



Public Works  
Government Services  
Canada

Architectural and  
Engineering Services

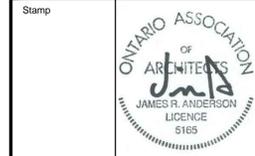
Ontario Region

Travaux publics  
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Canada

Services d'architecture  
et de génie

Région de l'Ontario

Public Works and  
Government Services Canada  
Travaux publics et  
Services gouvernementaux Canada



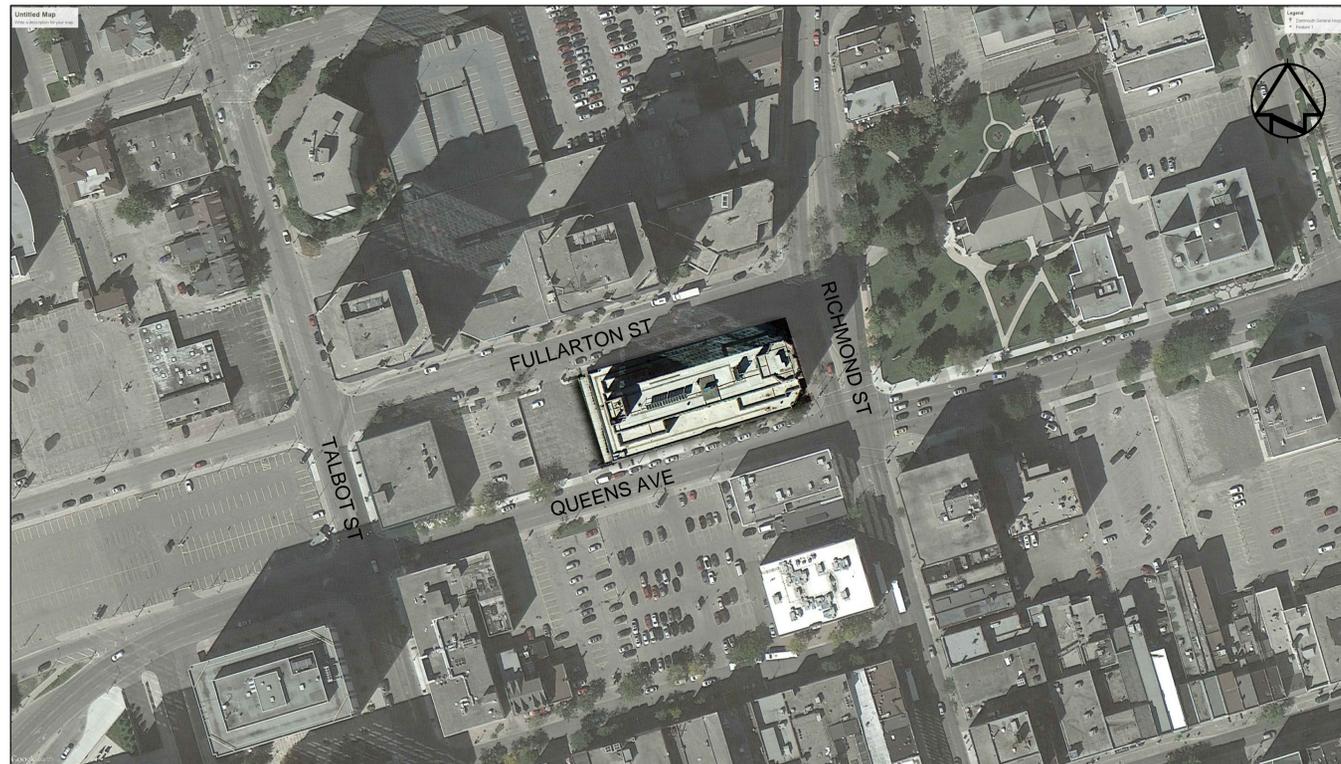
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# DOMINION PUBLIC BUILDING

457 RICHMOND ST, LONDON, ONTARIO  
N6A3E3  
6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

ISSUED FOR BID 2016-09-02  
PWGSC Proj. No.: R.079143.042



LOCATION PLAN

**LIST OF DRAWINGS**

- A0.000 LOCATION PLAN AND DRAWING LIST
- A0.001 SIXTH FLOOR LOCATION PLAN
- A0.002 CROSS-OVER SIGNAGE FOR BASEMENT
- A0.003 CROSS-OVER SIGNAGE FOR MAIN FLOOR LEVEL
- A0.004 CROSS-OVER SIGNAGE FOR FLOOR LEVELS 2& 3
- A0.005 CROSS-OVER SIGNAGE FOR FLOOR LEVELS 4& 5
- A0.006 CROSS-OVER SIGNAGE FOR FLOOR LEVEL 6

**ARCHITECTURAL**

- |  |  |
|--|--|
| EAST-A0.00 EAST PHASE LOCATION PLAN, LEVEL 6 | WEST-A0.00 WEST PHASE LOCATION PLAN, LEVEL 6 |
| EAST-A0.01 LEGENDS AND SCHEDULES             | WEST-A0.01 LEGENDS AND SCHEDULES             |
| EAST-A0.02 DOOR SCHEDULES                    | WEST-A0.02 DOOR SCHEDULES                    |
| EAST-A1.50 DEMOLITION PLAN                   | WEST-A1.50 DEMOLITION PLAN                   |
| EAST-A1.51 DEMOLITION REFLECTED CEILING PLAN | WEST-A1.51 DEMOLITION REFLECTED CEILING PLAN |
| EAST-A2.01 CONSTRUCTION AND FINISHES PLAN    | WEST-A2.01 CONSTRUCTION AND FINISHES PLAN    |
| EAST-A2.02 FURNITURE PLAN                    | WEST-A2.02 REFLECTED CEILING PLAN            |
| EAST-A2.03 REFLECTED CEILING PLAN            |  |
| EAST-A3.01 WALL CROSS-SECTION                |  |
| EAST-A6.01 MILLWORK DETAILS                  |  |
| EAST-A6.02 MILLWORK DETAILS                  |  |

**MECHANICAL**

- |  |   |
|--|---|
| EAST-M0.01 MECHANICAL LEGEND, SCHEDULES, AND DETAILS | WEST-M0.01 MECHANICAL LEGEND & SCHEDULES              |
| EAST-M2.01 FIRE PROTECTION AND PLUMBING PLAN         | WEST-M0.02 MECHANICAL DETAILS                         |
| EAST-M2.02 HVAC PLAN                                 | WEST-M1.01 FIRE PROTECTION & PLUMBING DEMOLITION PLAN |
|  | WEST-M1.02 HVAC DEMOLITION PLAN                       |
|  | WEST-M2.01 FIRE PROTECTION AND PLUMBING UPGRADE PLAN  |
|  | WEST-M2.02 HVAC UPGRADE PLAN                          |

**ELECTRICAL**

- |  |                                       |
|--|---------------------------------------|
| E0.01 ELECTRICAL LEGENDS AND SPECIFICATION | WEST-E1.01 ELECTRICAL DEMOLITION PLAN |
| EAST-E2.02 ELECTRICAL PLAN                 | WEST-E2.01 ELECTRICAL PLAN            |
|  | E6.01 ELECTRICAL DETAILS              |

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revision		date

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project title  
titre du projet  
**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**LOCATION PLAN AND DRAWING LIST**

drawn by  
dessiné par AV

designed by  
conc par AV

approved by  
approuvé par RN

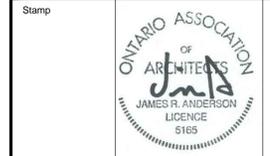
bid  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. A0.000





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project title  
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**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**SIXTH FLOOR LOCATION PLAN**

drawn by  
dessiné par AV

designed by  
conçu par AV

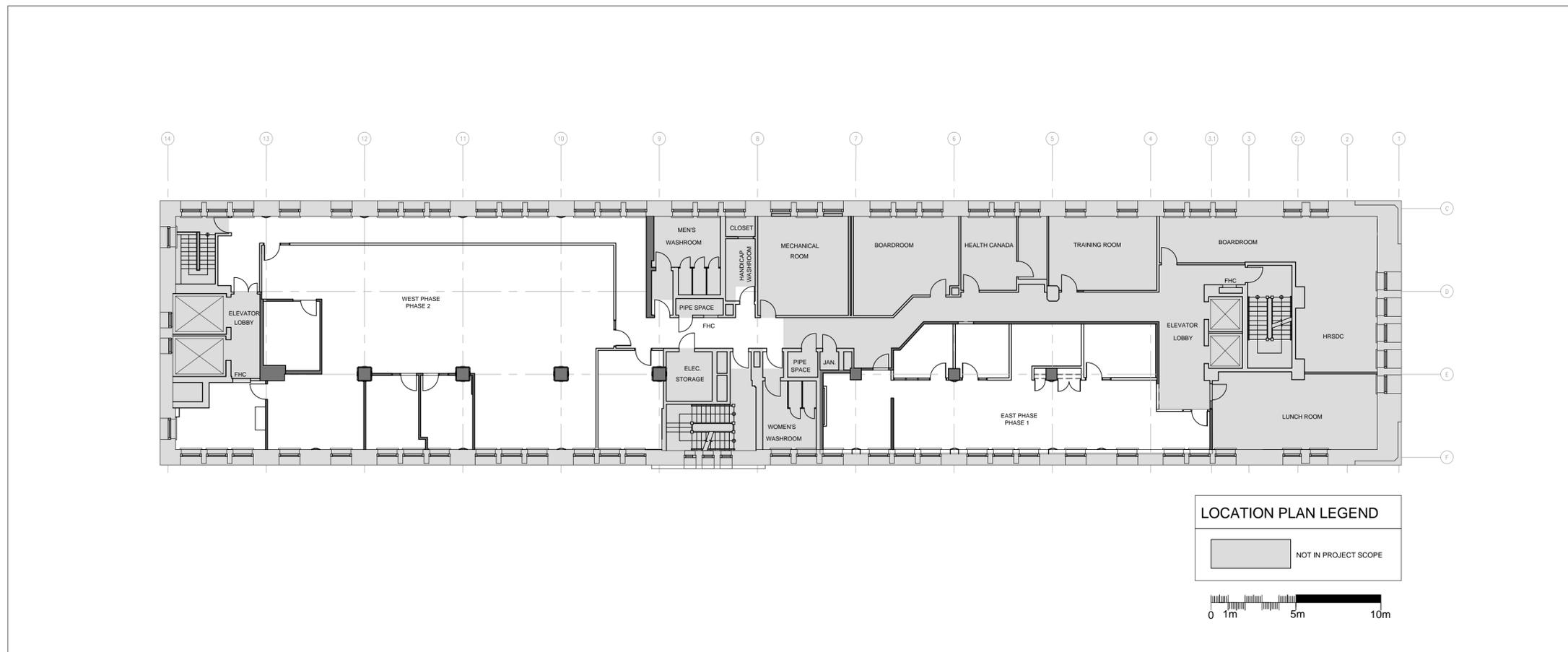
approved by  
approuvé par DN

bid  
offre DA project manager  
administrateur de projets

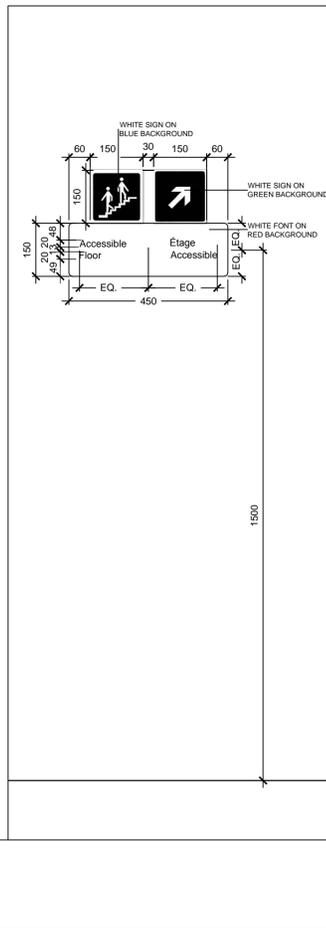
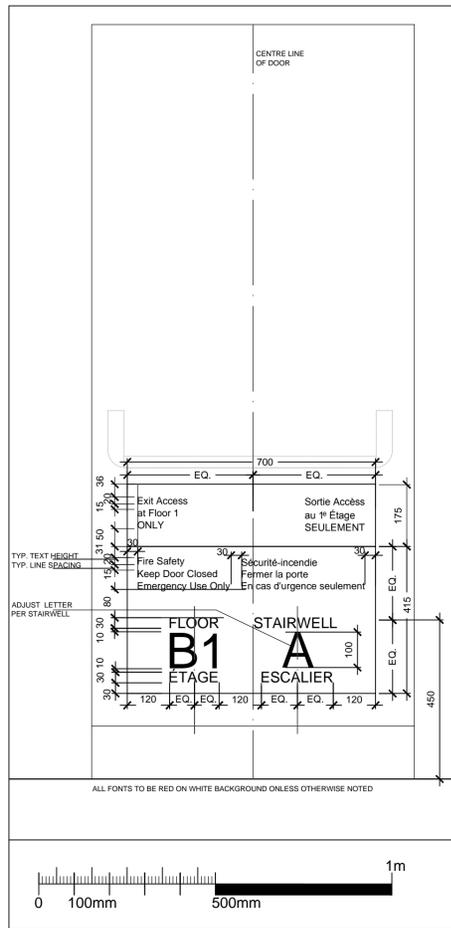
project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. A0.001



**1** SIXTH FLOOR LOCATION PLAN  
A0.001 SCALE: 1:150



GENERAL NOTE:

THIS DRAWING IS FOR SIGNAGE ONLY. FOR DOOR SCHEDULE REFER TO EAST-A0.02 AND WEST-A0.02

INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

SCENARIO 1: EXISTING DOOR IS SOLID. INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

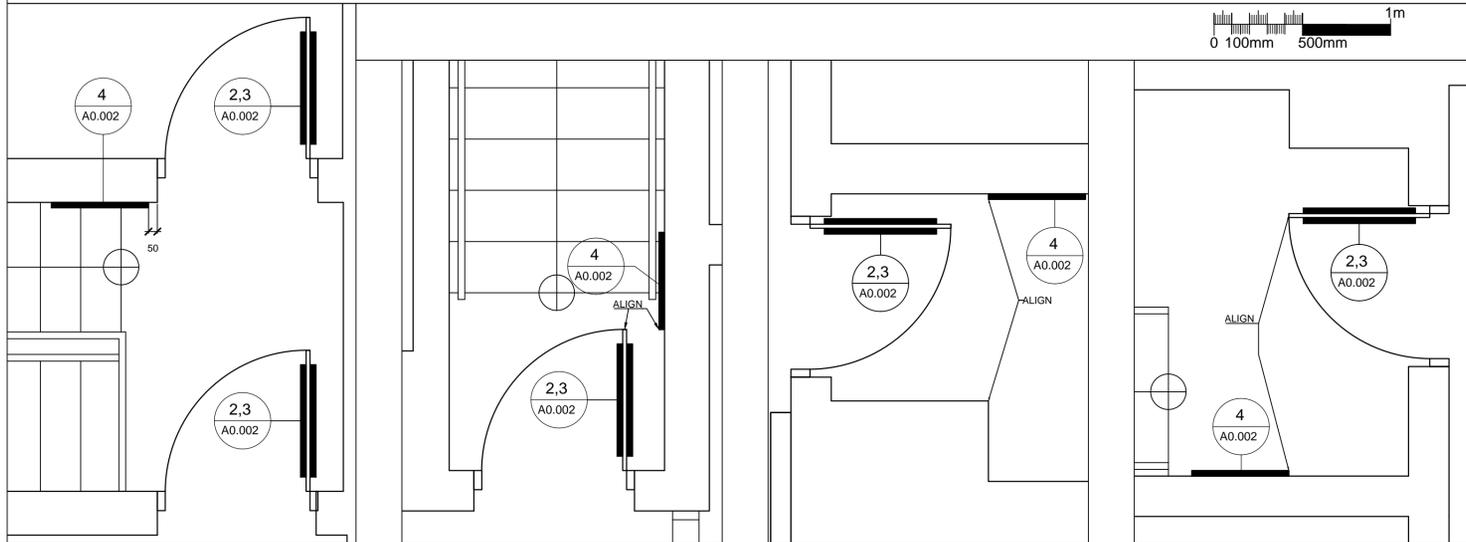
SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION. INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

USE SCENARIO 2 ONLY IF NECESSARY, SCENARIO 1 IS PREFERRED

FOR ALL THE COLORS INDICATED ON THE DRAWINGS:

THE NUMBERS BELOW REFER TO COLORS INCLUDED IN A U.S. GOVERNMENT PUBLICATION ENTITLED FEDERAL STANDARD NO. 595B, COLORS USED IN GOVERNMENT PROCUREMENT.

RED: 11120  
GREEN: 14120  
BLUE 15092



3 SCENARIO 2 - DOOR SIGN FRONT & BACK SIDES

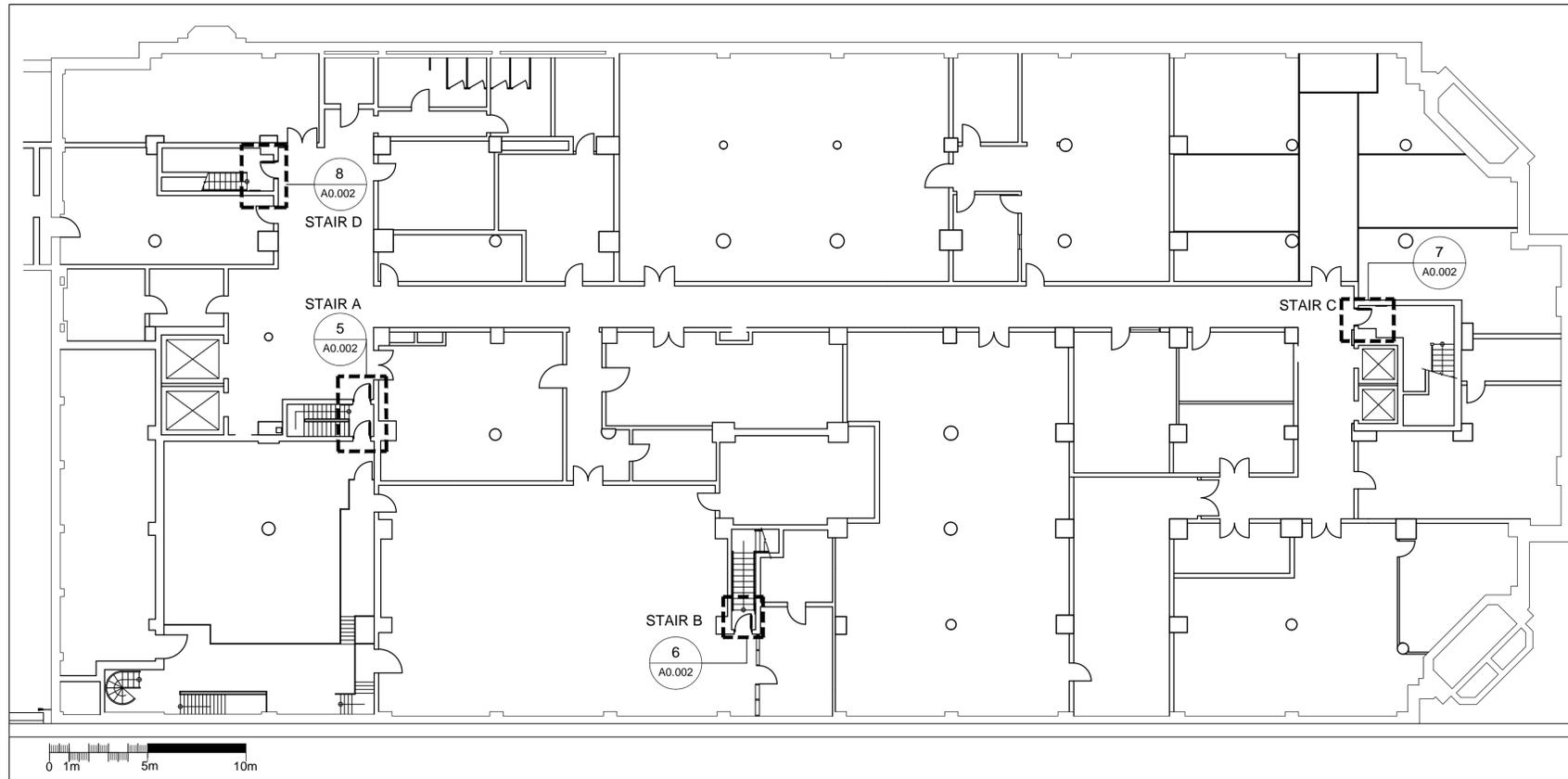
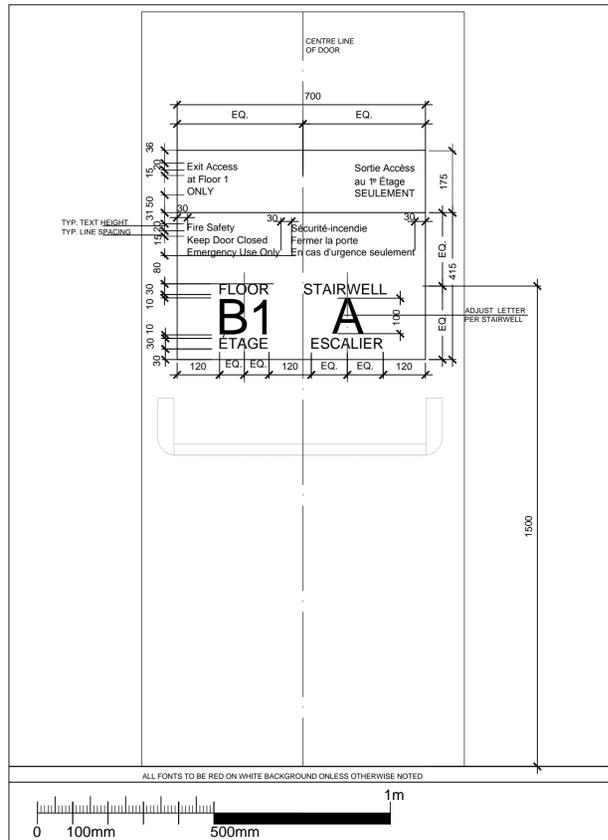
4 WALL SIGN

5 STAIR WELL A

6 STAIR WELL B

7 STAIR WELL C

8 STAIR WELL D



2 SCENARIO 1 - DOOR SIGN FRONT & BACK SIDES

1 BASEMENT FLOOR PLAN



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DIALOG  
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revision		date

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B	No. du detail
B	drawing no. - where detail required
C	dessin no. - ou detail exigé
C	drawing no. - where detailed
C	dessin no. - ou détaillé

project title  
titre du projet

**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**CROSS-OVER SIGNAGE FOR BASEMENT**

drawn by  
dessiné par AV

designed by  
conçue par AV

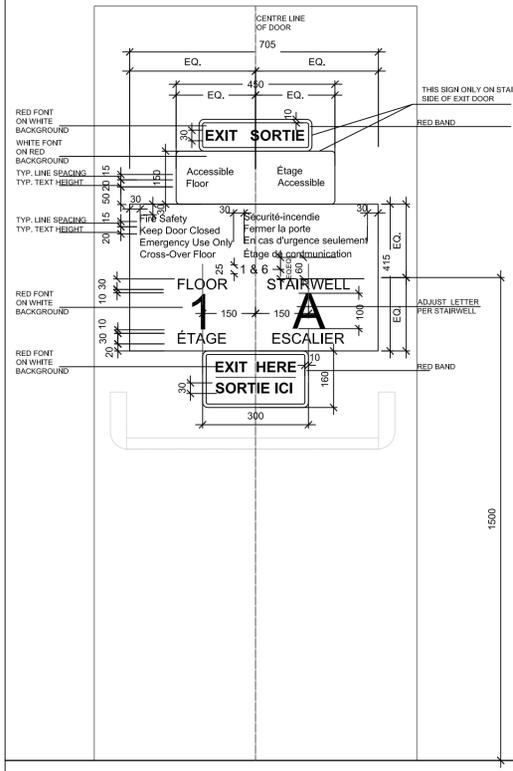
approved by  
approuvée par DN

bid offer  
offre DA project manager  
administrateur de projets

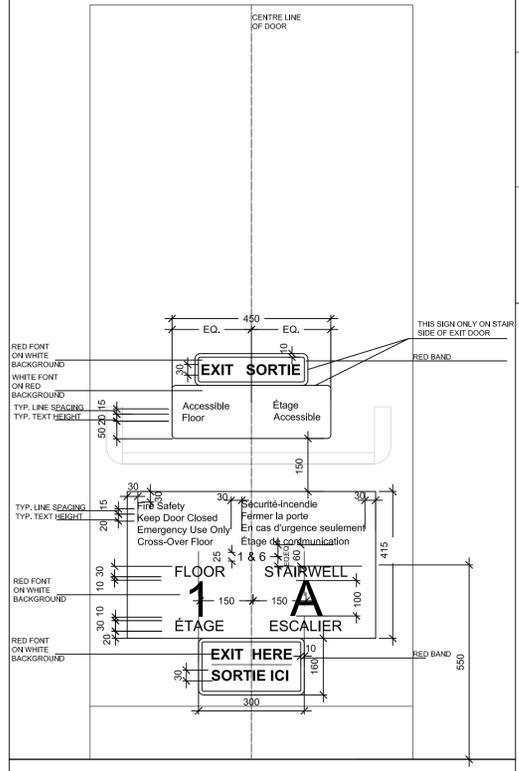
project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessin no. A0.002



