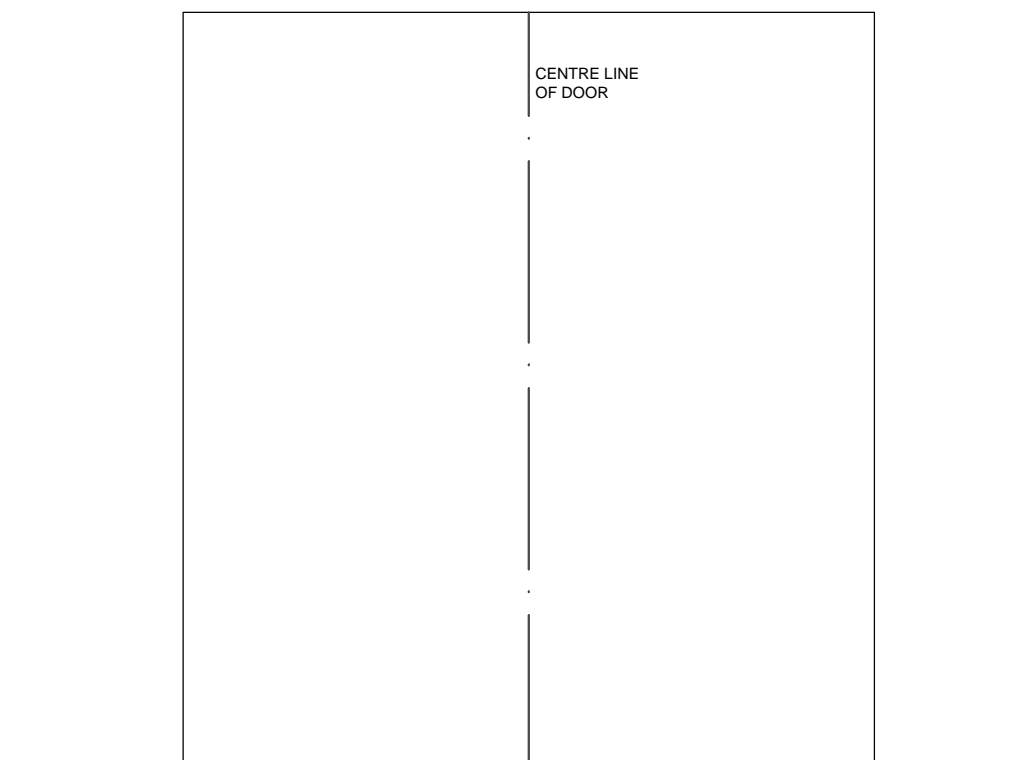


ALL FONTS TO BE RED ON WHITE BACKGROUND UNLESS OTHERWISE NOTED

EXIT DOOR



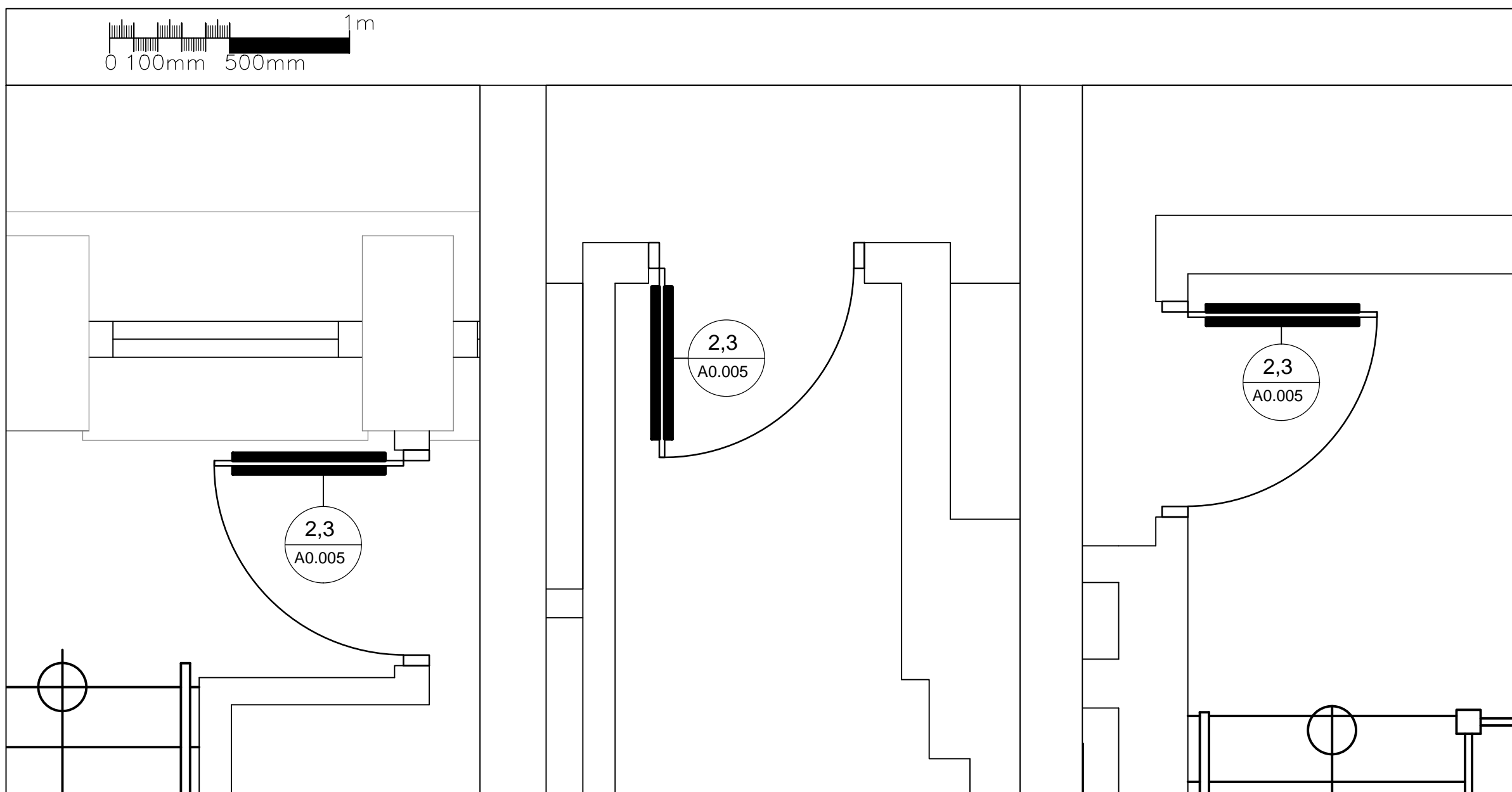
2 SCENARIO 1 - SIGN ON FRONT & BACK SIDES
A0.005 SCALE: 1:10



ALL FONTS TO BE RED ON WHITE BACKGROUND UNLESS OTHERWISE NOTED

EXIT DOOR

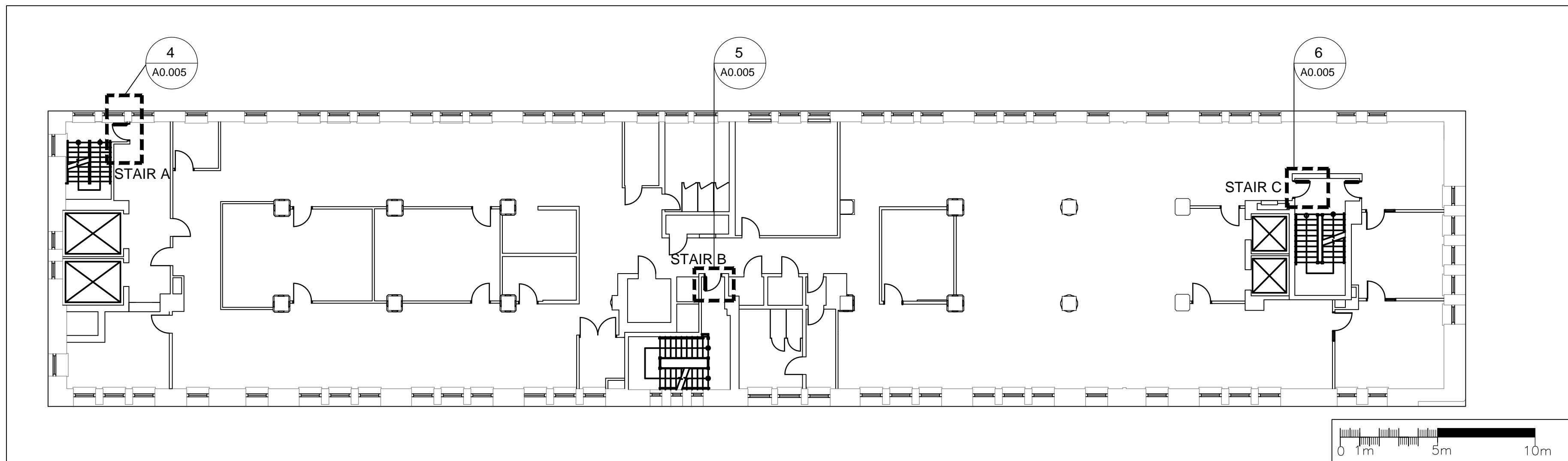
3 SCENARIO 2 - SIGN ON FRONT & BACK SIDES
A0.005 SCALE: 1:10



4 STAIR WELL A
A0.005 SCALE: 1:20

5 STAIR WELL B
A0.005 SCALE: 1:20

6 STAIR WELL C
A0.005 SCALE: 1:20



1 TYPICAL FLOOR PLAN, LEVEL 4 & 5
A0.005 SCALE: 1:150



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DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE DEPARTMENTAL REPRESENTATIVE ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ARCHITECTURAL / INTERIOR DESIGN

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (647)966-0220 Fax: (416)966-0223

MECHANICAL ENGINEER

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223

ELECTRICAL ENGINEER

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)996-0220 Fax: (416)966-0223

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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

Do not scale drawings.
Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

| | |
|---|---|
| A | Detail No. |
| B | No. du detail |
| C | drawing no. - where detail required dessin no. - ou detail exige |
| | drawing no. - where detailed dessin no. - ou detaillé |

project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

CROSS-OVER SIGNAGE
FOR LEVEL 6

drawn by
dessiné par

AV

designed by
conçu par

AV

approved by
approuvé par

DN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

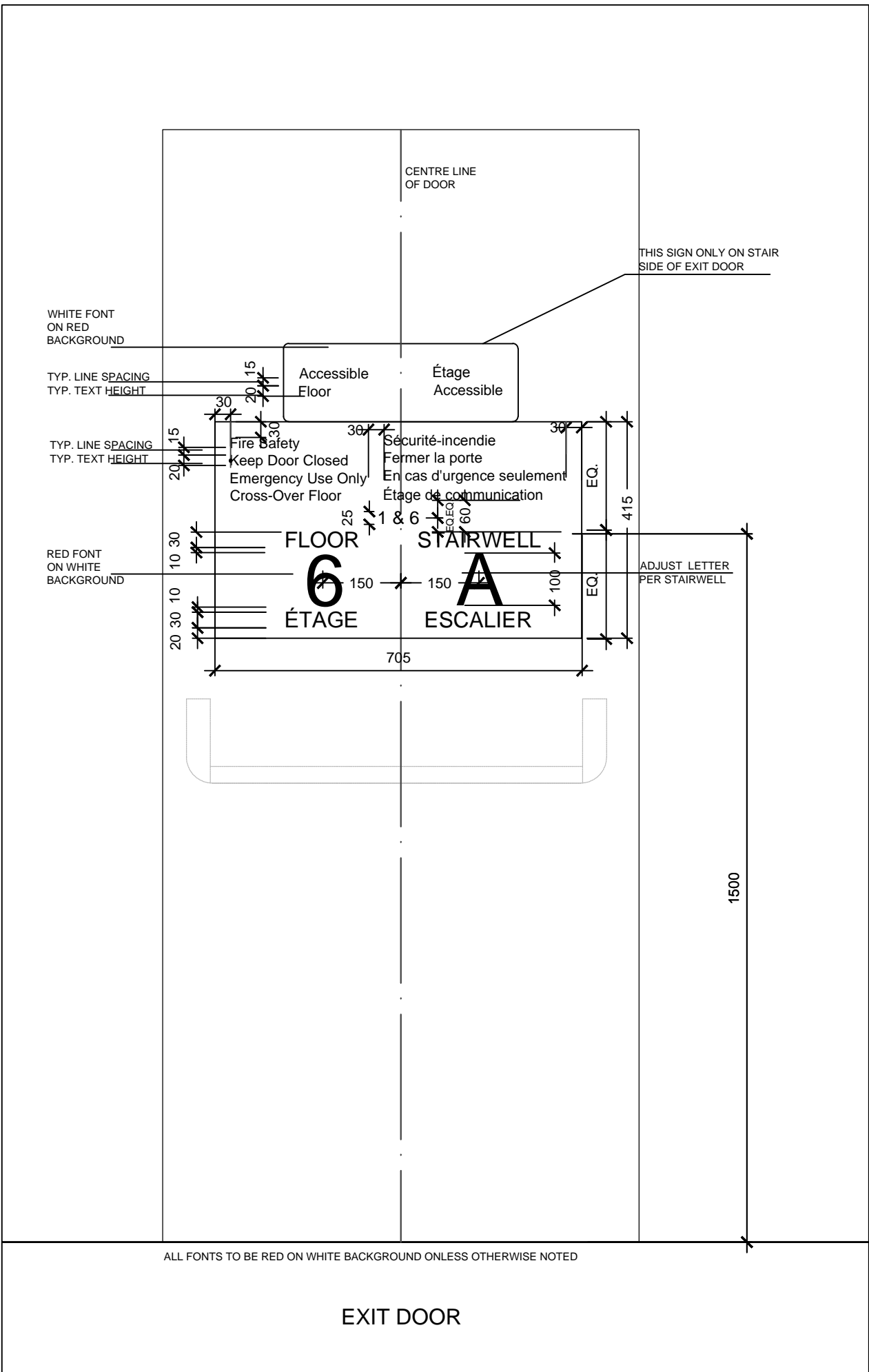
2016-09-02

project no.
no. du projet

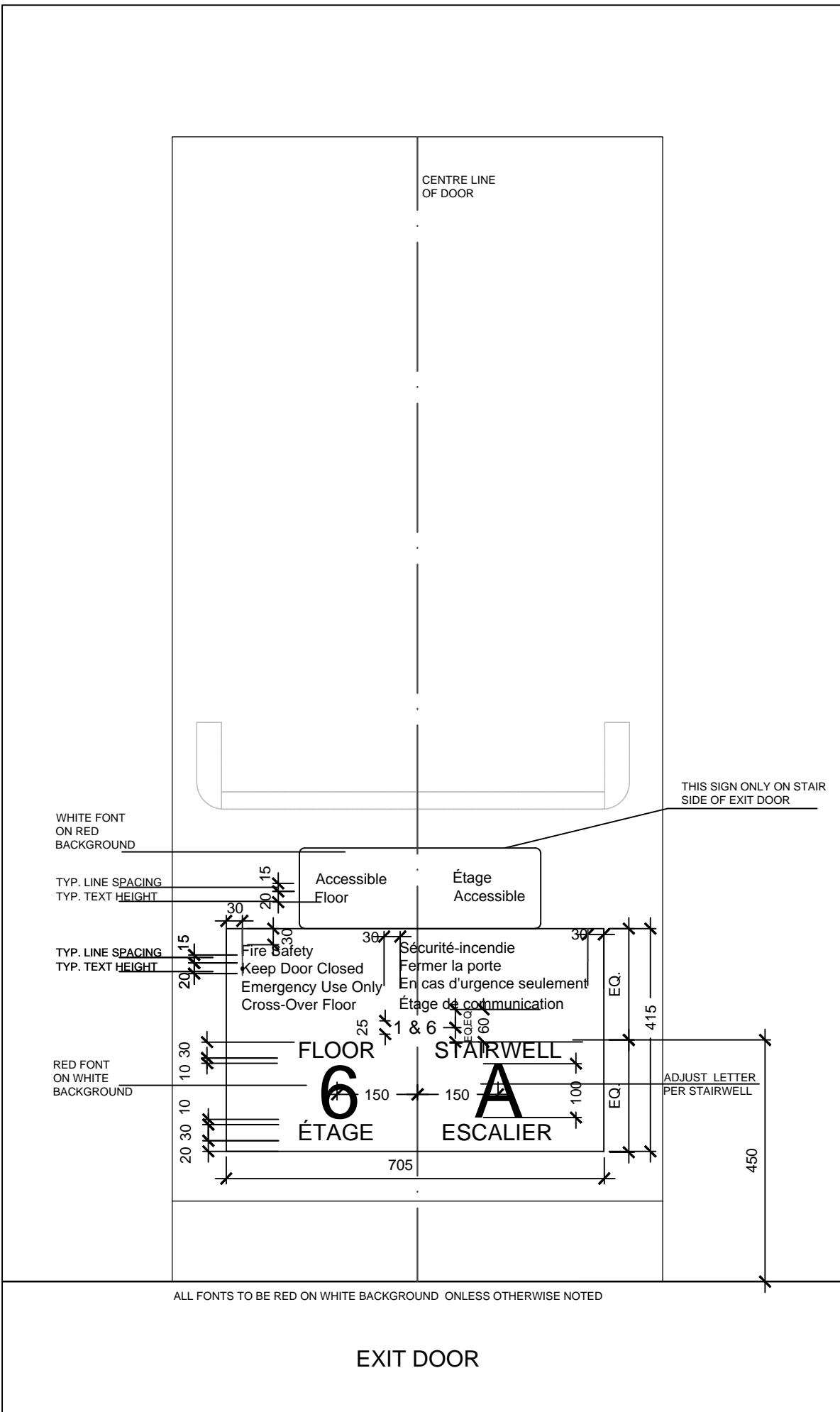
R.079143.042

drawing no.
dessiné no.

A0.006



2 SCENARIO 1 - SIGN ON DOOR
A0.006 SCALE: 1:10



3 SCENARIO 2 - SIGN ON WALL
A0.006 SCALE: 1:10

GENERAL NOTE:

THIS DRAWING IS FOR SIGNAGE ONLY. FOR DOOR SCHEDULE REFER TO EAST-A0.02 AND WEST-A0.02

INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

SCENARIO 1: EXISTING DOOR IS SOLID.
INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

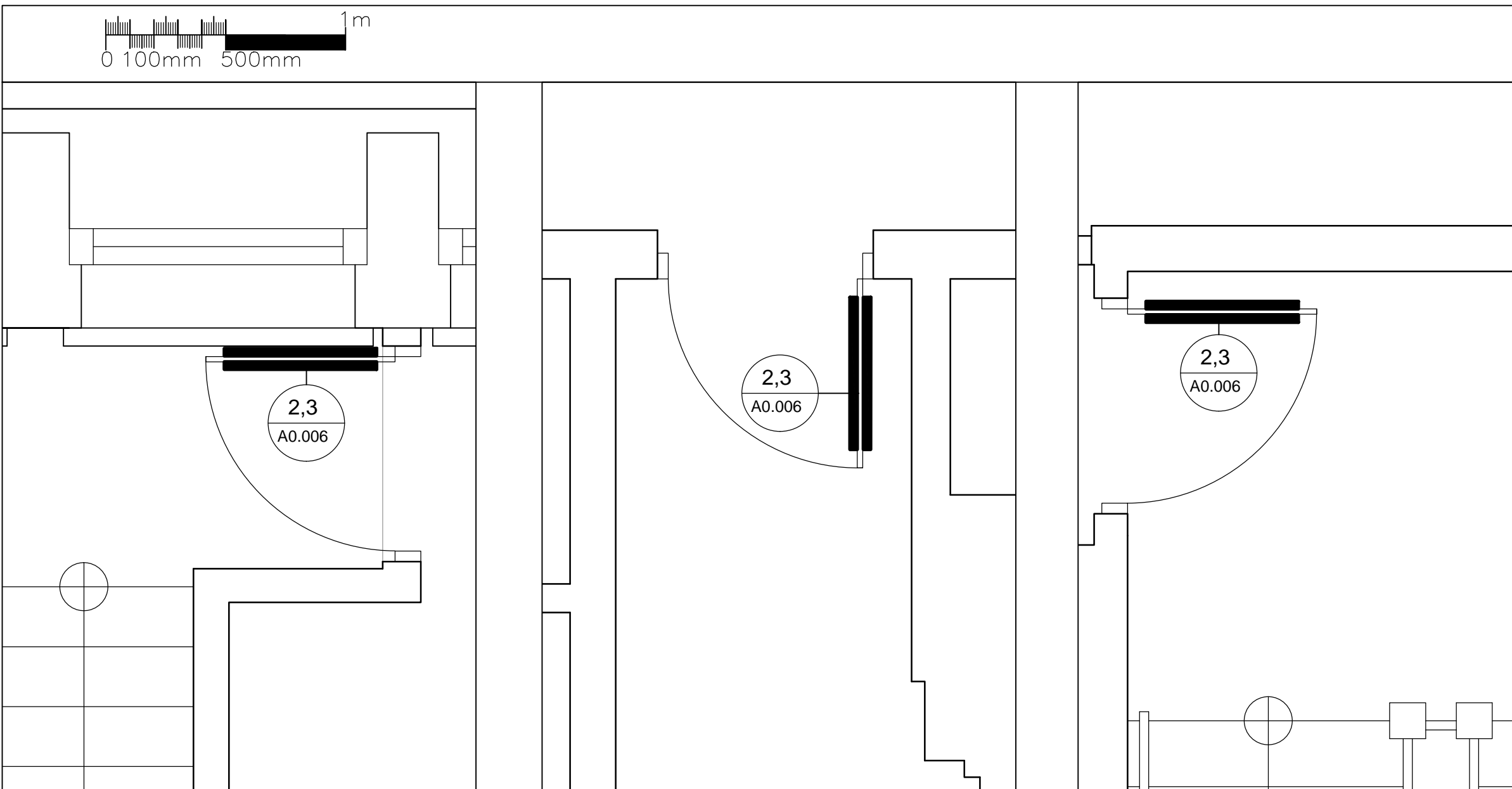
SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION
INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

USE SCENARIO 2 ONLY IF NECESSARY, SCENARIO 1 IS PREFERRED

FOR ALL THE COLORS INDICATED ON THE DRAWINGS:

THE NUMBERS BELOW REFER TO COLORS INCLUDED IN A U.S. GOVERNMENT PUBLICATION ENTITLED FEDERAL STANDARD NO. 595B, COLORS USED IN GOVERNMENT PROCUREMENT.