2 SCENARIO 1 - SIGN ON DOOR  
A0.003 SCALE: 1:10



3 SCENARIO 2 - SIGN ON WALL  
A0.003 SCALE: 1:10

GENERAL NOTE:  
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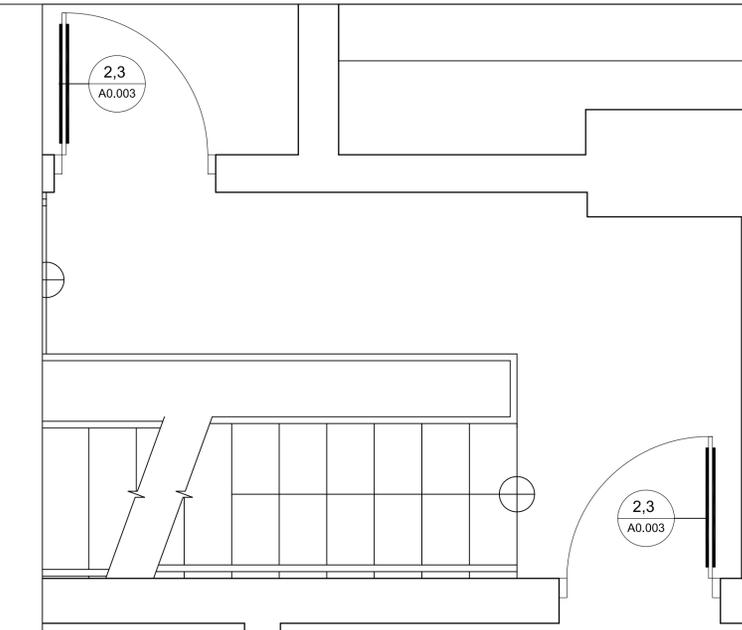
SCENARIO 1: EXISTING DOOR IS SOLID.  
 INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

SCENARIO 2: EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION  
 INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

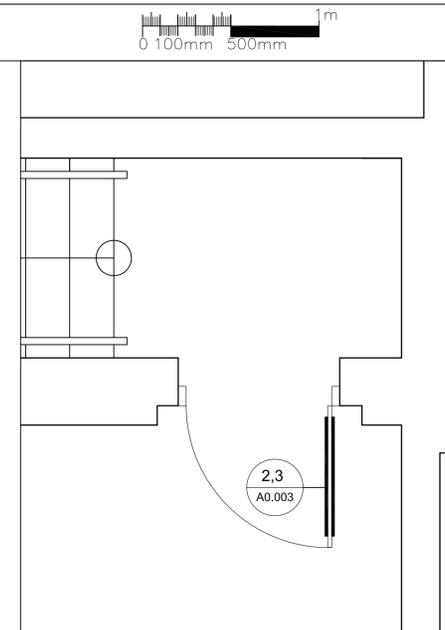
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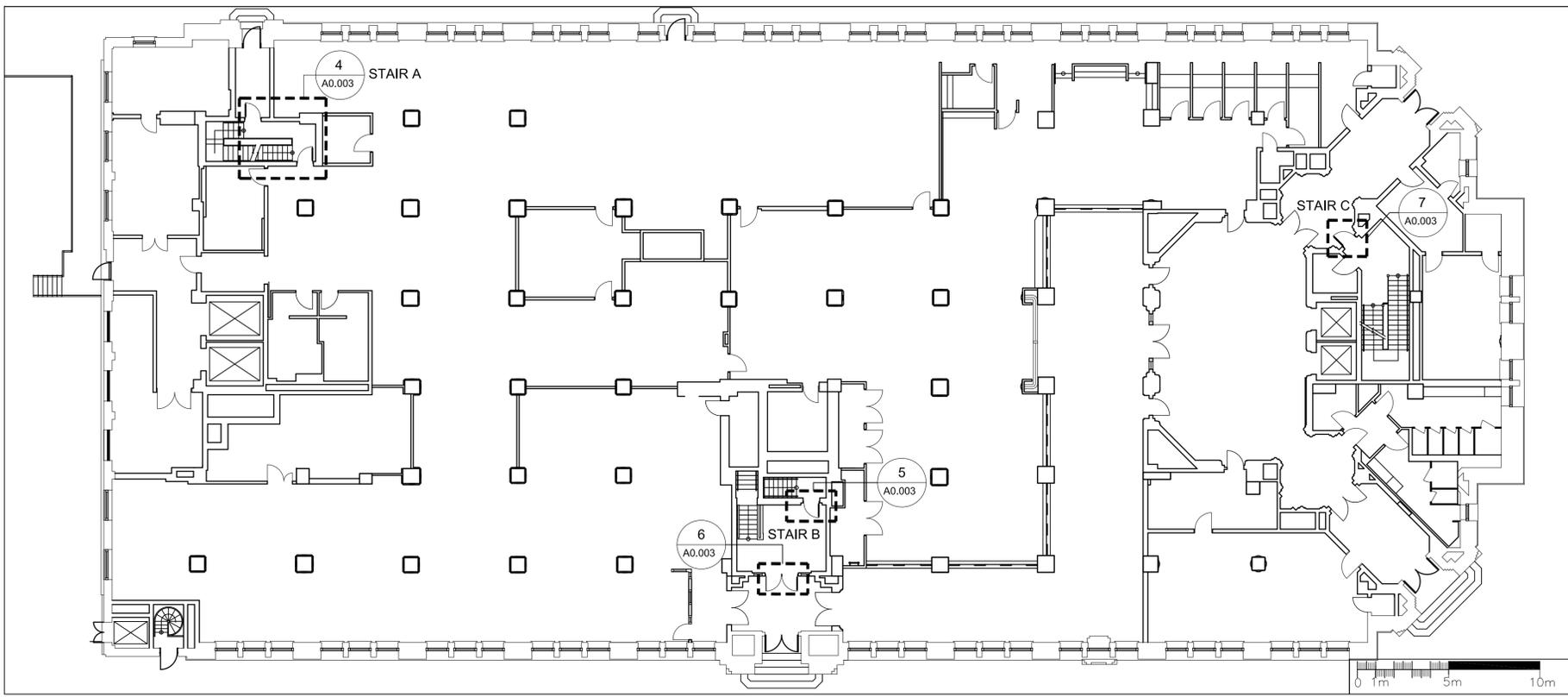
RED: 11120 GREEN: 14120 BLUE 15092



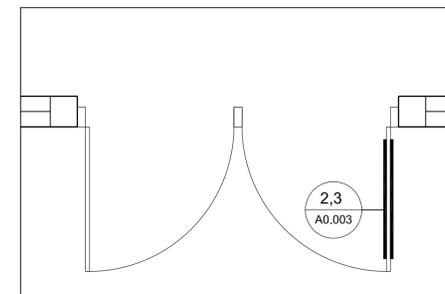
4 STAIR WELL A  
A0.003 SCALE: 1:20



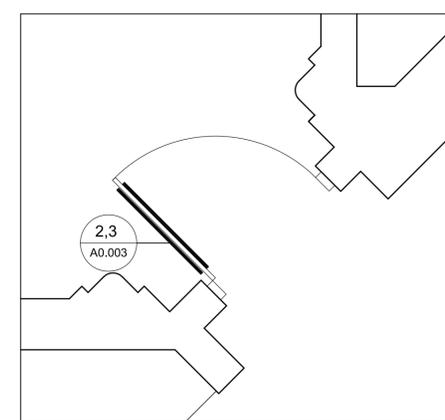
5 STAIR WELL B  
A0.003 SCALE: 1:20



1 MAIN FLOOR PLAN  
A0.003 SCALE: 1:150



6 STAIR WELL B  
A0.003 SCALE: 1:20



7 STAIR WELL C  
A0.003 SCALE: 1:20

Public Works and Government Services Canada  
 Travaux publics et Services gouvernementaux Canada

**DIALOG**

Stamp: ONTARIO ASSOCIATION OF ARCHITECTS  
 JAMES R. ANDERSON LICENCE 5165

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revision		date

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 B drawing no. - where detail required dessin no. - ou detail exigé  
 C drawing no. - where detailed dessin no. - ou détaillé

project title  
 titre du projet  
**DOMINION PUBLIC BUILDING**  
 457 RICHMOND STREET  
 LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
 titre du dessin  
**CROSS-OVER SIGNAGE FOR MAIN FLOOR LEVEL**

drawn by  
 dessiné par AV

designed by  
 conçu par AV

approved by  
 approuvé par DN

bid  
 offre DA project manager  
 administrateur de projets

project date  
 date du projet 2016-09-02

project no.  
 no. du projet R.079143.042

drawing no.  
 dessiné no. A0.003



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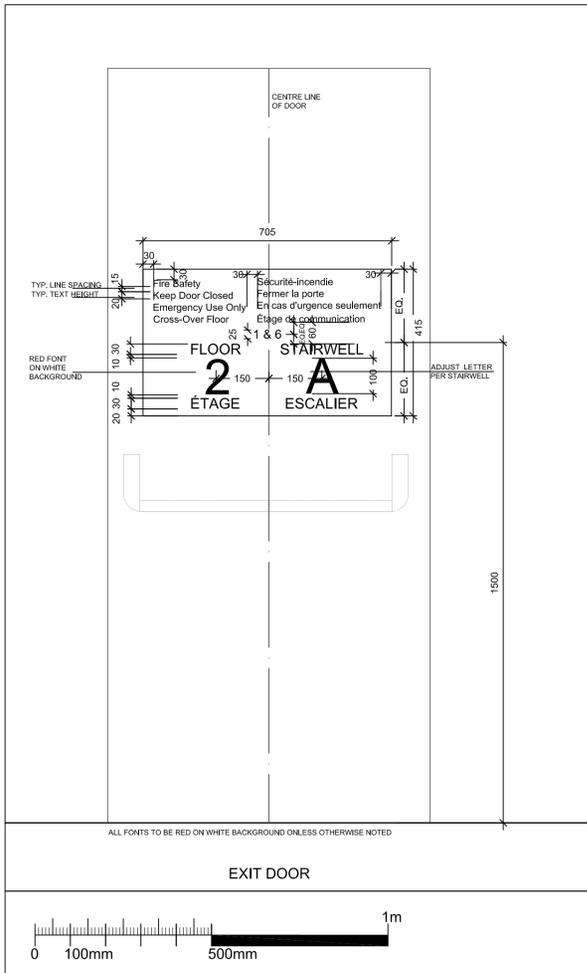
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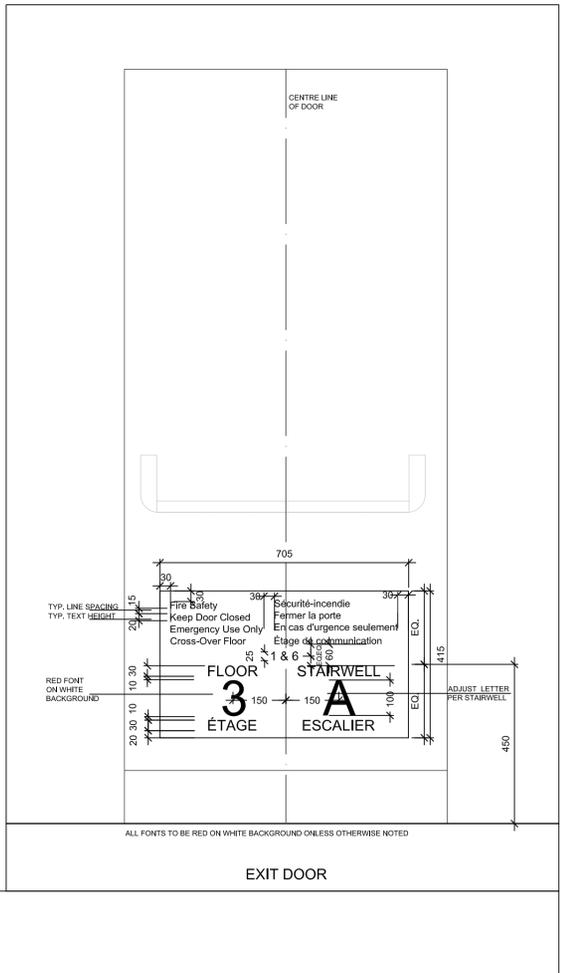
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**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**CROSS-OVER SIGNAGE FOR FLOOR LEVELS 2, 3**

drawn by dessiné par	AV
designed by conçue par	AV
approved by approuvée par	DN
bid offre	DA project manager administrateur de projets
project date date du projet	2016-09-02
project no. no. du projet	R.079143.042
drawing no. dessiné no.	A0.004



**2 SCENARIO 1 - SIGN ON DOOR**  
A0.004 SCALE: 1:10



**3 SCENARIO 2 - SIGN ON WALL**  
A0.004 SCALE: 1:10

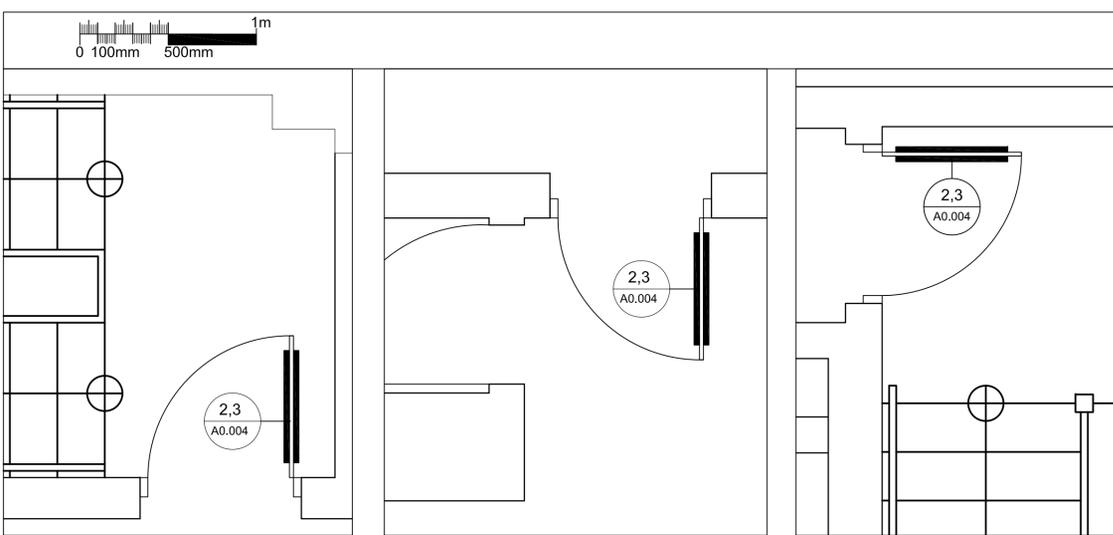
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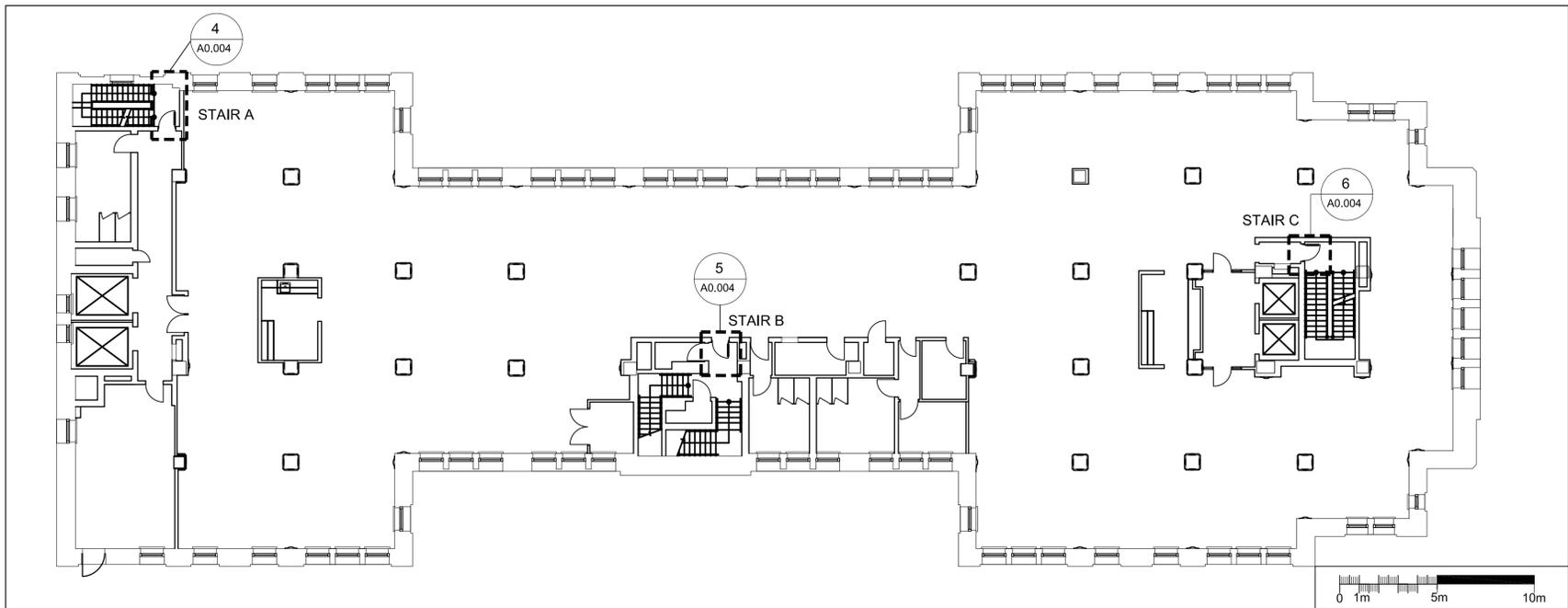
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RED: 11120  
GREEN: 14120  
BLUE 15092



**4 STAIR WELL A** A0.004 SCALE: 1:20  
**5 STAIR WELL B** A0.004 SCALE: 1:20  
**6 STAIR WELL C** A0.004 SCALE: 1:20



**1 TYPICAL FLOOR PLAN, LEVEL 2 & 3**  
A0.004 SCALE: 1:150

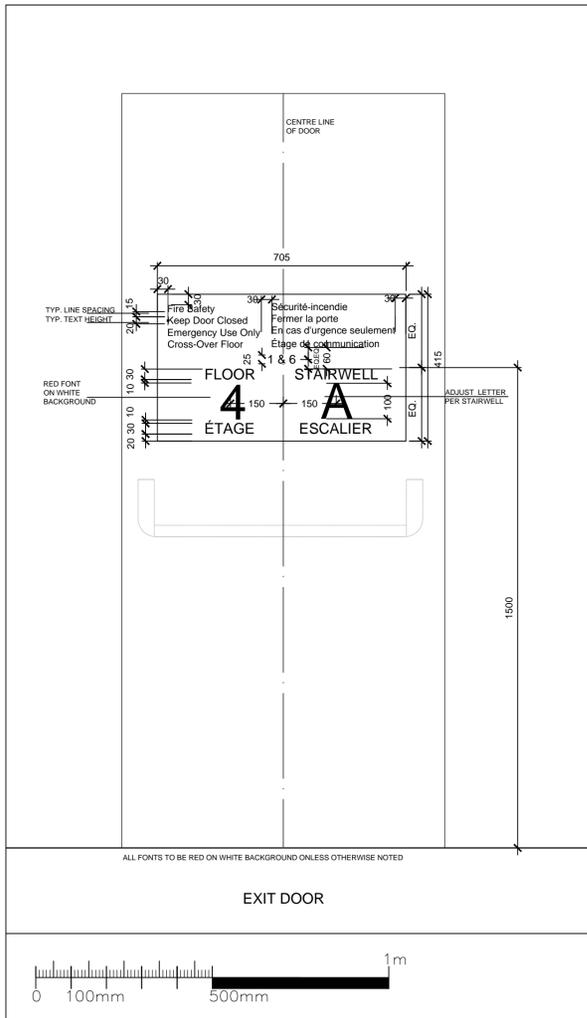


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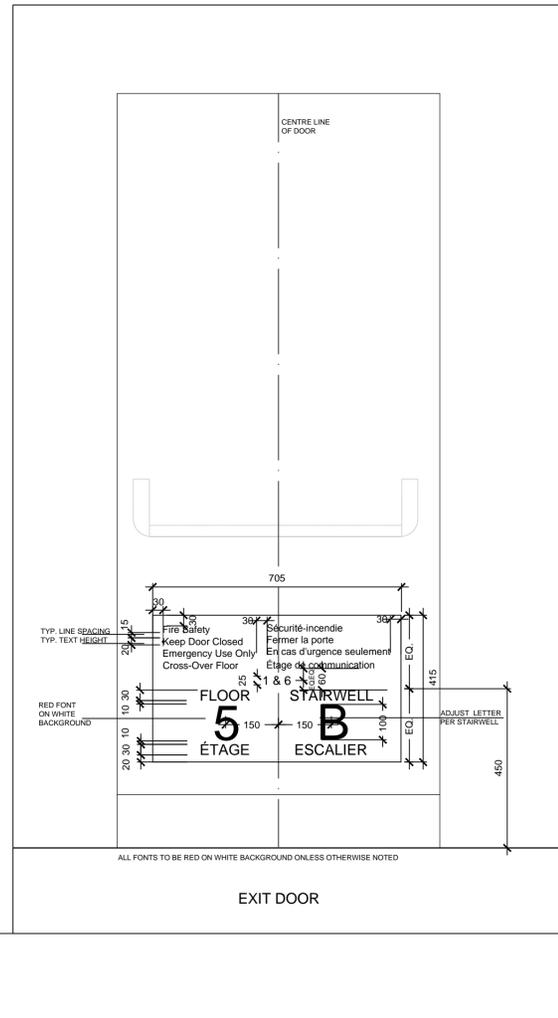
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**2** SCENARIO 1 - SIGN ON FRONT & BACK SIDES  
A0.005 SCALE: 1:10



**3** SCENARIO 2 - SIGN ON FRONT & BACK SIDES  
A0.005 SCALE: 1:10

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INSTALL CROSS-OVER SIGNS ON ALL STAIRWELLS (A, B, C & D) AS INDICATED ON DRAWINGS A0.002 TO A0.006

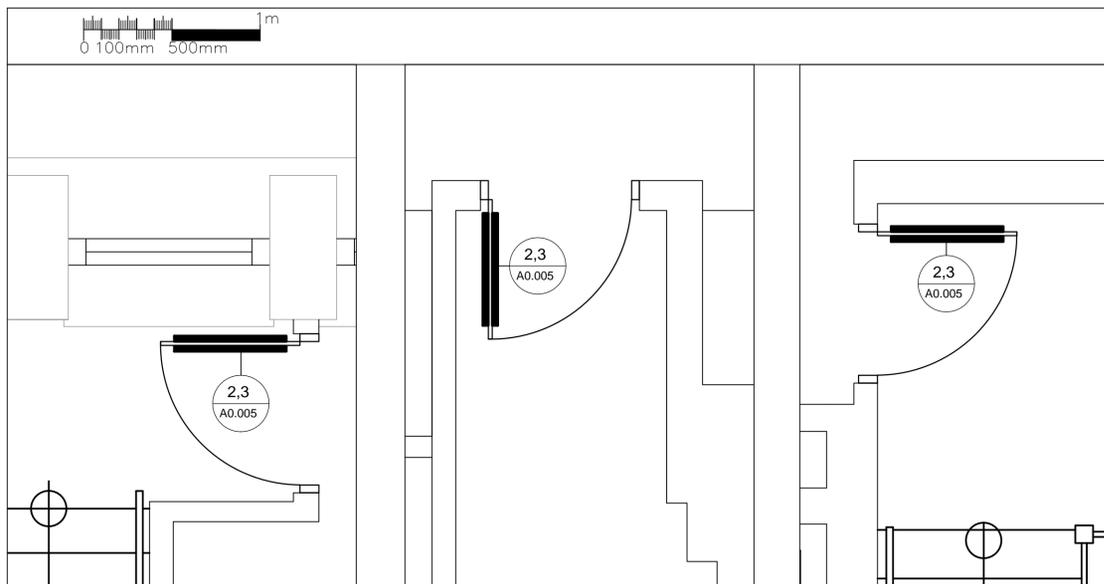
**SCENARIO 1:** EXISTING DOOR IS SOLID.  
INSTALL THE SIGN ON FRONT AND BACK AT TOP OF THE DOOR FACES AS SHOWN

**SCENARIO 2:** EXISTING DOOR IS SOLID W/ GLASS IN UPPER PORTION  
INSTALL THE SIGN ON FRONT AND BACK AT BOTTOM OF THE DOOR FACES AS SHOWN

USE SCENARIO 2 ONLY IF NECESSARY, SCENARIO 1 IS PREFERRED

FOR ALL THE COLORS INDICATED ON THE DRAWINGS:  
THE NUMBERS BELOW REFER TO COLORS INCLUDED IN A U.S. GOVERNMENT PUBLICATION ENTITLED FEDERAL STANDARD NO. 595B, COLORS USED IN GOVERNMENT PROCUREMENT.

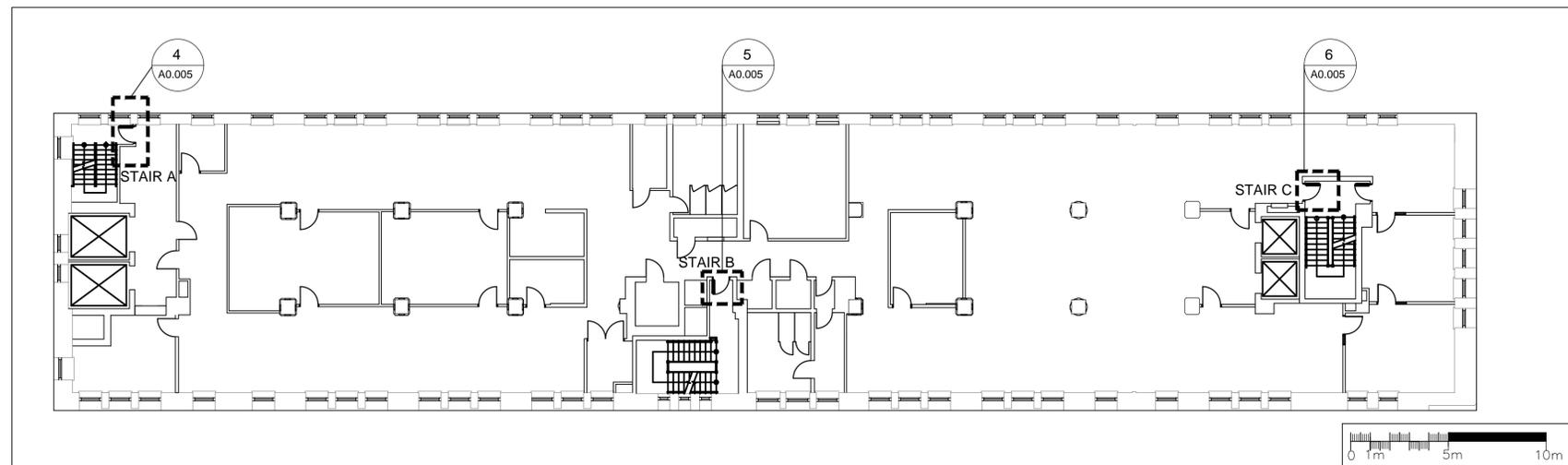
RED: 11120  
GREEN: 14120  
BLUE 15092



**4** STAIR WELL A  
A0.005 SCALE: 1:20

**5** STAIR WELL B  
A0.005 SCALE: 1:20

**6** STAIR WELL C  
A0.005 SCALE: 1:20



**1** TYPICAL FLOOR PLAN, LEVEL 4 & 5  
A0.005 SCALE: 1:150

revision	description	date
1	ISSUED FOR BID	2016-09-02

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

	A	B	C
Detail No.			
No. du détail			
drawing no. - where detail required			
dessin no. - où détail exigé			
drawing no. - where detailed			
dessin no. - où détaillé			

project title / titre du projet

**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO

**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title / titre du dessin

**CROSS-OVER SIGNAGE FOR LEVELS 4 & 5**

drawn by / dessiné par AV

designed by / conçu par AV

approved by / approuvé par DN

bid / offre DA project manager / administrateur de projets

project date / date du projet 2016-09-02

project no. / no. du projet R.079143.042

drawing no. / dessin no. A0.005

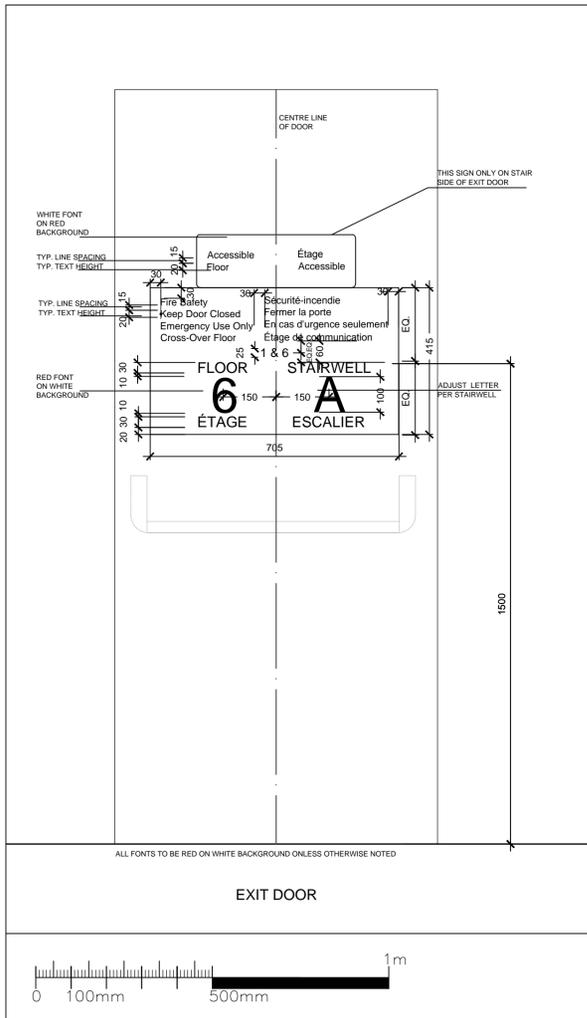


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DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE DEPARTMENTAL REPRESENTATIVE ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

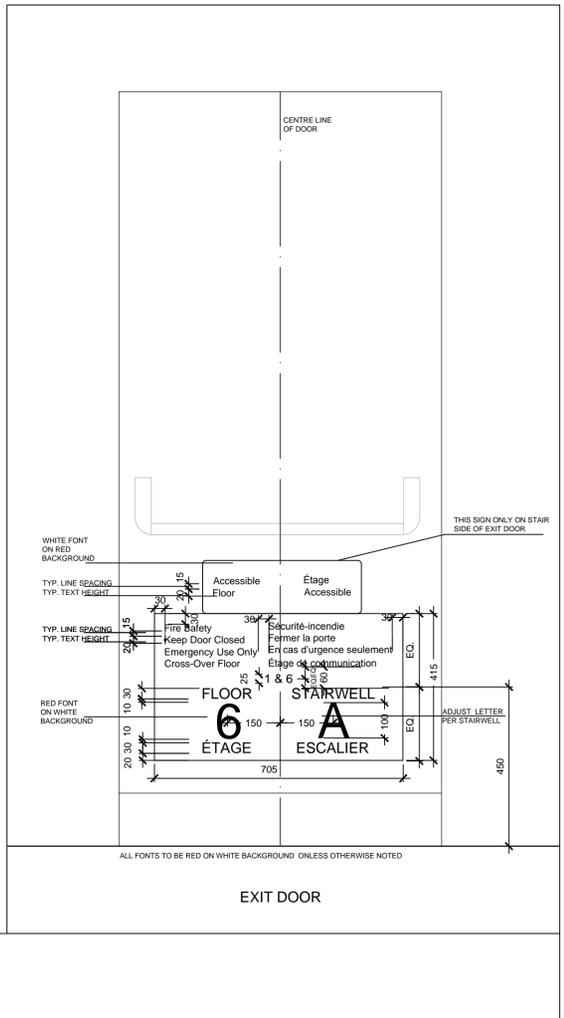
**ARCHITECTURAL / INTERIOR DESIGN**  
DIALOG  
2 BLOOR ST. EAST, SUITE 1100  
TORONTO, ON  
Tel: (416)966-0220 Fax: (416)966-0223

**MECHANICAL ENGINEER**  
DIALOG  
2 BLOOR ST. EAST, SUITE 1100  
TORONTO, ON  
Tel: (416)966-0220 Fax: (416)966-0223

**ELECTRICAL ENGINEER**  
DIALOG  
2 BLOOR ST. EAST, SUITE 1100  
TORONTO, ON  
Tel: (416)966-0220 Fax: (416)966-0223



**2 SCENARIO 1 - SIGN ON DOOR**  
A0.006 SCALE: 1:10



**3 SCENARIO 2 - SIGN ON WALL**  
A0.006 SCALE: 1:10

**GENERAL NOTE:**  
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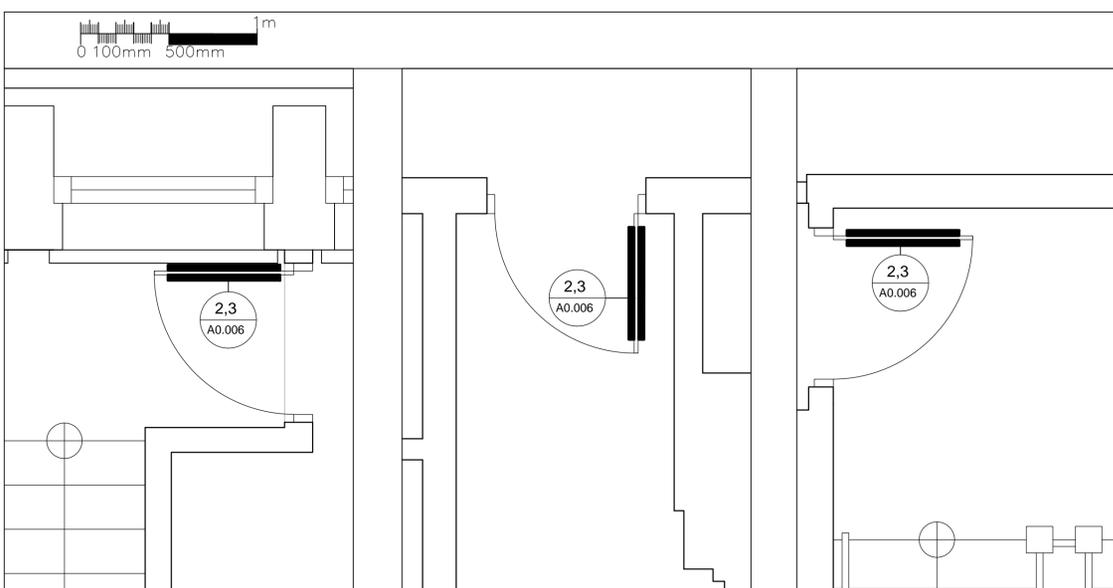
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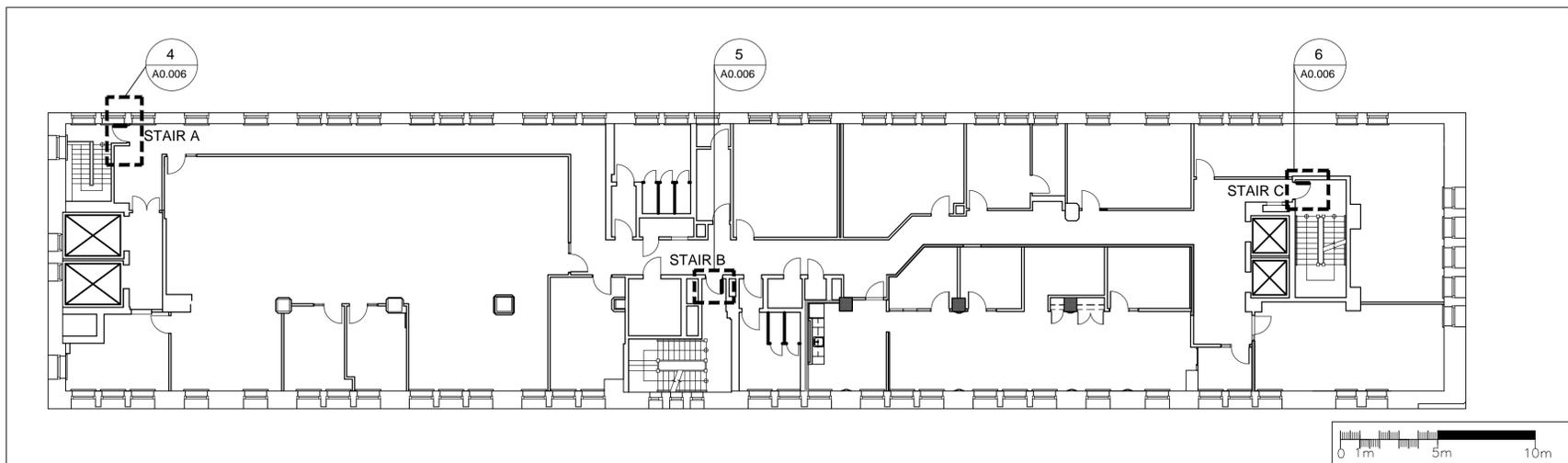
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RED: 11120  
GREEN: 14120  
BLUE 15092



**4 STAIR WELL A** A0.006 SCALE: 1:20  
**5 STAIR WELL B** A0.006 SCALE: 1:20  
**6 STAIR WELL C** A0.006 SCALE: 1:20



**1 FLOOR PLAN, LEVEL 6**  
A0.006 SCALE: 1:150

revision	description	date
1	ISSUED FOR BID	2016-09-02

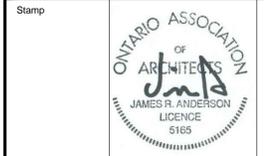
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	C drawing no. - where detailed / dessin no. - ou détaillé

project title / titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title / titre du dessin  
**CROSS-OVER SIGNAGE FOR LEVEL 6**

drawn by / dessiné par	AV	
designed by / conçu par	AV	
approved by / approuvé par	DN	
bid / offre	DA	project manager / administrateur de projets
project date / date du projet	2016-09-02	
project no. / no. du projet	R.079143.042	
drawing no. / dessin no.	A0.006	



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1	ISSUED FOR BID	2016-09-02
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project title  
titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**EAST PHASE  
LOCATION PLAN, LEVEL 6**

drawn by  
dessiné par AV

designed by  
conçu par AV

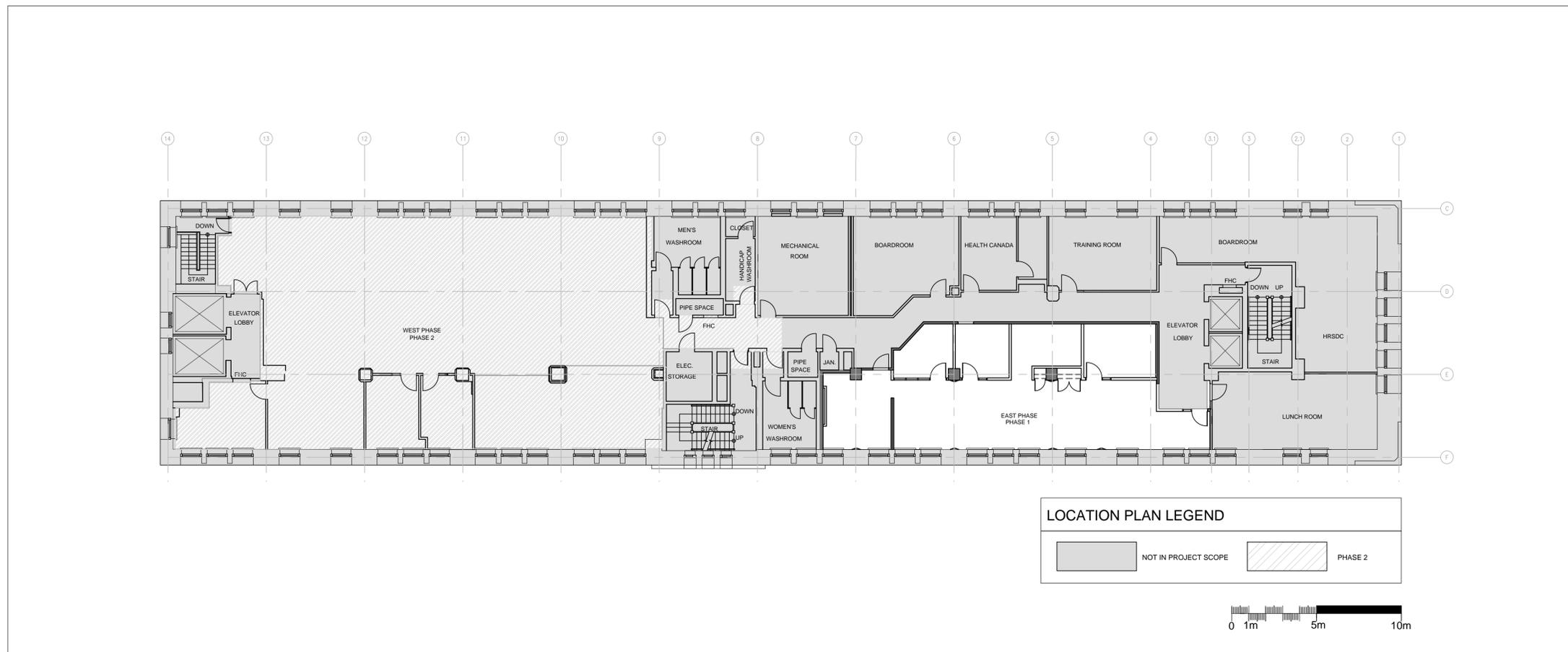
approved by  
approuvé par RN

bid  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. EAST-A0.00



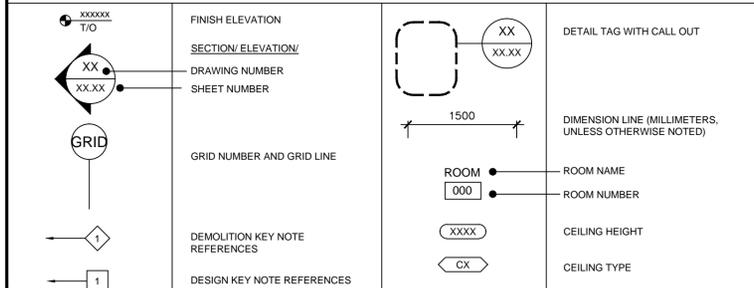
**1 EAST PHASE LOCATION PLAN, LEVEL 6**  
A0.00 SCALE: 1:150

RENOVATIONS FOR: <b>DOMINION PUBLIC BUILDING</b> <b>PWGSC</b> 457 RICHMOND ST. LONDON, ON N6A3E3  PWGSC PROJECT # R.079143.042				
Item/Article	BUILDING CODE DATA MATRIX	NBC 2015	OBC 2012	
1	<b>Project Description &amp; Civic Address:</b> PUBLIC DOMINION BUILDING - PWGSC - OFFICE RENOVATIONS 457 RICHMOND ST, LONDON, ON  <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Change in Use	Part 3 NBC A1.1.2	Part 3 NBC A1.1.2	
2	<b>Major occupancies:</b> EXISTING	B 3.1.2.1.(1)	B 3.1.2.1.(1)	
3	Building Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED	A1.4.1.2	A1.4.1.2	
4	Gross Area (m2) Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED			
5	Number of Storeys: EXISTING Above Grade: EXISTING Below Grade: EXISTING	A1.4.1.2 B 3.2.1.1	A 1.3.3.3 A 1.4.1.2 B 3.2.1.1	
6	Height of Building(m): EXISTING / UNCHANGED			
7	Number of Streets, Access Routes: EXISTING - UNCHANGED	B 3.2.2.10 B 3.2.5.5	B 3.2.2.10 B 3.2.5.5	
8	Building Classification: EXISTING - UNCHANGED, REFER TO FLOOR PLAN	B 3.2.2.20-88	B 9.10.2	
9	Existing Building: <input type="checkbox"/> Sprinklered <input checked="" type="checkbox"/> Not Sprinklered			
10	Sprinkler System Proposed/ Reseau D'extincteurs propose: <input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Phased/ Installation <input type="checkbox"/> Non Required	B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18	B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18	
11	Standpipe Required: <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	EXISTING - UNCHANGED	B 3.2.5.8	B 3.2.9
12	Fire Alarm Required: <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	EXISTING - UNCHANGED	B 3.2.4	B 3.2.4
13	Water Service, Adequate Supply/ <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	EXISTING - UNCHANGED	B 3.2.5.7	B 3.2.5.7
14	High Building <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	EXISTING - UNCHANGED	B 3.2.6	B 3.2.6
15	Authorized Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	B 3.2.2.20-88	B 3.2.2.20-88	
16	Mezzanine(s) (m2) EXISTING - UNCHANGED	B 3.2.1.1	B 3.2.1.1	
17	Total Occupant Load Based on 15 (9.3 m2 per person) <input checked="" type="checkbox"/> m2 Per Person <input type="checkbox"/> Design of Building	EXISTING - UNCHANGED	B 3.1.17	B 3.1.17
18	Barrier-free Design <input checked="" type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	OWNER REQUEST	B 3.8	B 3.8
19	Hazardous Substances <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non	EXISTING - UNCHANGED	B 3.3.1.2 B 3.3.1.20	B 3.3.1.2 B 3.3.1.20
20	Required Fire Resistance (FRR) (Hours) EXISTING/UNCHANGED Resistance Rating (FRR) (Hours) Horizontal Assembly FRR/ (Hours) EXISTING/UNCHANGED Listed Design No. or Descriptor/ EXISTING/UNCHANGED	B 3.2.2.20-88 B 3.2.1.4	B 3.2.2.20-88 B 3.2.1.4	
21	Spatial Separation - Construction of Exterior Walls EXISTING - UNCHANGED	B 3.2.3	B 3.2.3	
	Wall/Murs Area of EBF (m2) L.D./ (m) LH or HL / Permitted Max. % of Openings / FRR (hours) Listed Design or Description Combustible Const. / Combustible Construction Noncombustible Cladding Non-comb. Const. /			
	North			
	South			
	East			
	West			

ABBREVIATION LEGEND

@	AT	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	HT	HEIGHT
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B/O	BOTTOM OF	NA	NON APPLICABLE
BLDG	BUILDING	NIC	NOT IN CONTRACT
C/C	CENTRE-TO-CENTRE	NO.	NUMBER
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTRE LINE	PT	PAINT
CLG	CEILING	QTY	QUANTITY
COL	COLUMN	RCP	REFLECTED CEILING PLAN
CONC	CONCRETE	RWL	RAIN WATER LEADER
CONT	CONTINUOUS	SIM	SIMILAR
C/W	COMPLETE WITH	SM	SQUARE METER
CR	CARD READER	SPEC	SPECIFICATION
DIA	DIAMETER	STC	SOUND TRANSMISSION CLASS
DIM	DIMENSION	SS	STAINLESS STEEL
DN	DOWN	T/O	TOP OF
DWG	DRAWING	TBD	TO BE DETERMINED
ELEV	ELEVATION	TYP.	TYPICAL
EQ	EQUAL	UNO.	UNLESS NOTED OTHERWISE
FRR	FIRE RESISTANCE RATING	U/S	UNDERSIDE
GALV	GALVANIZED	W/	WITH

SYMBOLS LEGEND



DEMOLITION FLOOR PLAN GENERAL NOTES

1. MAKE CLEAN OUT OFFS WHERE EXISTING WALLS AND CEILINGS TO REMAIN
2. REMOVE EXISTING PARTITIONS AS INDICATED.
3. CAP ALL ABANDONED PLUMBING IN WALL, REFER TO MECHANICAL DRAWINGS
4. WHERE UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE DEPARTMENTAL REPRESENTATIVE AND SECURE NEEDED DIRECTION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITION ARE CORRECTED ALL EXISTING SHEATHING/ BOARD DAMAGED DURING DEMOLITION ARE TO BE REPLACED WITH NEW, MATERIALS TO MATCH EXISTING
5. PROTECT ALL EXISTING FINISHES FROM DAMAGE THROUGHOUT CONSTRUCTION
6. RECYCLABLE MATERIAL TO BE SEPARATED AND DISPOSED OF IN SUCH A MANNER SO AS TO DIVERT FROM LANDFILL WHERE POSSIBLE

DEMOLITION RCP GENERAL NOTES

1. REFER TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR FULL EXTENT OF FIXTURE DEMOLITION
2. REMOVE AND DISPOSE ALL CEILING GRID HANGERS FOR CEILINGS SLATED TO BE DEMOLISHED. DO NOT RE-USE EXISTING HANGER RODS

FLOOR PLAN GENERAL NOTES

1. SUPPLY AND INSTALLATION OF WORKSTATIONS AND OFFICE FURNITURE IS NOT PART OF THIS CONTRACT. WORKSTATIONS AND FURNITURE SHOWN FOR LOCATION ONLY

RCP GENERAL NOTES

1. NEW T-BAR CEILING LAYOUT LOCATE CENTRE OF THE ROOM UNLESS NOTED OTHERWISE ON DRAWING
2. ENSURE FIRE ALARM AND SMOKE DETECTORS ARE BYPASSED PRIOR TO SANDING GYPSUM BOARD CEILING

CONSTRUCTION FLOOR PLAN KEY NOTES

1. RELOCATED CARD READER AND THERMOSTAT
2. NEW KITCHEN MILLWORK WITH NEW SINK AND FAUCET REFER TO ARCH. DWG. A6.01 FOR DETAIL
3. FURNITURE FEED FLOOR BOX, REFER TO ELECTRICAL DRAWINGS
4. EXISTING DOOR, FRAME, HARDWARE & CARD READER TO REMAIN
5. RELOCATED DOOR AND HARDWARE REFER TO EAST-A1.50