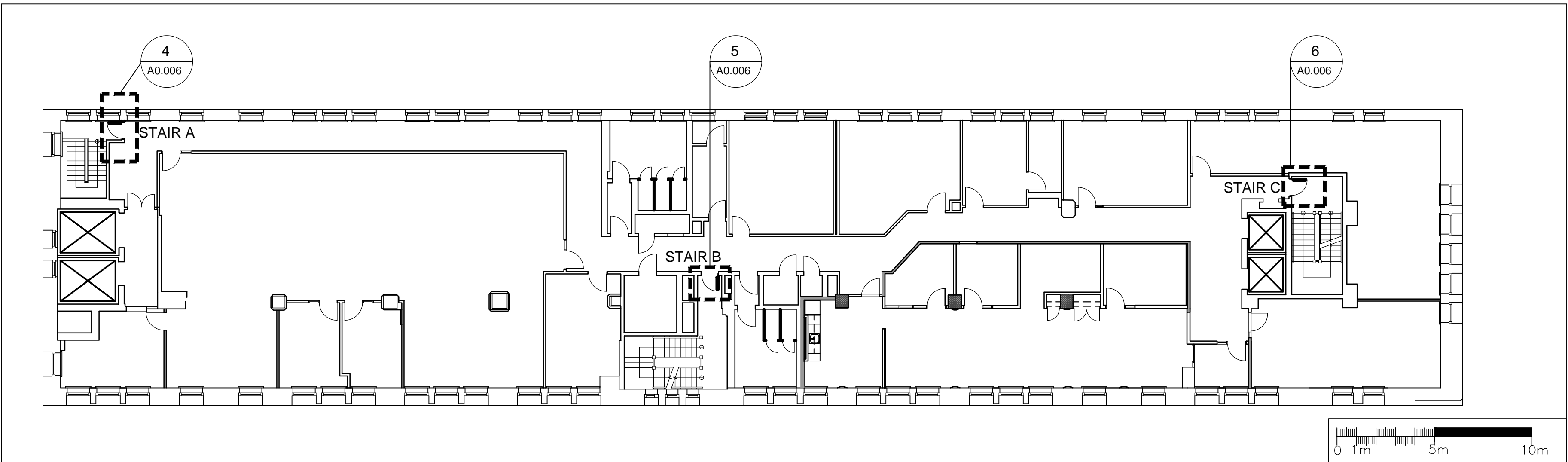
RED: 11120
GREEN: 14120
BLUE 15092



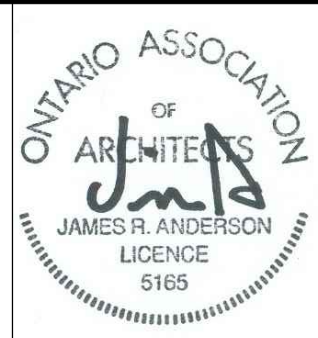
4 STAIR WELL A
A0.006 SCALE: 1:20

5 STAIR WELL B
A0.006 SCALE: 1:20

6 STAIR WELL C
A0.006 SCALE: 1:20



1 FLOOR PLAN, LEVEL 6
A0.006 SCALE: 1:150



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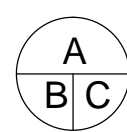
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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

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No. du detail
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dessin no. - ou detail exige
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project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

**EAST PHASE
LOCATION PLAN, LEVEL 6**

drawn by
dessiné par AV

designed by
conçue par AV

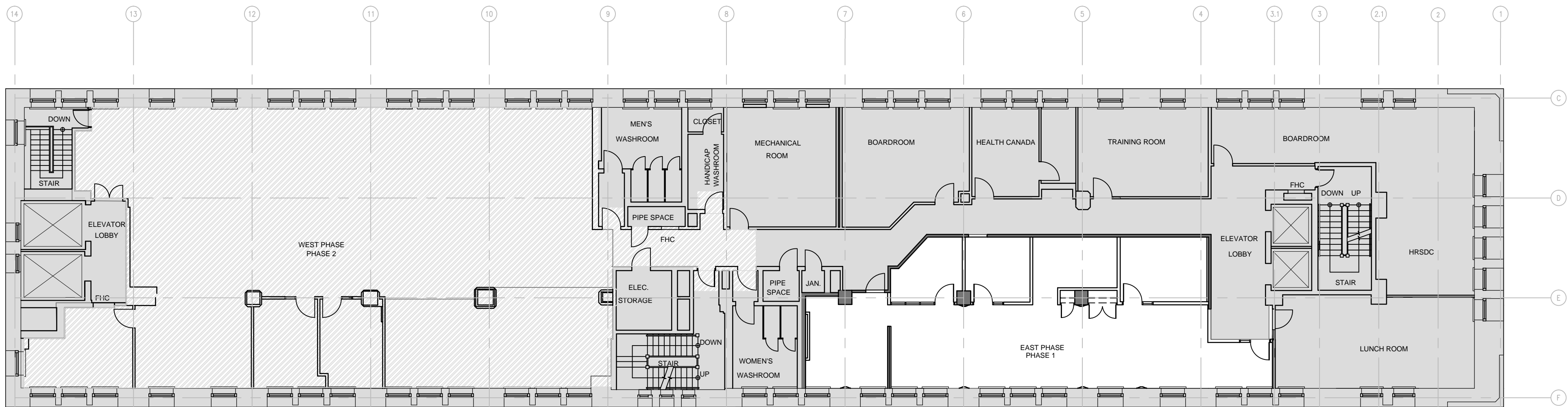
approved by
approuvée par RN

bid
offre DA project manager
administrateur
de projets

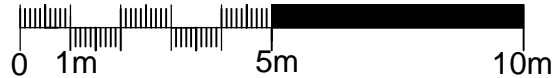
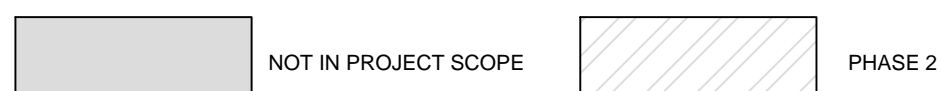
project date
date du projet 2016-09-02

project no.
no. du projet R.079143.042

drawing no.
dessiné no. EAST-A0.00



LOCATION PLAN LEGEND



1 EAST PHASE LOCATION PLAN, LEVEL 6
A0.00 SCALE: 1:150

RENOVATIONS FOR:

DOMINION PUBLIC BUILDING

PWGSC

457 RICHMOND ST,
LONDON, ON N6A3E3

PWGSC PROJECT # R.079143.042

| | | | | | | | | | | |
|------------------|--|---|-------------------------------|---|-----------------------------------|-----------------------|---|--|---|------------------------|
| Item/ Article | BUILDING CODE DATA MATRIX | | | | | | | NBC 2015 | OBC 2012 | |
| 1 | Project Description & Civic Address: PUBLIC DOMINION BUILDING- PWGSC - OFFICE RENOVATIONS 457 RICHMOND ST, LONDON, ON | | | | | | <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Change in Use | Part 3 NBC A1.1.2 | Part 3 NBC A1.1.2 | |
| 2 | Major occupancies: EXISTING | | | | | | | B 3.1.2.1.(1) | B 3.1.2.1.(1) | |
| 3 | Building Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED | | | | | | | A1.4.1.2 | A1.4.1.2 | |
| 4 | Gross Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED | | | | | | | | | |
| 5 | Number of Storeys: EXISTING | | | Above Grade: EXISTING | | Below Grade: EXISTING | | A1.4.1.2 B 3.2.1.1 | A 1.3.3.3 A 1.4.1.2 B 3.2.1.1 | |
| 6 | Height of Building(m): EXISTING / UNCHANGED | | | | | | | | | |
| 7 | Number of Streets, Access Routes: EXISTING - UNCHANGED | | | | | | | B 3.2.2.10 B 3.2.5.5 | B 3.2.2.10 B 3.2.5.5 | |
| 8 | Building Classification: EXISTING - UNCHANGED, REFER TO FLOOR PLAN | | | | | | | B 3.2.2.20-88 | B 9.10.2 | |
| 9 | Existing Building: <input checked="" type="checkbox"/> Sprinklered <input type="checkbox"/> Not Sprinklered EXISTING | | | | | | | | | |
| 10 | Sprinkler System Proposed/ Reseau D'extincteurs propose <input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Phased/ Installation <input type="checkbox"/> Non Required EXISTING - UNCHANGED | | | | | | | B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18 | B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18 | |
| 11 | Standpipe Required: <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED | | | | | | | B 3.2.5.8 | B 3.2.9 | |
| 12 | Fire Alarm Required: <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED | | | | | | | B 3.2.4 | B 3.2.4 | |
| 13 | Water Service, Adequate Supply/ <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED | | | | | | | B 3.2.5.7 | B 3.2.5.7 | |
| 14 | High Building <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED | | | | | | | B 3.2.6 | B 3.2.6 | |
| 15 | Authorized Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both | | | | | | | B 3.2.2.20-88 | B 3.2.2.20-88 | |
| 16 | Mezzanine(s) (m2) EXISTING - UNCHANGED | | | | | | | B 3.2.1.1 | B 3.2.1.1 | |
| 17 | Total Occupant Load Based on 15 (9.3 m2 per person) <input checked="" type="checkbox"/> m2 Per Person <input type="checkbox"/> Design of Building EXISTING - UNCHANGED | | | | | | | B 3.1.17 | B 3.1.17 | |
| 18 | Barrier-free Design <input checked="" type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non OWNER REQUEST | | | | | | | B 3.8 | B 3.8 | |
| 19 | Hazardous Substances <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED | | | | | | | B 3.3.1.2 B 3.3.1.20 | B 3.3.1.2 B 3.3.1.20 | |
| 20 | Required Fire Resistance Rating (FRR/) | Horizontal Assembly FRR/ Floors Hours | (Hours) EXISTING/UNCHANGED | Listed Design No. or Description/ EXISTING/UNCHANGED | | | | B 3.2.2.20-88 B 3.2.1.4 | B 3.2.2.20-88 B 3.2.1.4 | |
| | | Roof Hours | | | | | | | | |
| | | Mezzanine Hours | | | | | | | | |
| | | FRR of Supporting Members | | | Listed Design No. or Description/ | | | | | |
| 21 | Spatial Separation - Construction of Exterior Walls EXISTING - UNCHANGED | | | | | | | B 3.2.3 | B 3.2.3 | |
| | Wali/Murs | Area of EBF (m2) | LD / (m) | L/H or H/L / (m) | Permitted Max. % of Openings / | FRR (hours) | Listed Design or Description | Combustible Constr. / | Combustible Construction Noncombustible Cladding | Non-comb. Constr. / |
| | North | | | | | | | | | |
| | South | | | | | | | | | |
| | East | | | | | | | | | |
| | West | | | | | | | | | |

ABBREVIATION LEGEND

| @ | AT | INSUL | INSULATION |
|--------|------------------------|-------|--------------------------|
| AFF | ABOVE FINISHED FLOOR | HT | HEIGHT |
| APPROX | APPROXIMATE | MAX | MAXIMUM |
| ARCH | ARCHITECTURAL | MIN | MINIMUM |
| AVG | AVERAGE | MISC | MISCELLANEOUS |
| B/O | BOTTOM OF | NA | NON APPLICABLE |
| BLDG | BUILDING | NIC | NOT IN CONTRACT |
| C/C | CENTRE-TO-CENTRE | NO. | NUMBER |
| CJ | CONTROL JOINT | NTS | NOT TO SCALE |
| CL | CENTRE LINE | PT | PAINT |
| CLG | CEILING | QTY | QUANTITY |
| COL | COLUMN | RCP | REFLECTED CEILING PLAN |
| CONC | CONCRETE | RWL | RAIN WATER LEADER |
| CONT | CONTINUOUS | SIM | SIMILAR |
| C/W | COMPLETE WITH | SM | SQUARE METER |
| CR | CARD READER | SPEC | SPECIFICATION |
| DIA | DIAMETER | STC | SOUND TRANSMISSION CLASS |
| DIM | DIMENSION | SS | STAINLESS STEEL |
| DN | DOWN | T/O | TOP OF |
| DWG | DRAWING | TBD | TO BE DETERMINED |
| ELEV | ELEVATION | TYP. | TYPICAL |
| EQ | EQUAL | UNO. | UNLESS NOTED OTHERWISE |
| FRR | FIRE RESISTANCE RATING | U/S | UNDERSIDE |
| GALV | GALVANIZED | W/ | WITH |

SYMBOLS LEGEND

| | | | |
|--|-----------------------------------|--|---|
| | FINISH ELEVATION | | DETAIL TAG WITH CALL OUT |
| | SECTION/ ELEVATION/ | | DIMENSION LINE (MILLIMETERS, UNLESS OTHERWISE NOTED) |
| | DRAWING NUMBER | | ROOM NAME |
| | SHEET NUMBER | | ROOM NUMBER |
| | GRID NUMBER AND GRID LINE | | CEILING HEIGHT |
| | DEMOLITION KEY NOTE REFERENCES | | CEILING TYPE |
| | DESIGN KEY NOTE REFERENCES | | |

DEMOLITION FLOOR PLAN GENERAL NOTES

- MAKE CLEAN CUT OFFS WHERE EXISTING WALLS AND CEILINGS TO REMAIN
- REMOVE EXISTING PARTITIONS AS INDICATED.
- CAP ALL ABANDONED PLUMBING IN WALL, REFER TO MECHANICAL DRAWINGS
- WHERE UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE DEPARTMENTAL REPRESENTATIVE AND SECURE NEEDED DIRECTION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITION ARE CORRECTED ALL EXISTING SHEATHING/ BOARD DAMAGED DURING DEMOLITION ARE TO BE REPLACED WITH NEW; MATERIALS TO MATCH EXISTING
- PROTECT ALL EXISTING FINISHES FROM DAMAGE THROUGHOUT CONSTRUCTION
- RECYCLABLE MATERIAL TO BE SEPARATED AND DISPOSED OF IN SUCH A MANNER SO AS TO DIVERT FROM LANDFILL WHERE POSSIBLE

DEMOLITION RCP GENERAL NOTES

- REFER TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR FULL EXTENT OF FLOOR DEMOLITION
- REMOVE AND DISPOSE ALL CEILING GRID HANGERS FOR CEILINGS SLATED TO BE DEMOLISHED. DO NOT RE-USE EXISTING HANGER RODS

FLOOR PLAN GENERAL NOTES

- SUPPLY AND INSTALLATION OF WORKSTATIONS AND OFFICE FURNITURE IS NOT PART OF THIS CONTRACT. WORKSTATIONS AND FURNITURE SHOWN FOR LOCATION ONLY

RCP GENERAL NOTES

- NEW T-BAR CEILING LAYOUT LOCATE CENTRE OF THE ROOM UNLESS NOTED OTHERWISE ON DRAWING
- ENSURE FIRE ALARM AND SMOKE DETECTORS ARE BYPASSED PRIOR TO SANDING GYPSUM BOARD CEILING

CONSTRUCTION FLOOR PLAN KEY NOTES

- RELOCATED CARD READER AND THERMOSTAT
- NEW KITCHEN MILLWORK WITH NEW SINK AND FAUCET
REFER TO ARCH. DWG. A6.01 FOR DETAIL
- FURNITURE FEED FLOOR BOX, REFER TO ELECTRICAL DRAWINGS
- EXISTING DOOR, FRAME, HARDWARE & CARD READER TO REMAIN
- RELOCATED DOOR AND HARDWARE REFER TO EAST-A1.50

CONSTRUCTION RCP KEY NOTES

- EXISTING CEILING TILE AND GRID TO REMAIN AND PROTECT
- NEW ACT CEILING AND T-BAR GRID TO MATCH EXISTING CEILING
- RELOCATED LED FIXTURE, DISCONNECT LIGHT FIXTURE FROM EXISTING SPACE ON SIXTH FLOOR (NOT SHOWN) AND RELOCATE. COORDINATE DISCONNECTION OF FIXTURE WITH DEPARTMENTAL REPRESENTATIVE.
- EXISTING GWB CEILING TO REMAIN. PAINT WHITE TO MATCH EXISTING
- NEW GWB CEILING. PAINT WHITE TO MATCH EXISTING

DEMOLITION FLOOR PLAN KEY NOTES

- EXISTING DOOR FRAME, DOOR, HARDWARE & CARD READER TO REMAIN;PROTECT DURING CONSTRUCTION.
- EXISTING GYPSUM WALL BOARD PARTITION TO BE REMOVED & DISPOSED
- EXISTING CARPET FLOORING AND TRANSITION STRIPS TO BE REMOVED & DISPOSED
- REPAIR WALLS TO RECEIVE NEW FINISHES
- EXISTING DOOR & FRAME TO BE REMOVED & DISPOSED,WALL OPENING TO BE IN-FILLED, PATCHED AND PAINTED OVER
- EXISTING HERITAGE MOLDING ON WALLS AND COLUMNS TO BE PROTECTED FROM DAMAGE
- RELOCATE EXISTING DOOR AND HARDWARE TO DR602
- RELOCATE EXISTING DOOR AND HARDWARE TO DR603 LOCATION. CONTRACTOR TO PREP. DOOR & FRAME TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
- RELOCATE EXISTING DOOR AND HARDWARE TO DR605
- RELOCATE EXISTING DOOR AND HARDWARE, CARD READER & LOW VOLTAGE WIRING TO DR601 LOCATION. CONTRACTOR TO PREP. DOOR TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
- RELOCATE EXISTING CARD READER AND THERMOSTAT AS INDICATED ON EAST-A2.01

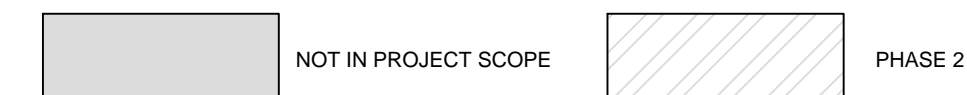
DEMOLITION RCP KEY NOTES

- EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED.
REFER TO MECHANICAL DRAWINGS
- EXISTING CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATED MECHANICAL DIFFUSERS
- EXISTING DIFFUSER TO REMAIN
- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LIGHT FIXTURE TO BE REMOVED & DISPOSED
- EXISTING LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE RELOCATED
- EXISTING CEILING GRIDS, TEES AND ACOUSTICAL PANELS TO BE REMOVED AND DISPOSED

GENERAL CONSTRUCTION NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION. DO NOT PROCEED WITHOUT CLARIFICATION IN SUCH CIRCUMSTANCES.
- BE RESPONSIBLE FOR FIELD MEASUREMENTS AND DIMENSIONS, REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION
- NEW PARTITIONS TO BE FIXED DIRECTLY TO CLEAN CONCRETE SLAB. PARTITIONS TO BE TAPED, SANDED SMOOTH AND MADE READY TO RECEIVE FINISHES. ALL GYPSUM TO BE PAINTED UNLESS NOTED OTHERWISE
- ENSURE SUFFICIENT BLOCKING IS PROVIDED IN AREAS REQUIRING SUPPORT OF THE PARTITION OR CEILING FOR MOUNTED EQUIPMENT OR MATERIALS
- ENSURE FLOOR IS LEVEL PRIOR TO CONSTRUCTION OF PARTITIONS. PROVIDE SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 6mm PER 3300mm LENGTHS IN AREAS WHERE FILING CABINETS OR SHELVING UNITS ARE TO BE LOCATED
- REPAIR DAMAGE TO EXISTING FIRE SEPARATION WITHIN THE AREA SCOPE OF WORK TO PROVIDE REQUIRED SEPARATION
- ENSURE ACOUSTICAL CAULKING IS PROVIDED AT PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR SLAB AND UNDERSIDE OF STRUCTURE
- ALL MATERIALS USED SHALL BE NEW UNLESS OTHERWISE NOTED
- LOCATIONS WHERE BASE BUILDING PARTITIONS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES, BE RESPONSIBLE FOR FURRING, CUTTING, PATCHING AND FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK
- ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED WITH APPROVED MATERIAL OR SYSTEM
- REUSE EXISTING MATERIALS WHERE PRACTICAL, I.E. LIGHT FIXTURES, SUPPLY AIR DIFFUSERS, RETURN AIR GRILLES, DOORS, FRAMES AND HARDWARE, ETC.
- PATCH AND REPAIR EXISTING GYPSUM WALL BOARD CEILING WHERE EXISTING WALLS ARE BEING REMOVED

LOCATION PLAN LEGEND



WALL FINISHES SCHEDULE

- | | | |
|------|------------------------------|--|
| P-1 | PAINT 1: BASIS OF DESIGN: | GENERAL WALLS SHERWIN WILLIAMS-WESTHIGHLAND WHITE-SW 7566 |
| P-2 | PAINT 2: BASIS OF DESIGN: | COLUMN COLOUR SHERWIN WILLIAMS-GRAY MATTERS -SW 7066 |
| P-3 | PAINT 3: BASIS OF DESIGN: | DOOR FRAME COLOUR SHERWIN WILLIAMS-CYBERSPACE-SW 7076 |
| P-4 | PAINT 4: BASIS OF DESIGN: | ACCENT SHERWIN WILLIAMS-HUMROUS GREEN-SW 6918 |
| CT-1 | TILE 1 : | KITCHEN BACK-SPLASH BASIS OF DESIGN: WHITE SUBWAY TILE 150 X 150 mm |

WALL BASE FINISHES SCHEDULE

- | | |
|-----|--|
| B-1 | WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE T44 GATEWAY WG |
| B-2 | WALL BASE -100 mm CARPET BASE TO MATCH EXISTING |
| B-3 | WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE 23 VAPOR GREY CG |

MILLWORK FINISHES SCHEDULE

- | | |
|------|--|
| PL-1 | COUNTER TOP - BASIS OF DESIGN: NEVAMAR AMORED PROTECTION STORM GRAY MATRIX MR6004T TEXTURED |
| PL-2 | WHITE PLASTIC LAMINATE FOR INTERIOR SURFACES |
| PL-3 | PLASTIC LAMINATE FOR EXTERIOR SURFACES BASIS OF DESIGN: NEVAMAR AMORED PROTECTION WINTER GRAY MATRIX MR6005T TEXTURED |

FLOOR FINISHES SCHEDULE

- | | |
|-------|---|
| CPT-1 | CARPET TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: INTERFACE AE312, AERIAL 104511 SMOKE/ACCENT |
| PCT-1 | POLYESTER COMPOSITE TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: ARMSTRONG T3602 STEEL |

NOTE: USE METAL TRANSITION WHEN FLOORING CHANGE.
BASIS OF DESIGN: SCHLUTER SCHIENE BRUSHED STAINLESS STEEL

CEILING SCHEDULE

- | | |
|--|---|
| | EXISTING HERITAGE ACOUSTIC TILE CEILING |
| | NEW ACOUSTIC TILE CEILING COMPLETE WITH SUSPENSION SYSTEM SIZE: 610 X 610MM |
| | EXISTING GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING |
| | NEW GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING |

INTERIOR PARTITION SCHEDULE

- | | |
|--|--|
| | 15.9 mm GYPSUM BOARD 12 mm PLYWOOD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION 15.9 mm TYPE X GYPSUM BOARD FROM FLOOR SLAB TO U/S OF STRUCTURE |
| | 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION FROM FLOOR SLAB TO U/S OF STRUCTURE 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING C/W INSULATION & PLENUM BARRIER REFER TO EAST-A3.01 FOR DETAILS |
| | ADD FOLLOWING LAYERS TO EXISTING WALL RESILIENT CHANNEL 92mm STEEL STUDS @ 400 O.C. 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING C/W INSULATION & PLENUM BARRIER REFER TO EAST-A3.01 FOR DETAILS |
| | 15.9 mm GYPSUM BOARD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING |
| | 15.9 mm GYPSUM BOARD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING |

NOTE:
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITION FROM FINISHED FLOOR TO UNDERSIDE OF STRUCTURAL SLAB
2. PROVIDE 19mm PLYWOOD SHEATHING OR BLOCKING IN WALL AT LOCATIONS WHERE CASEWORK IS TO BE INSTALLED, CO-ORDINATE WITH CASEWORK TRADE
3. ALL STEEL STUDS TO BE 18 GAUGE

PLAN LEGEND

- | | |
|--|--|
| | INDICATES NEW PARTITION |
| | INDICATES EXISTING PARTITION TO REMAIN |
| | NEW DOOR NUMBER |

REFLECTED CEILING PLAN LEGEND

- | | |
|--|---|
| | 1220 X 610mm LED LIGHTING FIXTURE (REFER TO ELECTRICAL DRAWINGS) |
| | EXISTING SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS) |
| | NEW SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS) |
| | RETURN AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS) |
| | SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS) |
| | SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS) |
| | NEW POT LIGHT (REFER TO ELECTRICAL DRAWINGS) |
| | CEILING HEIGHT |
| | CEILING TYPE |

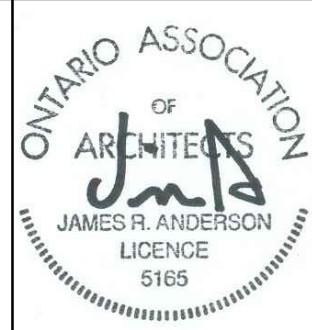
DEMOLITION FLOOR PLAN LEGEND

- | | |
|--|--|
| | EXISTING DOOR, DOOR FRAME AND HARDWARE TO BE REMOVED & DISPOSED REFER TO DOOR SCHEDULE |
| | EXISTING GLAZING SYSTEM TO BE REMOVED & DISPOSED |
| | EXISTING WALL PARTITIONS TO BE REMOVED & DISPOSED |
| | EXISTING WALL TO REMAIN |

DEMOLITION REFLECTED CEILING PLAN LEGEND

- | | |
|--|--|
| | EXISTING 1220 X 305mm LIGHTING FIXTURE TO BE REMOVED & DISPOSED (REFER TO ELECTRICAL DRAWINGS) |
| | EXISTING ACOUSTIC CEILING TO BE REMOVED & DISPOSED |
| | EXISTING POT LIGHT TO BE DISMOUNTED & PROTECTED TO BE RELOCATED (REFER TO ELECTRICAL DRAWINGS) |
| | RETURN AIR DIFFUSER TO BE REMOVED & DISPOSED (REFER TO MECHANICAL DRAWINGS) |
| | SUPPLY AIR DIFFUSER TO BE REMOVED & DISPOSED (REFER TO MECHANICAL DRAWINGS) |

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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

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titre du projet

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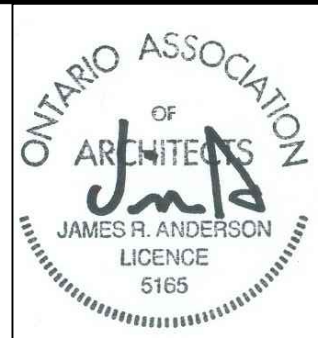
457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

LEGENDS AND SCHEDULES

drawn by
dessine par AVdesigned by
conc par AV



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titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

DOOR SCHEDULES

drawn by
dessine par

AV

designed by
conc par

AV

approved by
approuve par

RN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

2016-09-02

project no.
no. du projet

R.079143.042

drawing no.
dessine no.