CONSTRUCTION RCP KEY NOTES

3. EXISTING CEILING TILE AND GRID TO REMAIN AND PROTECT
4. NEW ACT CEILING AND T-BAR GRID TO MATCH EXISTING CEILING
5. RELOCATED LED FIXTURE, DISCONNECT LIGHT FIXTURE FROM EXISTING SPACE ON SIXTH FLOOR (NOT SHOWN) AND RELOCATE. COORDINATE DISCONNECTION OF FIXTURE WITH DEPARTMENTAL REPRESENTATIVE.
6. EXISTING GWB CEILING TO REMAIN. PAINT WHITE TO MATCH EXISTING
7. NEW GWB CEILING. PAINT WHITE TO MATCH EXISTING

DEMOLITION FLOOR PLAN KEY NOTES

1. EXISTING DOOR FRAME, DOOR, HARDWARE & CARD READER TO REMAIN/PROTECT DURING CONSTRUCTION.
2. EXISTING GYPSUM WALL BOARD PARTITION TO BE REMOVED & DISPOSED
3. EXISTING CARPET FLOORING AND TRANSITION STRIPS TO BE REMOVED & DISPOSED
4. REPAIR WALLS TO RECEIVE NEW FINISHES
5. EXISTING DOOR & FRAME TO BE REMOVED & DISPOSED, WALL OPENING TO BE IN-FILLED, PATCHED AND PAINTED OVER
6. EXISTING HERITAGE MOLDING ON WALLS AND COLUMNS TO BE PROTECTED FROM DAMAGE
- 7A. RELOCATE EXISTING DOOR AND HARDWARE TO DR602
- 7B. RELOCATE EXISTING DOOR AND HARDWARE TO DR603 LOCATION. CONTRACTOR TO PREP. DOOR & FRAME TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
- 7C. RELOCATE EXISTING DOOR AND HARDWARE TO DR605
- 7D. RELOCATE EXISTING DOOR AND HARDWARE, CARD READER & LOW VOLTAGE WIRING TO DR601 LOCATION. CONTRACTOR TO PREP. DOOR TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
8. RELOCATE EXISTING CARD READER AND THERMOSTAT AS INDICATED ON EAST-A2.01

DEMOLITION RCP KEY NOTES

9. EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
10. EXISTING CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATED MECHANICAL DIFFUSERS
11. EXISTING DIFFUSER TO REMAIN
12. EXISTING LIGHT FIXTURES TO REMAIN
13. EXISTING LIGHT FIXTURE TO BE REMOVED & DISPOSED
14. EXISTING LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE RELOCATED
15. EXISTING CEILING GRIDS, TEES AND ACOUSTICAL PANELS TO BE REMOVED AND DISPOSED

GENERAL CONSTRUCTION NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION. DO NOT PROCEED WITHOUT CLARIFICATION IN SUCH CIRCUMSTANCES.
2. BE RESPONSIBLE FOR FIELD MEASUREMENTS AND DIMENSIONS, REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION
3. NEW PARTITIONS TO BE FIXED DIRECTLY TO CLEAN CONCRETE SLAB. PARTITIONS TO BE TAPED, SANDED SMOOTH AND MADE READY TO RECEIVE FINISHES. ALL GYPSUM TO BE PAINTED UNLESS NOTED OTHERWISE
4. ENSURE SUFFICIENT BLOCKING IS PROVIDED IN AREAS REQUIRING SUPPORT OF THE PARTITION OR CEILING FOR MOUNTED EQUIPMENT OR MATERIALS
5. ENSURE FLOOR IS LEVEL PRIOR TO CONSTRUCTION OF PARTITIONS. PROVIDE SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 6mm PER 3300mm LENGTHS IN AREAS WHERE FILING CABINETS OR SHELVING UNITS ARE TO BE LOCATED
6. REPAIR DAMAGE TO EXISTING FIRE SEPARATION WITHIN THE AREA SCOPE OF WORK TO PROVIDE REQUIRED SEPARATION
7. ENSURE ACOUSTICAL CAULKING IS PROVIDED AT PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR SLAB AND UNDERSIDE OF STRUCTURE
8. ALL MATERIALS USED SHALL BE NEW UNLESS OTHERWISE NOTED
9. LOCATIONS WHERE BASE BUILDING PARTITIONS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES, BE RESPONSIBLE FOR FURRING, CUTTING, PATCHING AND FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK
10. ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED WITH APPROVED MATERIAL OR SYSTEM
11. REUSE EXISTING MATERIALS WHERE PRACTICAL, I.E. LIGHT FIXTURES, SUPPLY AIR DIFFUSERS, RETURN AIR GRILLES, DOORS, FRAMES AND HARDWARE, ETC.
12. PATCH AND REPAIR EXISTING GYPSUM WALL BOARD CEILING WHERE EXISTING WALLS ARE BEING REMOVED

LOCATION PLAN LEGEND



WALL FINISHES SCHEDULE

- P-1 PAINT 1: GENERAL WALLS BASIS OF DESIGN: SHERWIN WILLIAMS-WESTHIGHLAND WHITE-SW 7566
- P-2 PAINT 2: COLUMN COLOUR BASIS OF DESIGN: SHERWIN WILLIAMS-GRAY MATTERS -SW 7066
- P-3 PAINT 3: DOOR FRAME COLOUR BASIS OF DESIGN: SHERWIN WILLIAMS-CYBERSPACE-SW 7076
- P-4 PAINT 4: ACCENT BASIS OF DESIGN: SHERWIN WILLIAMS-HUMROUS GREEN-SW 6918
- CT-1 TILE 1: KITCHEN BACK-SPLASH BASIS OF DESIGN: WHITE SUBWAY TILE 150 X 150 mm

WALL BASE FINISHES SCHEDULE

- B-1 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE T44 GATEWAY WG
- B-2 WALL BASE -100 mm CARPET BASE TO MATCH EXISTING
- B-3 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE Z3 VAPOR GREY CG

MILLWORK FINISHES SCHEDULE

- PL-1 COUNTER TOP - BASIS OF DESIGN: NEVAMAR AMORED PROTECTION STORM GRAY MATRIX MR6004T TEXTURED
- PL-2 WHITE PLASTIC LAMINATE FOR INTERIOR SURFACES
- PL-3 PLASTIC LAMINATE FOR EXTERIOR SURFACES BASIS OF DESIGN: NEVAMAR AMORED PROTECTION WINTER GRAY MATRIX MR6005T TEXTURED

FLOOR FINISHES SCHEDULE

- CPT-1 CARPET TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: INTERFACE AE312, AERIAL,104511 SMOKE/ACCENT
  - PCT-1 POLYESTER COMPOSITE TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: ARMSTRONGS T3602 STEEL
- NOTE: USE METAL TRANSITION WHEN FLOORING CHANGE.  
BASIS OF DESIGN: SCHLUTER SCHIENE BRUSHED STAINLESS STEEL

CEILING SCHEDULE

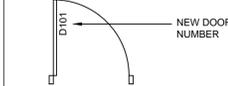
- ACT-1 EXISTING HERITAGE ACOUSTIC TILE CEILING
- ACT-2 NEW ACOUSTIC TILE CEILING COMPLETE WITH SUSPENSION SYSTEM SIZE: 610 X 610MM
- GBC-1 EXISTING GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING
- GBC-2 NEW GYPSUM BOARD CEILING PAINT WHITE TO MATCH EXISTING

INTERIOR PARTITION SCHEDULE

- F1 15.9 mm GYPSUM BOARD 12 mm PLYWOOD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION 15.9 mm TYPE X GYPSUM BOARD FROM FLOOR SLAB TO U/S OF STRUCTURE
- F2 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION FROM FLOOR SLAB TO U/S OF STRUCTURE 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING C/W INSULATION & PLENUM BARRIER REFER TO EAST-A3.01 FOR DETAILS
- F2b ADD FOLLOWING LAYERS TO EXISTING WALL RESILIENT CHANNEL INFILL W/ ACOUSTIC BLANKET INSULATION 2 LAYERS 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING C/W INSULATION & PLENUM BARRIER REFER TO EAST-A3.01 FOR DETAILS
- F3 15.9 mm GYPSUM BOARD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION 15.9 mm GYPSUM BOARD FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING
- F4 15.9 mm GYPSUM BOARD 92mm STEEL STUDS @ 400 O.C. INFILL W/ ACOUSTIC BLANKET INSULATION FROM FIN. FLOOR TO FIN. ACOUSTIC CEILING

NOTE:  
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITION FROM FINISHED FLOOR TO UNDERSIDE OF STRUCTURAL SLAB  
2. PROVIDE 19mm PLYWOOD SHEATHING OR BLOCKING IN WALL AT LOCATIONS WHERE CASEWORK IS TO BE INSTALLED, CO-ORDINATE WITH CASEWORK TRADE  
3. ALL STEEL STUDS TO BE 18 GAUGE

PLAN LEGEND



REFLECTED CEILING PLAN LEGEND

- 1220 X 610mm LED LIGHTING FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- EXISTING SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS)
- NEW SUSPENDED LINEAR PENDANT (REFER TO ELECTRICAL DRAWINGS)
- RETURN AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- NEW POT LIGHT (REFER TO ELECTRICAL DRAWINGS)
- CEILING HEIGHT
- CEILING TYPE

DEMOLITION FLOOR PLAN LEGEND

- EXISTING DOOR, DOOR FRAME AND HARDWARE TO BE REMOVED & DISPOSED REFER TO DOOR SCHEDULE
- EXISTING GLAZING SYSTEM TO BE REMOVED & DISPOSED
- EXISTING WALL PARTITIONS TO BE REMOVED & DISPOSED
- EXISTING WALL TO REMAIN

DEMOLITION REFLECTED CEILING PLAN LEGEND

- EXISTING 1220 X 305mm LIGHTING FIXTURE TO BE REMOVED & DISPOSED (REFER TO ELECTRICAL DRAWINGS)
- EXISTING ACOUSTIC CEILING TO BE REMOVED & DISPOSED
- EXISTING POT LIGHT TO BE DISMOUNTED & PROTECTED TO BE RELOCATED (REFER TO ELECTRICAL DRAWINGS)
- RETURN AIR DIFFUSER TO BE REMOVED & DISPOSED (REFER TO MECHANICAL DRAWINGS)
- SUPPLY AIR DIFFUSER TO BE REMOVED & DISPOSED (REFER TO MECHANICAL DRAWINGS)

Public Works and Government Services Canada  
Travaux publics et Services gouvernementaux Canada

# DIALOG

Stamp  
ONTARIO ASSOCIATION OF ARCHITECTS  
JAMES R. ANDERSON  
LICENCE 5165

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project title titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title titre du dessin  
**LEGENDS AND SCHEDULES**

drawn by dessiné par AV

designed by conçu par AV

approved by approuvé par RN

bid offre DA project manager administrateur de projets

project date date du projet 2016-09-02

project no. no. du projet R.079143.042

drawing no. dessiné no. EAST-A0.01



**DOOR SCHEDULE:**

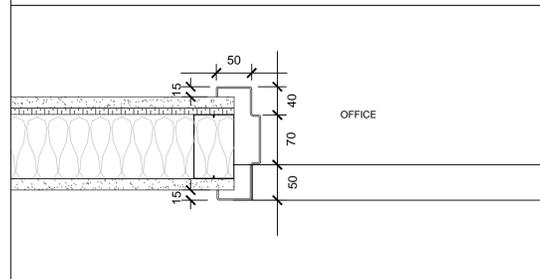
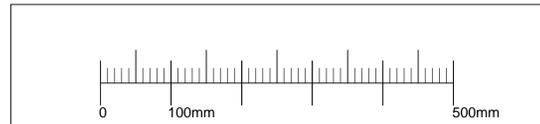
DOOR NUMBER	DESCRIPTION		DOOR										HARDWARE				FRAME			GENERAL	
	ROOM NUMBER	LOCATION	DIMENSIONS W x H x D	CONDITION	TYPE	MATERIAL	FINISH	GLASS	FILM FINISH ON GLASS	CONTACT SENSORS	HIGH SECURITY KEY WAY	DOOR CLOSER	MORTISE LOCKSET	CARD READER	CONDITION	TYPE	MATERIAL	FINISH	FIRE RATING	COMMENTS	
<b>R&amp;D WING BUILDING</b>																					
DR601	R601	ENTRY	914 X 2134 X 50	EX	D1	SCW	ST	TG	GF1	EX	EX	EX	EX	EX	N	F1	HM	PT	-	RELOCATED EXISTING DOOR	
DR602	R602	UNDESIGNATED	914 X 2134 X 50	EX	D1	SCW	ST	TG	GF1	-	-	-	N	-	N	F3	HM	PT	-	RELOCATED EXISTING DOOR	
DR603	R603	OFFICE	914 X 2134 X 50	EX	D1	SCW	ST	TG	GF1	N	N	N	N	N	N	F1	HM	PT	-	RELOCATED EXISTING DOOR	
DR605	R605	MEETING RM	914 X 2134 X 50	EX	D1	SCW	ST	TG	GF1	N	N	N	N	-	N	F1	HM	PT	-	RELOCATED EXISTING DOOR	
DR606	R606	KITCHENETTE/COLLABORATION	914 X 2134 X 50	EX	D1	SCW	ST	-	-	EX	-	EX	EX	EX	F2	HM	PT	-	EXISTING DOOR		
DR607	R607	Closet	1320 X 2134 X 50	N	D3	SCW	ST	-	-	-	-	-	-	-	N	F5	HM	PT	-	NEW CLOSET DOOR	
DR608	R607	Closet	610 X 2134 X 50	N	D2	SCW	ST	-	-	-	-	-	-	-	N	F4	HM	PT	-	NEW CLOSET DOOR	

AL	ALUMINUM	N	NEW
ANO	ANODIZED	RE	RENOVATE
HM	HOLLOW METAL	EX	EXISTING
PT	PAINTED	ST	STAIN
TG	TEMPERED GLASS		
SCW	SOLID CORE WOOD		
CR	CARD READER		

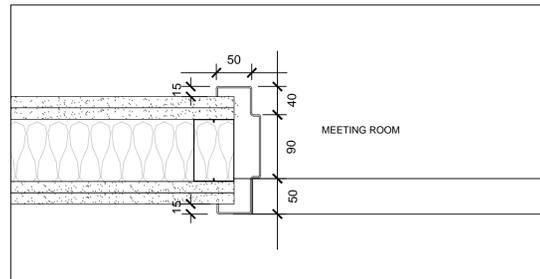
**GENERAL NOTE:**  
 1. REFER TO SPECIFICATIONS FOR HARDWARE AND PREPARATION REQUIREMENTS OF ALL WOOD DOORS (HISTORIC DOORS)  
 2. PAINT ALL FRAMES WITH P-4 (REFER TO EAST-A0.01 FOR DESCRIPTION)  
 3. ALL SIDELIGHTS TO BE SINGLE GLAZED AND TEMPERED GLASS. APPLY FILM ON BOTH SIDES AS INDICATED ON THE ELEVATIONS IN THIS DRAWING

**GLAZING LEGEND**

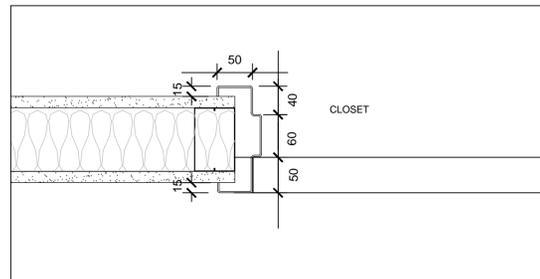
GF1 1 LAYER OF:  
PRIVACY FILM - SINGLE LAYER POLYESTER, TRANSLUCENT, MAT FROSTED PATTERN FILM WITH PRESSURE SENSITIVE, ULTRAVIOLET RESISTANT ADHESIVE AND SCRATCH RESISTANT COATING  
 GF2 2 LAYERS OF:  
PRIVACY FILM - SINGLE LAYER POLYESTER, TRANSLUCENT, MAT FROSTED PATTERN FILM WITH PRESSURE SENSITIVE, ULTRAVIOLET RESISTANT ADHESIVE AND SCRATCH RESISTANT COATING



**1 HM DOOR JAMB/HEADER DETAIL**  
A0.02 SCALE: 1:5

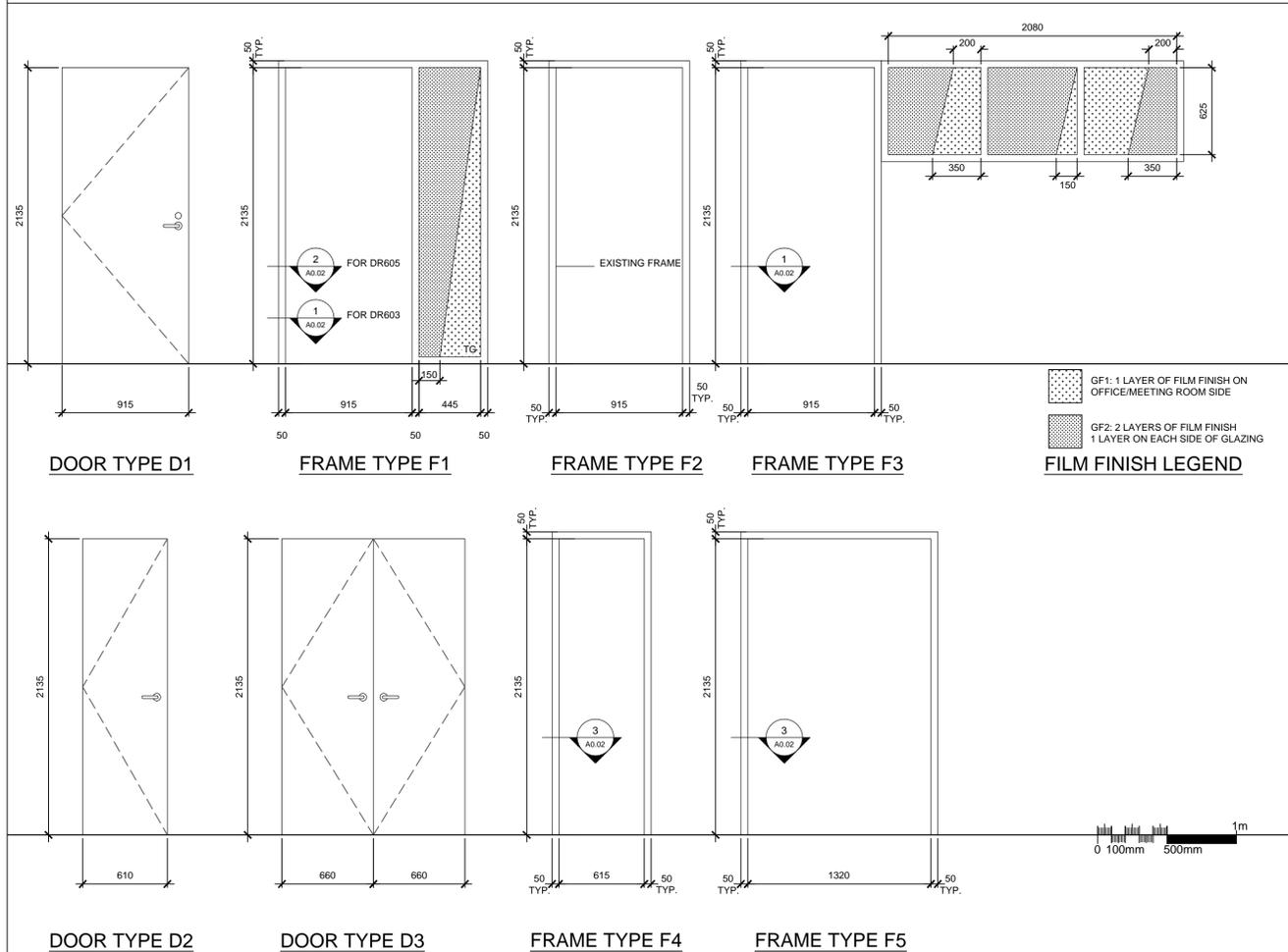


**2 HM DOOR JAMB/HEADER DETAIL**  
A0.02 SCALE: 1:5



**3 HM DOOR JAMB/HEADER DETAIL**  
A0.02 SCALE: 1:5

**DOOR AND DOOR FRAME ELEVATIONS**



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	B	drawing no. - where detail required
	C	drawing no. - where detailed

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titre du projet  
**DOMINION PUBLIC BUILDING**  
 457 RICHMOND STREET  
 LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**DOOR SCHEDULES**

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dessiné par AV

designed by  
conçue par AV

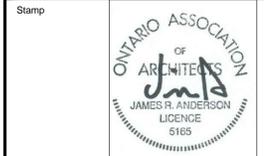
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bid  
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administrateur de projets

project date  
date du projet 2016-09-02

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no. du projet R.079143.042

drawing no.  
dessiné no. EAST-A0.02



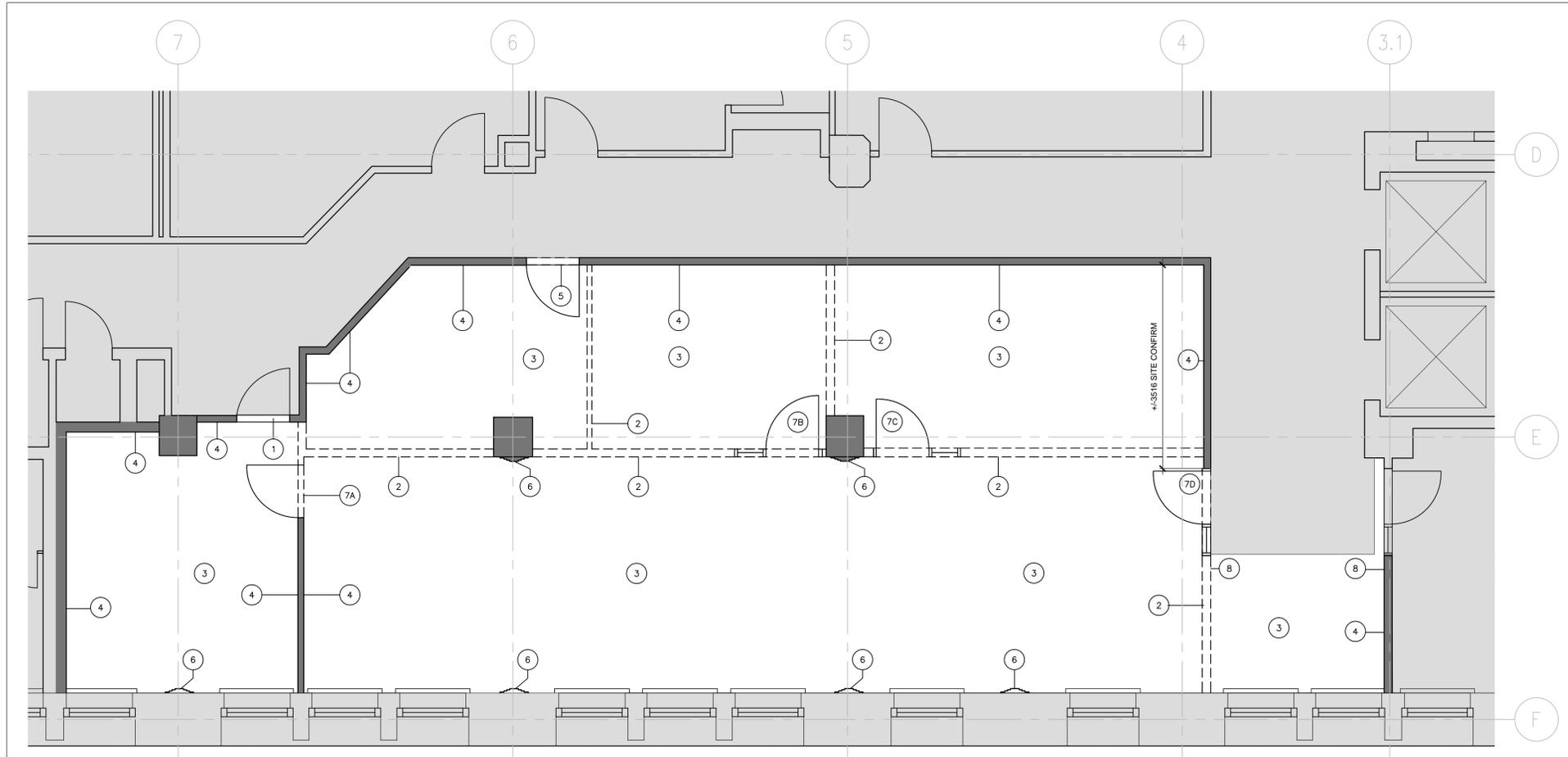
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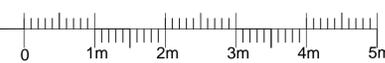
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- ### DEMOLITION FLOOR PLAN KEY NOTES
- 1 EXISTING DOOR FRAME, DOOR, HARDWARE & CARD READER TO REMAIN-PROTECT DURING CONSTRUCTION.
  - 2 EXISTING GYPSUM WALL BOARD PARTITION TO BE REMOVED & DISPOSED
  - 3 EXISTING CARPET FLOORING AND TRANSITION STRIPS TO BE REMOVED & DISPOSED
  - 4 REPAIR WALLS TO RECEIVE NEW FINISHES
  - 5 EXISTING DOOR & FRAME TO BE REMOVED & DISPOSED, WALL OPENING TO BE INFILLED, PATCHED AND PAINTED OVER
  - 6 EXISTING HERITAGE MOLDING ON WALLS AND COLUMNS TO BE PROTECTED FROM DAMAGE
  - 7A RELOCATE EXISTING DOOR AND HARDWARE TO DR602
  - 7B RELOCATE EXISTING DOOR AND HARDWARE TO DR603 LOCATION. CONTRACTOR TO PREP. DOOR & FRAME TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
  - 7C RELOCATE EXISTING DOOR AND HARDWARE TO DR605
  - 7D RELOCATE EXISTING DOOR AND HARDWARE, CARD READER & LOW VOLTAGE WIRING TO DR601 LOCATION. CONTRACTOR TO PREP. DOOR TO ACCOMMODATE NEW DOOR SWING FOR HINGES, LOCKSET, STRIKE, PATCH AND PAINT AFTER COMPLETION
  - 8 RELOCATE EXISTING CARD READER AND THERMOSTAT AS INDICATED ON EAST-A2.01