EAST-A0.02

DOOR SCHEDULE:

| DOOR NUMBER | DESCRIPTION | | DIMENSIONS W x H x D | DOOR | | | | | | HARDWARE | | | | | FRAME | | | | GENERAL | |
|-------------------|-------------|---------------------------|-------------------------|-----------|------|----------|--------|-------|-------------------------|-----------------|--------------------------|-------------|--------------------|-------------|-----------|------|----------|--------|-------------|-------------------------|
| | ROOM NUMBER | LOCATION | | CONDITION | TYPE | MATERIAL | FINISH | GLASS | FILM FINISH ON GLASS | CONTACT SENSORS | HIGH SECURITY KEY WAY | DOOR CLOSER | MORTISE LOCKSET | CARD READER | CONDITION | TYPE | MATERIAL | FINISH | FIRE RATING | COMMENTS |
| R&D WING BUILDING | | | | | | | | | | | | | | | | | | | | |
| DR601 | R601 | ENTRY | 914 X 2134 X 50 | EX | D1 | SCW | ST | TG | GF1 | EX | EX | EX | EX | EX | N | F1 | HM | PT | - | RELOCATED EXISTING DOOR |
| DR602 | R602 | UNDESIGNATED | 914 X 2134 X 50 | EX | D1 | SCW | ST | TG | GF1 | - | - | - | N | - | N | F3 | HM | PT | - | RELOCATED EXISTING DOOR |
| DR603 | R603 | OFFICE | 914 X 2134 X 50 | EX | D1 | SCW | ST | TG | GF1 | N | N | N | N | N | N | F1 | HM | PT | - | RELOCATED EXISTING DOOR |
| DR605 | R605 | MEETING RM | 914 X 2134 X 50 | EX | D1 | SCW | ST | TG | GF1 | N | N | N | N | - | N | F1 | HM | PT | - | RELOCATED EXISTING DOOR |
| DR606 | R606 | KITCHENETTE/COLLABORATION | 914 X 2134 X 50 | EX | D1 | SCW | ST | - | | EX | - | EX | EX | EX | EX | F2 | HM | PT | - | EXISTING DOOR |
| DR607 | R607 | Closet | 1320 X 2134 X 50 | N | D3 | SCW | ST | - | | - | - | - | - | - | N | F5 | HM | PT | - | NEW CLOSET DOOR |
| DR608 | R607 | Closet | 610 X 2134 X50 | N | D2 | SCW | ST | - | | - | - | - | - | - | N | F4 | HM | PT | - | NEW CLOSET DOOR |

AL ALUMINUM N NEW
ANO ANODIZED RE RENOV/ATE
HM HOLLOW METAL EX EXISTING
PT PAINTED ST STAIN
TG TEMPERED GLASS
SCW SOLID CORE WOOD
CR CARD READER

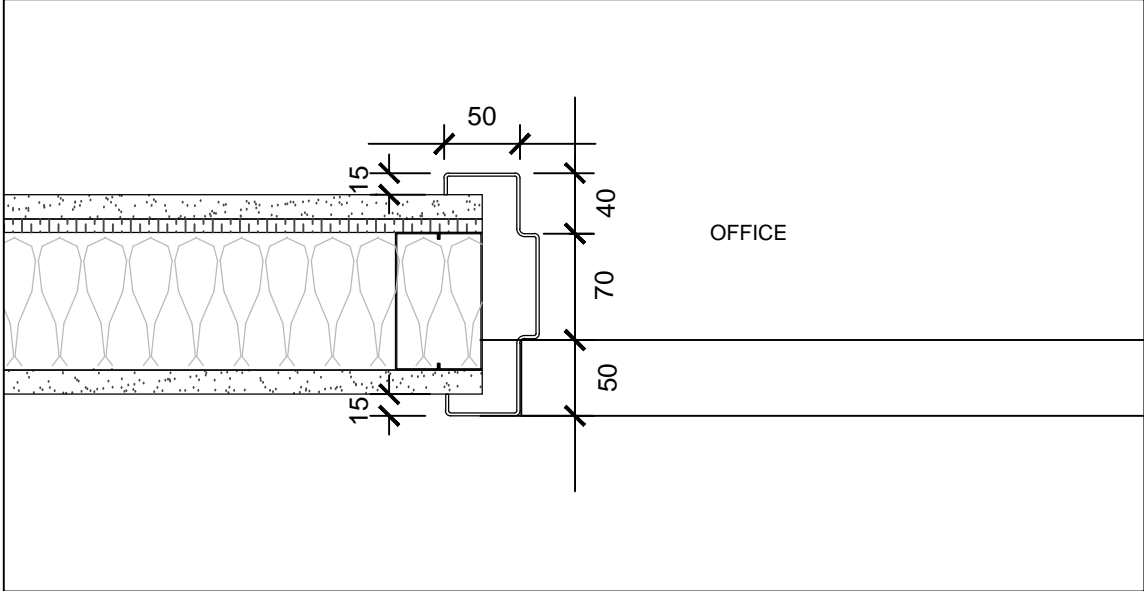
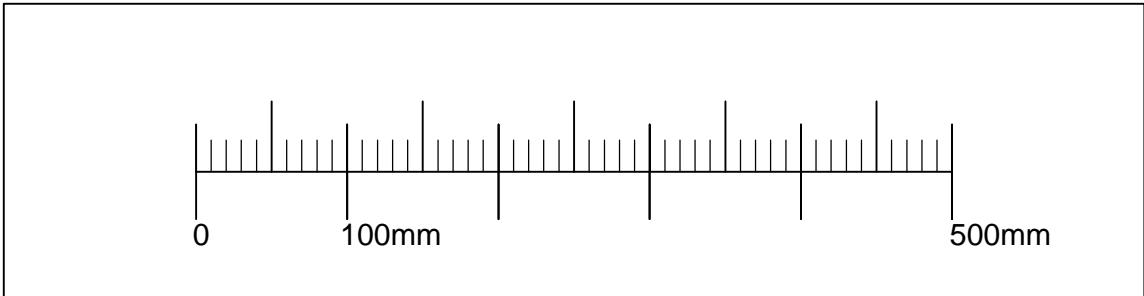
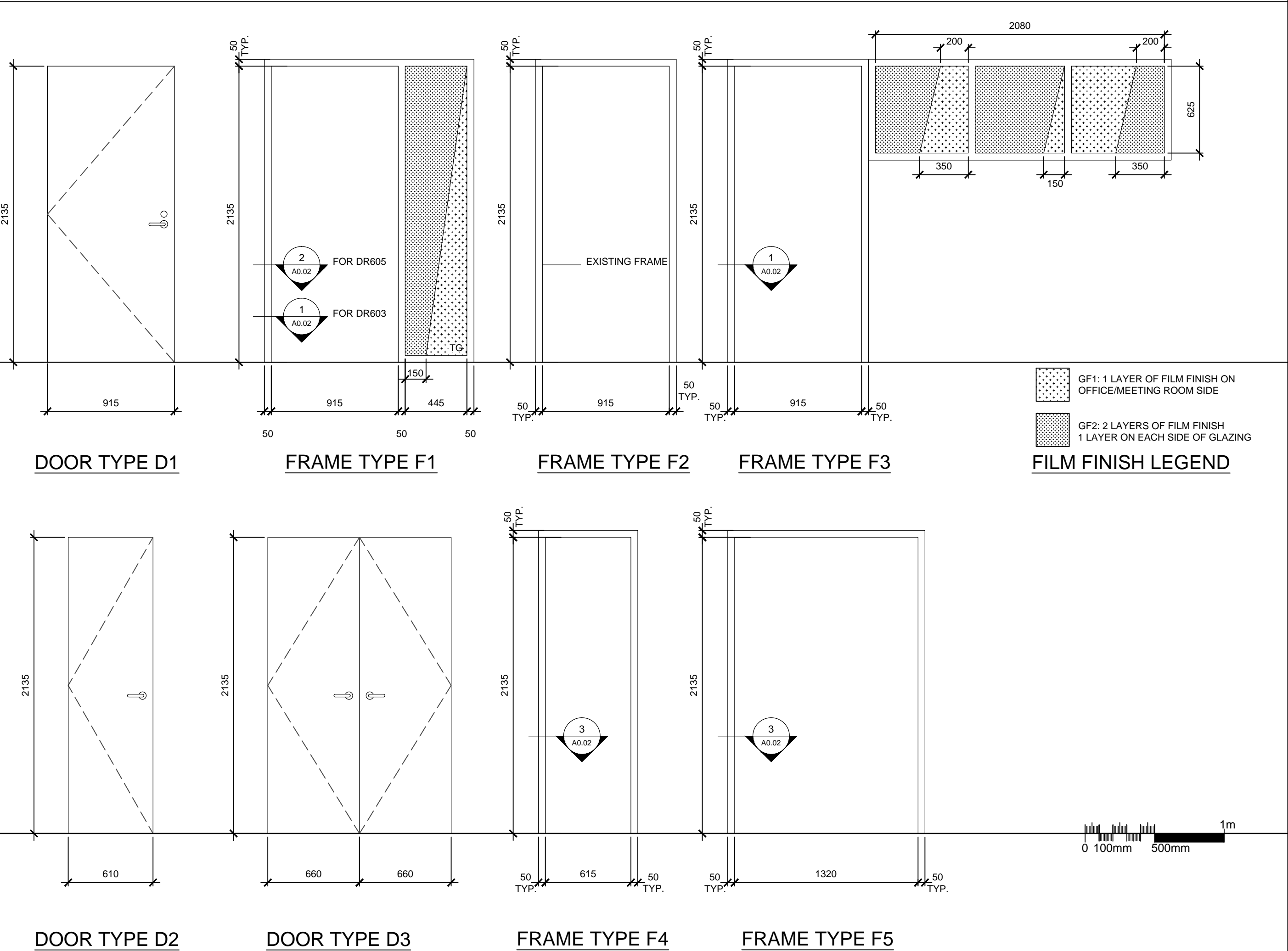
GENERAL NOTE:
1. REFER TO SPECIFICATIONS FOR HARDWARE AND PREPARATION REQUIREMENTS OF ALL WOOD DOORS (HISTORIC DOORS)
2. PAINT ALL FRAMES WITH P-4 (REFER TO EAST-A0.01 FOR DESCRIPTION)
3. ALL SIDELIGHTS TO BE SINGLE GLAZED AND TEMPERED GLASS. APPLY FILM ON BOTH SIDES AS INDICATED ON THE ELEVATIONS IN THIS DRAWING

GLAZING LEGEND

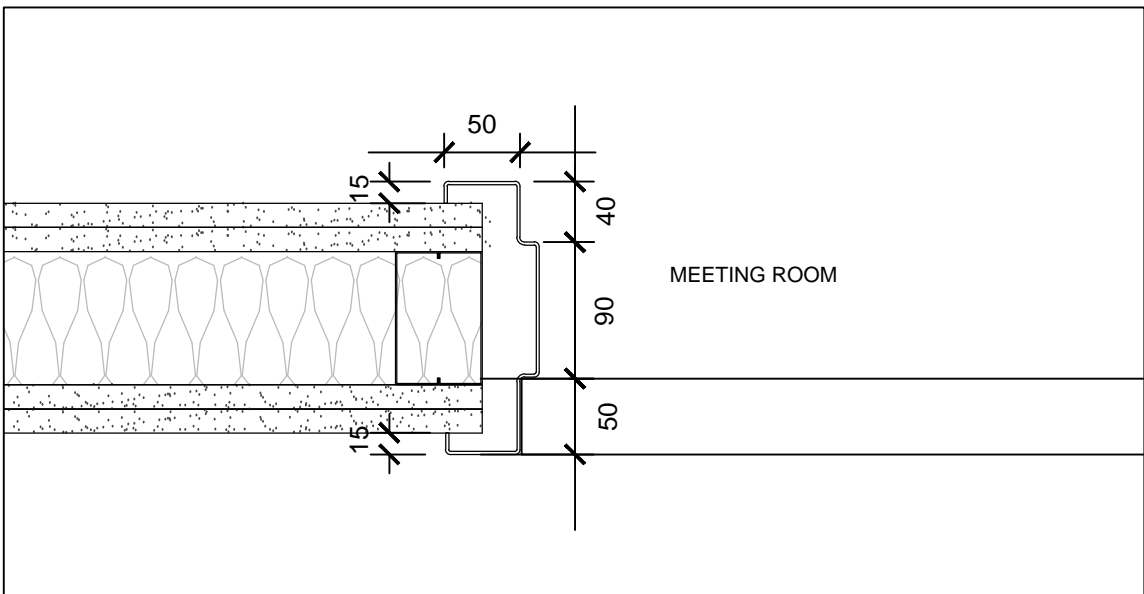
GF1 1 LAYER OF:
PRIVACY FILM - SINGLE LAYER POLYESTER, TRANSLUCENT, MAT FROSTED PATTERN FILM WITH PRESSURE SENSITIVE, ULTRAVIOLET RESISTANT ADHESIVE AND SCRATCH RESISTANT COATING

GF2 2 LAYERS OF:
PRIVACY FILM - SINGLE LAYER POLYESTER, TRANSLUCENT, MAT FROSTED PATTERN FILM WITH PRESSURE SENSITIVE, ULTRAVIOLET RESISTANT ADHESIVE AND SCRATCH RESISTANT COATING

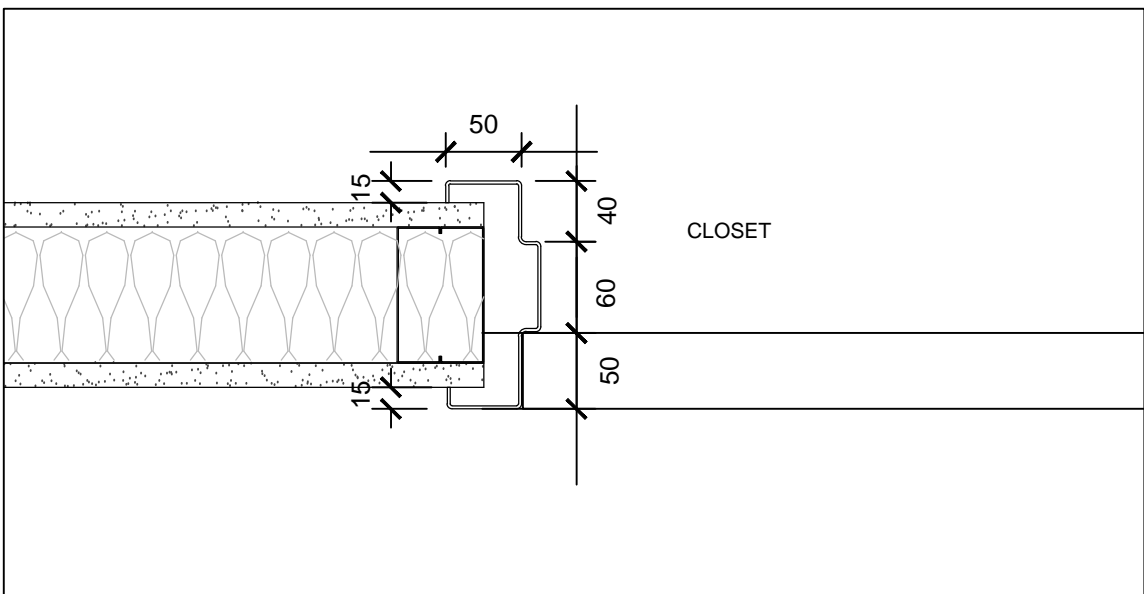
DOOR AND DOOR FRAME ELEVATIONS



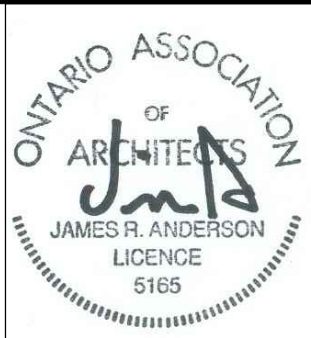
1 HM DOOR JAMB/HEADER DETAIL
A0.02 SCALE: 1:5



2 HM DOOR JAMB/HEADER DETAIL
A0.02 SCALE: 1:5



3 HM DOOR JAMB/HEADER DETAIL
A0.02 SCALE: 1:5



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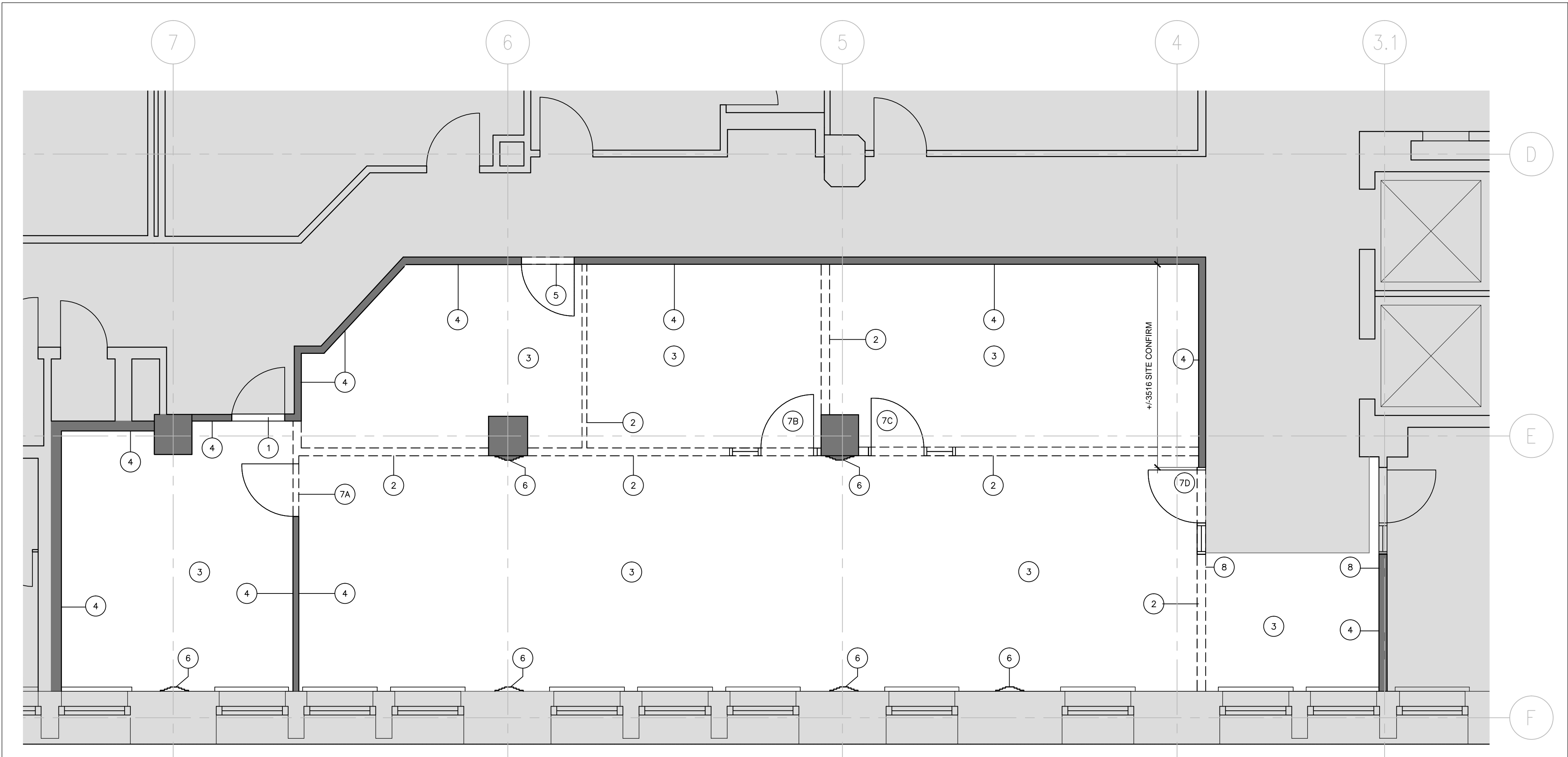
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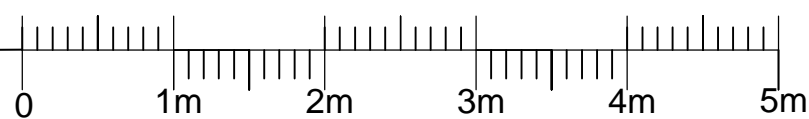
DEMOLITION FLOOR PLAN KEY NOTES

- 1 EXISTING DOOR FRAME, DOOR, HARDWARE & CARD READER TO REMAIN-PROTECT DURING CONSTRUCTION.
- 2 EXISTING GYPSUM WALL BOARD PARTITION TO BE REMOVED & DISPOSED
- 3 EXISTING CARPET FLOORING AND TRANSITION STRIPS TO BE REMOVED & DISPOSED
- 4 REPAIR WALLS TO RECEIVE NEW FINISHES
- 5 EXISTING DOOR & FRAME TO BE REMOVED & DISPOSED, WALL OPENING TO BE IN-FILLED, PATCHED AND PAINTED OVER
- 6 EXISTING HERITAGE MOLDING ON WALLS AND COLUMNS TO BE PROTECTED FROM DAMAGE
- 7A RELOCATE EXISTING DOOR AND HARDWARE TO DR602
- 7B RELOCATE EXISTING DOOR AND HARDWARE TO DR603 LOCATION. CONTRACTOR TO PREP. DOOR & FRAME TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
- 7C RELOCATE EXISTING DOOR AND HARDWARE TO DR605
- 7D RELOCATE EXISTING DOOR AND HARDWARE, CARD READER & LOW VOLTAGE WIRING TO DR601 LOCATION. CONTRACTOR TO PREP. DOOR TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
- 8 RELOCATE EXISTING CARD READER AND THERMOSTAT AS INDICATED ON EAST-A2.01



1 DEMOLITION PLAN

SCALE: 1:50



- A Detail No.
No. du detail
- B drawing no. - where detail required
dessin no. - ou detail exige
- C drawing no. - where detailed
dessin no. - ou detaillé

project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

DEMOLITION PLAN

drawn by
dessiné par AV

designed by
conc par AV

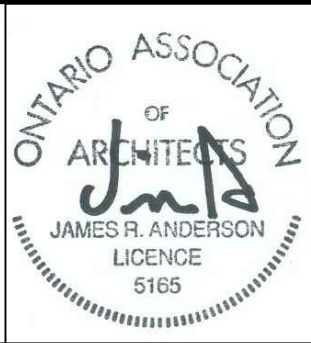
approved by
approuvé par RN

bid
offre DA project manager
administrateur de projets

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date du projet 2016-09-02

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no. du projet R.079143.042

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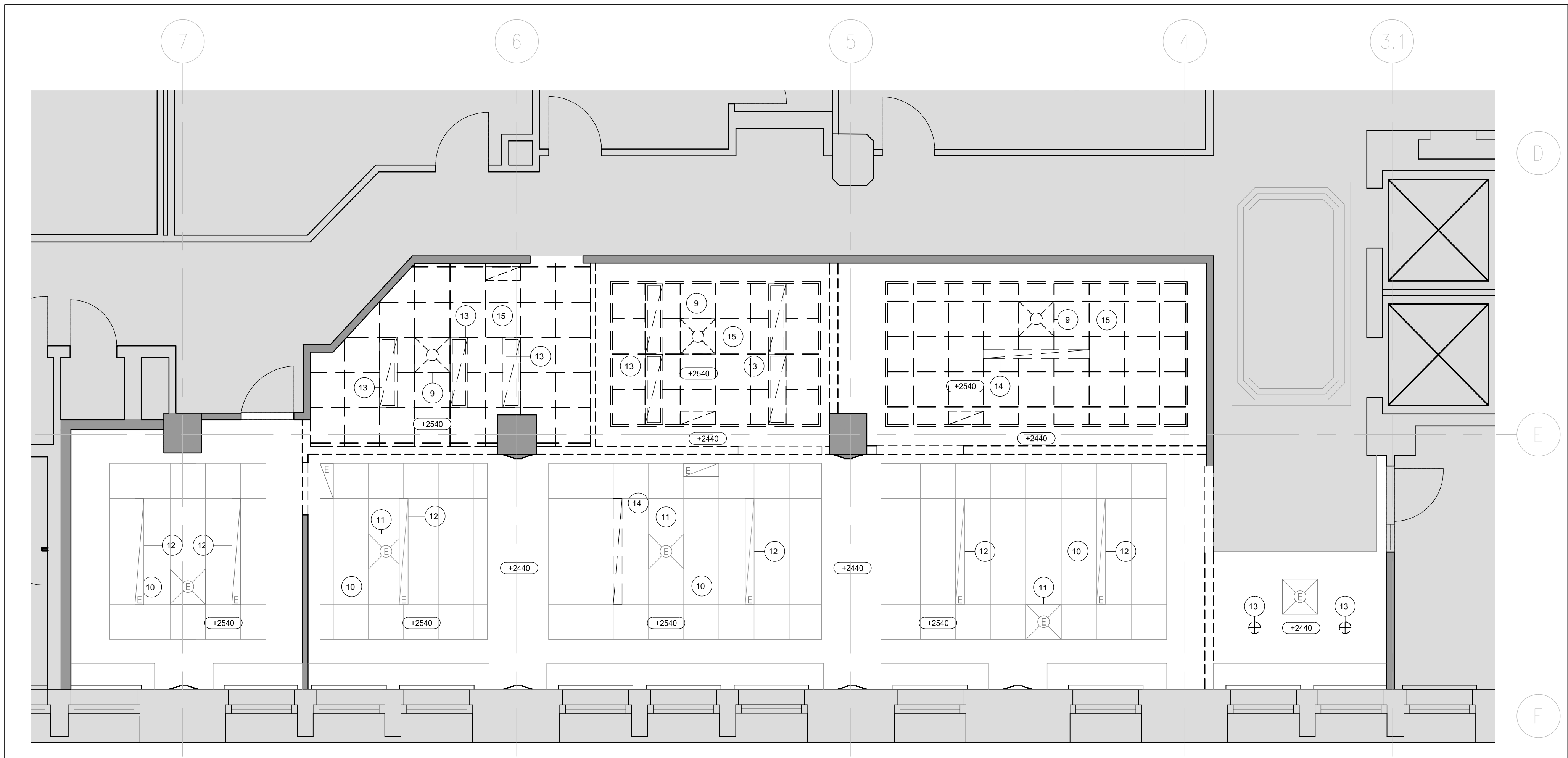
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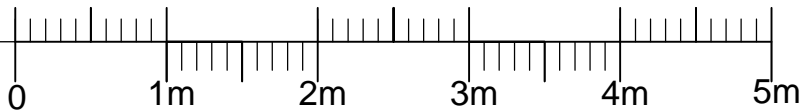
DEMOLITION RCP KEY NOTES

- 9 EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- 10 EXISTING CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION. MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- 11 EXISTING DIFFUSER TO REMAIN
- 12 EXISTING LIGHT FIXTURES TO REMAIN
- 13 EXISTING LIGHT FIXTURE TO BE REMOVED & DISPOSED
- 14 EXISTING LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE RELOCATED
- 15 EXISTING CEILING GRIDS, TEES AND ACOUSTICAL PANELS TO BE REMOVED AND DISPOSED



1 DEMOLITION REFLECTED CEILING PLAN

A1.51 SCALE: 1:50



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DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

DEMOLITION
REFLECTED CEILING PLAN

drawn by
dessiné par AV

designed by
conçu par AV

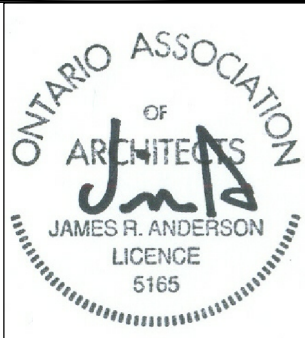
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approuvé par RN