**1 DEMOLITION PLAN**  
SCALE: 1:50



revision	description	date
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project title  
titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**DEMOLITION PLAN**

drawn by  
dessiné par AV

designed by  
conç par AV

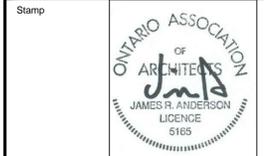
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approuvé par RN

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project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. EAST-A1.50



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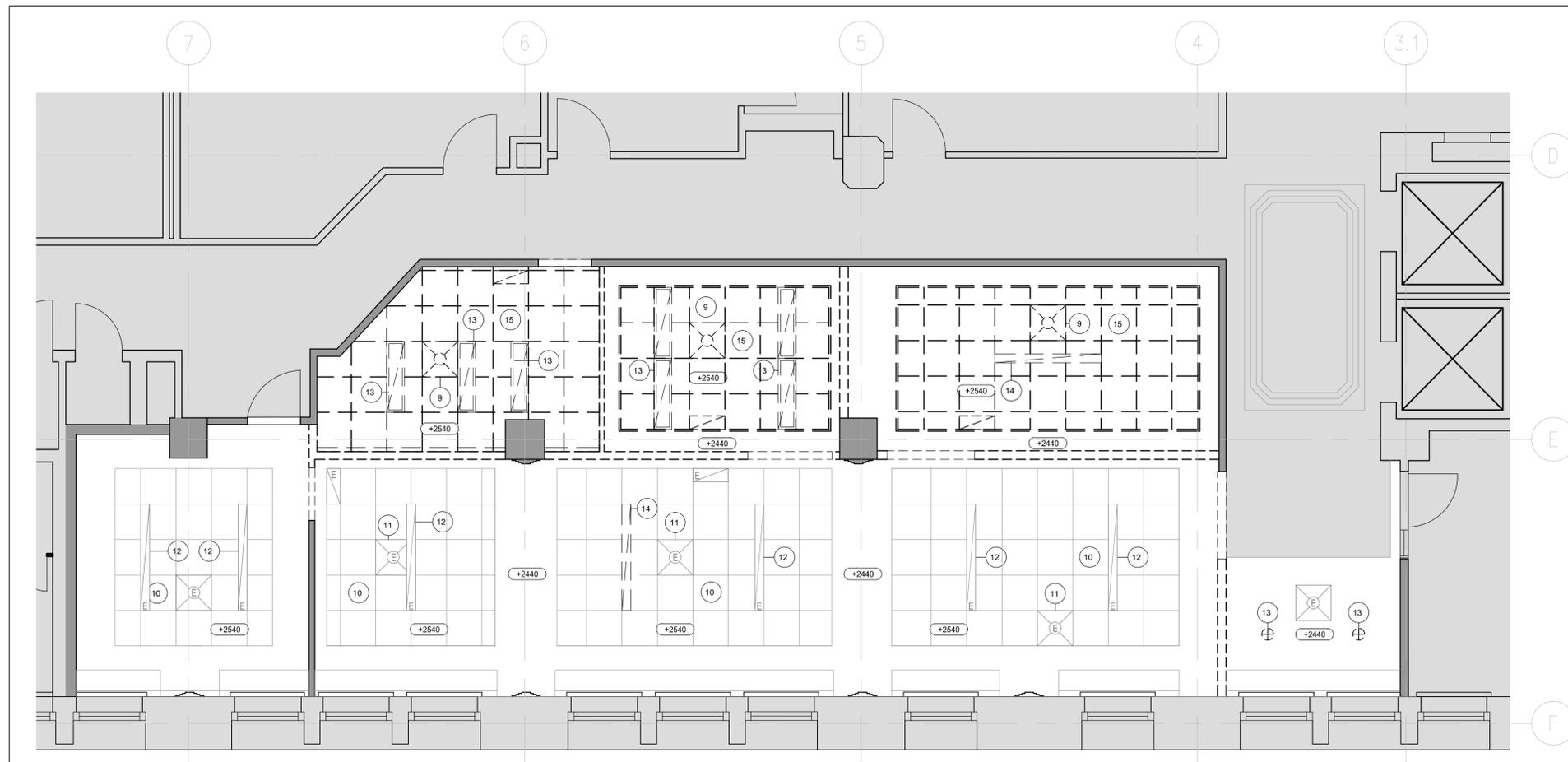
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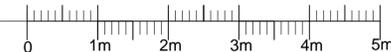
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### DEMOLITION RCP KEY NOTES

- 9 EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- 10 EXISTING CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- 11 EXISTING DIFFUSER TO REMAIN
- 12 EXISTING LIGHT FIXTURES TO REMAIN
- 13 EXISTING LIGHT FIXTURE TO BE REMOVED & DISPOSED
- 14 EXISTING LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE RELOCATED
- 15 EXISTING CEILING GRIDS, TEES AND ACOUSTICAL PANELS TO BE REMOVED AND DISPOSED



**1 DEMOLITION REFLECTED CEILING PLAN**  
A1.51 SCALE: 1:50



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titre du projet  
**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**DEMOLITION  
REFLECTED CEILING PLAN**

drawn by  
dessiné par AV

designed by  
conçu par AV

approved by  
approuvé par RN

bid  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

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CONSTRUCTION FLOOR PLAN KEY NOTES		
1	RELOCATED CARD READER AND THERMOSTAT	
2	NEW KITCHEN MILLWORK WITH NEW SINK AND FAUCET REFER TO ARCH. DWG. A6.01 FOR DETAIL	
3	FURNITURE FEED FLOOR BOX, REFER TO ELECTRICAL DRAWINGS	
4	EXISTING DOOR, FRAME, HARDWARE & CARD READER TO REMAIN	
5	RELOCATED DOOR AND HARDWARE REFER TO EAST-A1.50	

revision	description	date
1	ISSUED FOR BID	2016-09-02

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457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**CONSTRUCTION & FINISHES PLAN**

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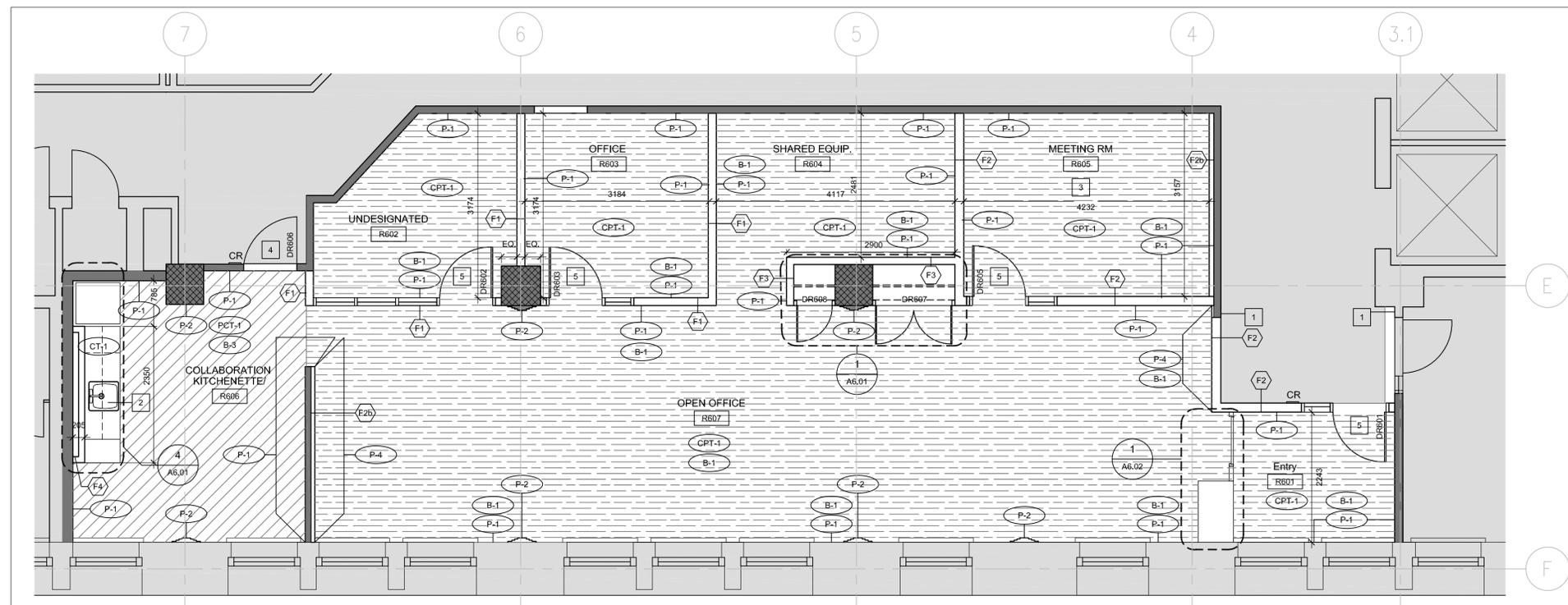
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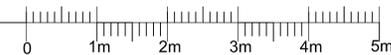
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date du projet 2016-09-02

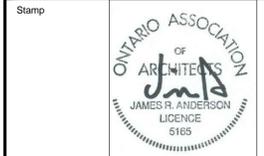
project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. EAST-A2.01



**1 CONSTRUCTION & FINISHES PLAN**  
A2.01 SCALE: 1:50





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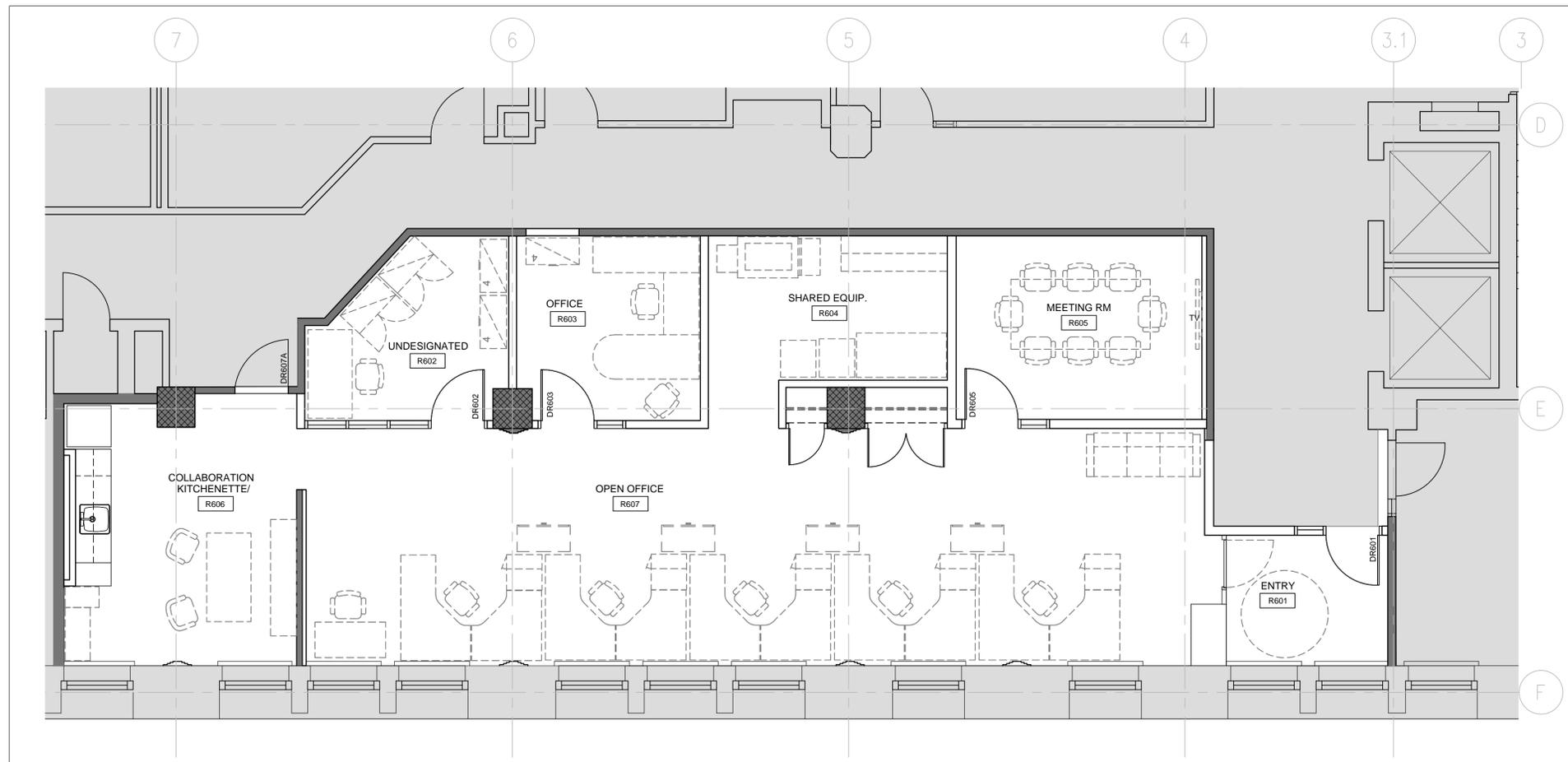
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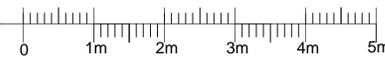
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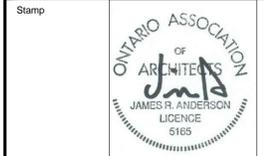
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project title titre du projet	<b>DOMINION PUBLIC BUILDING</b>	
	457 RICHMOND STREET LONDON, ONTARIO	
	<b>6TH FLOOR TENANT RELOCATION &amp; OFFICE FIT UP</b>	
drawing title titre du dessin	<b>FURNITURE PLAN</b>	
drawn by dessiné par	AV	
designed by conçu par	AV	
approved by approuvé par	RN	
bid offre	DA	project manager administrateur de projets
project date date du projet	2016-09-02	
project no. no. du projet	R.079143.042	
drawing no. dessiné no.	<b>EAST-A2.02</b>	



**1 FURNITURE PLAN**  
SCALE: 1:50



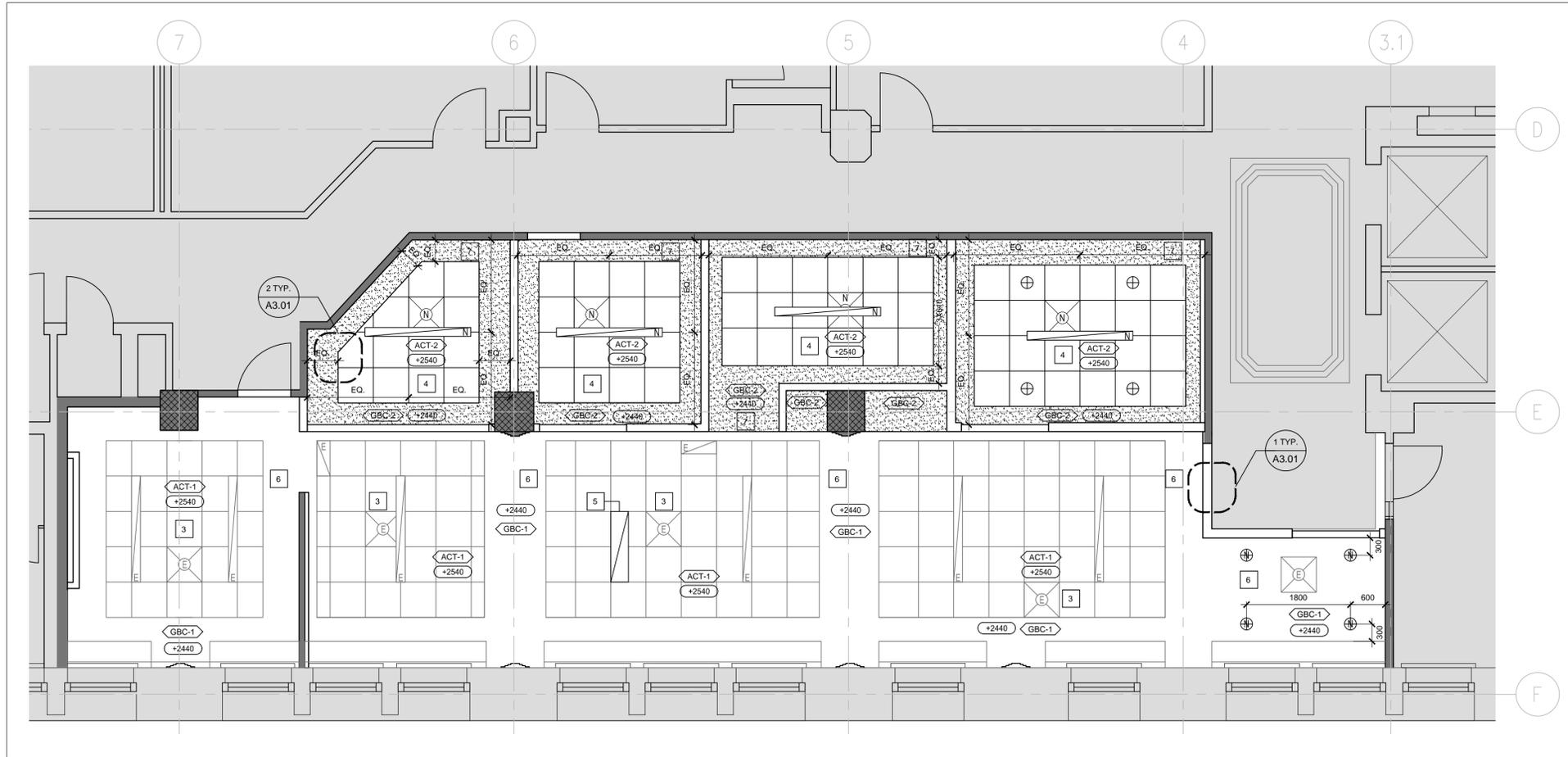


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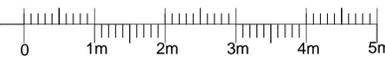
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**ELECTRICAL ENGINEER**  
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**CONSTRUCTION RCP KEY NOTES**

3	EXISTING CEILING TILE AND GRID TO REMAIN AND PROTECT
4	NEW ACT CEILING AND T-BAR GRID TO MATCH EXISTING CEILING
5	RELOCATED LED FIXTURE, DISCONNECT LIGHT FIXTURE FROM EXISTING SPACE ON SIXTH FLOOR (NOT SHOWN) AND RELOCATE. COORDINATE DISCONNECTION OF FIXTURE WITH DEPARTMENTAL REPRESENTATIVE.
6	EXISTING GWB CEILING TO REMAIN. PAINT WHITE TO MATCH EXISTING
7	NEW GWB CEILING. PAINT WHITE TO MATCH EXISTING



**1 REFLECTED CEILING PLAN**  
A2.03 SCALE: 1:50



1	ISSUED FOR BID	2016-09-02
revision		date

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project title  
titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**REFLECTED CEILING PLAN**

drawn by  
dessiné par AV

designed by  
conçue par AV

approved by  
approuvé par RN

bid  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. EAST-A2.03



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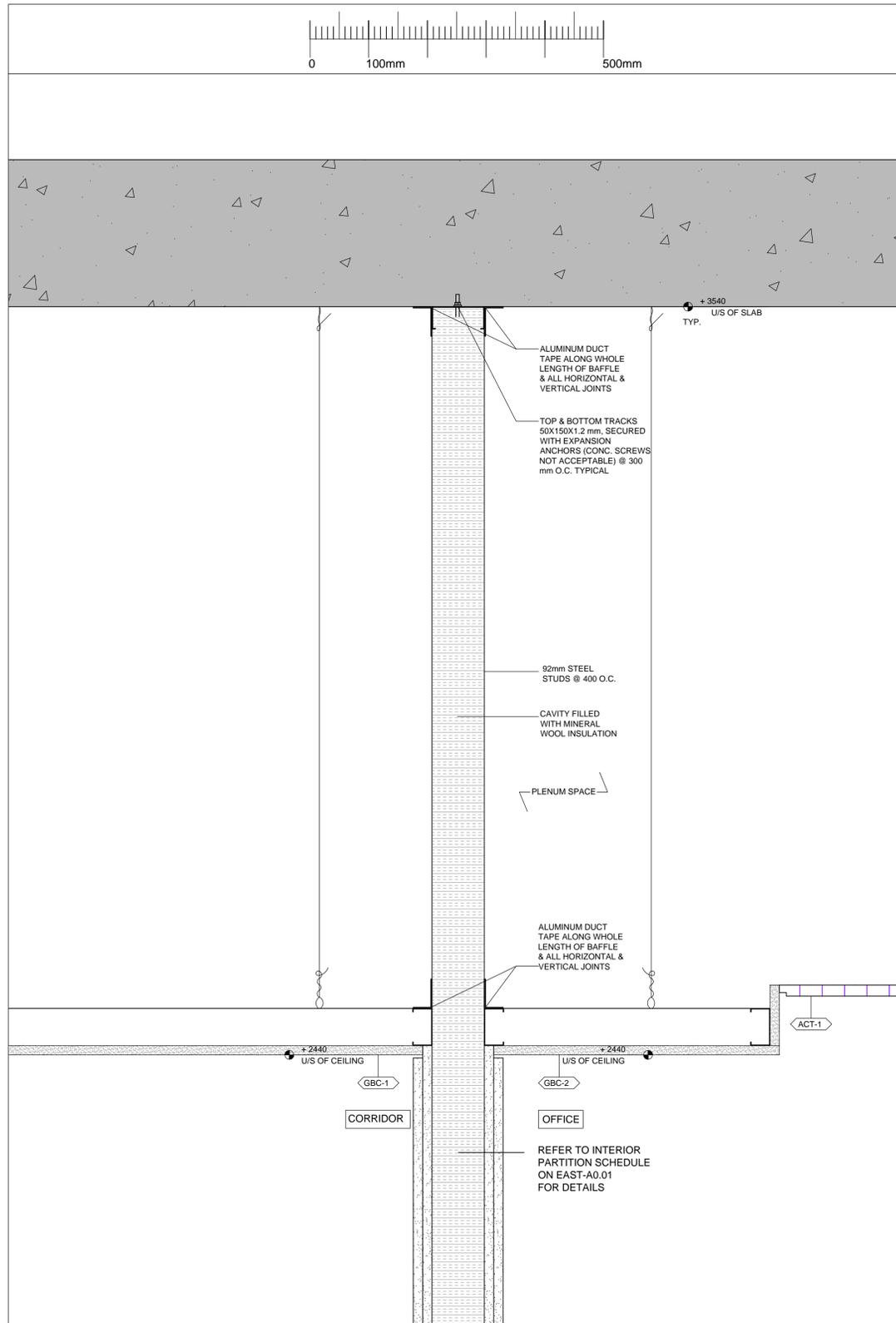
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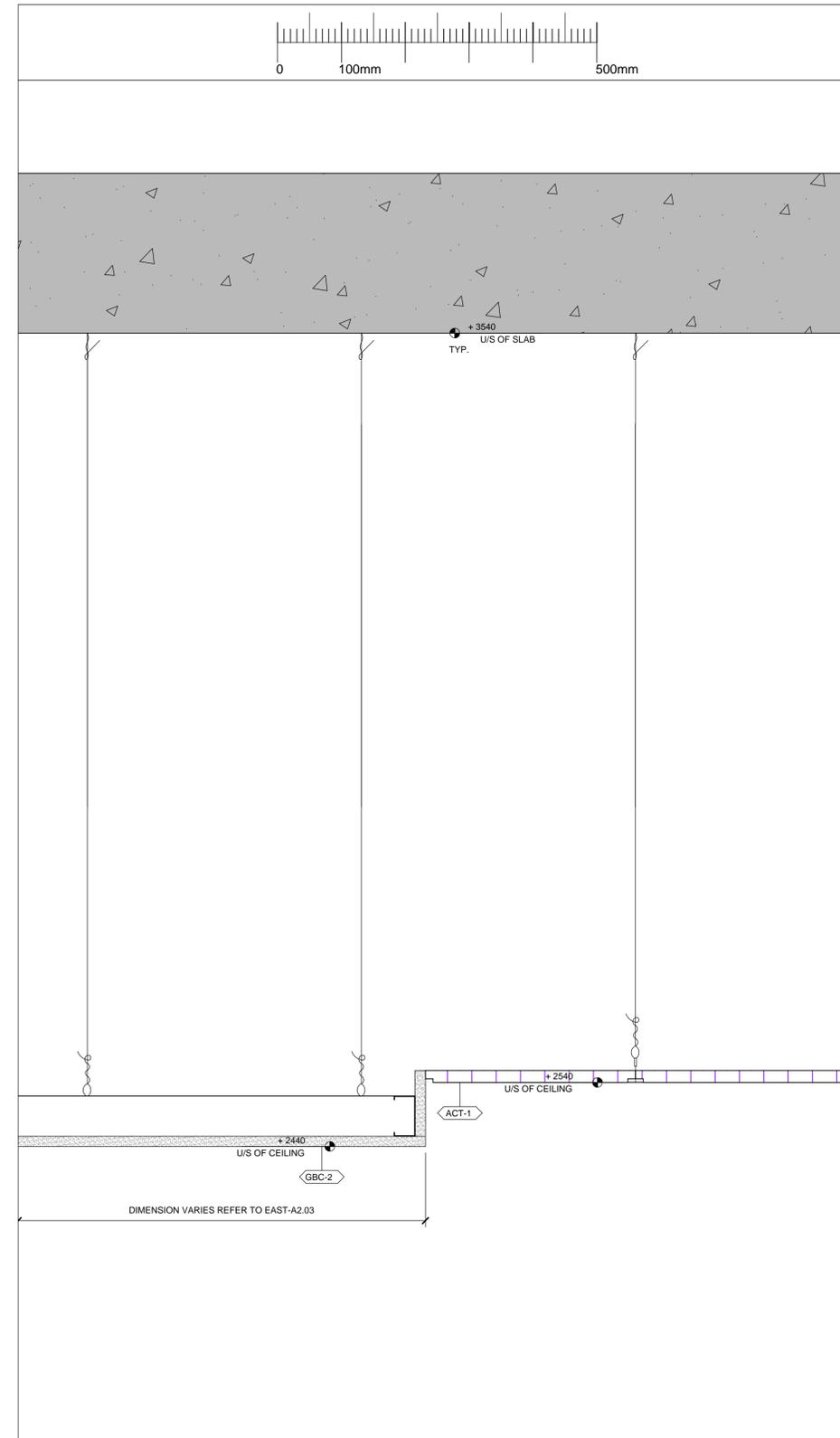
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457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**WALL CROSS-SECTION**

drawn by dessiné par	AV
designed by conçue par	AV
approved by approuvé par	RN
bid offre	DA
project manager administrateur de projets	
project date date du projet	2016-09-02
project no. no. du projet	R.079143.042
drawing no. dessiné no.	<b>EAST-A3.01</b>



**1 TYP. PLENUM BARRIER DETAIL**  
A3.01 SCALE: 1:5

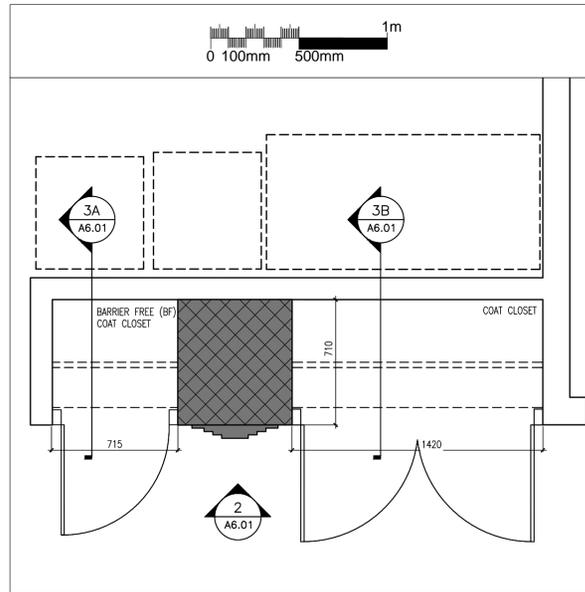


**2 TYP. SECTION FOR NEW CEILING CONSTRUCTION**  
A3.01 SCALE: 1:5

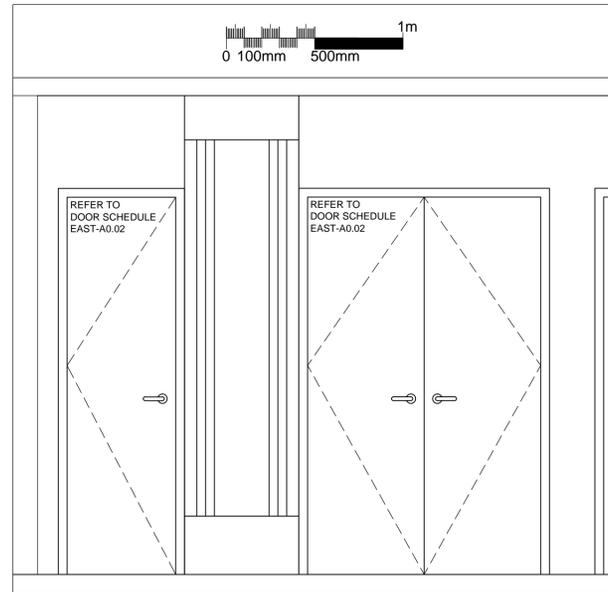


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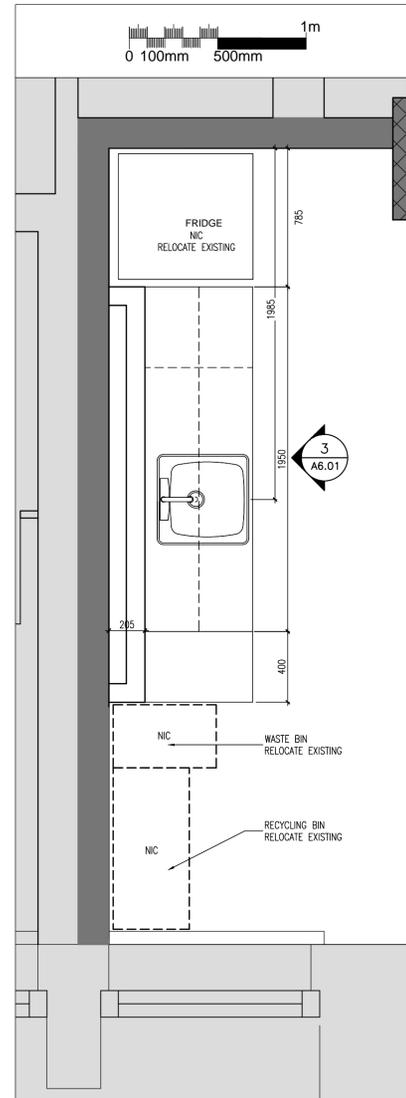
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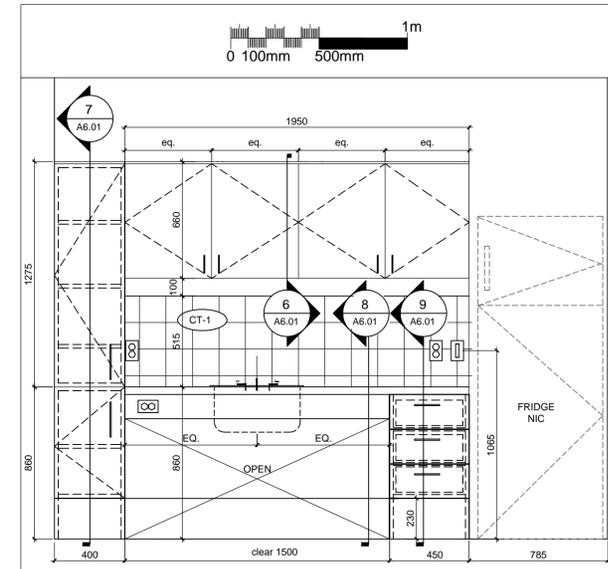
**1 PARTIAL PLAN: CLOSET**  
A6.01 SCALE: 1:20



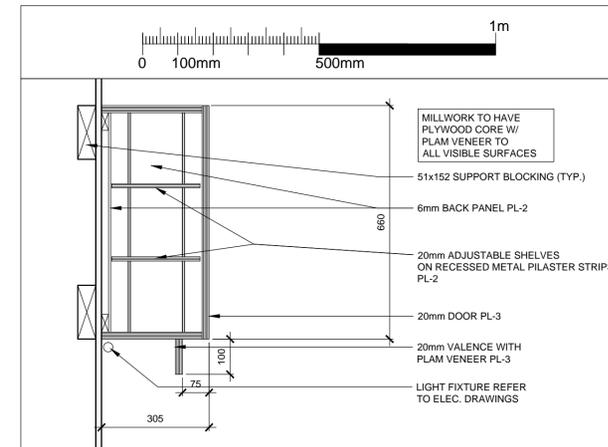
**2 ELEVATION: CLOSET**  
A6.01 SCALE: 1:20



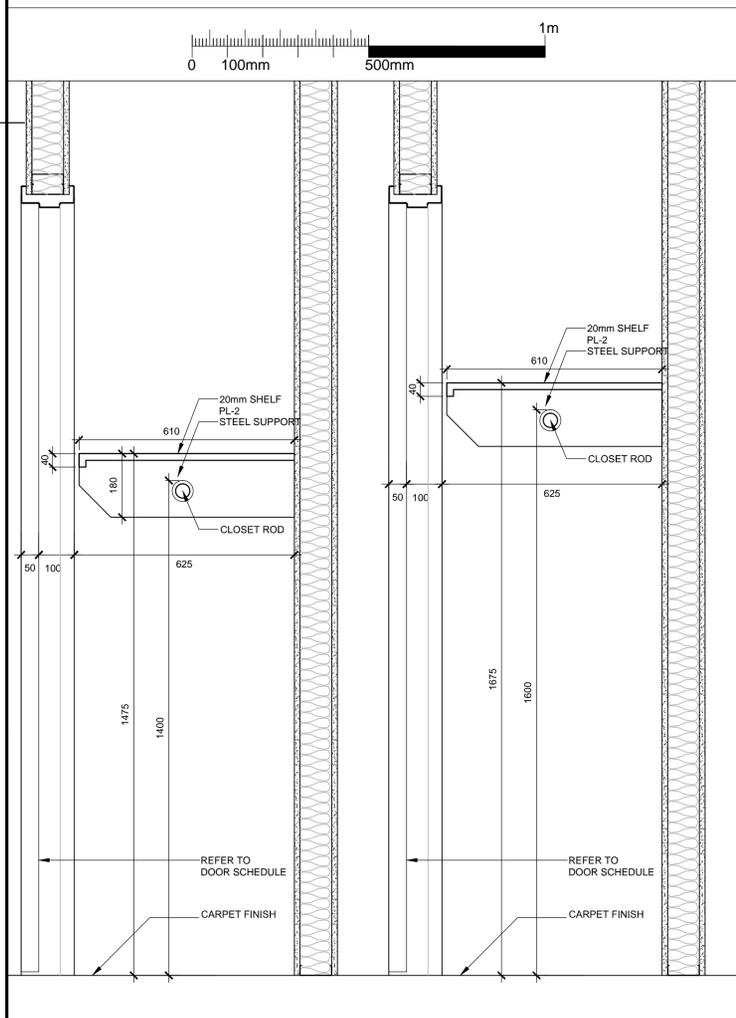
**4 PARTIAL PLAN: KITCHENETTE**  
A6.01 SCALE: 1:20



**5 ELEVATION: KITCHENETTE**  
A6.01 SCALE: 1:20

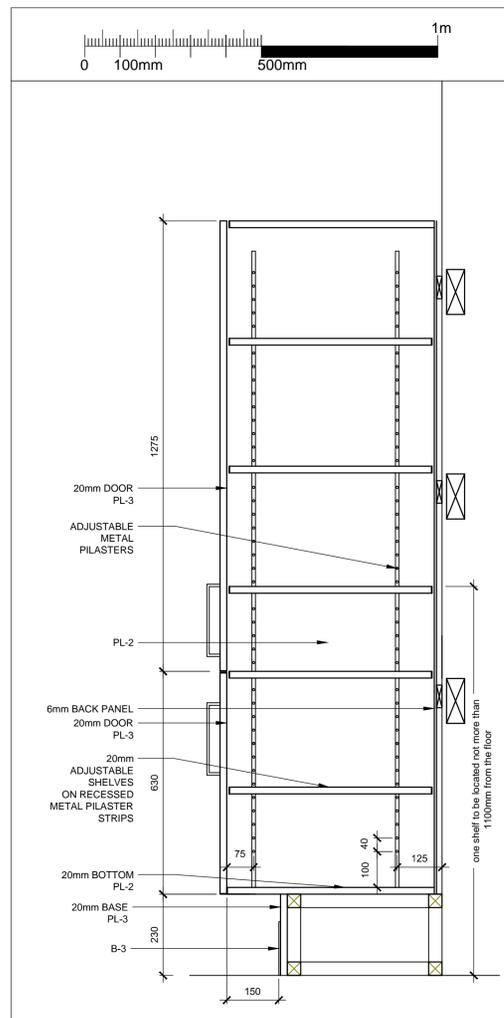


**6 SECTION: UPPER CABINET**  
A6.01 SCALE: 1:10

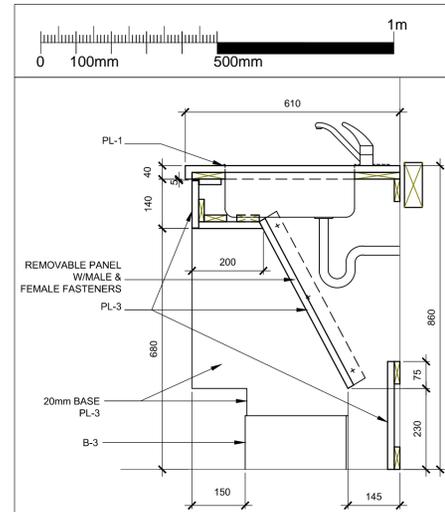


**3A SECTION: BF CLOSET**  
A6.01 SCALE: 1:10

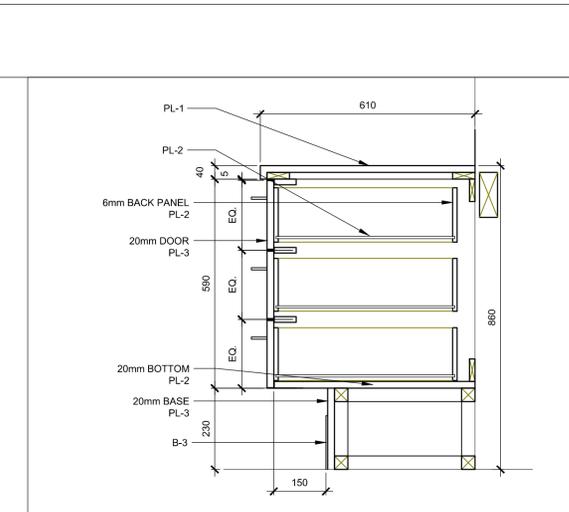
**3B SECTION: CLOSET**  
A6.01 SCALE: 1:10



**7 SECTION: CABINET**  
A6.01 SCALE: 1:10



**8 SECTION: BASE CABINET**  
A6.01 SCALE: 1:10



**9 SECTION: BASE CABINET**  
A6.01 SCALE: 1:10

revision	description	date
1	ISSUED FOR BID	2016-09-02

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**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

**MILLWORK DETAILS**

drawn by / dessiné par AV

designed by / conçu par AV

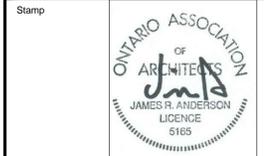
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project no. / no. du projet R.079143.042

drawing no. / dessin no. EAST-A6.01



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project title  
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**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
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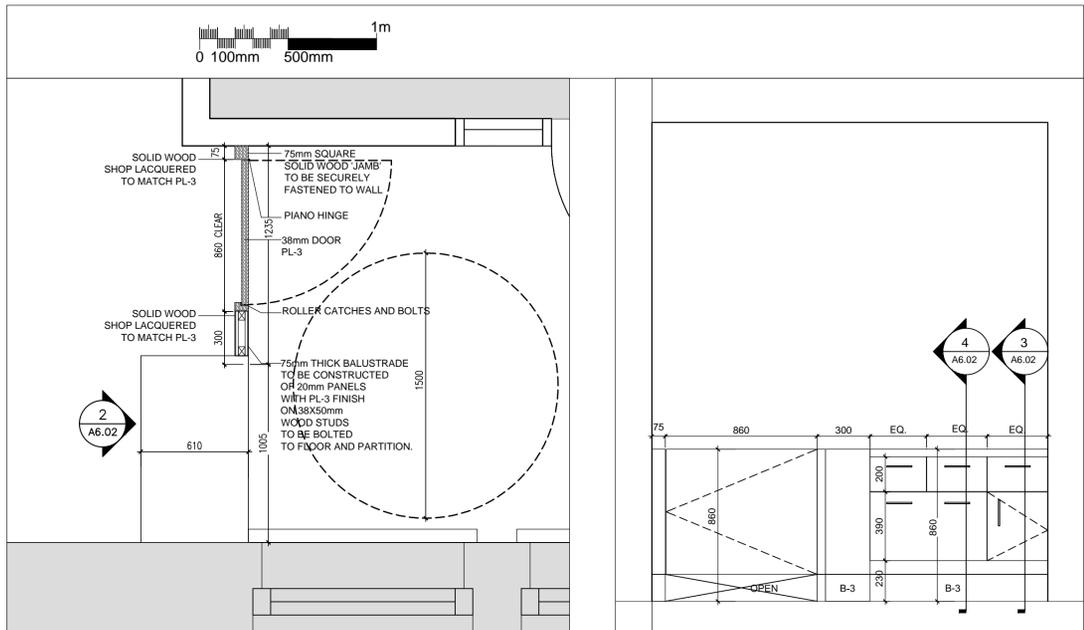
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approuvé par RN

bid offer  
offre DA project manager  
administrateur de projets

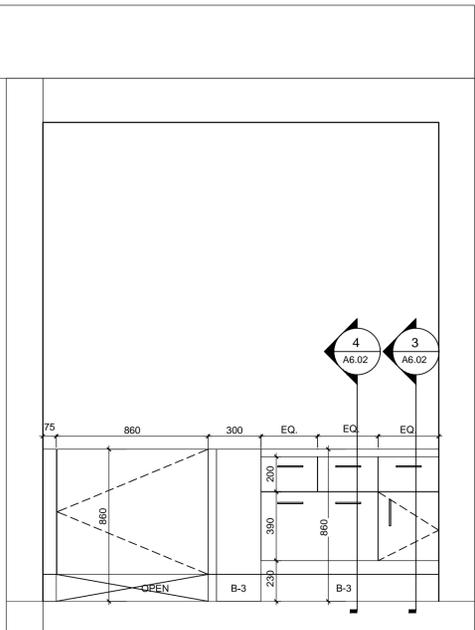
project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

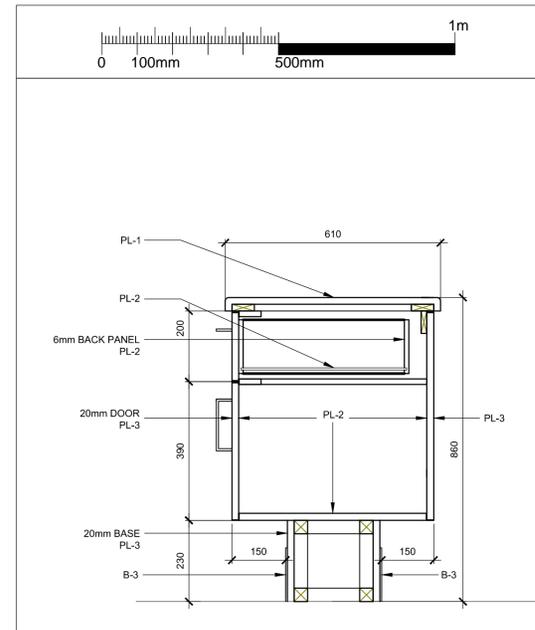
drawing no.  
dessiné no. EAST-A6.02



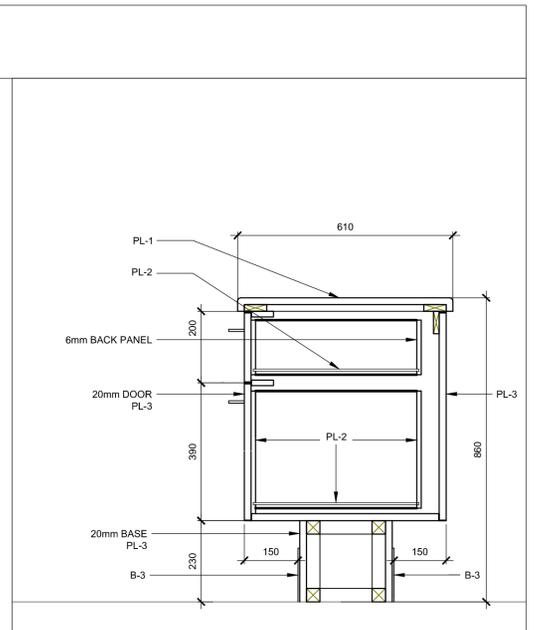
**1 RECEPTION COUNTER PLAN**  
A6.02 SCALE: 1:20



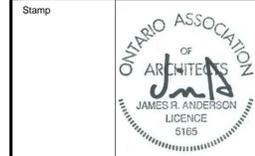
**2 RECEPTION COUNTER ELEVATION**  
A6.02 SCALE: 1:20