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offre DA project manager
administrateur de projets

project date
date du projet 2016-09-02

project no.
no. du projet R.079143.042

drawing no.
dessiné no. EAST-A1.51

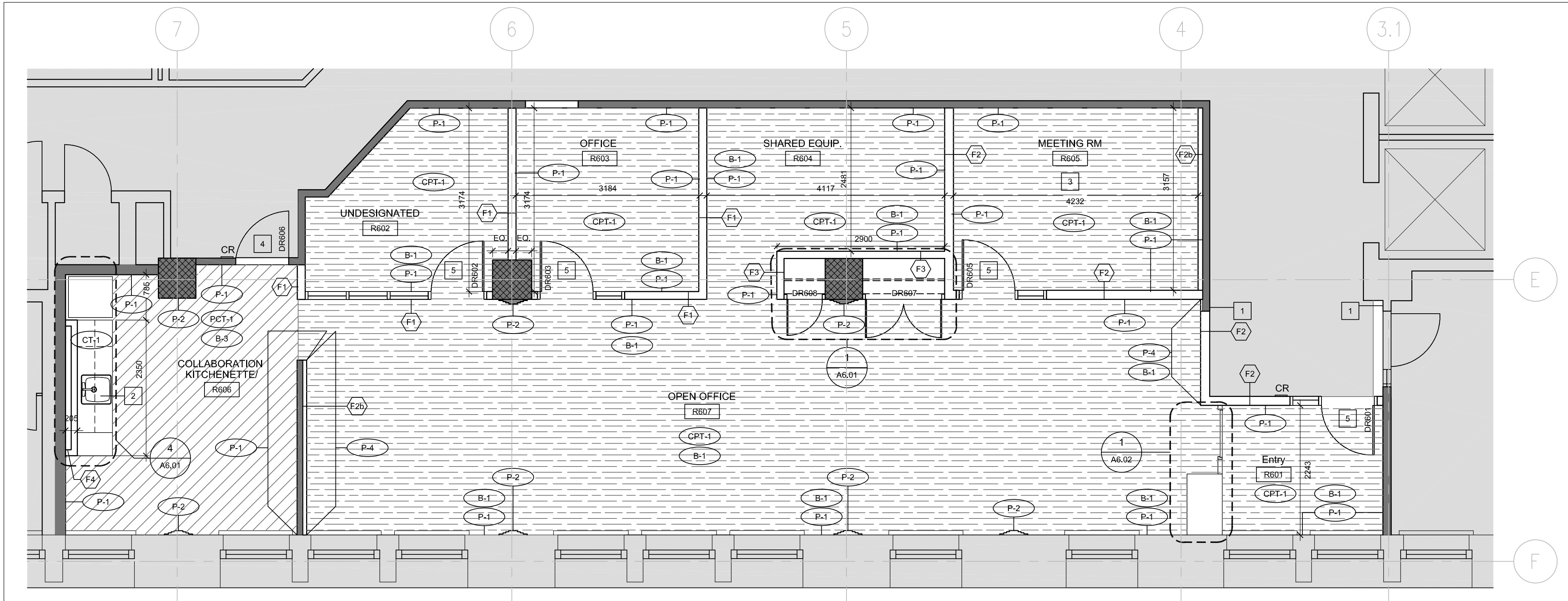


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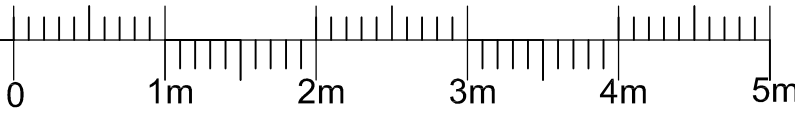
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CONSTRUCTION FLOOR PLAN KEY NOTES

- 1 RELOCATED CARD READER AND THERMOSTAT
- 2 NEW KITCHEN MILLWORK WITH NEW SINK AND FAUCET REFER TO ARCH. DWG. A6.01 FOR DETAIL
- 3 FURNITURE FEED FLOOR BOX, REFER TO ELECTRICAL DRAWINGS
- 4 EXISTING DOOR, FRAME, HARDWARE & CARD READER TO REMAIN
- 5 RELOCATED DOOR AND HARDWARE REFER TO EAST-A1.50



1 CONSTRUCTION & FINISHES PLAN
A2.01 SCALE: 1:50



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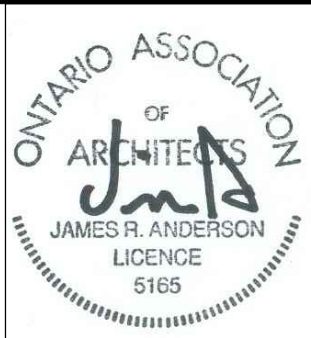
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titre du projet
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457 RICHMOND STREET
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6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
**CONSTRUCTION
& FINISHES PLAN**

| | | |
|--------------------------------|--------------|---|
| drawn by dessiné par | AV | |
| designed by conçu par | AV | |
| approved by approuvé par | RN | |
| bid offre | DA | project manager administrateur de projets |
| project date date du projet | 2016-09-02 | |
| project no. no. du projet | R.079143.042 | |
| drawing no. dessiné no. | EAST-A2.01 | |

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MECHANICAL ENGINEER

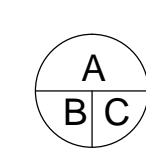
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ELECTRICAL ENGINEER

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)996-0220 Fax: (416)966-0223

| | | |
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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

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|---|---|---|
|  | A | Detail No. No. du detail |
| | B | drawing no. - where detail required dessin no. - ou detail exigé |
| | C | drawing no. - where detailed dessin no. - ou détaillé |

project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

FURNITURE PLAN

drawn by
dessiné par

AV

designed by
conçu par

AV

approved by
approuvé par

RN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

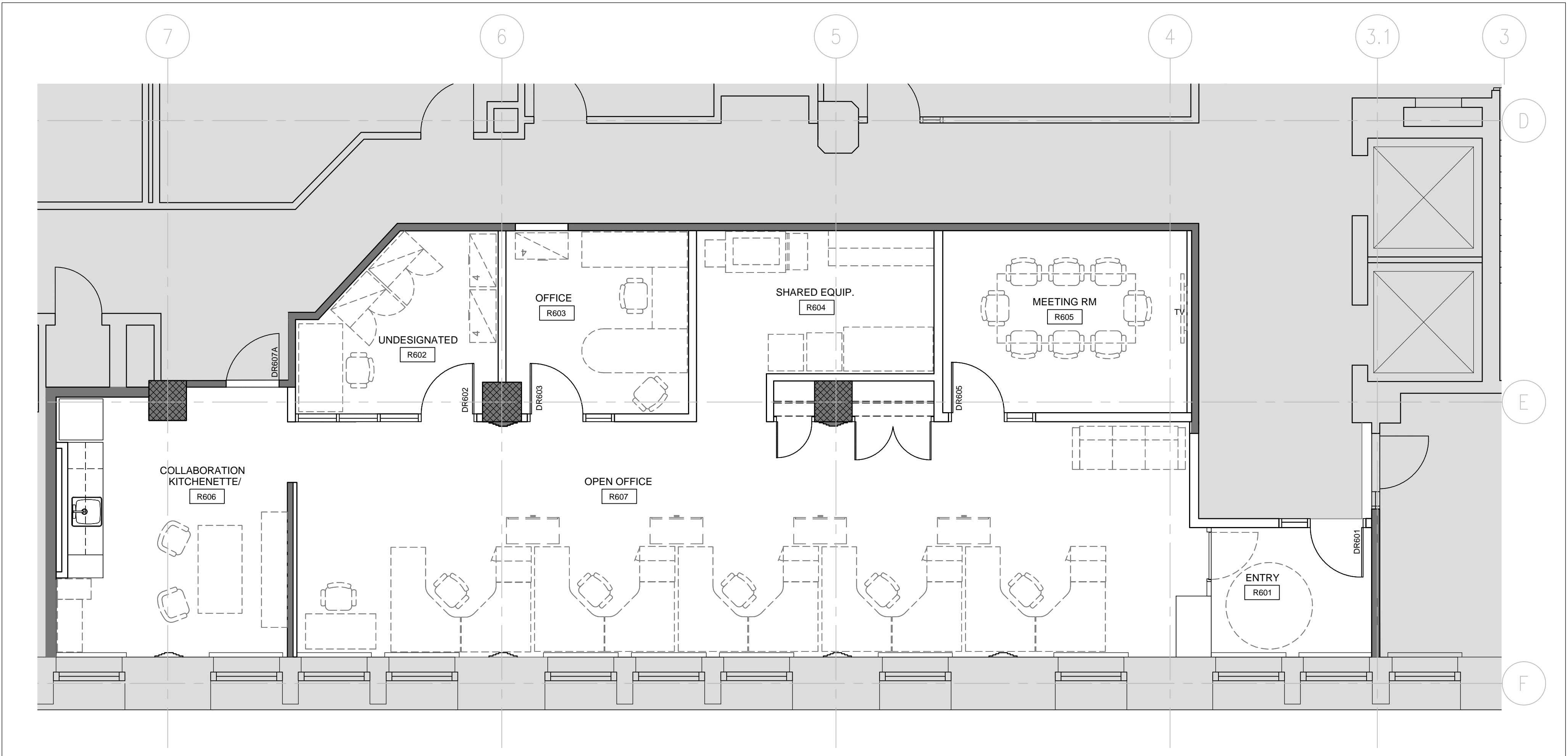
2016-09-02

project no.
no. du projet

R.079143.042

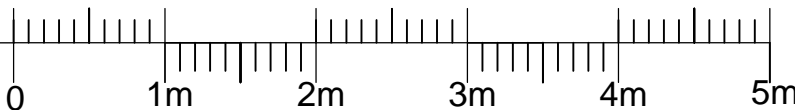
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dessiné no.

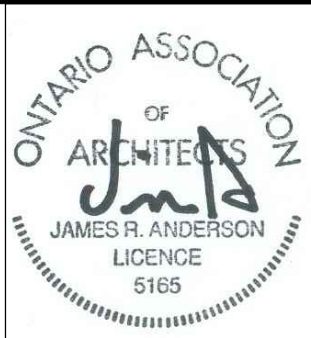
EAST-A2.02



1 FURNITURE PLAN

A2.02 SCALE: 1:50





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ARCHITECTURAL / INTERIOR DESIGN

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (647)966-0220 Fax: (416)966-0223

MECHANICAL ENGINEER

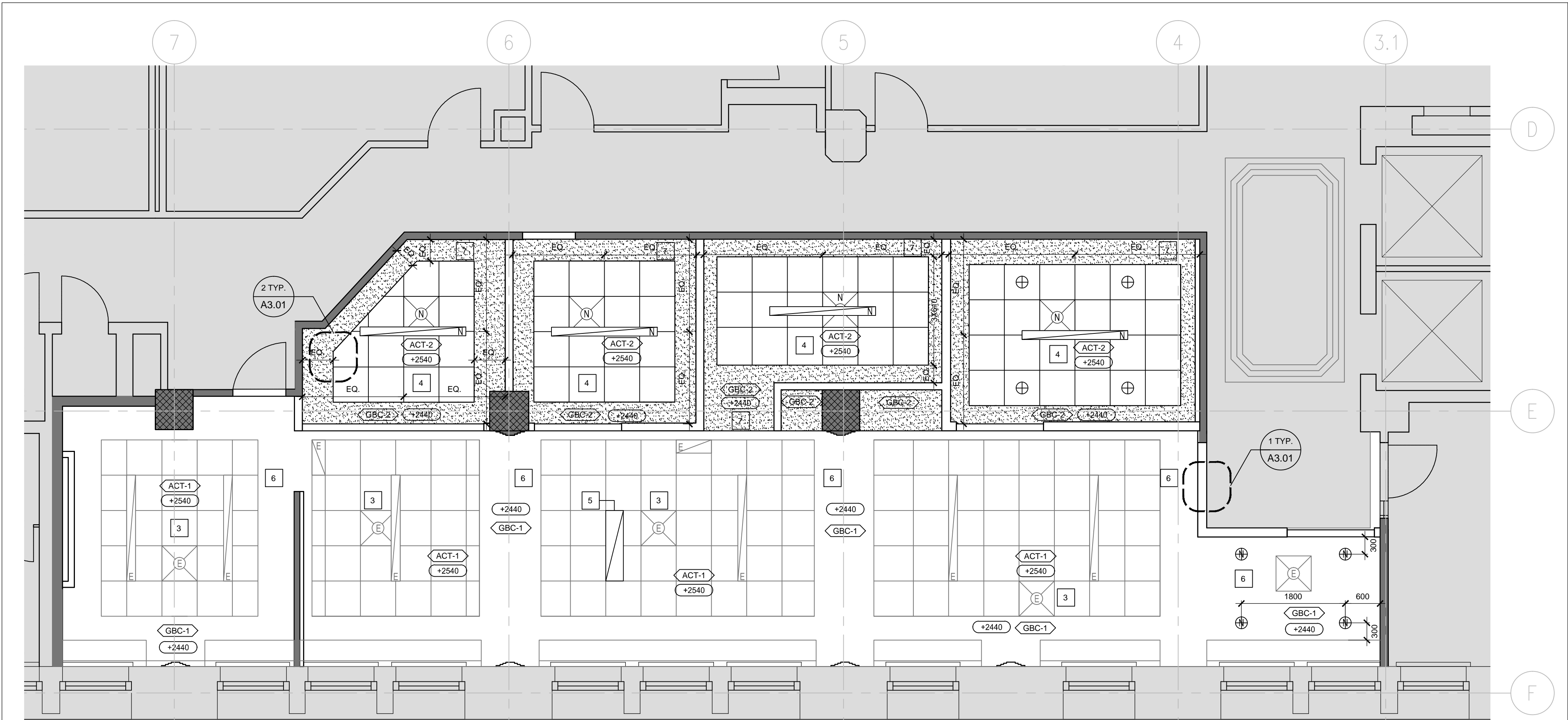
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Tel: (416)966-0220 Fax: (416)966-0223

ELECTRICAL ENGINEER

DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223

CONSTRUCTION RCP KEY NOTES

- 3 EXISTING CEILING TILE AND GRID TO REMAIN AND PROTECT
- 4 NEW ACT CEILING AND T-BAR GRID TO MATCH EXISTING CEILING
- 5 RELOCATED LED FIXTURE, DISCONNECT LIGHT FIXTURE FROM EXISTING SPACE ON SIXTH FLOOR (NOT SHOWN) AND RELOCATE. COORDINATE DISCONNECTION OF FIXTURE WITH DEPARTMENTAL REPRESENTATIVE.
- 6 EXISTING GWB CEILING TO REMAIN. PAINT WHITE TO MATCH EXISTING
- 7 NEW GWB CEILING. PAINT WHITE TO MATCH EXISTING



1 REFLECTED CEILING PLAN
A2.03 SCALE: 1:50



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- C drawing no. - where detailed dessin no. - ou détaillé

project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

REFLECTED
CEILING PLAN

drawn by
dessiné par AV

designed by
conc par AV

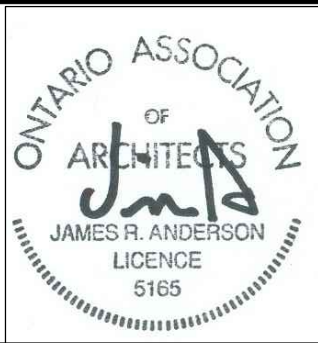
approved by
approuvé par RN

bid
offre DA project manager
administrateur de projets

project date
date du projet 2016-09-02

project no.
no. du projet R.079143.042

drawing no.
dessiné no. EAST-A2.03



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MECHANICAL ENGINEER
DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223
ELECTRICAL ENGINEER
DIALOG
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TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223

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| | C | drawing no. - where detailed |

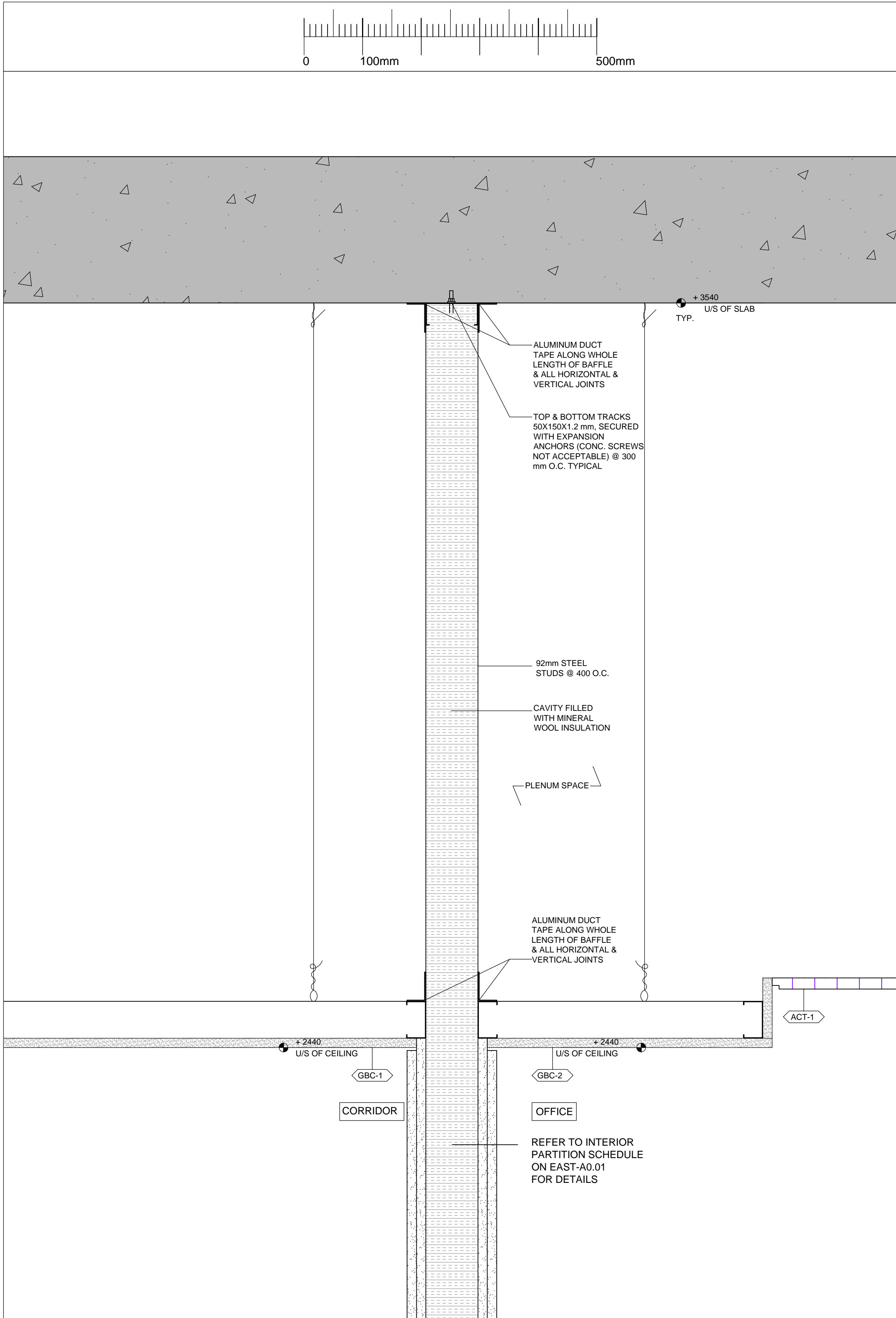
project title
titre du projet
DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

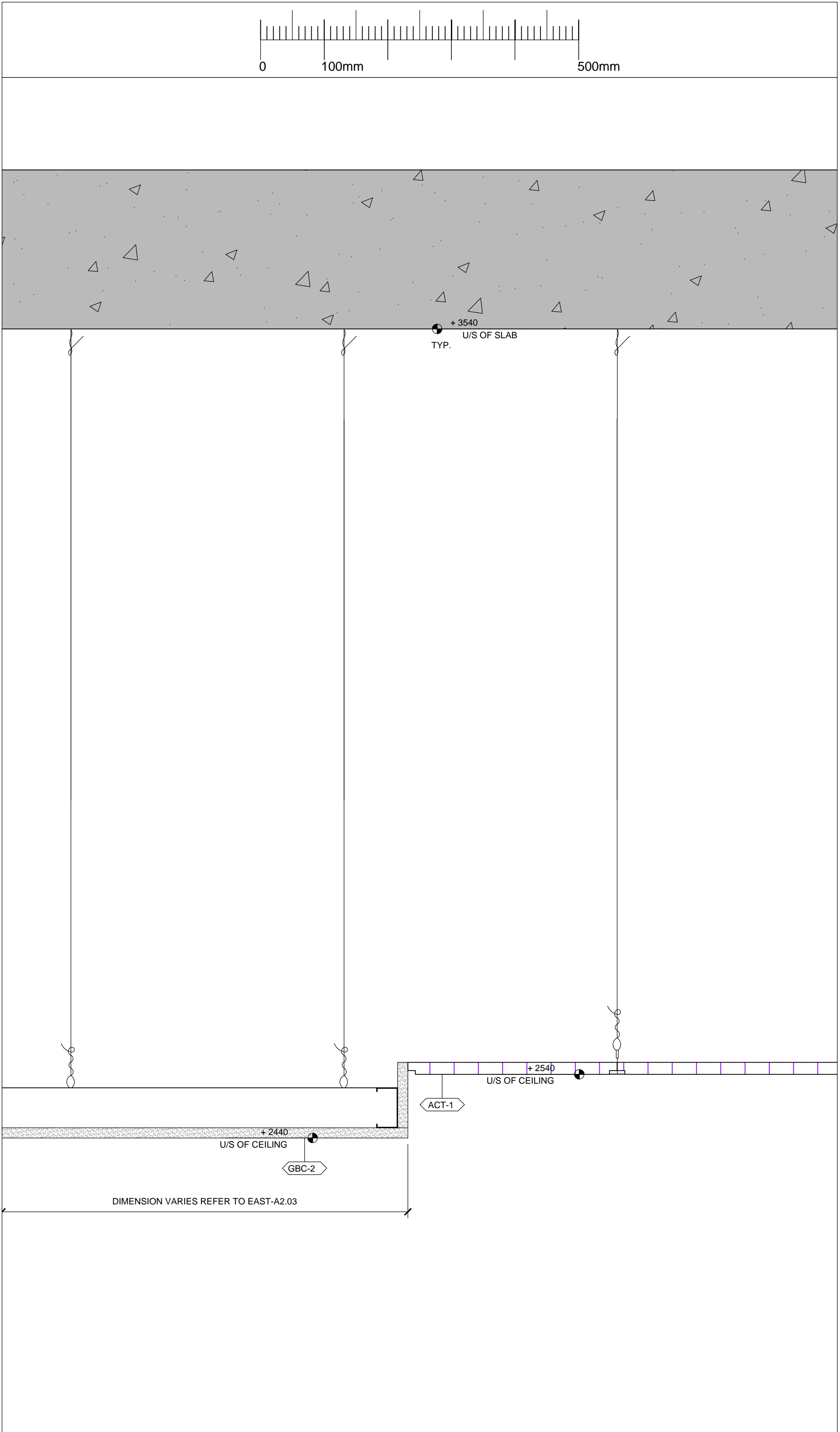
6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
WALL CROSS-SECTION

| | | |
|--------------------------------|--------------|--|
| drawn by dessine par | AV | |
| designed by conc par | AV | |
| approved by approuve par | RN | |
| bid offre | DA | project manager administrateur de projets |
| project date date du projet | 2016-09-02 | |
| project no. no. du projet | R.079143.042 | |
| drawing no. dessine no. | EAST-A3.01 | |



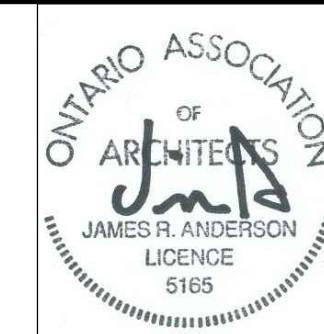
1 TYP. PLENUM BARRIER DETAIL
A3.01 SCALE: 1:5



2 TYP. SECTION FOR NEW CEILING CONSTRUCTION
A3.01 SCALE: 1:5

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ARCHITECTURAL / INTERIOR DESIGN

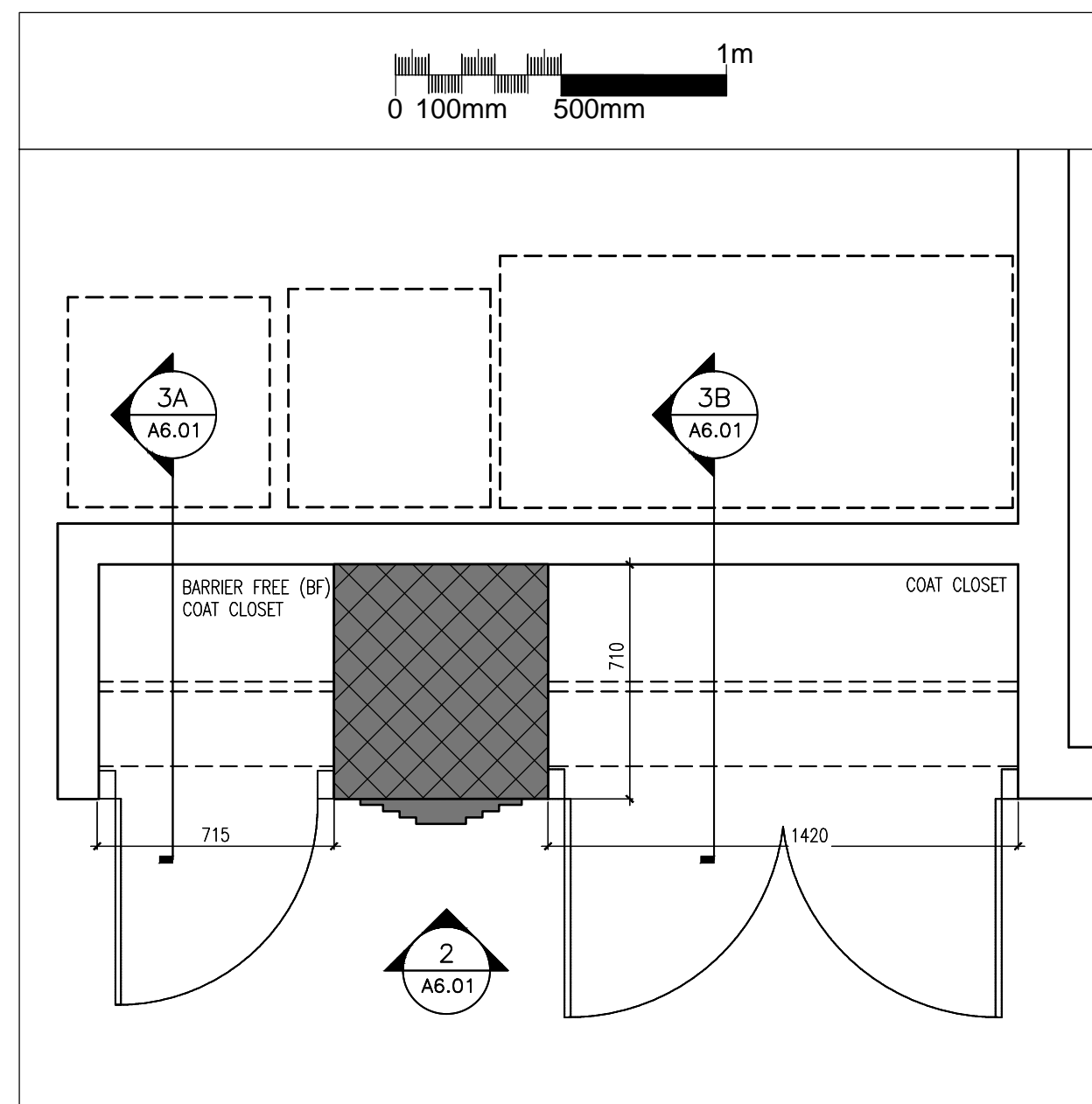
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MECHANICAL ENGINEER

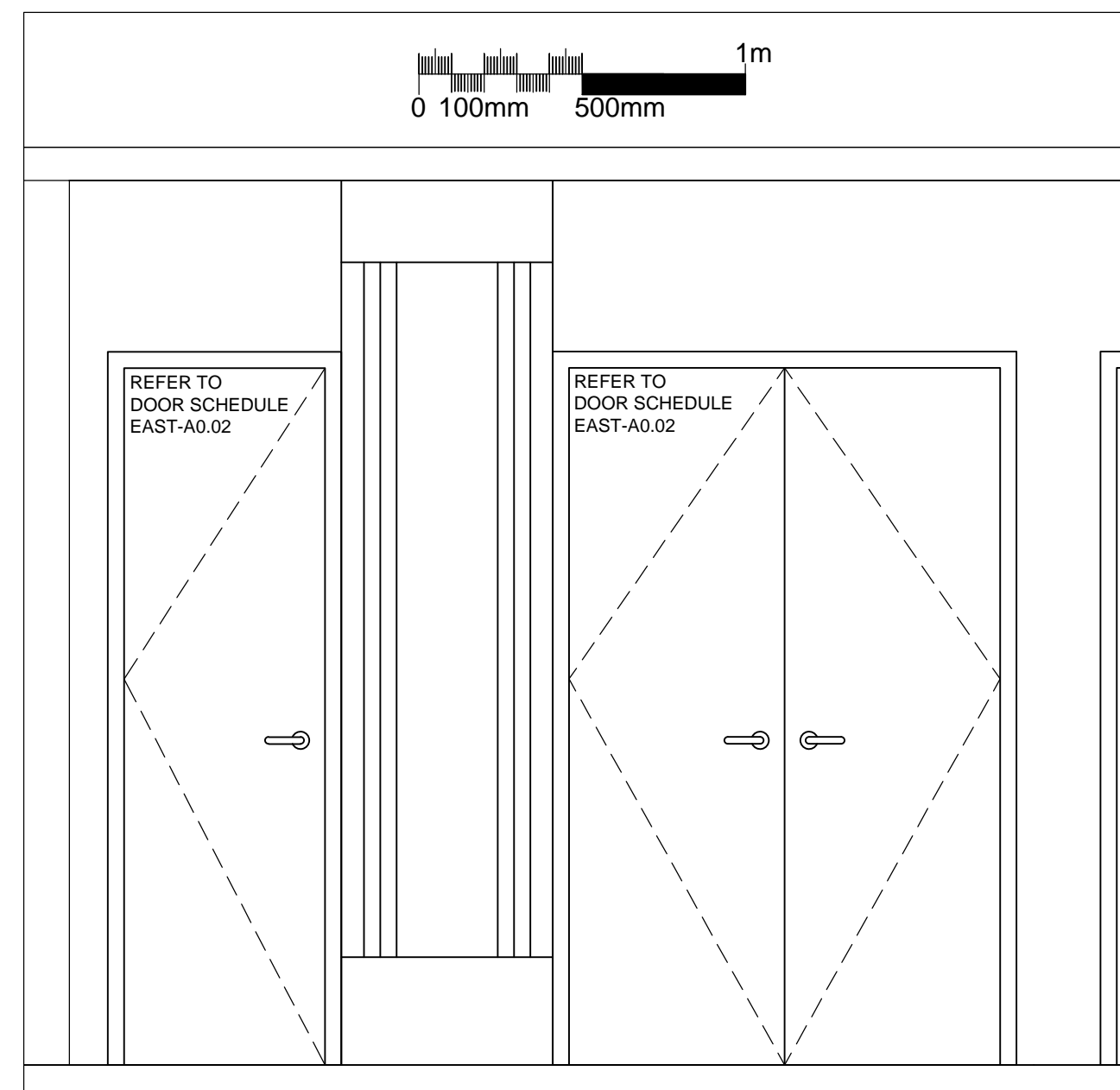
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ELECTRICAL ENGINEER

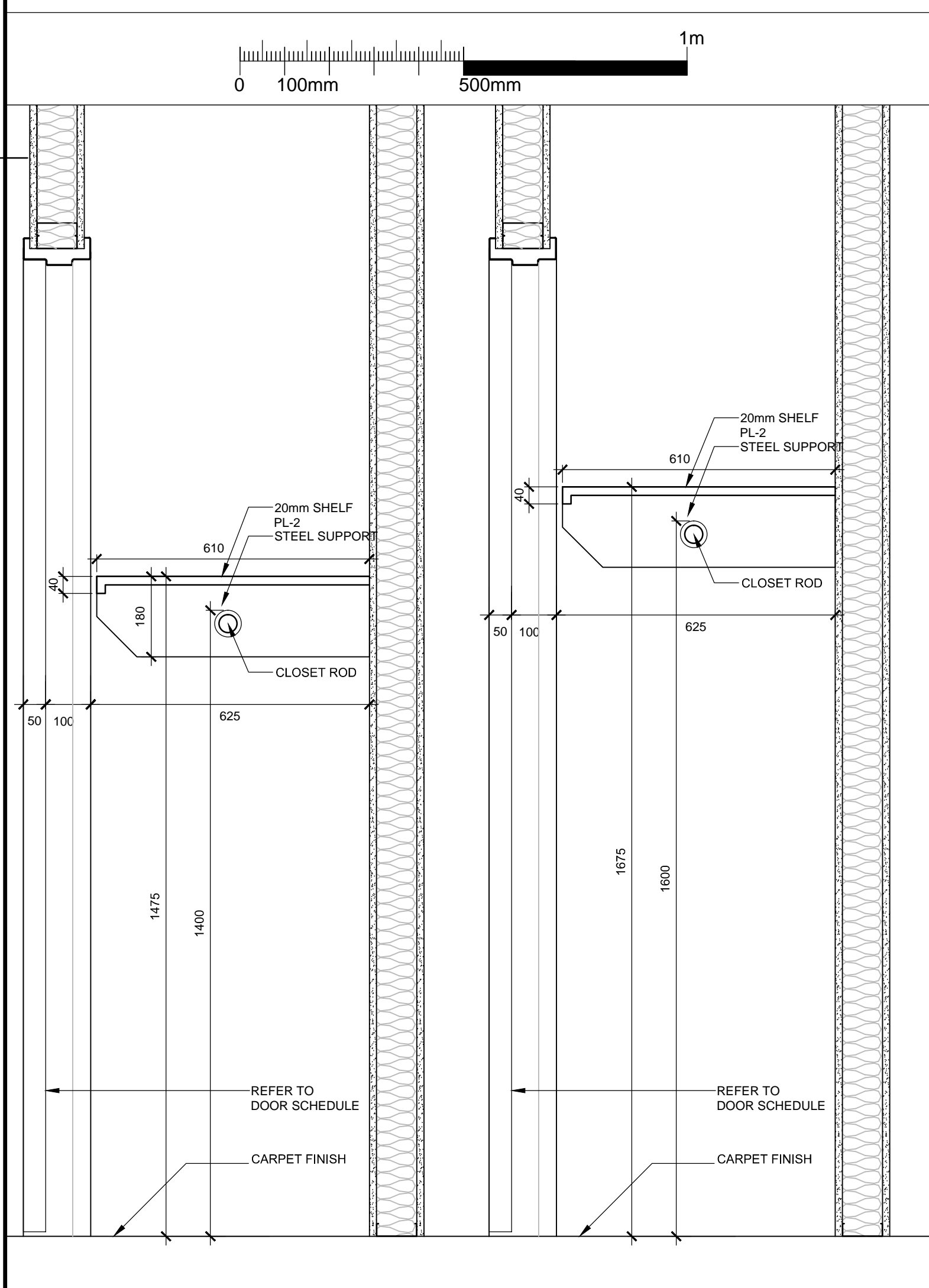
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1 PARTIAL PLAN: CLOSET
A6.01 SCALE: 1:20

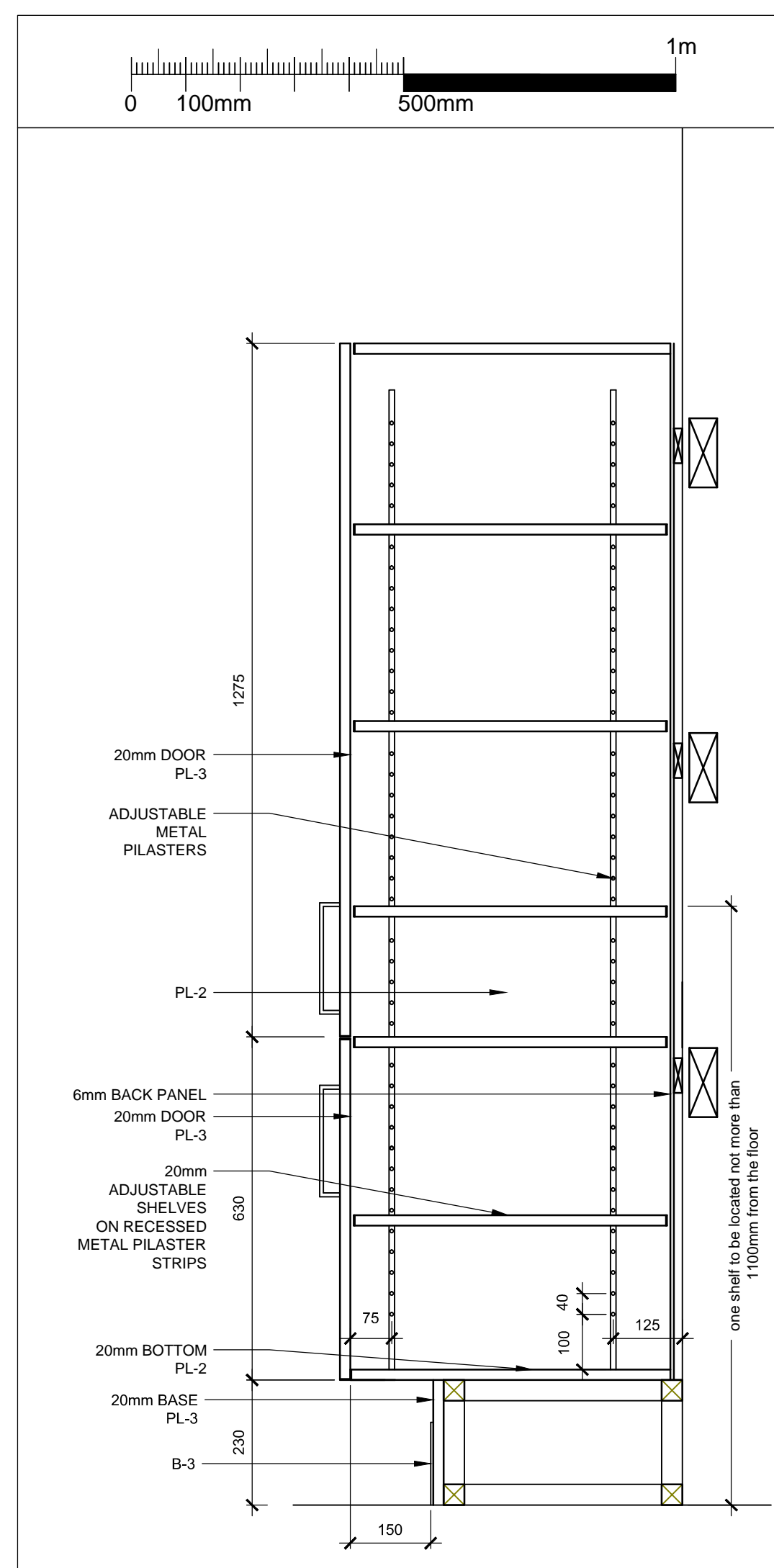


2 ELEVATION: CLOSET
A6.01 SCALE: 1:20

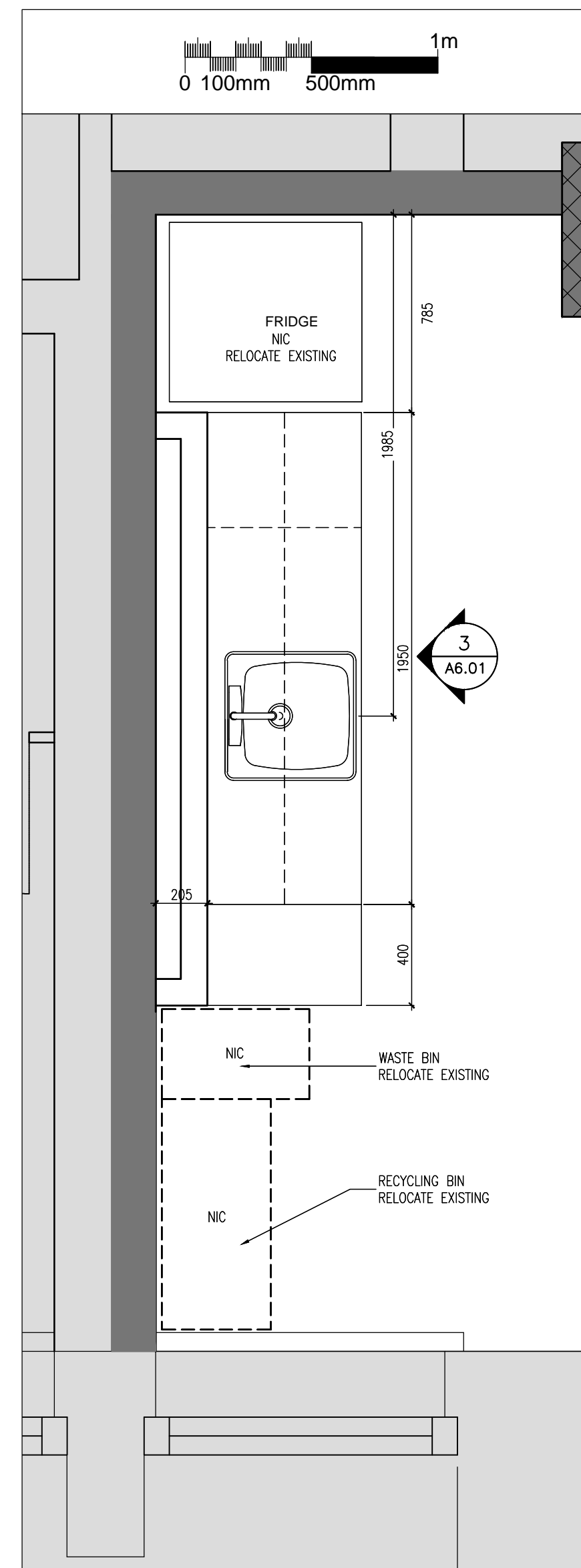


3A SECTION: BF CLOSET
A6.01 SCALE: 1:10

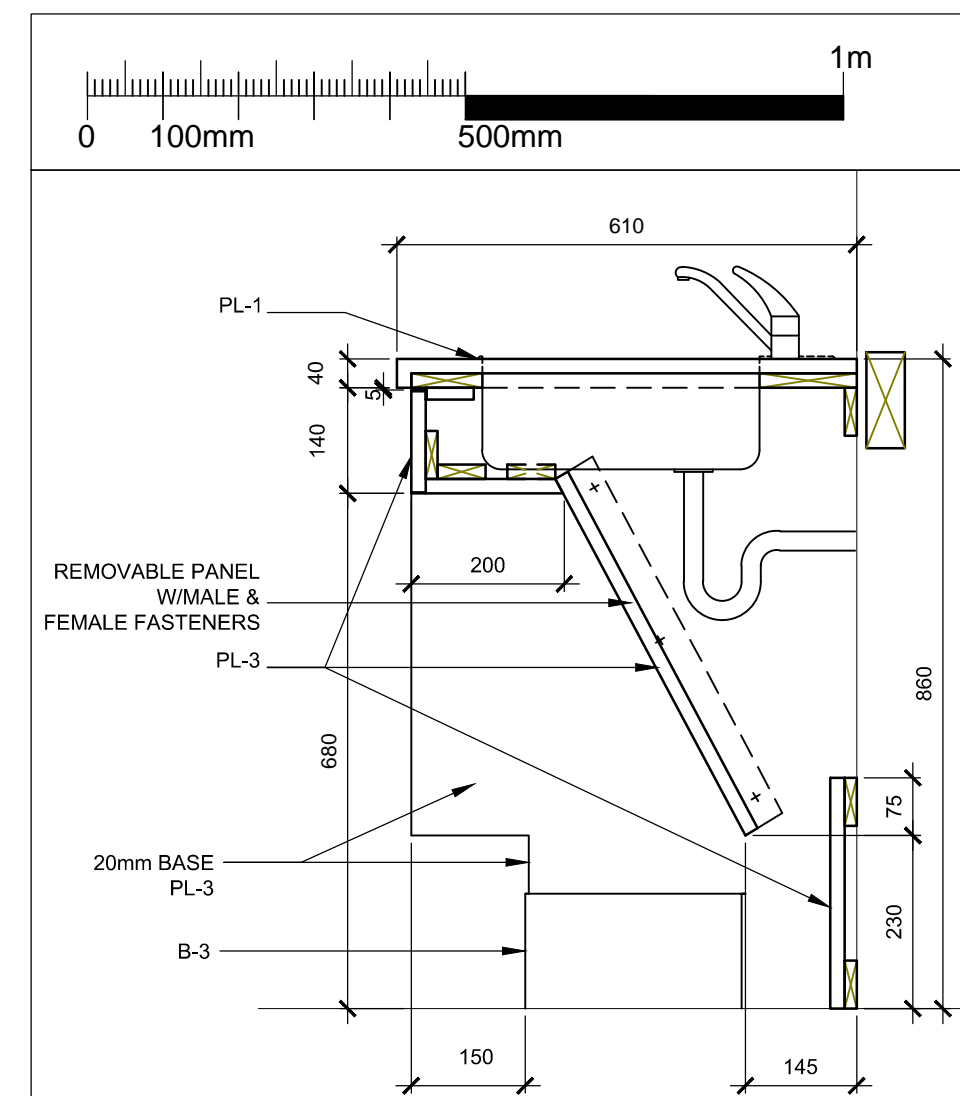
3B SECTION: CLOSET
A6.01 SCALE: 1:10



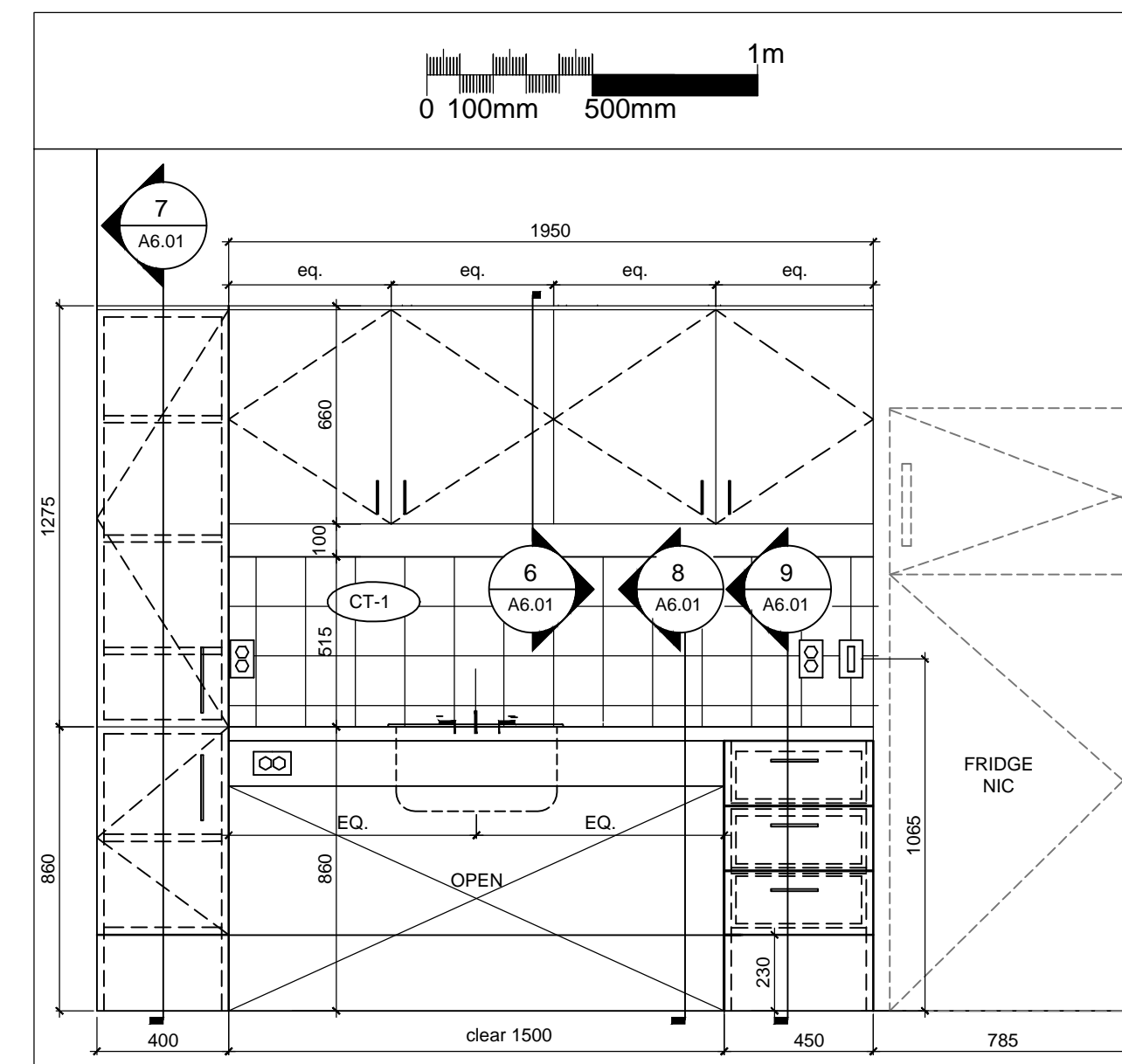
7 SECTION: CABINET
A6.01 SCALE: 1:10



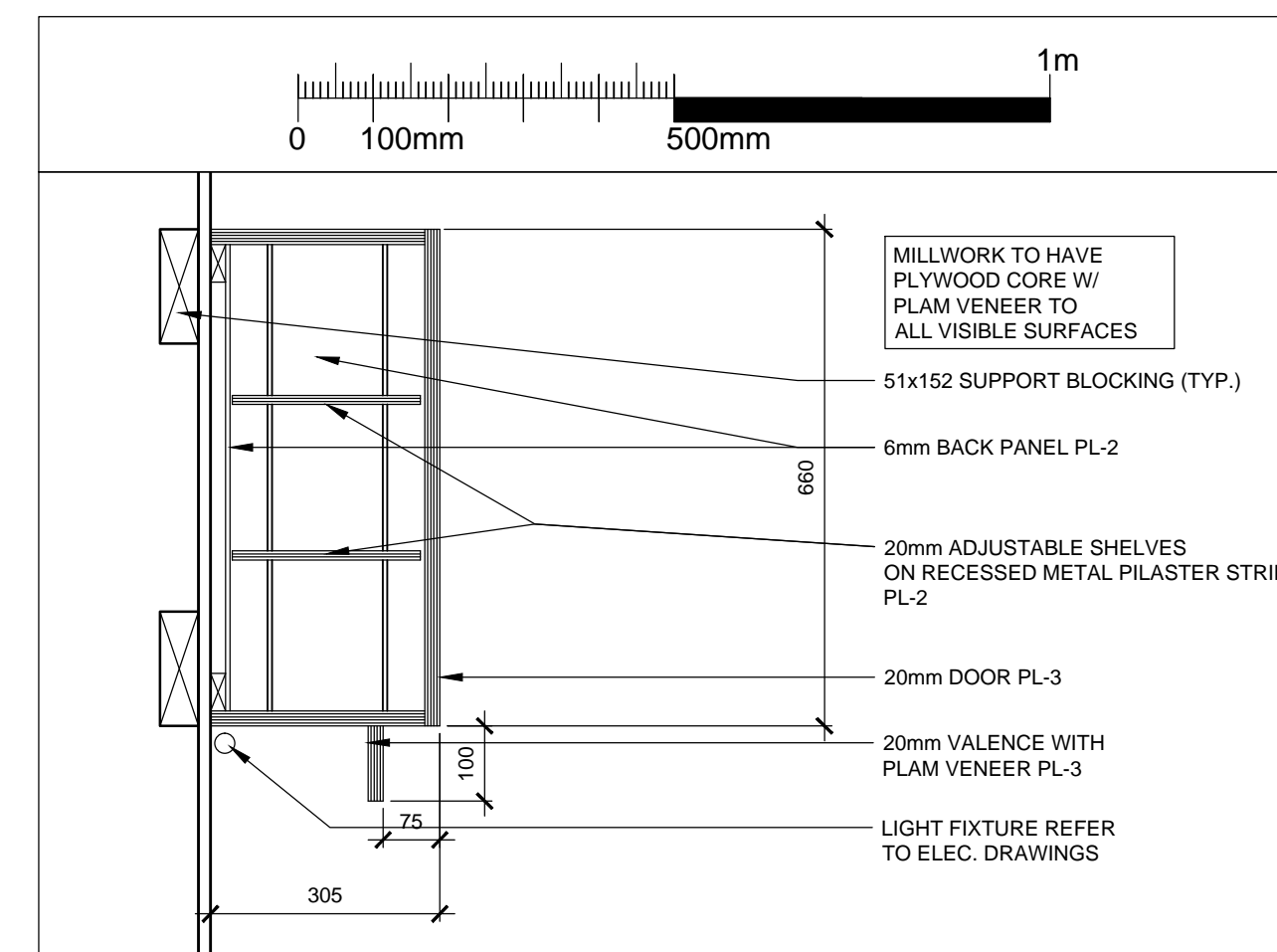
4 PARTIAL PLAN: KITCHENETTE
A6.01 SCALE: 1:20