**3 RECEPTION COUNTER SECTION**  
A6.02 SCALE: 1:10



**4 RECEPTION COUNTER SECTION**  
A6.02 SCALE: 1:10



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457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**WEST PHASE LOCATION PLAN**

drawn by  
dessiné par AV

designed by  
conçu par AV

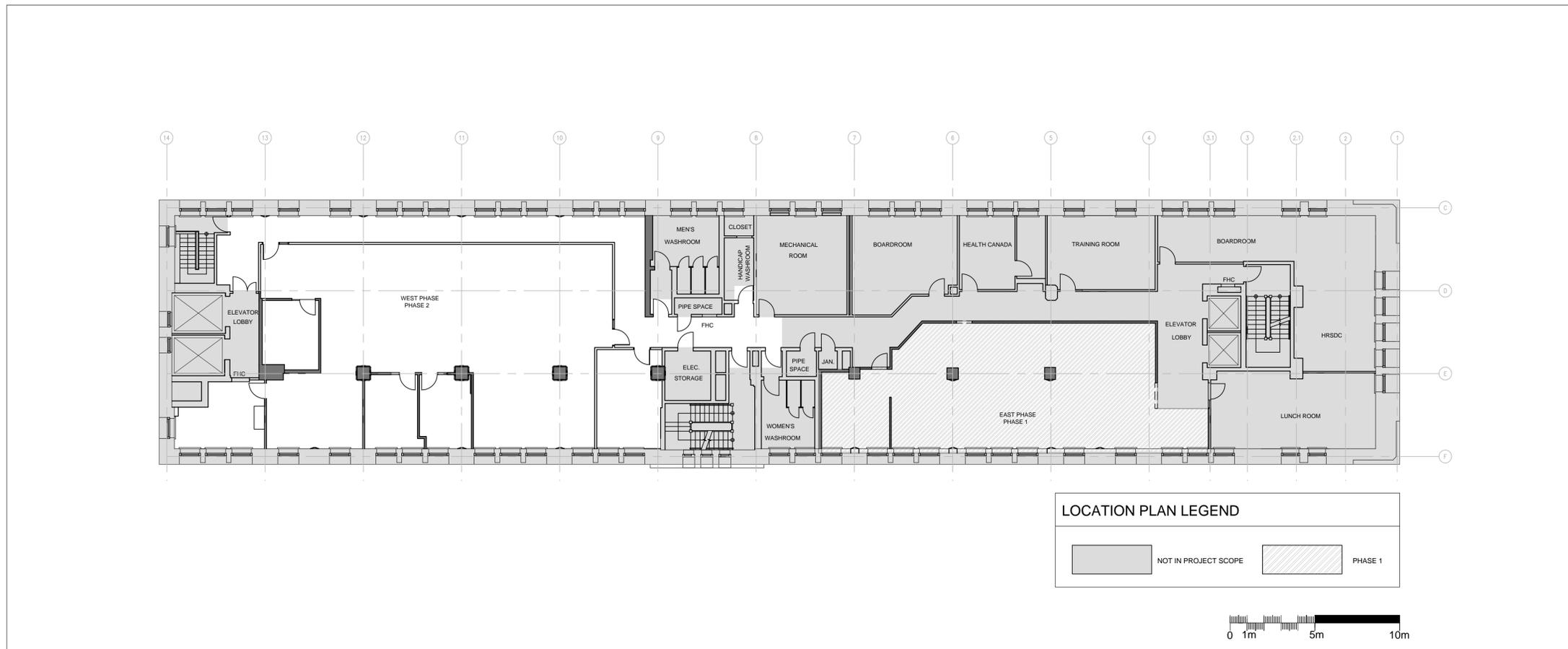
approved by  
approuvé par RN

bid  
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administrateur de projets

project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. WEST-A0.00



**1 WEST PHASE LOCATION PLAN**  
A0.00 SCALE: 1:150

RENOVATIONS FOR:  
**DOMINION PUBLIC BUILDING**  
OGD

457 RICHMOND ST.  
LONDON, ONTARIO  
N6A3E3

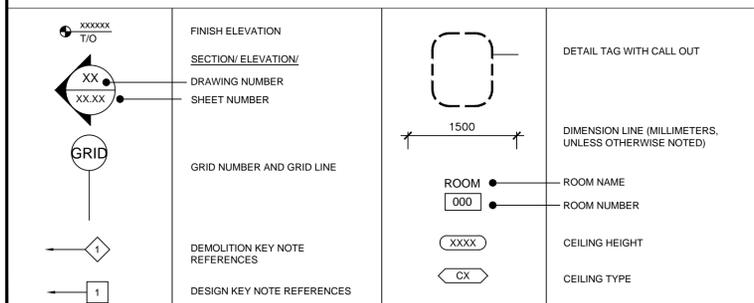
PWGSC PROJECT # R.079143.042

Item/Article	BUILDING CODE DATA MATRIX	NBC 2015	OBC 2012
1	<b>Project Description &amp; Civic Address:</b> PUBLIC DOMINION BUILDING - PWGSC - OFFICE RENOVATIONS 457 RICHMOND ST., LONDON, ON	Part 3 NBC A1.1.2	Part 3 NBC A1.1.2
2	<b>Major occupancies:</b> EXISTING	B 3.1.2.1.(1)	B 3.1.2.1.(1)
3	<b>Building Area (m2)</b> Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED	A1.4.1.2	A1.4.1.2
4	<b>Gross Area (m2)</b> Existing: EXISTING New: EXISTING Total: EXISTING/UNCHANGED		
5	<b>Number of Storeys:</b> EXISTING Above Grade: EXISTING Below Grade: EXISTING	A1.4.1.2 B 3.2.1.1	A1.3.3.3 A1.4.1.2 B 3.2.1.1
6	<b>Height of Building(m):</b> EXISTING / UNCHANGED		
7	<b>Number of Streets, Access Routes:</b> EXISTING - UNCHANGED	B 3.2.2.10 B 3.2.5.5	B 3.2.2.10 B 3.2.5.5
8	<b>Building Classification:</b> EXISTING - UNCHANGED, REFER TO FLOOR PLAN	B 3.2.2.20-88	B 9.10.2
9	<b>Existing Building:</b> <input checked="" type="checkbox"/> Sprinklered <input type="checkbox"/> Not Sprinklered EXISTING		
10	<b>Sprinkler System Proposed/ Réseau D'extincteurs propose</b> <input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Phased/ Installation <input type="checkbox"/> Non Required EXISTING - UNCHANGED	B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18	B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18
11	<b>Standpipe Required:</b> <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED	B 3.2.5.8	B 3.2.9
12	<b>Fire Alarm Required:</b> <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED	B 3.2.4	B 3.2.4
13	<b>Water Service, Adequate Supply/</b> <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED	B 3.2.5.7	B 3.2.5.7
14	<b>High Building</b> <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED	B 3.2.6	B 3.2.6
15	<b>Authorized Construction</b> <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	B 3.2.2.20-88	B 3.2.2.20-88
16	<b>Mezzanine(s) (m2)</b> EXISTING - UNCHANGED	B 3.2.1.1	B 3.2.1.1
17	<b>Total Occupant Load Based on</b> 33 (9.3 m2 per person) <input type="checkbox"/> Design of Building EXISTING - UNCHANGED	B 3.1.17	B 3.1.17
18	<b>Barrier-free Design</b> <input checked="" type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non OWNER REQUEST	B 3.8	B 3.8
19	<b>Hazardous Substances</b> <input type="checkbox"/> Yes/ Oui <input type="checkbox"/> No/ Non EXISTING - UNCHANGED	B 3.3.1.2 B 3.3.1.20	B 3.3.1.2 B 3.3.1.20
20	<b>Required Fire Resistance (FRR)/</b> Horizontal Assembly FRR/ Hours Floors Hours Roof Hours Mezzanine Hours FRR of Supporting Members Listed Design No. or Description/ EXISTING/UNCHANGED	B 3.2.2.20-88 B 3.2.1.4	B 3.2.2.20-88 B 3.2.1.4
21	<b>Spatial Separation - Construction of Exterior Walls</b> EXISTING - UNCHANGED	B 3.2.3	B 3.2.3

ABBREVIATION LEGEND

Symbol	Description	INSUL	INSULATION
@	AT	HT	HEIGHT
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
AVG	AVERAGE	NA	NON APPLICABLE
B/O	BOTTOM OF	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO.	NUMBER
C/C	CENTRE-TO-CENTRE	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OGD	OTHER GOVERNMENT DEPARTMENT
CL	CENTRE LINE	PT	PAINT
CLG	CEILING	QTY	QUANTITY
COL	COLUMN	RCP	REFLECTED CEILING PLAN
CONC	CONCRETE	RWL	RAIN WATER LEADER
CONT	CONTINUOUS	SIM	SIMILAR
C/W	COMPLETE WITH	SM	SQUARE METER
DIA	DIAMETER	SPEC	SPECIFICATION
DIM	DIMENSION	STC	SOUND TRANSMISSION CLASS
DN	DOWN	SS	STAINLESS STEEL
DWG	DRAWING	T/O	TOP OF
ELEV	ELEVATION	TBD	TO BE DETERMINED
EQ	EQUAL	TYP.	TYPICAL
FRR	FIRE RESISTANCE RATING	UNO.	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	U/S	UNDERSIDE
G.W.B	GYPSON WALL BOARD	W/	WITH

SYMBOLS LEGEND



DEMOLITION FLOOR PLAN GENERAL NOTES

- MAKE CLEAN CUT OFFS WHERE EXISTING WALLS AND CEILINGS TO REMAIN
- REMOVE EXISTING PARTITIONS AS INDICATED
- CAP ALL ABANDONED PLUMBING IN WALL, REFER TO MECHANICAL DRAWINGS
- WHERE UNCOVERED CONDITIONS ARE NOT AS ANTICIPATED, IMMEDIATELY NOTIFY THE DEPARTMENTAL REPRESENTATIVE AND SECURE NEEDED DIRECTION. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED
- ALL EXISTING SHEATHING/ BOARD DAMAGED DURING DEMOLITION ARE TO BE REPLACED WITH NEW; MATERIALS TO MATCH EXISTING
- PROTECT ALL EXISTING FINISHES FROM DAMAGE THROUGHOUT CONSTRUCTION
- RECYCLABLE MATERIAL TO BE SEPARATED AND DISPOSED OF IN SUCH A MANNER SO AS TO DIVERT FROM LANDFILL WHERE POSSIBLE
- PROTECT EXISTING WINDOW BLINDS DURING CONSTRUCTION

DEMOLITION RCP GENERAL NOTES

- REFER TO MECHANICAL & ELECTRICAL ENGINEERING DRAWINGS FOR FULL EXTENT OF FIXTURE DEMOLITION. CONTRACTOR SHALL REMOVE & RE-INSTATE ANY ACOUSTIC OR GYPSON BOARD CEILINGS REQUIRED FOR REMOVAL OR INSTALLATION OF MECHANICAL & ELECTRICAL EQUIPMENT, TYPICAL
- REMOVE AND DISPOSE ALL CEILING GRID HANGERS FOR CEILINGS SLATED TO BE DEMOLISHED. DO NOT RE-USE EXISTING HANGER RODS

FLOOR PLAN GENERAL NOTES

- SUPPLY AND INSTALLATION OF WORKSTATIONS AND OFFICE FURNITURE IS NOT PART OF THIS CONTRACT. WORKSTATIONS AND FURNITURE SHOWN FOR LOCATION ONLY

RCP GENERAL NOTES

- NEW T-BAR CEILING LAYOUT LOCATE CENTRE OF THE ROOM UNLESS NOTED OTHERWISE ON DRAWING
- ENSURE FIRE ALARM AND SMOKE DETECTORS ARE BYPASSED PRIOR TO SANDING GYPSON BOARD CEILING
- REFER TO MECHANICAL FOR LOCATIONS OF ALL NEW & EXISTING DUCTS & TERMINAL BOXES.
- PROVIDE NEW GYPSON BOARD CEILING TO FILL VOIDS IN VALENCES

CONSTRUCTION FLOOR PLAN KEY NOTES

- NEW FLOOR AND BASE, REFER TO FINISHES SCHEDULE.
- EXISTING FLOORING AND BASE TO REMAIN. PATCH AND REPAIR ALL DAMAGE FLOORING AND BASE ADD NEW BASE ON NEW WALLS AS INDICATED TO MATCH EXISTING
- PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON THE LINEAR WALL SPACE USED FOR ANCHORING EQUIPMENT. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT. REFER TO WEST-E2.02
- RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW CYLINDER, KEY ALIKE TO DR618B
- RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A

CONSTRUCTION RCP KEY NOTES

- EXISTING REPLICA HERITAGE CEILING TILE AND GRID TO REMAIN AND PROTECT
- DAMAGED CEILING TILES TO BE REPLACED
- NEW T-BAR CEILING AND ACOUSTICAL CEILING TILES
- NEW GYPSON BOARD CEILING TO MATCH EXISTING
- EXISTING LIGHT FIXTURES RELOCATED
- NEW LIGHT FIXTURE

DEMOLITION FLOOR PLAN KEY NOTES

- EXISTING DOOR FRAME AND DOOR TO REMAIN
- EXISTING GYPSON BOARD PARTITION/MILLWORK TO BE REMOVED & DISPOSED
- EXISTING FLOORING AND TRANSITION STRIPS TO REMAIN AND BE PROTECTED
- REPAIR WALLS TO RECEIVE NEW FINISHES.
- RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618A LOCATION
- RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618B LOCATION. PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A
- EXISTING REPLICA HERITAGE COLUMNS TO REMAIN AND BE PROTECTED
- DOOR & INACTIVE LEAF WITH MAGNETIC LOCK TO REMAIN
- EXISTING COUNTER TOP, SINK AND MILLWORK TO REMAIN
- PATCH & FILL ALL FLOOR DEPRESSIONS AND DAMAGES WHEN PARTITIONS ARE REMOVED, TYPICAL
- PATCH & REPAIR ALL WALLS & CEILING WHERE EXISTING WALLS, DOORS, PARTITIONS ARE REMOVED, TYPICAL

DEMOLITION RCP KEY NOTES

- EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- EXISTING REPLICA HERITAGE CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION, MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- EXISTING SUPPLY AND RETURN DIFFUSER TO REMAIN
- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LED LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE REUSED IN THE EAST OFFICE
- EXISTING CEILING GRID AND PANELS TO BE REMOVED & DISPOSED
- EXISTING LIGHT FIXTURES TO BE DISMOUNTED & PROTECTED FOR REUSE
- GYPSON BOARD CEILING TO BE REMOVED & DISPOSED

NOTE: 1. ALL EXISTING BLINDS TO BE COVERED & CLEANED

GENERAL CONSTRUCTION NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION. DO NOT PROCEED WITHOUT CLARIFICATION IN SUCH CIRCUMSTANCES.
- BE RESPONSIBLE FOR FIELD MEASUREMENTS AND DIMENSIONS, REPORT DISCREPANCIES TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION
- NEW PARTITIONS TO BE FIXED DIRECTLY TO CLEAN CONCRETE SLAB. PARTITIONS TO BE TAPED, SANDED SMOOTH AND MADE READY TO RECEIVE FINISHES. ALL GYPSON TO BE PAINTED UNLESS NOTED OTHERWISE
- ENSURE SUFFICIENT BLOCKING IS PROVIDED IN AREAS REQUIRING SUPPORT OF THE PARTITION OR CEILING FOR MOUNTED EQUIPMENT OR MATERIALS
- ENSURE FLOOR IS LEVEL PRIOR TO CONSTRUCTION OF PARTITIONS. PROVIDE SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 6mm PER 3300mm LENGTHS IN AREAS WHERE FILING CABINETS OR SHELVING UNITS ARE TO BE LOCATED
- REPAIR DAMAGE TO EXISTING FIRE SEPARATION WITHIN THE AREA OF WORK TO PROVIDE REQUIRED SEPARATION
- ENSURE ACOUSTICAL CAULKING IS PROVIDED AT PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR SLAB AND UNDERSIDE OF STRUCTURE
- ALL MATERIALS USED SHALL BE NEW UNLESS OTHERWISE NOTED
- LOCATIONS WHERE BASE BUILDING PARTITIONS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES. BE RESPONSIBLE FOR FURRING, CUTTING, PATCHING AND FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK
- ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES MUST BE FIRE-STOPPED WITH APPROVED MATERIAL OR SYSTEM
- PATCH AND REPAIR EXISTING GYPSON BOARD CEILING WHERE EXISTING WALLS ARE BEING REMOVED
- ALL RE-USED FRAMES TO CORRESPOND TO NEW WALL TYPE

WALL FINISHES SCHEDULE

- P-1 PAINT 1: GENERAL WALL TO MATCH EXISTING COLOR ON PUBLIC CORRIDOR
- P-2 PAINT 2: GENERAL WALL TO MATCH EXISTING COLOR ON OFFICE WALLS
- P-3 PAINT 3: GENERAL FRAME PAINT TO MATCH EXISTING COLOR ON DOOR FRAMES

WALL BASE FINISHES SCHEDULE

- B-1 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE T44 GATEWAY WG
- B-2 WALL BASE -100 mm CARPET BASE TO MATCH EXISTING
- B-3 WALL BASE -152 mm BASIS OF DESIGN: JOHNSONITE 23 VAPOR GREY CG

FLOOR FINISHES SCHEDULE

- VCT-1 EXISTING VINYL FLOORING
- VCT-2 EXISTING VINYL FLOORING
- PCT-1 POLYESTER COMPOSITE TILE C/W METAL TRANSITION STRIPS BASIS OF DESIGN: ARMSTRONG T3602 STEEL
- CPT-1 EXISTING CARPET FLOORING

NOTE: USE METAL TRANSITION WHEN FLOORING CHANGE. BASIS OF DESIGN: SCHLUTER SCHIENE BRUSHED STAINLESS STEEL

CEILING SCHEDULE

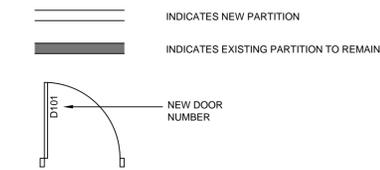
- ACT-1 EXISTING HERITAGE ACOUSTIC TILE CEILING
- ACT-2 NEW ACOUSTIC TILE CEILING COMPLETE WITH SUSPENSION SYSTEM SIZE: 610 X 610MM
- GBC-1 EXISTING GYPSON BOARD CEILING PAINT WHITE TO MATCH EXISTING
- GBC-2 NEW GYPSON BOARD CEILING PAINT WHITE TO MATCH EXISTING

INTERIOR PARTITION SCHEDULE

- F1 1 LAYER OF 18 MM GYPSON BOARD ON EACH SIDE 92MM STEEL STUDS @ 400 O.C INFILL W/ ACOUSTIC BLANKET INSULATION (FROM FIN. FLOOR TO FIN. G.W.B CEILING)

NOTE: 1. PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON ALL LINEAR WALL SPACE USED FOR ANCHORING EQUIPMENT IN THE LAN ROOM. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT. BCX\*: B-GRADE ON THE FRONT SIDE AND C-GRADE ON THE BACKSIDE

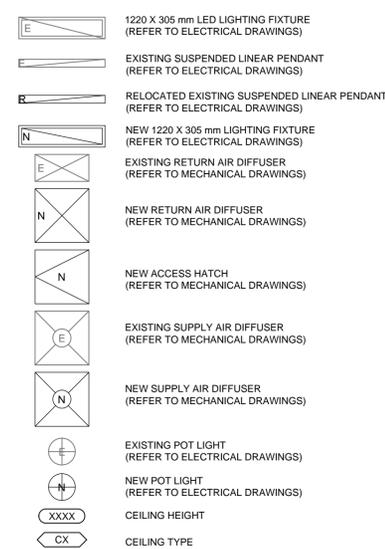
PLAN LEGEND



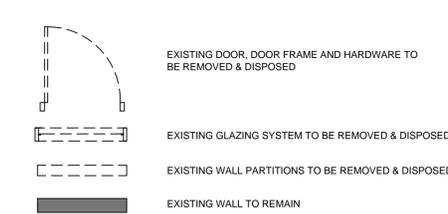
LOCATION PLAN LEGEND



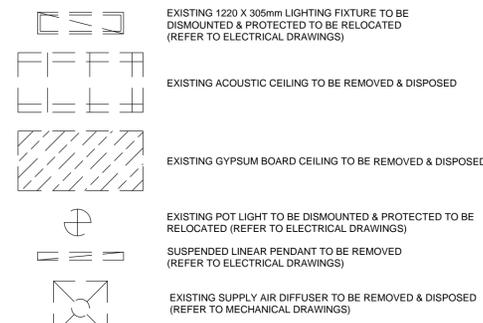
REFLECTED CEILING PLAN LEGEND



DEMOLITION FLOOR PLAN LEGEND



DEMOLITION REFLECTED CEILING PLAN LEGEND



Public Works and Government Services Canada  
Travaux publics et Services gouvernementaux Canada

**DIALOG**

Stamp

ONTARIO ASSOCIATION OF ARCHITECTS  
OF ARCHITECTS  
JAMES R. ANDERSON  
LICENCE 5165

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ARCHITECTURAL / INTERIOR DESIGN

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2 BLOOR ST. EAST, SUITE 1100  
TORONTO, ON  
Tel: (416)966-0220 Fax: (416)966-0223

MECHANICAL ENGINEER

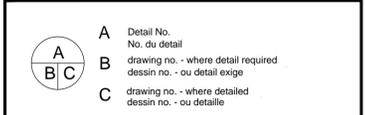
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ELECTRICAL ENGINEER

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1	ISSUED FOR BID	2016-09-02
revision		date

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project title  
titre du projet

**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO

**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin

**LEGENDS AND SCHEDULES**

drawn by dessiné par	AV	project manager administrateur de projets
designed by conçu par	AV	
approved by approuvé par	RN	
bid offer offre	DA	
project date date du projet	2016-09-02	
project no. no. du projet	R.079143.042	
drawing no. dessiné no.	WEST-A0.01	



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project title  
titre du projet  
**DOMINION PUBLIC BUILDING**  
457 RICHMOND STREET  
LONDON, ONTARIO  
**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**DOOR SCHEDULES**

drawn by  
dessiné par AV

designed by  
conçu par AV

approved by  
approuvé par RN

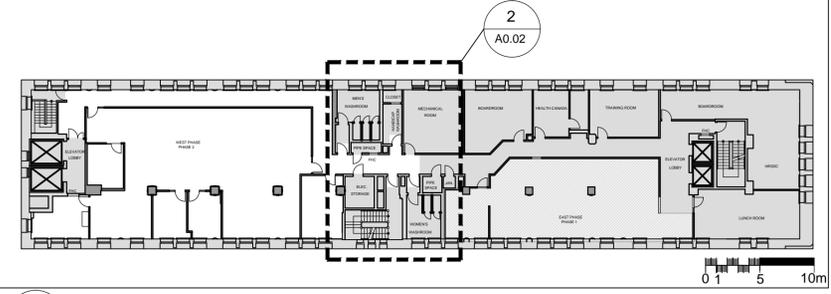
bid offer  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

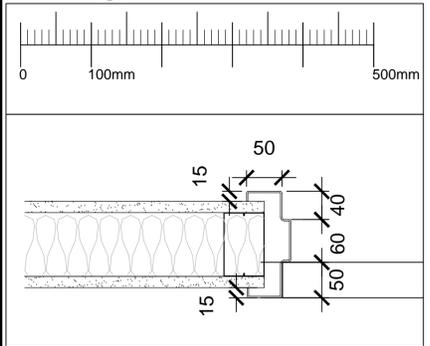
project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. WEST-A0.02

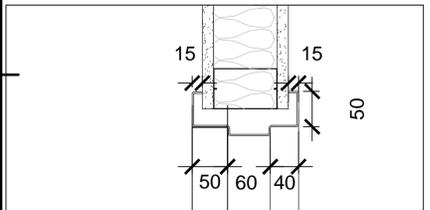
DOOR SCHEDULE:		DESCRIPTION		DOOR					HARDWARE			FRAME			GENERAL																																											
DOOR NUMBER	ROOM NUMBER	LOCATION	DIMENSIONS W x H x T	CONDITION	TYPE	MATERIAL	FINISH	GLASS	KEYPAD LOCK	DOOR CLOSER	CARD READER	CONDITION	TYPE	MATERIAL	FINISH	FIRE RATING(HOUR)	SET NO. REFER TO SPEC.	COMMENTS																																								
DR617	617	LAN ROOM	915x2135X50	N	D2	HM	PT	-			N	N	F2	HM	PT			EX																																								
DR618A	618	OPEN OFFICE	915x2135X50	EX	D1	SCW	ST	EX					EX	F1	HM	PT		EX	RELOCATE EXISTING DOOR, DOOR FRAME AND HARDWARE REF A1.50 - A2.01. NEW CYLINDER & KEY																																							
DR618B	618	OPEN OFFICE	915x2135X50	EX	D1	SCW	ST	EX					EX	F1	HM	PT		EX	RELOCATE EXISTING DOOR, DOOR FRAME AND HARDWARE REFER TO A1.50 - A2.01. NEW LOCKSET																																							
DR620	620	OFFICE	915x2135X50	EX	D1	SCW	ST	EX					EX	F1	HM	PT		EX																																								
DR621	621	OFFICE	915x2135X50	EX	D1	SCW	ST	EX					EX	F1	HM	PT		EX																																								
DR622	622	LUNCH ROOM	915x2135X50	EX	D1	SCW	ST	EX					EX	F1	HM	PT		EX																																								
DR623	623	WEST EXIT STAIR	915x2135X50	EX	D3	HM	PT	EX					EX	F2	HM	PT	1H	EX																																								
DR619	619	STORAGE	1375x2135X50	EX	D4	SCW	ST	-					EX	F3	HM	PT		EX																																								
<b>ADDITIONAL SCOPE</b>																																																										
DR629	629	MEN'S PUBLIC WC	915x2135X50	EX	D1	SCW	S	-	N				EX	F2	HM	PT		06	ADD NEW KEYPAD LOCK TO EXISTING DOORS																																							
DR616	630	WOMEN'S PUBLIC WC	915x2135X50	EX	D1	SCW	S	-	N				EX	F2	HM	PT		06																																								
DR631	631	B/F PUBLIC WC	915x2135X50	EX	D1	SCW	S	-	N				EX	F2	HM	PT		06																																								
DR632	632	EXIT DOOR	915x2135X50	N	D3	HM	PT	-		N			EX	F2	HM	PT	1H	06																																								
<table border="0"> <tr> <td>AL</td> <td>ALUMINUM</td> <td>N</td> <td>NEW</td> </tr> <tr> <td>ANO</td> <td>ANODIZED</td> <td>RE</td> <td>RENOVATE</td> </tr> <tr> <td>GF</td> <td>GLAZING FINISH</td> <td>EX</td> <td>EXISTING</td> </tr> <tr> <td>HM</td> <td>HOLLOW METAL</td> <td></td> <td></td> </tr> <tr> <td>PT</td> <td>PAINTED</td> <td></td> <td></td> </tr> <tr> <td>S</td> <td>STAIN</td> <td></td> <td></td> </tr> <tr> <td>WG</td> <td>WIRED GLASS</td> <td></td> <td></td> </tr> <tr> <td>TG</td> <td>TEMPERED GLASS</td> <td></td> <td></td> </tr> <tr> <td>LG</td> <td>LAMINATED GLASS</td> <td></td> <td></td> </tr> <tr> <td>SCW</td> <td>SOLID CORE WOOD</td> <td></td> <td></td> </tr> </table>																			AL	ALUMINUM	N	NEW	ANO	ANODIZED	RE	RENOVATE	GF	GLAZING FINISH	EX	EXISTING	HM	HOLLOW METAL			PT	PAINTED			S	STAIN			WG	WIRED GLASS			TG	TEMPERED GLASS			LG	LAMINATED GLASS			SCW	SOLID CORE WOOD		
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SCW	SOLID CORE WOOD																																																									
NOTE: REFER TO SECTION 08 OF THE PROJECT MANUAL FOR DOOR HARDWARE																																																										



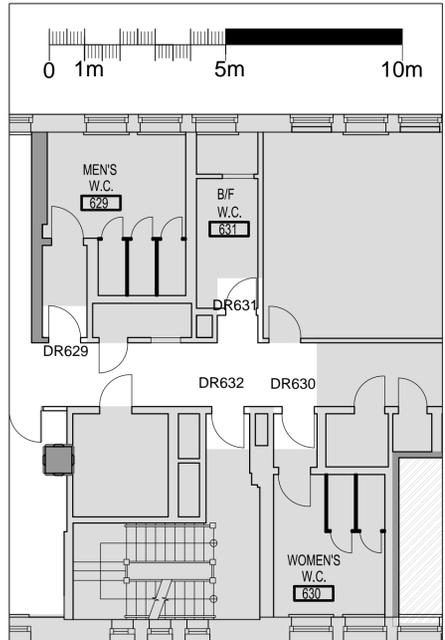
1 ADDITIONAL SCOPE OF WORK-DOOR & HARDWARE LOCATION PLAN  
A0.02 SCALE: NOT TO SCALE