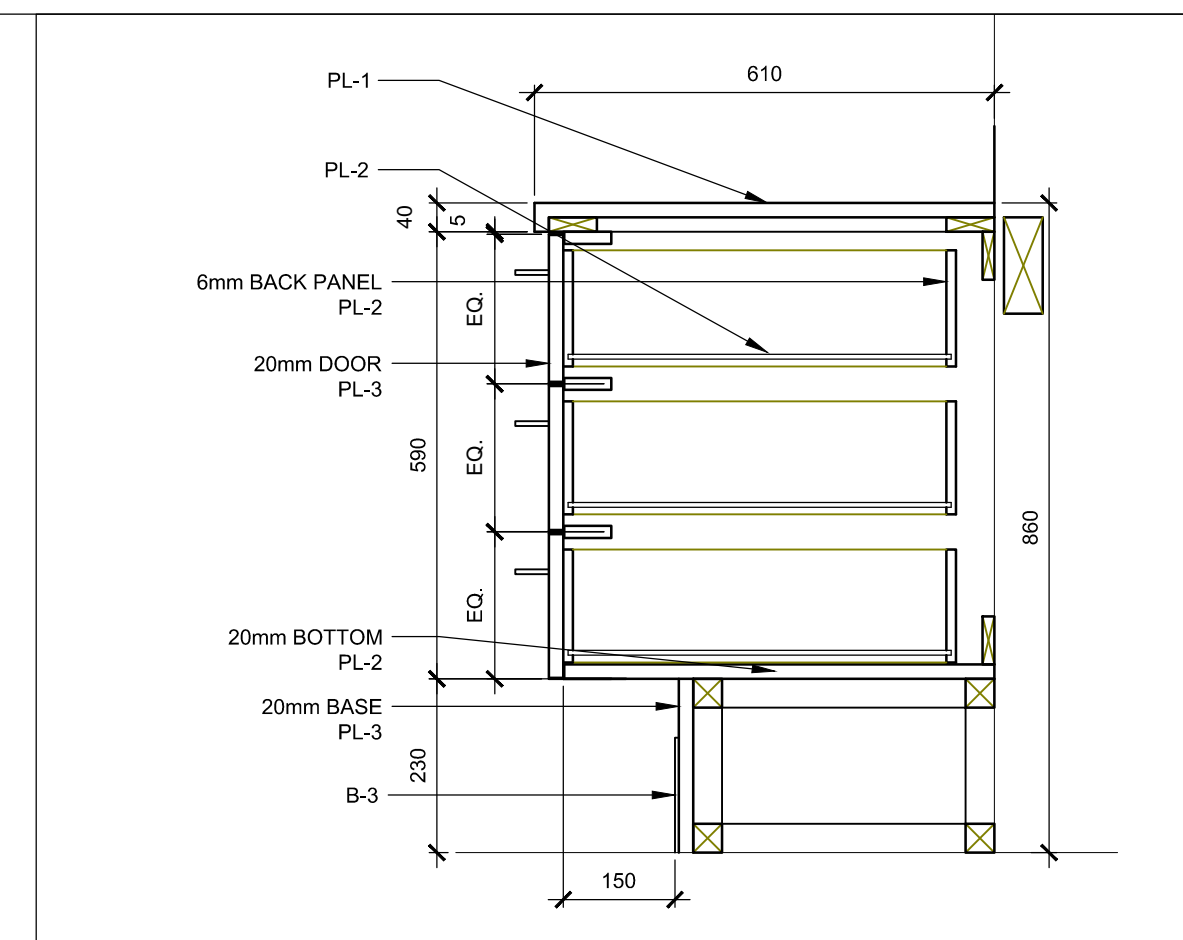
8 SECTION: BASE CABINET
A6.01 SCALE: 1:10



5 ELEVATION: KITCHENETTE
A6.01 SCALE: 1:20



6 SECTION: UPPER CABINET
A6.01 SCALE: 1:10



9 SECTION: BASE CABINET
A6.01 SCALE: 1:10

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| 1 | ISSUED FOR BID | 2016-09-02 |
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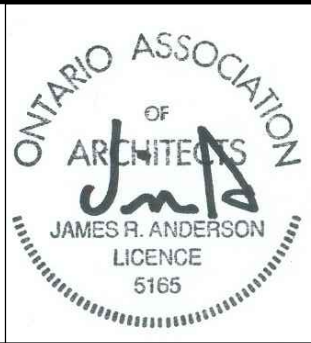
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| B | No. du detail |
| C | drawing no. - where detail required dessin no. - ou detail exige |
| C | drawing no. - where detailed dessin no. - ou detaillé |

project title
titre du projet**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UPdrawing title
titre du dessin**MILLWORK DETAILS**drawn by
dessiné par AVdesigned by
conçu par AVapproved by
approuvé par RNbid
offre DA project manager
administrateur de projetsproject date
date du projet 2016-09-02project no.
no. du projet R.079143.042drawing no.
dessiné no. EAST-A6.01



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ARCHITECTURAL / INTERIOR DESIGN

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2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (647)966-0220 Fax: (416)966-0223

MECHANICAL ENGINEER

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DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

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MILLWORK DETAILS

drawn by
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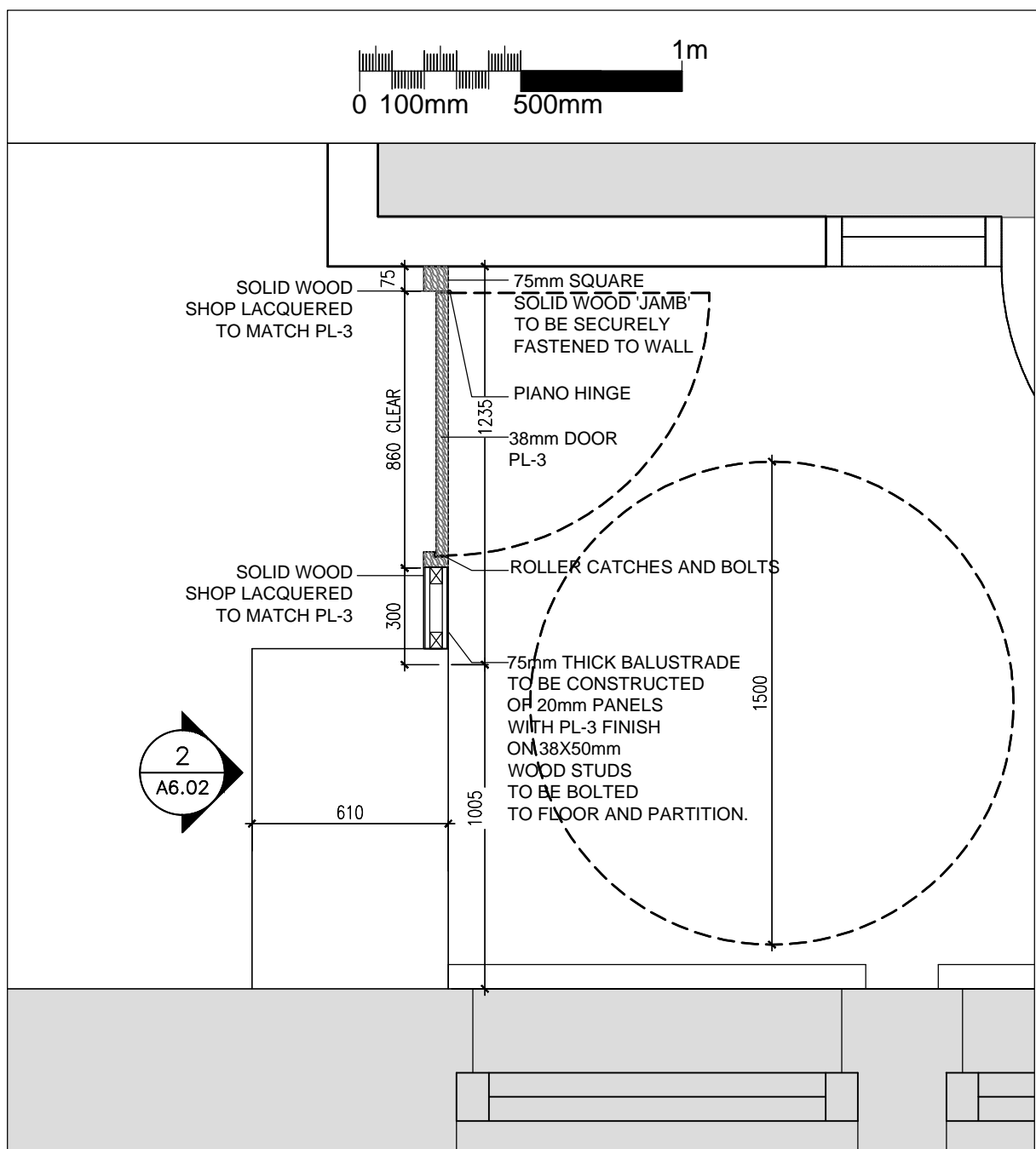
2016-09-02

project no.
no. du projet

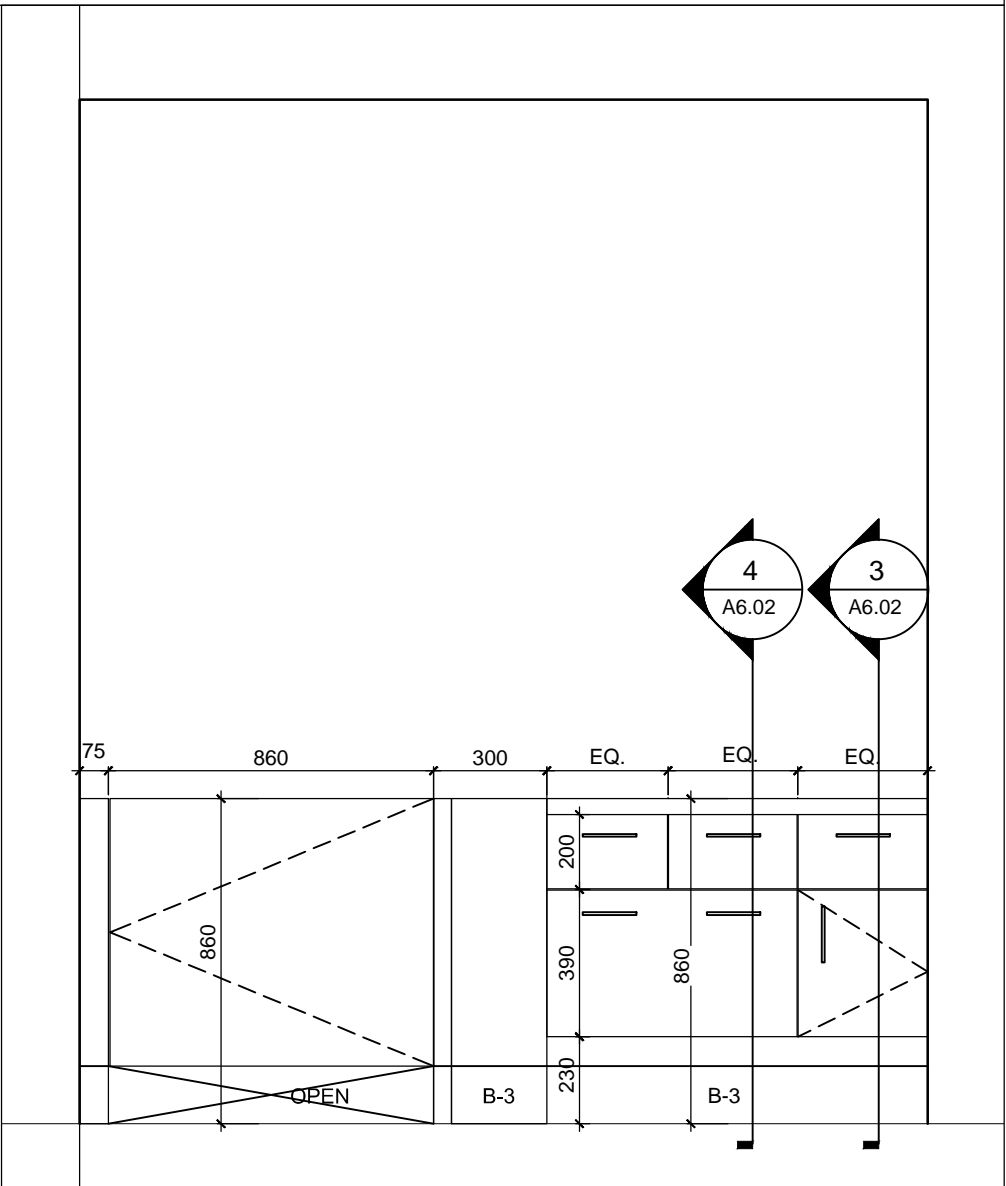
R.079143.042

drawing no.
dessiné no.

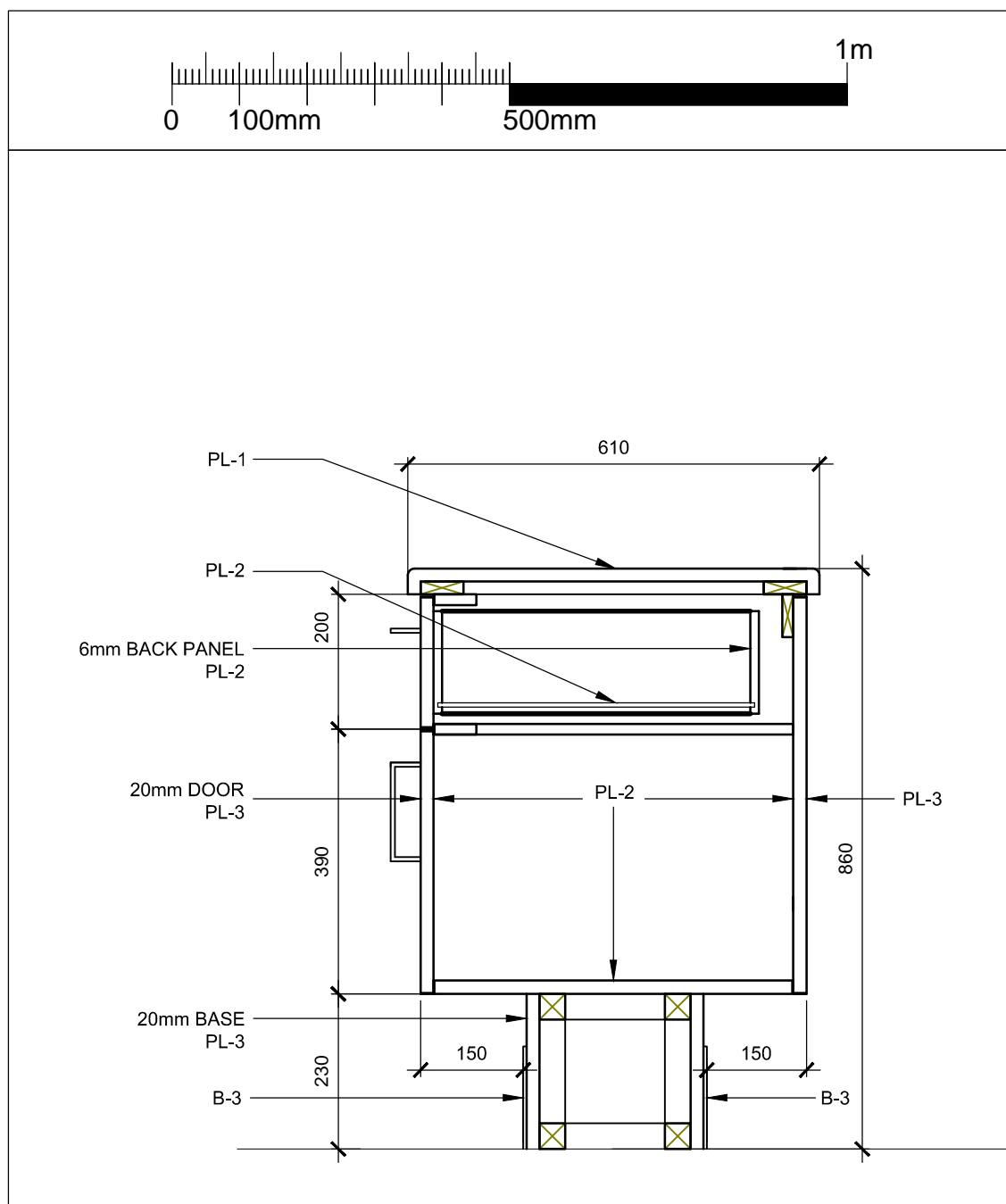
EAST-A6.02



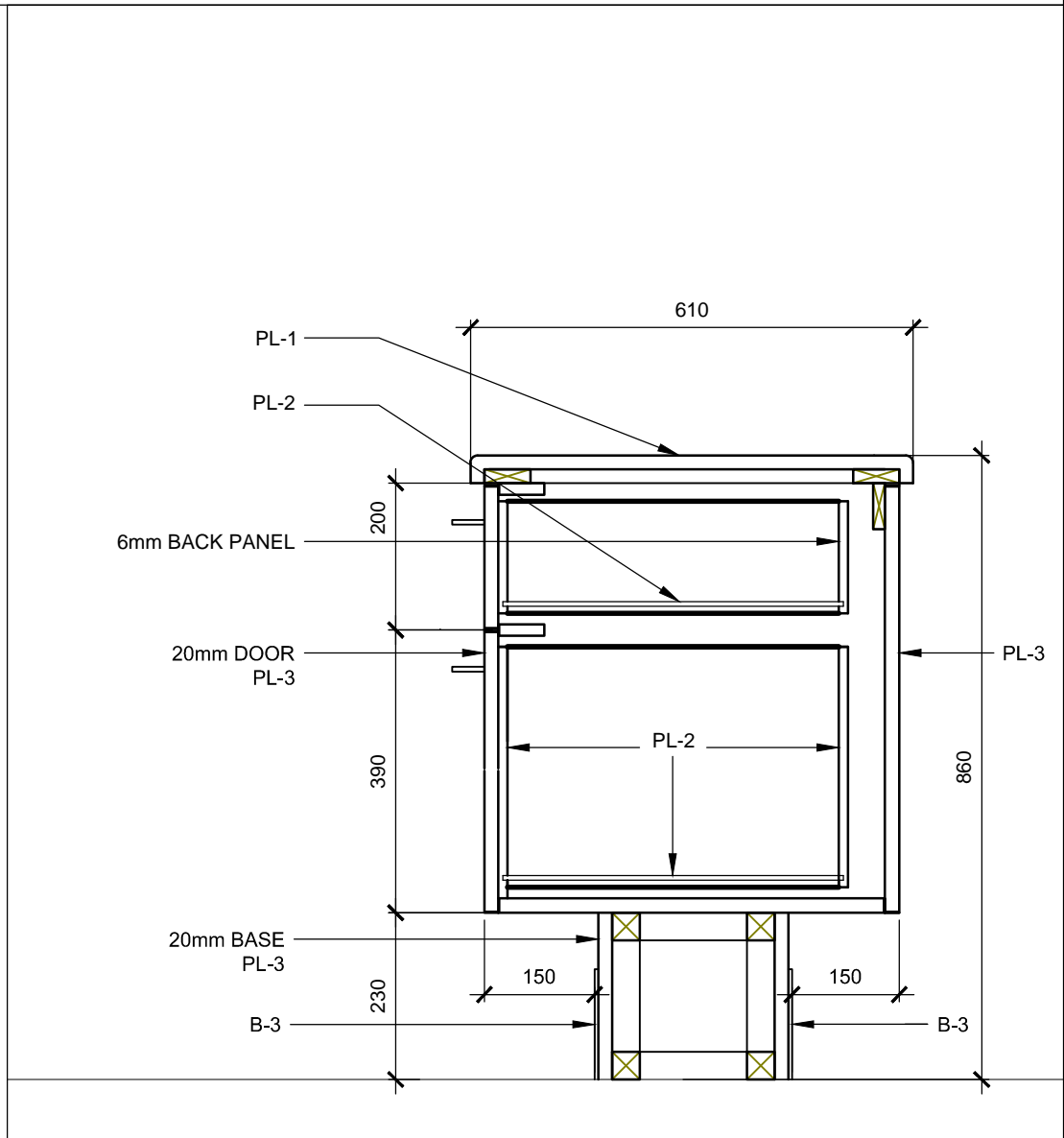
1 RECEPTION COUNTER PLAN
A6.02 SCALE: 1:20



2 RECEPTION COUNTER ELEVATION
A6.02 SCALE: 1:20



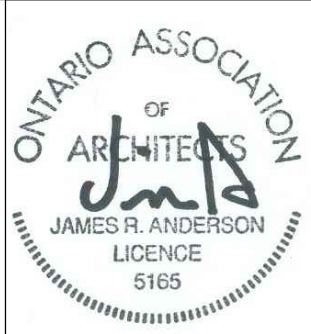
3 RECEPTION COUNTER SECTION
A6.02 SCALE: 1:10



4 RECEPTION COUNTER SECTION
A6.02 SCALE: 1:10

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titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

**WEST PHASE
LOCATION PLAN**

drawn by
dessiné par

AV

designed by
conçue par

AV

approved by
approuvé par

RN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

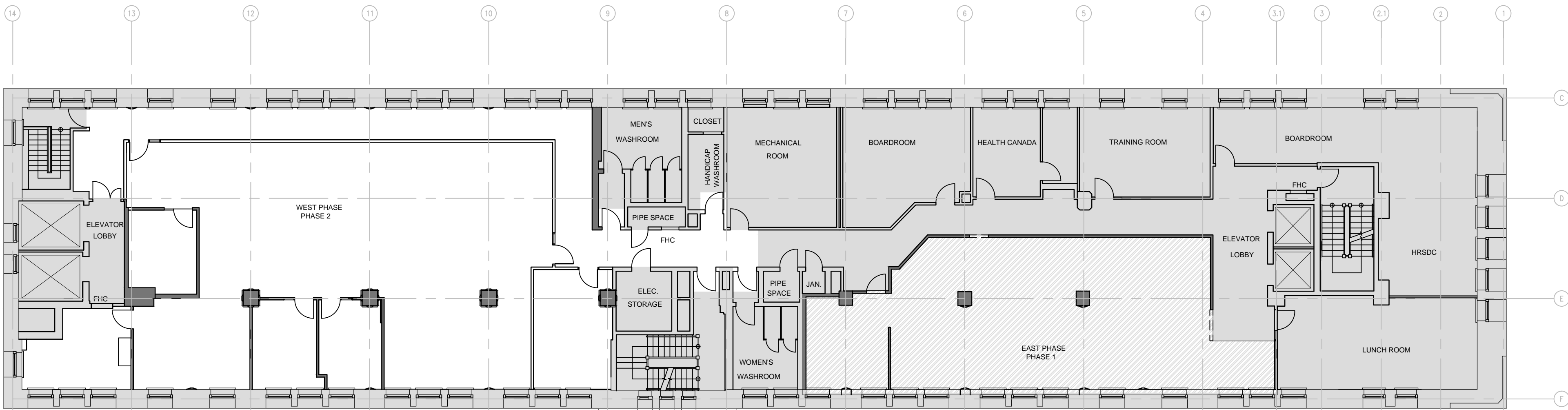
2016-09-02

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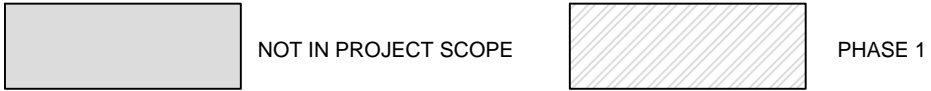
R.079143.042

drawing no.
dessiné no.

WEST-A0.00



LOCATION PLAN LEGEND



1 WEST PHASE LOCATION PLAN
A0.00 SCALE: 1:150

RENOVATIONS FOR:

DOMINION PUBLIC BUILDING

OGD

457 RICHMOND ST,
LONDON, ONTARIO
N6A3E3

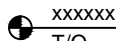


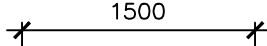

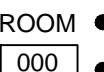
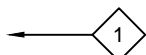
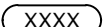

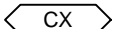
PWGSC PROJECT # R.079143.042

| Item/ Article | BUILDING CODE DATA MATRIX | | | | | | NBC 2015 | OBC 2012 | |
|------------------|---|--|----------------------------------|--|----------------------------------|--|---|------------------------------------|-------------------------|
| 1 | Project Description & Civic Address: PUBLIC DOMINION BUILDING - PWGSC - OFFICE RENOVATIONS 457 RICHMOND ST, LONDON, ON | | | | | | <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Change in Use | Part 3 NBC A1.1.2 | Part 3 NBC A1.1.2 |
| 2 | Major occupancies: EXISTING | | | | | | B 3.1.2.1.(1) | B 3.1.2.1.(1) | |
| 3 | Building Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED | | | | | | A1.4.1.2 | A1.4.1.2 | |
| 4 | Gross Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED | | | | | | | | |
| 5 | Number of Storeys: EXISTING | | Above Grade: EXISTING | | Below Grade: EXISTING | | A1.4.1.2 B 3.2.1.1 | A 1.3.3.3 A1.4.1.2 B 3.2.1.1 | |
| 6 | Height of Building(m): | | | | | | | | |

ABBREVIATION LEGEND

| | | | |
|--------|------------------------|-------|-----------------------------|
| | | INSUL | INSULATION |
| @ | AT | HT | HEIGHT |
| AFF | ABOVE FINISHED FLOOR | MAX | MAXIMUM |
| APPROX | APPROXIMATE | MIN | MINIMUM |
| ARCH | ARCHITECTURAL | MISC | MISCELLANEOUS |
| AVG | AVERAGE | NA | NON APPLICABLE |
| B/O | BOTTOM OF | NIC | NOT IN CONTRACT |
| BLDG | BUILDING | NO. | NUMBER |
| C/C | CENTRE-TO-CENTRE | NTS | NOT TO SCALE |
| CJ | CONTROL JOINT | OGD | OTHER GOVERNMENT DEPARTMENT |
| CL | CENTRE LINE | PT | PAINT |
| CLG | CEILING | QTY | QUANTITY |
| COL | COLUMN | RCP | REFLECTED CEILING PLAN |
| CONC | CONCRETE | RWL | RAIN WATER LEADER |
| CONT | CONTINUOUS | SIM | SIMILAR |
| C/W | COMPLETE WITH | SM | SQUARE METER |
| DIA | DIAMETER | SPEC | SPECIFICATION |
| DIM | DIMENSION | STC | SOUND TRANSMISSION CLASS |
| DN | DOWN | SS | STAINLESS STEEL |
| DWG | DRAWING | T/O | TOP OF |
| ELEV | ELEVATION | TBD | TO BE DETERMINED |
| EQ | EQUAL | TYP. | TYPICAL |
| FRR | FIRE RESISTANCE RATING | UNO. | UNLESS NOTED OTHERWISE |
| GALV | GALVANIZED | U/S | UNDERSIDE |
| G.W.B | GYPSUM WALL BOARD | W/ | WITH |

SYMBOLS LEGEND

| | | | |
|---|---|---|---|
|  | FINISH ELEVATION |  | DETAIL TAG WITH CALL OUT |
|  | SECTION/ ELEVATION/ DRAWING NUMBER SHEET NUMBER |  | DIMENSION LINE (MILLIMETERS, UNLESS OTHERWISE NOTED) |
|  | GRID NUMBER AND GRID LINE |  | ROOM NAME ROOM NUMBER |
|  | DEMOLITION KEY NOTE REFERENCES |  | CEILING HEIGHT |
|  | DESIGN KEY NOTE REFERENCES |  | CEILING TYPE |

DEMOLITION FLOOR PLAN GENERAL NOTES

- MAKE CLEAN CUT OFFS WHERE EXISTING WALLS AND CEILINGS TO REMAIN
- REMOVE EXISTING PARTITIONS AS INDICATED
- CAP ALL ABANDONED PLUMBING IN WALL. REFER TO MECHANICAL DRAWINGS
- WHERE UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED. IMMEDIATELY NOTIFY THE DEPARTMENTAL REPRESENTATIVE AND SECURE NEEDED DIRECTION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED
- ALL EXISTING SHEATHING/ BOARD DAMAGED DURING DEMOLITION ARE TO BE REPLACED WITH NEW; MATERIALS TO MATCH EXISTING
- PROTECT ALL EXISTING FINISHES FROM DAMAGE THROUGHOUT CONSTRUCTION
- RECYCLABLE MATERIAL TO BE SEPARATED AND DISPOSED OF IN SUCH A MANNER SO AS TO DIVERT FROM LANDFILL WHERE POSSIBLE
- PROTECT EXISTING WINDOW BLINDS DURING CONSTRUCTION

DEMOLITION RCP GENERAL NOTES

- REFER TO MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS FOR FULL EXTENT OF FIXTURE DEMOLITION. CONTRACTOR SHALL REMOVE & RE-INSTALL ANY ACOUSTIC OR GYPSUM BOARD CEILINGS REQUIRED FOR REMOVAL OR INSTALLATION OF MECHANICAL & ELECTRICAL EQUIPMENT, TYPICAL
- REMOVE AND DISPOSE ALL CEILING GRID HANGERS FOR CEILINGS SLATED TO BE DEMOLISHED. DO NOT RE-USE EXISTING HANGER RODS

FLOOR PLAN GENERAL NOTES

- SUPPLY AND INSTALLATION OF WORKSTATIONS AND OFFICE FURNITURE IS NOT PART OF THIS CONTRACT. WORKSTATIONS AND FURNITURE SHOWN FOR LOCATION ONLY

RCP GENERAL NOTES

- NEW T-BAR CEILING LAYOUT LOCATE CENTRE OF THE ROOM UNLESS NOTED OTHERWISE ON DRAWING
- ENSURE FIRE ALARM AND SMOKE DETECTORS ARE BYPASSED PRIOR TO SANDING GYPSUM BOARD CEILING
- REFER TO MECHANICAL FOR LOCATIONS OF ALL NEW & EXISTING DUCTS & TERMINAL BOXES.
- PROVIDE NEW GYPSUM BOARD CEILING TO FILL VOIDS IN VALENCES

CONSTRUCTION FLOOR PLAN KEY NOTES

- NEW FLOOR AND BASE. REFER TO FINISHES SCHEDULE.
- EXISTING FLOORING AND BASE TO REMAIN. PATCH AND REPAIR ALL DAMAGE FLOORING AND BASE ADD NEW BASE ON NEW WALLS AS INDICATED TO MATCH EXISTING.
- PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON THE LINEAR WALL SPACE USED FOR ANCHORING EQUIPMENT. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT. REFER TO WEST-E2.02
- RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW CYLINDER, KEY ALIKE TO DR618B
- RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A

CONSTRUCTION RCP KEY NOTES

- EXISTING REPLICA HERITAGE CEILING TILE AND GRID TO REMAIN AND PROTECT
- DAMAGED CEILING TILES TO BE REPLACED
- NEW T-BAR CEILING AND ACOUSTICAL CEILING TILES
- NEW GYPSUM BOARD CEILING TO MATCH EXISTING
- EXISTING LIGHT FIXTURES RELOCATED
- NEW LIGHT FIXTURE

DEMOLITION FLOOR PLAN KEY NOTES

- EXISTING DOOR FRAME AND DOOR TO REMAIN
- EXISTING GYPSUM BOARD PARTITION/MILLWORK TO BE REMOVED & DISPOSED
- EXISTING FLOORING AND TRANSITION STRIPS TO REMAIN AND BE PROTECTED
- REPAIR WALLS TO RECEIVE NEW FINISHES.
- RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618A LOCATION
- RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618B LOCATION. PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A
- EXISTING REPLICA HERITAGE COLUMNS TO REMAIN AND BE PROTECTED
- DOOR & INACTIVE LEAF WITH MAGNETIC LOCK TO REMAIN
- EXISTING COUNTER TOP, SINK AND MILLWORK TO REMAIN
- PATCH & FILL ALL FLOOR DEPRESSIONS AND DAMAGES WHEN PARTITIONS ARE REMOVED, TYPICAL
- PATCH & REPAIR ALL WALLS & CEILING WHERE EXISTING WALLS, DOORS, PARTITIONS ARE REMOVED, TYPICAL

DEMOLITION RCP KEY NOTES

- EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- EXISTING REPLICA HERITAGE CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- EXISTING SUPPLY AND RETURN DIFFUSER TO REMAIN
- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LED LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE REUSED IN THE EAST OFFICE
- EXISTING CEILING GRID AND PANELS TO BE REMOVED & DISPOSED
- EXISTING LIGHT FIXTURES TO BE DISMOUNTED & PROTECTED FOR REUSE
- GYPSUM BOARD CEILING TO BE REMOVED & DISPOSED

NOTE:
1. ALL EXISTING BLINDS TO BE COVERED & CLEANED

GENERAL CONSTRUCTION NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION. DO NOT PROCEED WITHOUT CLARIFICATION IN SUCH CIRCUMSTANCES.
- BE RESPONSIBLE FOR FIELD MEASUREMENTS AND DIMENSIONS, REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION
- NEW PARTITIONS TO BE FIXED DIRECTLY TO CLEAN CONCRETE SLAB. PARTITIONS TO BE TAPED, SANDED SMOOTH AND MADE READY TO RECEIVE FINISHES. ALL GYPSUM TO BE PAINTED UNLESS NOTED OTHERWISE
- ENSURE SUFFICIENT BLOCKING IS PROVIDED IN AREAS REQUIRING SUPPORT OF THE PARTITION OR CEILING FOR MOUNTED EQUIPMENT OR MATERIALS
- ENSURE FLOOR IS LEVEL PRIOR TO CONSTRUCTION OF PARTITIONS. PROVIDE SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 6mm PER 3300mm LENGTHS IN AREAS WHERE FILING CABINETS OR SHELVING UNITS ARE TO BE LOCATED
- REPAIR DAMAGE TO EXISTING FIRE SEPARATION WITHIN THE AREA OF WORK TO PROVIDE REQUIRED SEPARATION
- ENSURE ACOUSTICAL CAULKING IS PROVIDED AT PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR SLAB AND UNDERSIDE OF STRUCTURE
- ALL MATERIALS USED SHALL BE NEW UNLESS OTHERWISE NOTED
- LOCATIONS WHERE BASE BUILDING PARTITIONS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES. BE RESPONSIBLE FOR FURRING, CUTTING, PATCHING AND FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK
- ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED WITH APPROVED MATERIAL OR SYSTEM
- PATCH AND REPAIR EXISTING GYPSUM BOARD CEILING WHERE EXISTING WALLS ARE BEING REMOVED
- ALL RE-USED FRAMES TO CORRESPOND TO NEW WALL TYPE

WALL FINISHES SCHEDULE

- P-1 PAINT 1: GENERAL WALL TO MATCH EXISTING COLOR ON PUBLIC CORRIDOR
- P-2 PAINT 2: GENERAL WALL TO MATCH EXISTING COLOR ON OFFICE WALLS
- P-3 PAINT 3: GENERAL FRAME PAINT TO MATCH EXISTING COLOR ON DOOR FRAMES

WALL BASE FINISHES SCHEDULE

- B-1 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE TA4 GATEWAY WG
- B-2 WALL BASE -100 mm CARPET BASE TO MATCH EXISTING
- B-3 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE 23 VAPOR GREY CG

FLOOR FINISHES SCHEDULE

- VCT-1 EXISTING VINYL FLOORING
- VCT-2 EXISTING VINYL FLOORING
- PCT-1 POLYESTER COMPOSITE TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: ARMSTRONG T3602 STEEL
- CPT-1 EXISTING CARPET FLOORING
- NOTE: USE METAL TRANSITION WHEN FLOORING CHANGE. BASIS OF DESIGN: SCHLUTER SCHIENE BRUSHED STAINLESS STEEL

CEILING SCHEDULE

- ACT-1 EXISTING HERITAGE ACOUSTIC TILE CEILING
- ACT-2 NEW ACOUSTIC TILE CEILING COMPLETE WITH SUSPENSION SYSTEM SIZE: 610 X 610MM
- GBC-1 EXISTING GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING
- GBC-2 NEW GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING

INTERIOR PARTITION SCHEDULE

- F1 STC 38 FRR -
- 1 LAYER OF 16 MM GYPSUM BOARD ON EACH SIDE 32MM STEEL STUDS @ 400 O.C INFILL W/ ACOUSTIC BLANKET INSULATION (FROM FIN. FLOOR TO FIN. GWB CEILING)
- NOTE:
1. PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON ALL LINEAR WALL SPACE USED FOR ANCHORING EQUIPMENT IN THE LAN ROOM. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT.
- BCX*: B-GRADE ON THE FRONT SIDE AND C-GRADE ON THE BACKSIDE

PLAN LEGEND

- INDICATES NEW PARTITION
- INDICATES EXISTING PARTITION TO REMAIN
- D101 NEW DOOR NUMBER

LOCATION PLAN LEGEND

- NOT IN PROJECT SCOPE
- PHASE 1

REFLECTED CEILING PLAN LEGEND

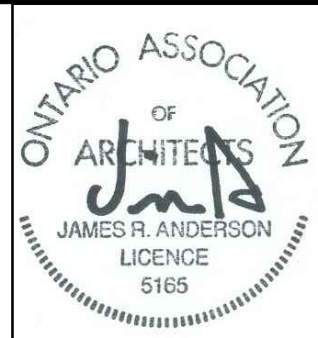
- 1220 X 305 mm LED LIGHTING FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- EXISTING SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS)
- RELOCATED EXISTING SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS)
- NEW 1220 X 305 mm LIGHTING FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- EXISTING RETURN AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- NEW RETURN AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- NEW ACCESS HATCH (REFER TO MECHANICAL DRAWINGS)
- EXISTING SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- NEW SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- EXISTING POT LIGHT (REFER TO ELECTRICAL DRAWINGS)
- NEW POT LIGHT (REFER TO ELECTRICAL DRAWINGS)
- CEILING HEIGHT
- CEILING TYPE

DEMOLITION FLOOR PLAN LEGEND

- EXISTING DOOR, DOOR FRAME AND HARDWARE TO BE REMOVED & DISPOSED
- EXISTING GLAZING SYSTEM TO BE REMOVED & DISPOSED
- EXISTING WALL PARTITIONS TO BE REMOVED & DISPOSED
- EXISTING WALL TO REMAIN

DEMOLITION REFLECTED CEILING PLAN LEGEND

- EXISTING 1220 X 305mm LIGHTING FIXTURE TO BE DISMOUNTED & PROTECTED TO BE RELOCATED (REFER TO ELECTRICAL DRAWINGS)
- EXISTING ACOUSTIC CEILING TO BE REMOVED & DISPOSED
- EXISTING GYPSUM BOARD CEILING TO BE REMOVED & DISPOSED
- EXISTING POT LIGHT TO BE DISMOUNTED & PROTECTED TO BE RELOCATED (REFER TO ELECTRICAL DRAWINGS)
- SUSPENDED LINEAR PENDANT TO BE REMOVED (REFER TO ELECTRICAL DRAWINGS)
- EXISTING SUPPLY AIR DIFFUSER TO BE REMOVED & DISPOSED (REFER TO MECHANICAL DRAWINGS)



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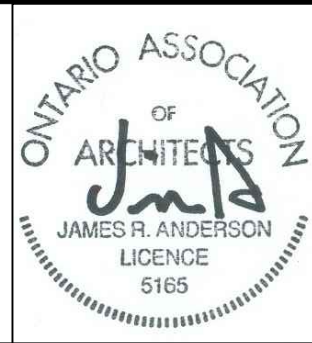
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| revision | | date |

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- B drawing no. - where detail required dessin no. - ou detail exigé
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DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO



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project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

DOOR SCHEDULES

drawn by
dessiné par

AV

designed by
conçu par

AV

approved by
approuvé par

RN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

2016-09-02

project no.
no. du projet

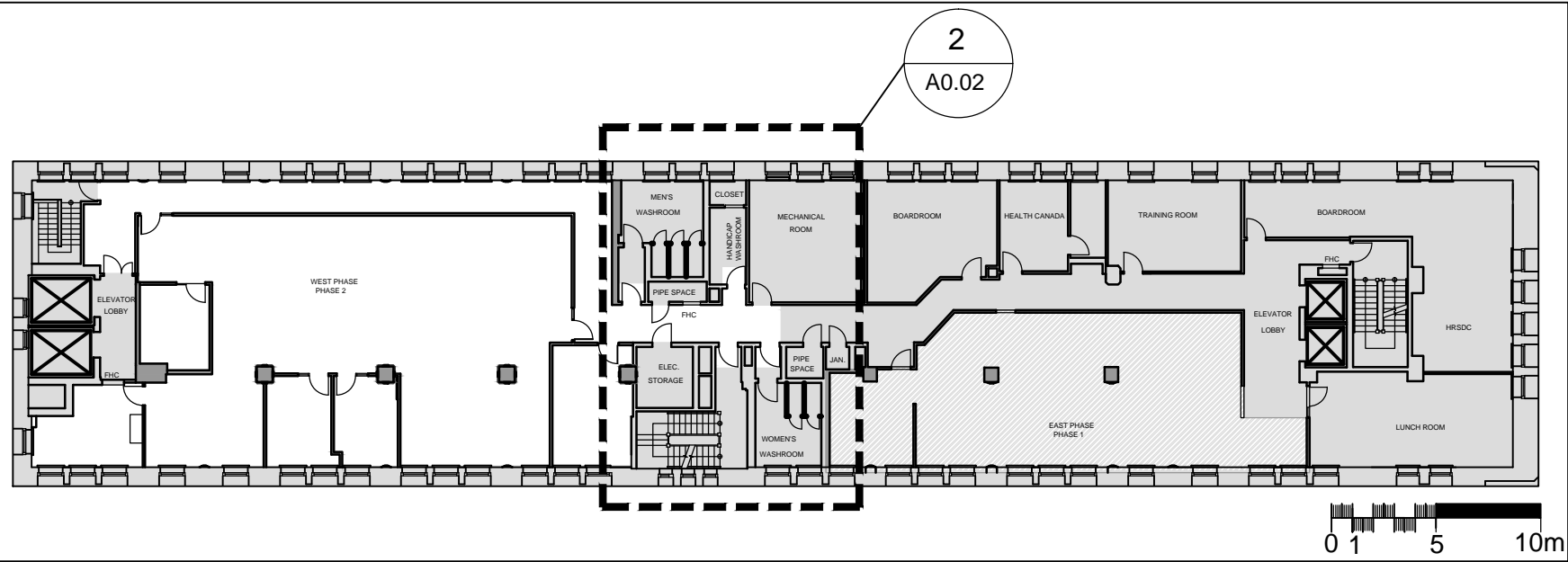
R.079143.042

drawing no.
dessiné no.

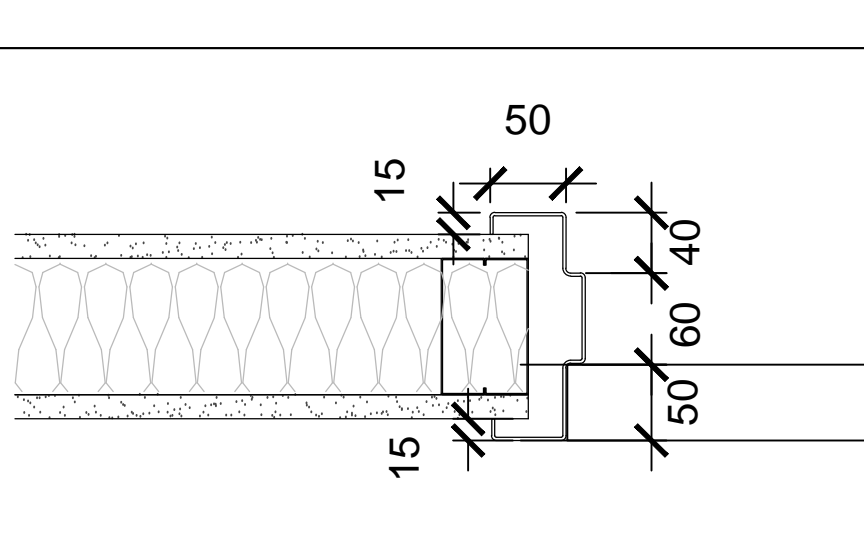
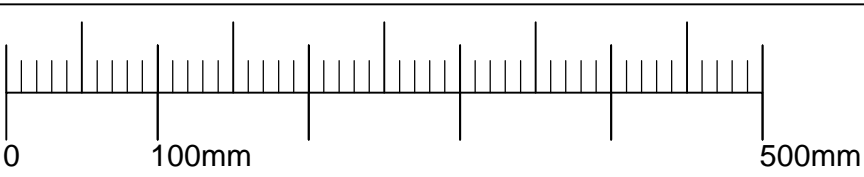
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DOOR SCHEDULE:

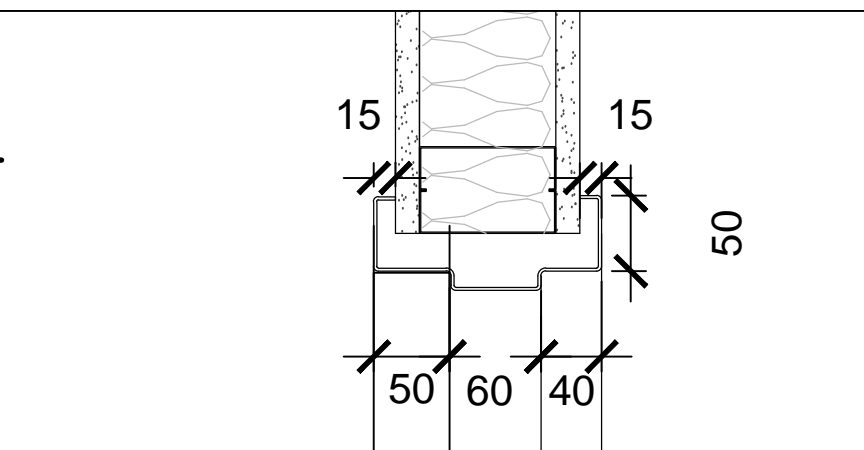
| DESCRIPTION | | | DOOR | | | | | HARDWARE | | | FRAME | | | GENERAL | | | | | |
|---|---|-------------------|-----------------------------|-----------|------|----------|--------|----------|---|-------------|-------------|-----------|------|----------|--------|----------------------|---------------------------|--|--|
| DOOR NUMBER | ROOM NUMBER | LOCATION | DIMENSIONS W x H x T | CONDITION | TYPE | MATERIAL | FINISH | GLASS | KEYPAD LOCK | DOOR CLOSER | CARD READER | CONDITION | TYPE | MATERIAL | FINISH | FIRE RATING(HOUR) | SET NO. REFER TO SPEC. | COMMENTS | |
| DR617 | 617 | LAN ROOM | 915x2135X50 | N | D2 | HM | PT | - | | | N | N | F2 | HM | PT | | EX | | |
| DR618A | 618 | OPEN OFFICE | 915x2135X50 | EX | D1 | SCW | ST | EX | | | | EX | F1 | HM | PT | | EX | RELOCATE EXISTING DOOR, DOOR FRAME AND HARDWARE REF A1.50 - A2.01. NEW CYLINDER & KEY RELOCATE EXISTING DOOR, DOOR FRAME AND HARDWARE REFER TO A1.50 - A2.01. NEW LOCKSET | |
| DR618B | 618 | OPEN OFFICE | 915x2135X50 | EX | D1 | SCW | ST | EX | | | | EX | F1 | HM | PT | | EX | | |
| DR620 | 620 | OFFICE | 915x2135X50 | EX | D1 | SCW | ST | EX | | | | EX | F1 | HM | PT | | EX | | |
| DR621 | 621 | OFFICE | 915x2135X50 | EX | D1 | SCW | ST | EX | | | | EX | F1 | HM | PT | | EX | | |
| DR622 | 622 | LUNCH ROOM | 915x2135X50 | EX | D1 | SCW | ST | EX | | | | EX | F1 | HM | PT | | EX | | |
| DR623 | 623 | WEST EXIT STAIR | 915x2135X50 | EX | D3 | HM | PT | EX | | | | EX | F2 | HM | PT | 1H | EX | | |
| DR619 | 619 | STORAGE | 1375x2135X50 | EX | D4 | SCW | ST | - | | | | EX | F3 | HM | PT | | EX | | |
| | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | |
| ADDITIONAL SCOPE | | | | | | | | | | | | | | | | | | | |
| DR629 | 629 | MEN'S PUBLIC WC | 915x2135X50 | EX | D1 | SCW | S | - | N | | | EX | F2 | HM | PT | | 06 | ADD NEW KEYPAD LOCK TO EXISTING DOORS | |
| DR616 | 630 | WOMEN'S PUBLIC WC | 915x2135X50 | EX | D1 | SCW | S | - | N | | | EX | F2 | HM | PT | | 06 | | |
| DR631 | 631 | B/F PUBLIC WC | 915x2135X50 | EX | D1 | SCW | S | - | N | | | EX | F2 | HM | PT | | 06 | | |
| DR632 | 632 | EXIT DOOR | 915x2135X50 | N | D3 | HM | PT | - | | N | | N | F2 | HM | PT | 1H | 06 | | |
| | | | | | | | | | | | | | | | | | | | |
| AL ANO GF HM PT S WG TG LG SCW | ALUMINUM ANODIZED GLAZING FINISH HOLLOW METAL PAINTED STAIN WIRED GLASS TEMPERED GLASS LAMINATED GLASS SOLID CORE WOOD | N RE EX | NEW RENOVATE EXISTING | | | | | | NOTE: REFER TO SECTION 08 OF THE PROJECT MANUAL FOR DOOR HARDWARE | | | | | | | | | | |



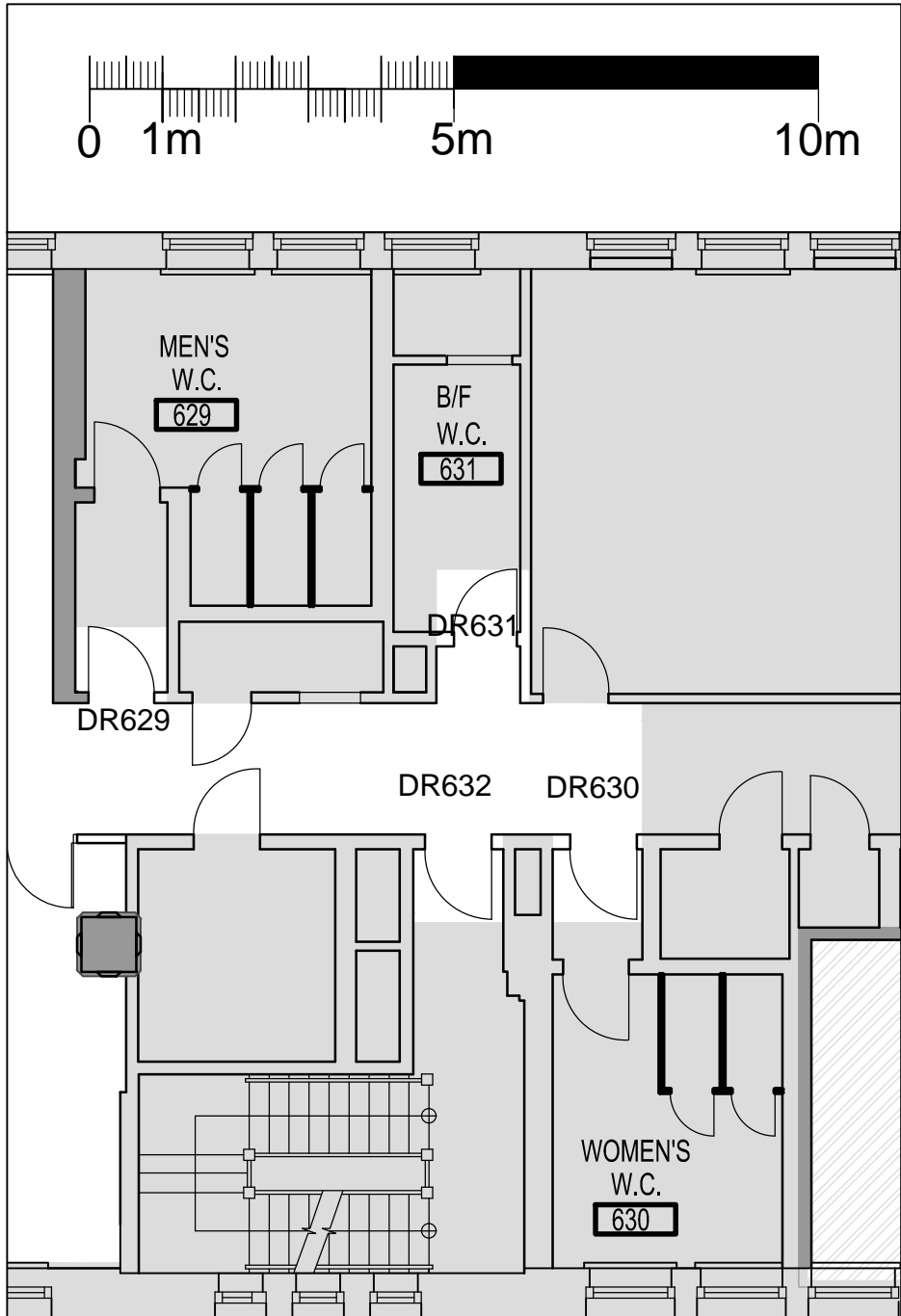
1 ADDITIONAL SCOPE OF WORK-DOOR & HARDWARE LOCATION PLAN
A0.02 SCALE: NOT TO SCALE