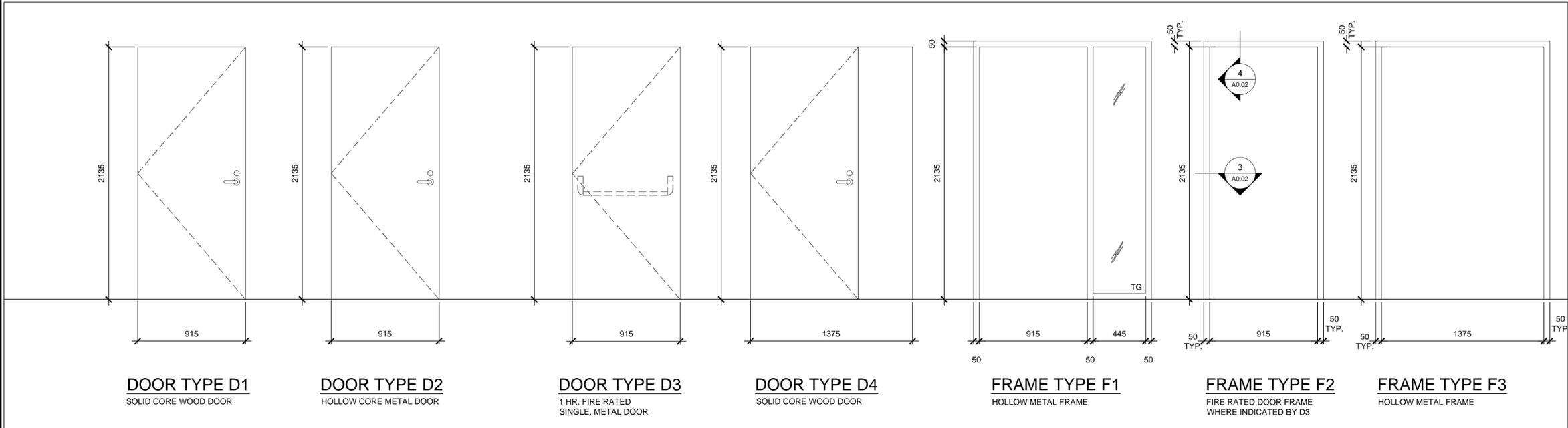
3 DETAIL: DOOR JAMB  
A0.02 SCALE: NOT TO SCALE



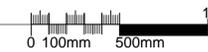
4 DETAIL: DOOR HEAD  
A0.02 SCALE: NOT TO SCALE



2 ENLARGED PARTIAL PLAN  
A0.02 SCALE: NOT TO SCALE

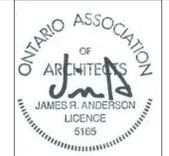


5 DOOR AND DOOR FRAME ELEVATIONS  
A0.02 SCALE: NOT TO SCALE





Stamp



DEMOLITION FLOOR PLAN KEY NOTES

- 1 EXISTING DOOR FRAME AND DOOR TO REMAIN
- 2 EXISTING GYPSUM BOARD PARTITION/MILLWORK TO BE REMOVED & DISPOSED
- 3 EXISTING FLOORING AND TRANSITION STRIPS TO REMAIN AND BE PROTECTED
- 4 REPAIR WALLS TO RECEIVE NEW FINISHES.
- 5A RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618A LOCATION
- 5B RELOCATE DOOR, DOOR FRAME & HARDWARE TO NEW DR618B LOCATION. PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A
- 6 EXISTING REPLICA HERITAGE COLUMNS TO REMAIN AND BE PROTECTED
- 7 DOOR & INACTIVE LEAF WITH MAGNETIC LOCK TO REMAIN
- 8 EXISTING COUNTER TOP, SINK AND MILLWORK TO REMAIN
- 9 PATCH & FILL ALL FLOOR DEPRESSIONS AND DAMAGES WHEN PARTITIONS ARE REMOVED, TYPICAL
- 10 PATCH & REPAIR ALL WALLS & CEILING WHERE EXISTING WALLS, DOORS, PARTITIONS ARE REMOVED, TYPICAL

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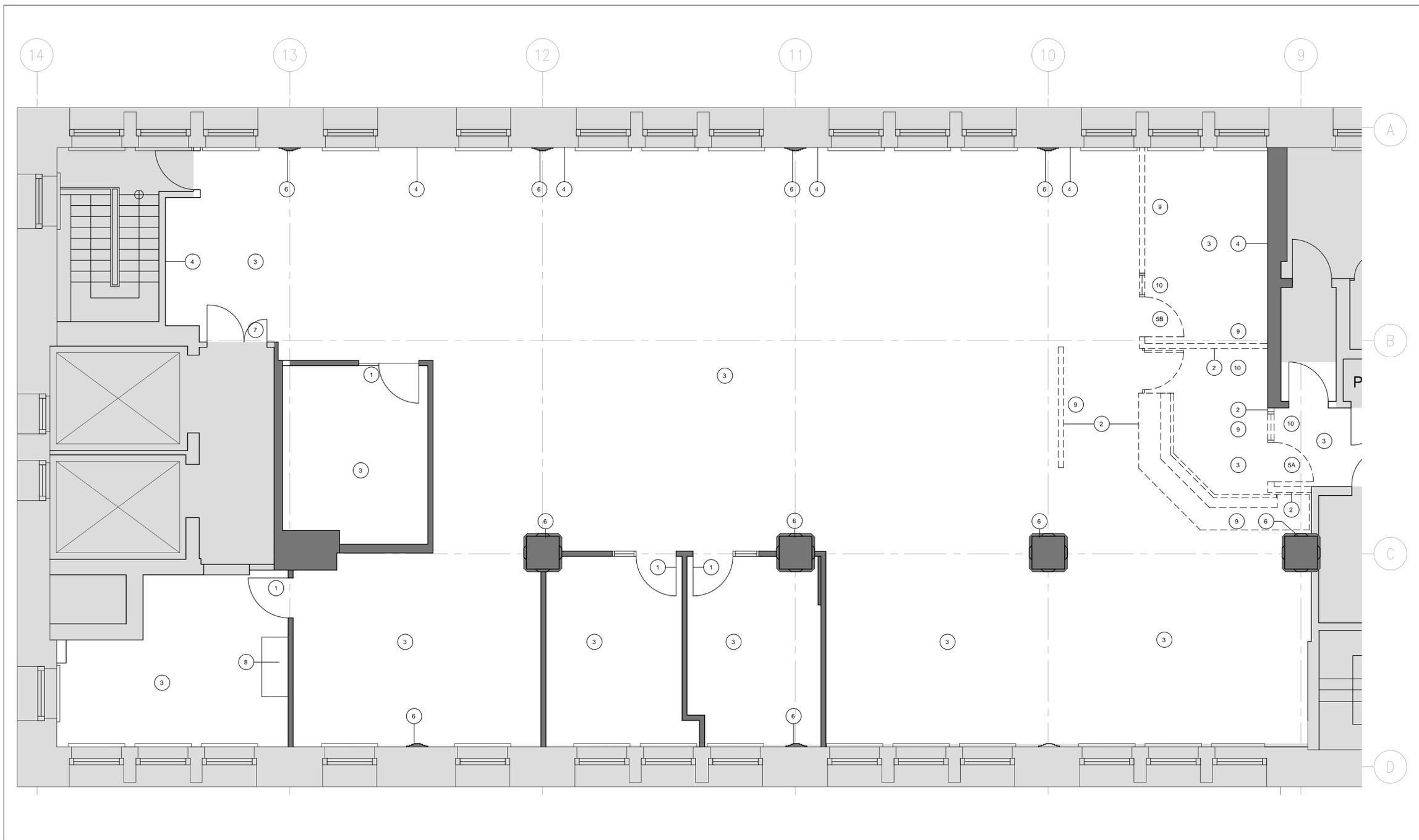
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revision		date

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- B drawing no. - where detail required dessin no. - ou détail exigé
- C drawing no. - where detailed dessin no. - ou détaillé

project title titre du projet

DOMINION PUBLIC BUILDING

457 RICHMOND STREET  
LONDON, ONTARIO

6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title titre du dessin

DEMOLITION PLAN

drawn by dessiné par AV

designed by conçu par AV

approved by approuvé par RN

bid offre DA project manager administrateur de projets

project date date du projet 2016-09-02

project no. no. du projet R.079143.042

drawing no. dessiné no. WEST-A1.50

1 DEMOLITION PLAN  
A1.50 SCALE: 1:50



Stamp



### DEMOLITION RCP KEY NOTES

- 11 EXISTING SUPPLY AND RETURN DIFFUSER TO BE REMOVED & DISPOSED. REFER TO MECHANICAL DRAWINGS
- 12 EXISTING REPLICA HERITAGE CEILING GRID AND PANELS TO REMAIN. REPLACE PANELS DAMAGED DURING CONSTRUCTION. MODIFY TILES AS REQUIRED TO ACCOMMODATE MECHANICAL DIFFUSERS
- 13 EXISTING SUPPLY AND RETURN DIFFUSER TO REMAIN
- 14 EXISTING LIGHT FIXTURES TO REMAIN
- 15 EXISTING LED LIGHT FIXTURE TO BE DISMOUNTED & PROTECTED TO BE REUSED IN THE EAST OFFICE
- 16 EXISTING CEILING GRID AND PANELS TO BE REMOVED & DISPOSED
- 17 EXISTING LIGHT FIXTURES TO BE DISMOUNTED & PROTECTED FOR REUSE
- 18 GYPSUM BOARD CEILING TO BE REMOVED & DISPOSED

NOTE:  
1. ALL EXISTING BLINDS TO BE COVERED & CLEANED

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### ARCHITECTURAL / INTERIOR DESIGN

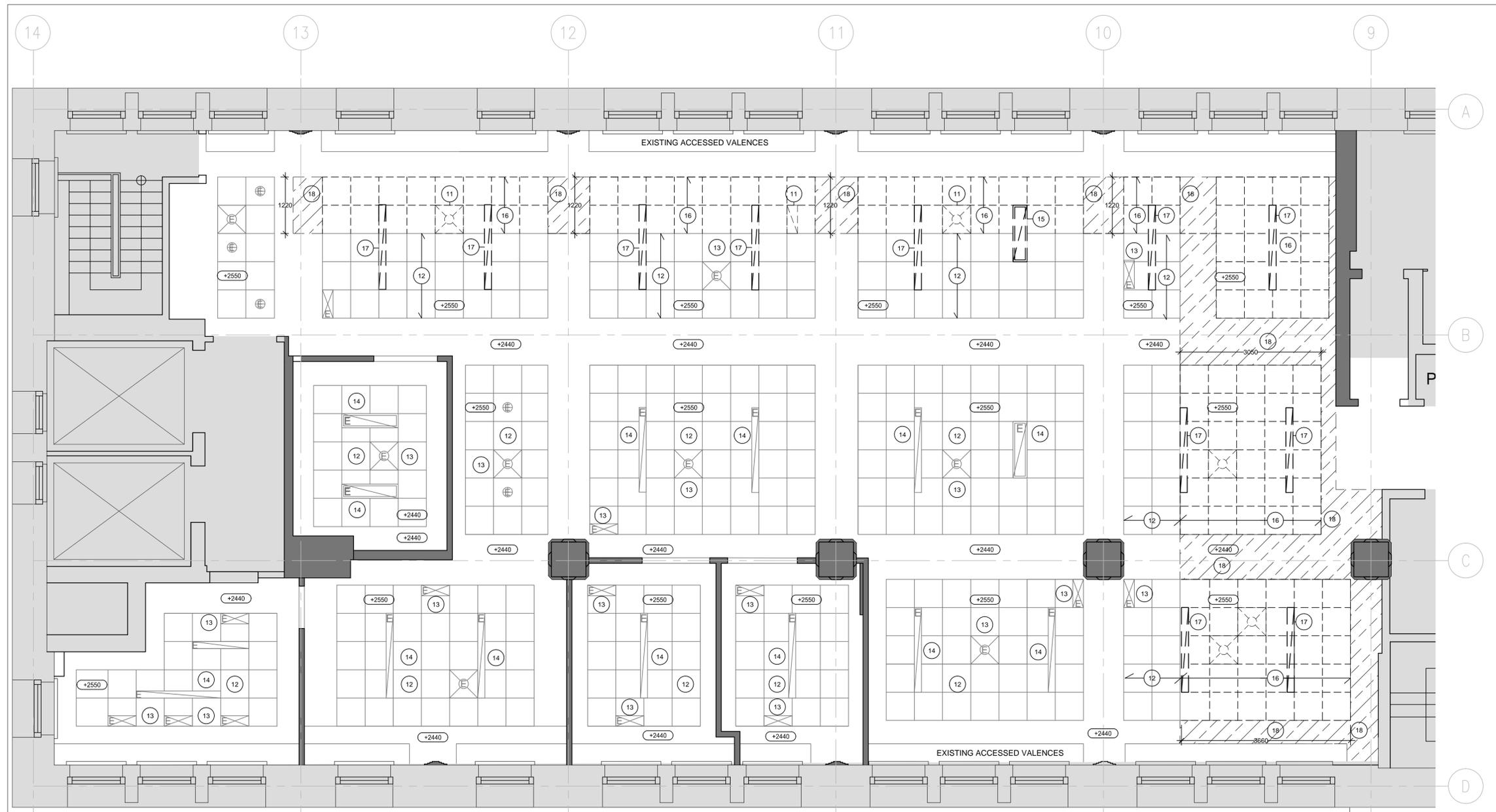
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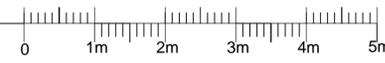
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### ELECTRICAL ENGINEER

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**1** DEMOLITION REFLECTED CEILING PLAN  
A1.51 SCALE: 1:50



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B	drawing no. - where detail required
B	dessin no. - ou detail exigé
C	drawing no. - where detailed
C	dessin no. - ou détaillé

project title  
titre du projet  
**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO

**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin  
**DEMOLITION REFLECTED CEILING PLAN**

drawn by  
dessiné par AV

designed by  
conçue par AV

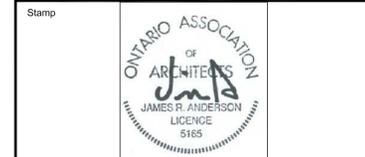
approved by  
approuvé par RN

bid  
offre DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

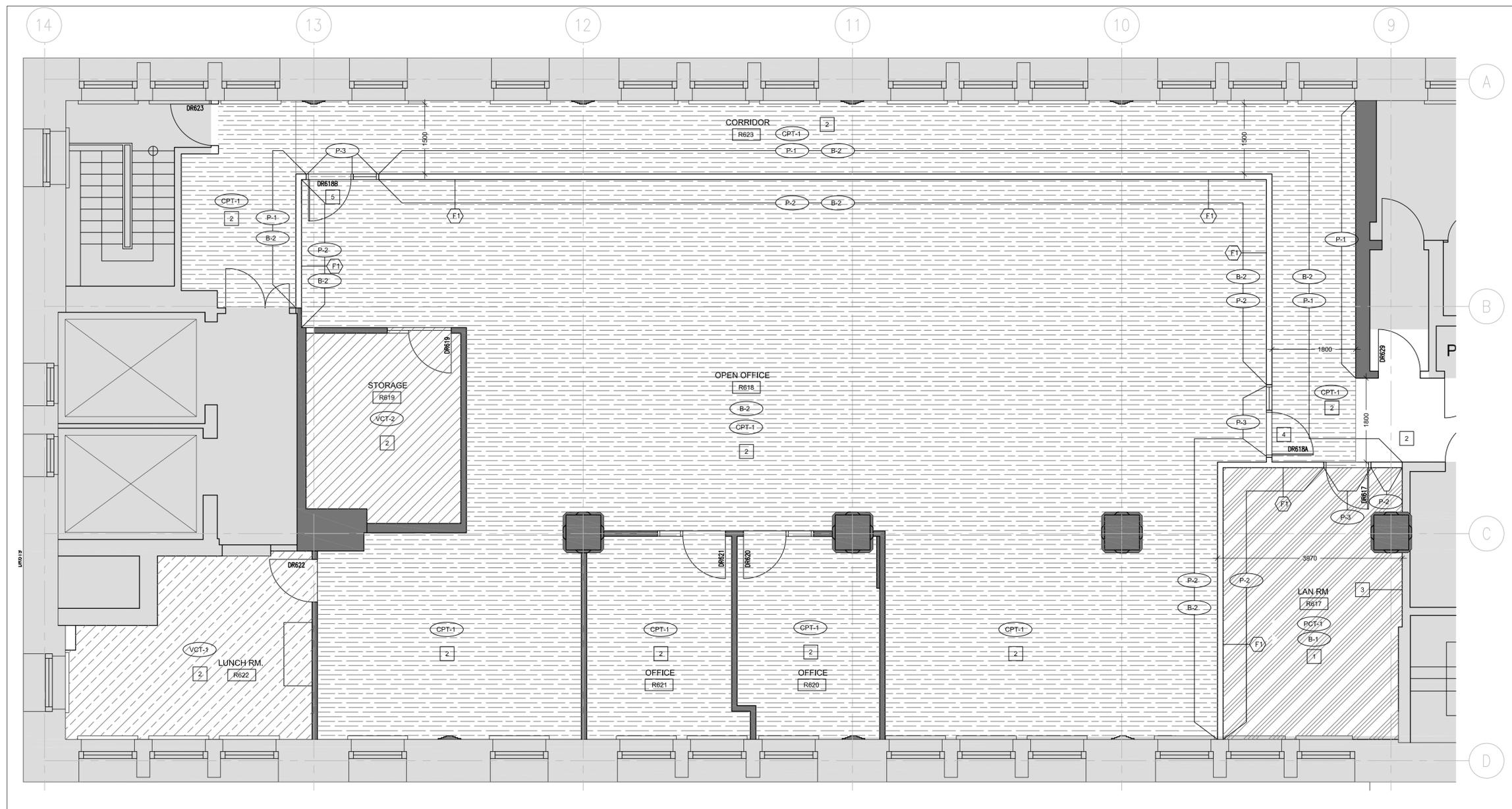
project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. WEST-A1.51



**CONSTRUCTION FLOOR PLAN KEY NOTES**

- 1 NEW FLOOR AND BASE. REFER TO FINISHES SCHEDULE.
- 2 EXISTING FLOORING AND BASE TO REMAIN. PATCH AND REPAIR ALL DAMAGE FLOORING AND BASE. ADD NEW BASE ON NEW WALLS AS INDICATED TO MATCH EXISTING.
- 3 PROVIDE 1 LAYER OF FIRE-RATED 100x203x19mm BCX PLYWOOD ON THE LINEAR WALL SPACE USED FOR ANCHORING EQUIPMENT. SMOOTH SIDE SHALL BE FACING OUT AND PAINTED WITH LIGHT COLOURED ACRYLIC, INTERIOR, FIRE-RETARDANT PAINT. REFER TO WEST-E2.02
- 4 RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW CYLINDER, KEY ALIKE TO DR618B
- 5 RELOCATED DOOR, DOOR FRAME AND HARDWARE PROVIDE NEW LOCKSET KEYED ALIKE TO DR618A



**METRIC**

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REPORT INCONSISTENCIES AND OMISSIONS TO THE DEPARTMENTAL REPRESENTATIVE FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE DEPARTMENTAL REPRESENTATIVE ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

**ARCHITECTURAL / INTERIOR DESIGN**

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1	ISSUED FOR BID	2016-09-02
revision		date

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

- A Detail No. No. du détail
- B drawing no. - where detail required dessin no. - où détail exigé
- C drawing no. - where detailed dessin no. - où détaillé

project title  
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**DOMINION PUBLIC BUILDING**

457 RICHMOND STREET  
LONDON, ONTARIO

**6TH FLOOR TENANT RELOCATION & OFFICE FIT UP**

drawing title  
titre du dessin

**CONSTRUCTION & FINISHES PLAN**

drawn by dessiné par	AV	project manager administrateur de projets
designed by conçu par	AV	
approved by approuvé par	RN	
bid offre	DA	

project date  
date du projet

2016-09-02

project no.  
no. du projet

R.079143.042

drawing no.  
dessiné no.

WEST-A2.01

**1 CONSTRUCTION & FINISHES PLAN**  
A2.01 SCALE: 1:50





### CONSTRUCTION RCP KEY NOTES

- 3 EXISTING REPLICA HERITAGE CEILING TILE AND GRID TO REMAIN AND PROTECT
- 4 DAMAGED CEILING TILES TO BE REPLACED
- 5 NEW T-BAR CEILING AND ACOUSTICAL CEILING TILES
- 6 NEW GYPSUM BOARD CEILING TO MATCH EXISTING
- 7 EXISTING LIGHT FIXTURES RELOCATED
- 8 NEW LIGHT FIXTURE

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### ARCHITECTURAL / INTERIOR DESIGN

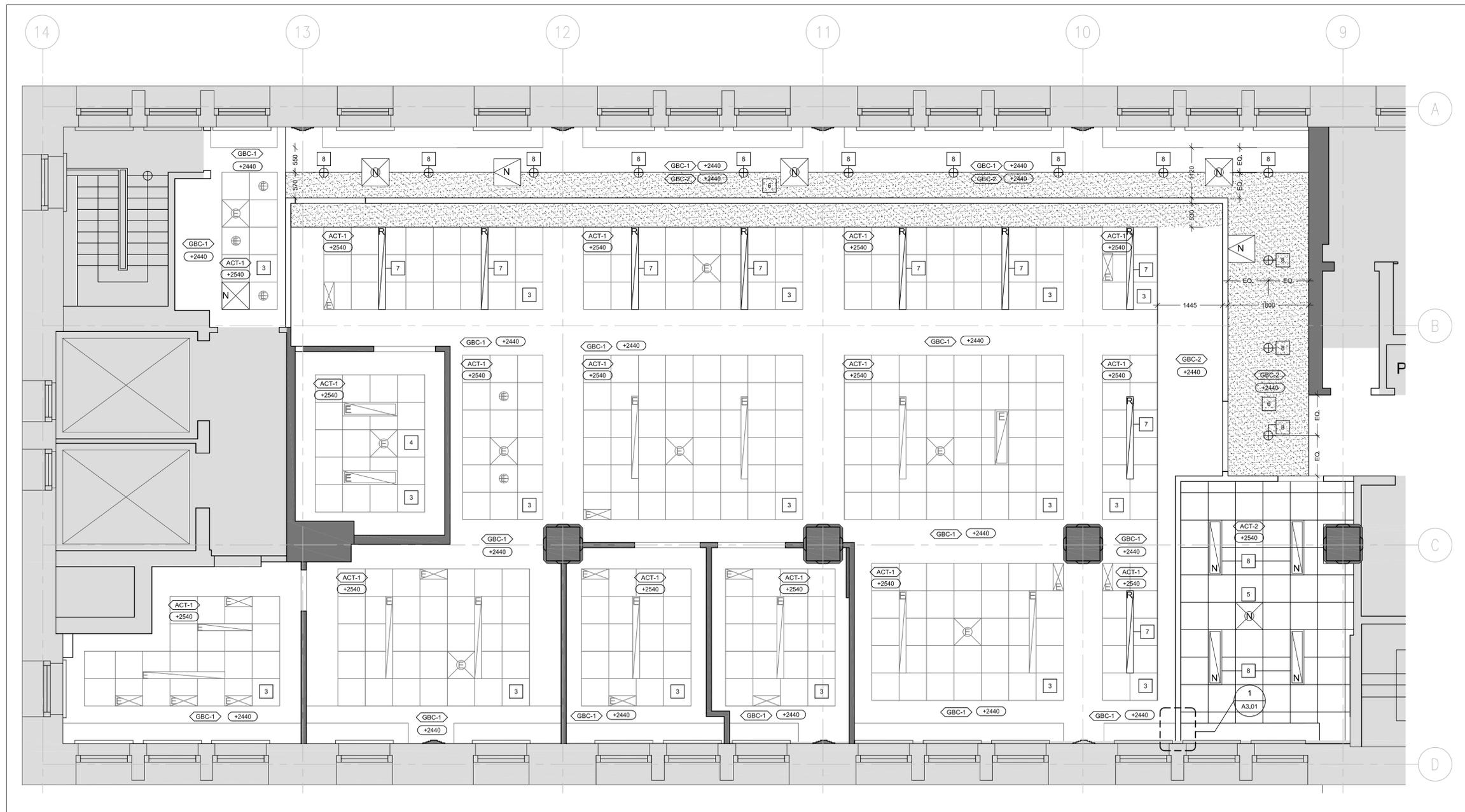
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### DOMINION PUBLIC BUILDING

457 RICHMOND STREET  
LONDON, ONTARIO

### 6TH FLOOR TENANT RELOCATION & OFFICE FIT UP

drawing title  
titre du dessin

### REFLECTED CEILING PLAN

drawn by  
dessiné par AV

designed by  
conçue par AV

approved by  
approuvée par RN

bid office  
DA project manager  
administrateur de projets

project date  
date du projet 2016-09-02

project no.  
no. du projet R.079143.042

drawing no.  
dessiné no. WEST-A2.02

1 REFLECTED CEILING PLAN  
A2.03 SCALE: 1:50