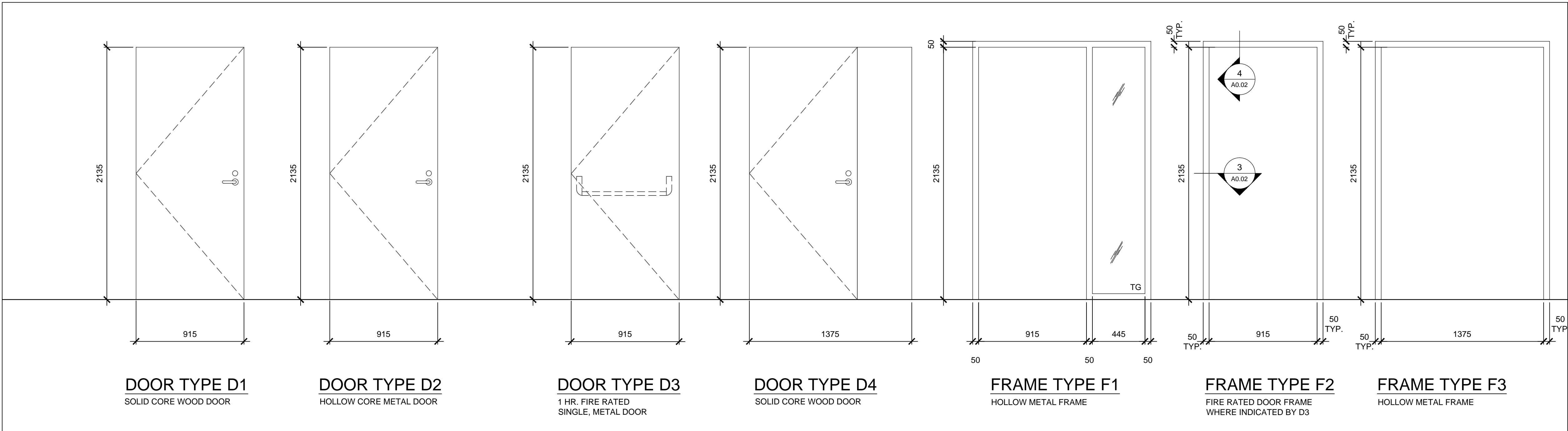
3 DETAIL: DOOR JAMB
A0.02 SCALE: NOT TO SCALE



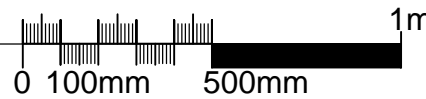
4 DETAIL: DOOR HEAD
A0.02 SCALE: NOT TO SCALE

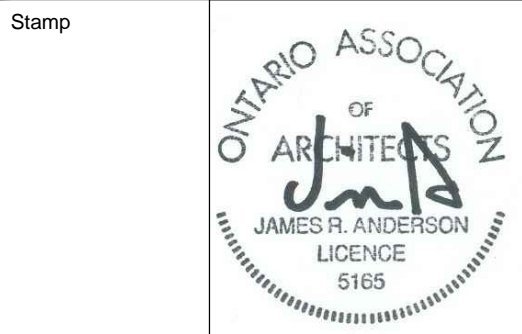


2 ENLARGED PARTIAL PLAN
A0.02 SCALE: NOT TO SCALE



5 DOOR AND DOOR FRAME ELEVATIONS
A0.02 SCALE: NOT TO SCALE





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titre du projet
DOMINION PUBLIC BUILDING
457 RICHMOND STREET
LONDON, ONTARIO
6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin
DEMOLITION PLAN

drawn by
dessiné par
AV

designed by
conçu par
AV

approved by
approuvé par
RN

bid
offre
DA

project manager
administrateur
de projets

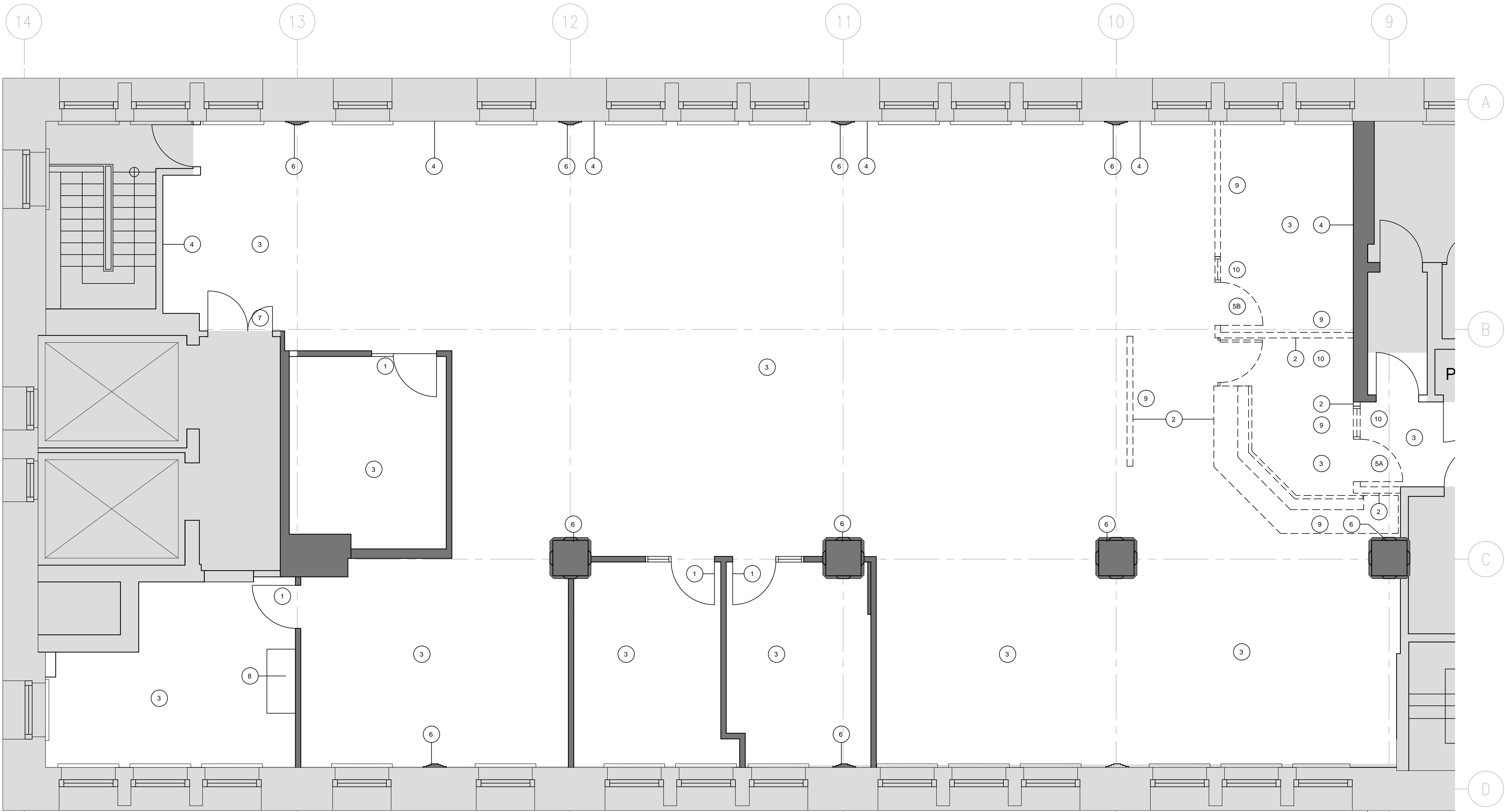
project date
date du projet
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project no.
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R.079143.042

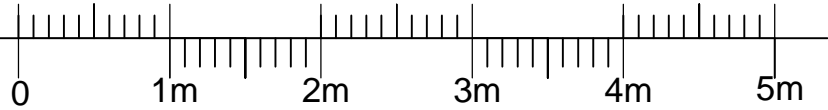
drawing no.
dessiné no.
WEST-A1.50

DEMOLITION FLOOR PLAN KEY NOTES

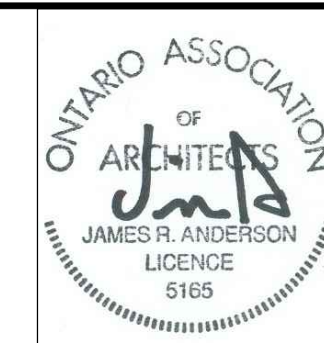
- 1 EXISTING DOOR FRAME AND DOOR TO REMAIN
- 2 EXISTING GYPSUM BOARD PARTITION/MILLWORK TO BE REMOVED & DISPOSED
- 3 EXISTING FLOORING AND TRANSITION STRIPS TO REMAIN AND BE PROTECTED
- 4 REPAIR WALLS TO RECEIVE NEW FINISHES.
- 5A RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618A LOCATION
- 5B RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618B LOCATION. PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A
- 6 EXISTING REPLICA HERITAGE COLUMNS TO REMAIN AND BE PROTECTED
- 7 DOOR & INACTIVE LEAF WITH MAGNETIC LOCK TO REMAIN
- 8 EXISTING COUNTER TOP, SINK AND MILLWORK TO REMAIN
- 9 PATCH & FILL ALL FLOOR DEPRESSIONS AND DAMAGES WHEN PARTITIONS ARE REMOVED, TYPICAL.
- 10 PATCH & REPAIR ALL WALLS & CEILING WHERE EXISTING WALLS, DOORS, PARTITIONS ARE REMOVED, TYPICAL.



1 DEMOLITION PLAN
A1.50 SCALE: 1:50



Stamp



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ELECTRICAL ENGINEER
DIALOG
2 BLOOR ST. EAST, SUITE 1100
TORONTO, ON
Tel: (416)966-0220 Fax: (416)966-0223

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| 1 | ISSUED FOR BID | 2016-09-02 |
| revision | | date |

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| C | drawing no. - where detail required |
| | dessin no. - ou detail exige |
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project title
titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title
titre du dessin

DEMOLITION
REFLECTED CEILING PLAN

drawn by
dessiné par

AV

designed by
conç par

AV

approved by
approuvé par

RN

bid
offre

DA

project manager
administrateur
de projets

project date
date du projet

2016-09-02

project no.
no. du projet

R.079143.042

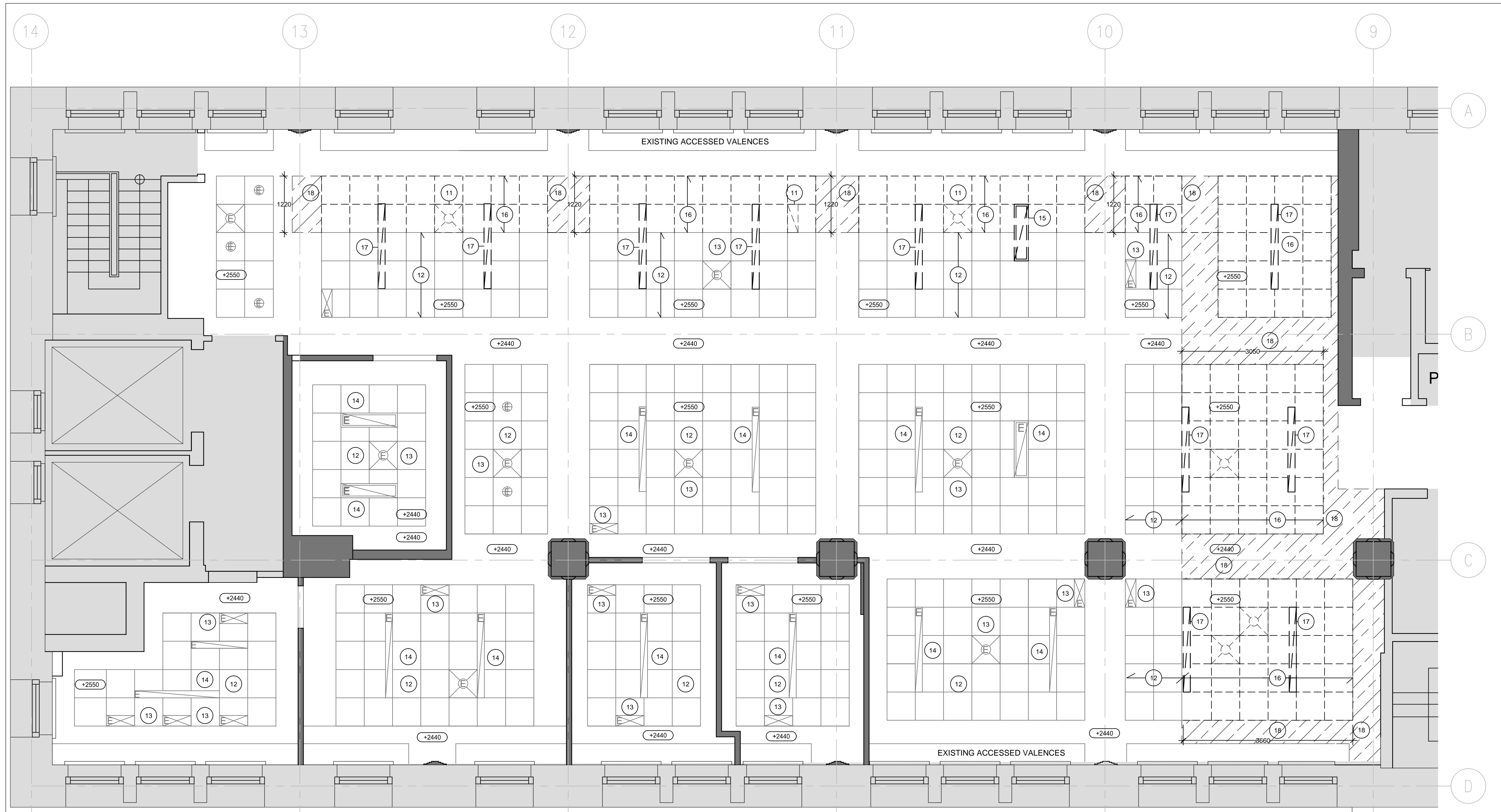
drawing no.
dessiné no.

WEST-A1.51

DEMOLITION RCP KEY NOTES

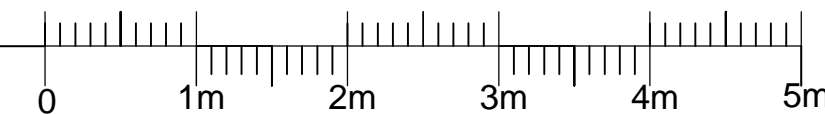
- 11 EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- 12 EXISTING REPLICA HERITAGE CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- 13 EXISTING SUPPLY AND RETURN DIFFUSER TO REMAIN
- 14 EXISTING LIGHT FIXTURES TO REMAIN
- 15 EXISTING LED LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE REUSED IN THE EAST OFFICE
- 16 EXISTING CEILING GRID AND PANELS TO BE REMOVED & DISPOSED
- 17 EXISTING LIGHT FIXTURES TO BE DISMOUNTED & PROTECTED FOR REUSE
- 18 GYPSUM BOARD CEILING TO BE REMOVED & DISPOSED

NOTE:
1. ALL EXISTING BLINDS TO BE COVERED & CLEANED

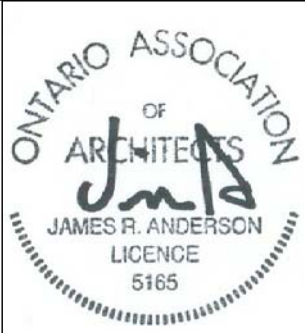


1 DEMOLITION REFLECTED CEILING PLAN

A1.51 SCALE: 1:50



Stamp



METRIC

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REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.

ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE DEPARTMENTAL
REPRESENTATIVE FOR CLARIFICATION BEFORE COMMENCING WITH
THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT
WRITTEN APPROVAL FROM THE DEPARTMENTAL REPRESENTATIVE
ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ARCHITECTURAL / INTERIOR DESIGN

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MECHANICAL ENGINEER

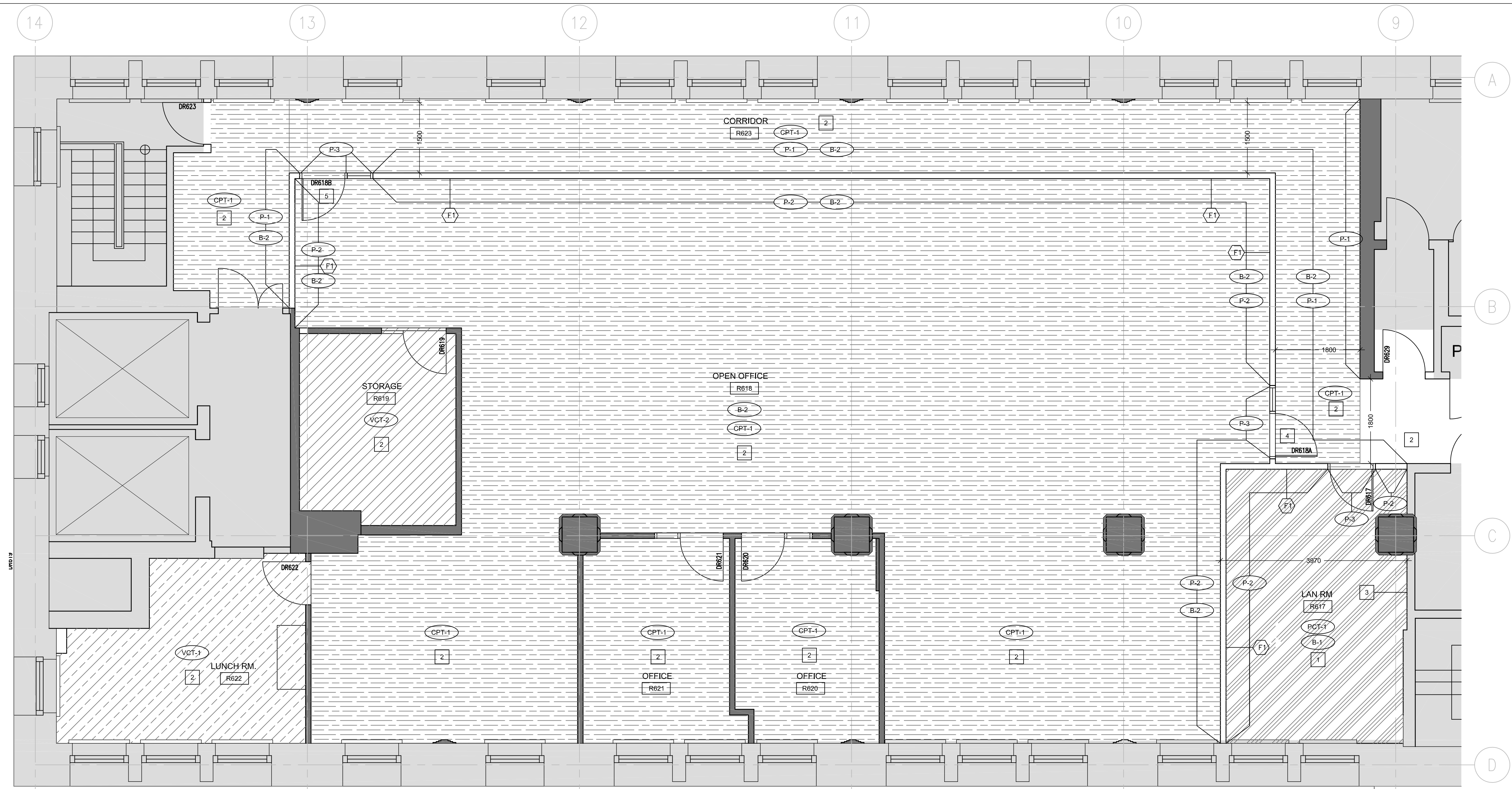
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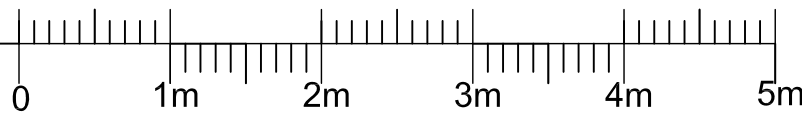
CONSTRUCTION FLOOR PLAN KEY NOTES

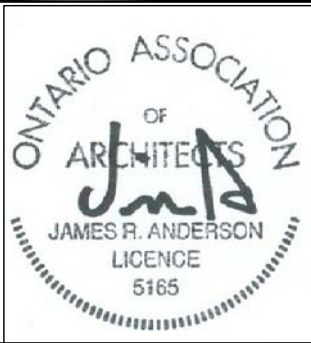
- 1 NEW FLOOR AND BASE. REFER TO FINISHES SCHEDULE.
- 2 EXISTING FLOORING AND BASE TO REMAIN. PATCH AND REPAIR ALL DAMAGE FLOORING AND
BASE.ADD NEW BASE ON NEW WALLS AS INDICATED TO MATCH EXISTING.
VERIFY DIMENSIONS.
- 3 PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON THE LINEAR WALL SPACE
USED FOR ANCHORING EQUIPMENT. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH
LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT.
REFER TO WEST-E2.02
- 4 RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW CYLINDER, KEY ALIKE TO
DR618B
- 5 RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW LOCKSET KEYED ALIKE TO
DR618A



1 CONSTRUCTION & FINISHES PLAN

SCALE: 1:50





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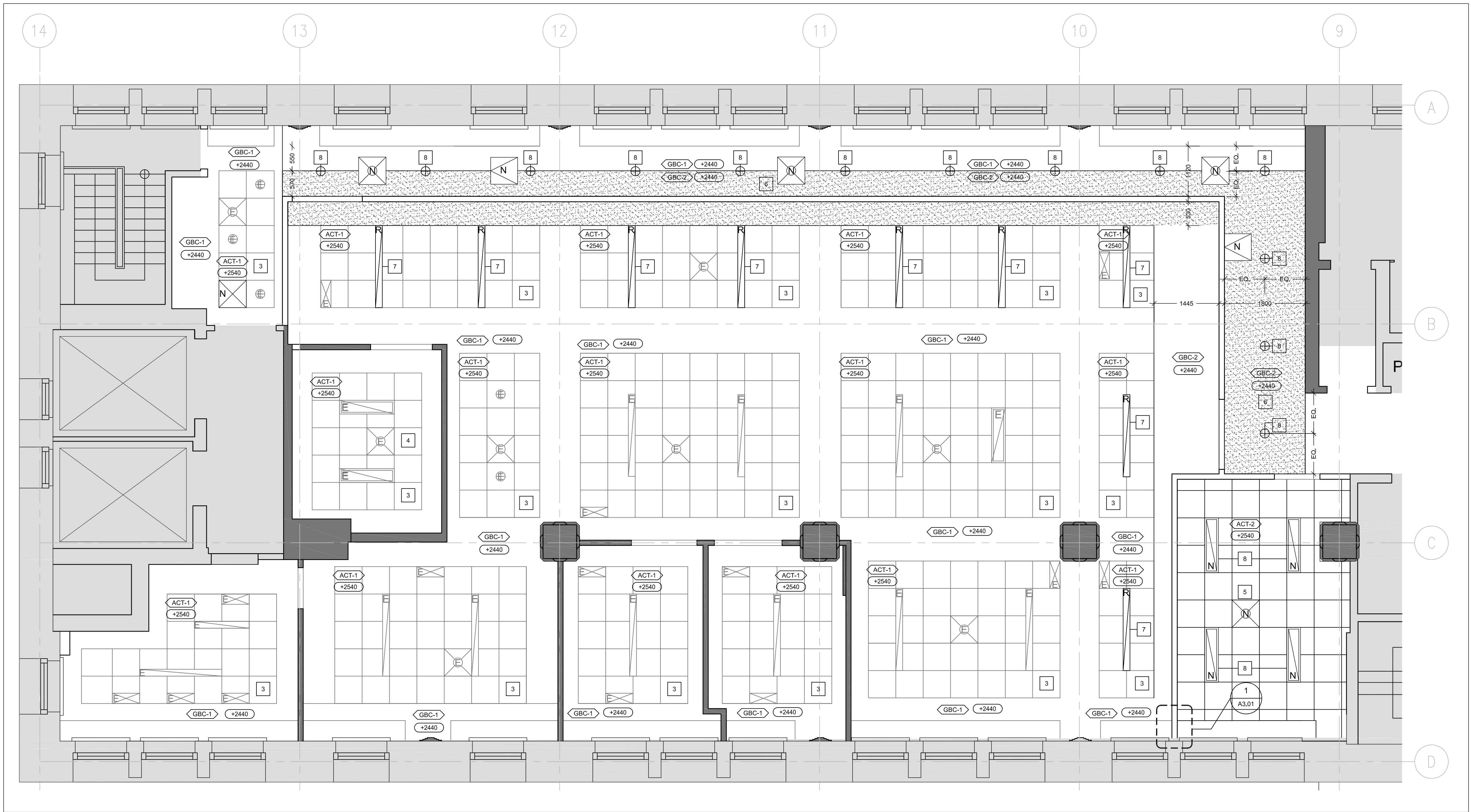
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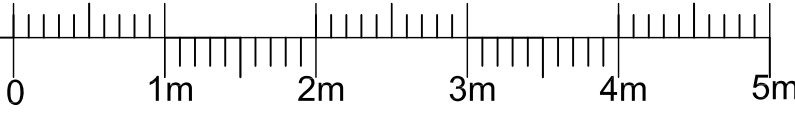
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CONSTRUCTION RCP KEY NOTES

- 3 EXISTING REPLICA HERITAGE CEILING TILE AND GRID TO REMAIN AND PROTECT
- 4 DAMAGED CEILING TILES TO BE REPLACED
- 5 NEW T-BAR CEILING AND ACOUSTICAL CEILING TILES
- 6 NEW GYPSUM BOARD CEILING TO MATCH EXISTING
- 7 EXISTING LIGHT FIXTURES RELOCATED
- 8 NEW LIGHT FIXTURE



1 REFLECTED CEILING PLAN
A2.03 SCALE: 1:50



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