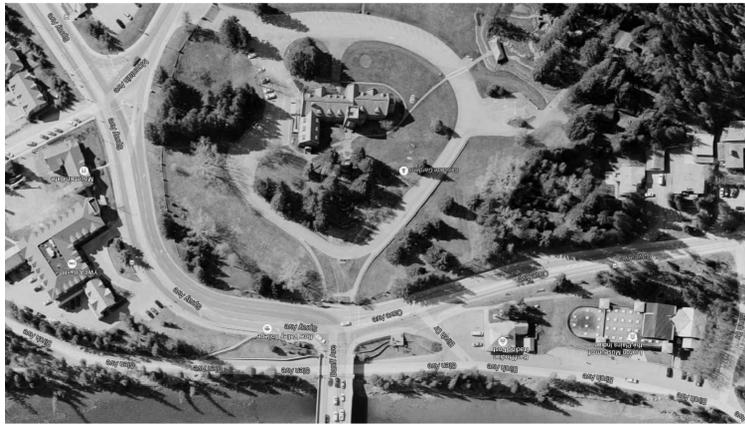


APPENDIX A

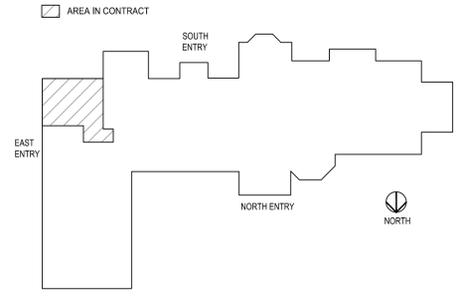
Renovation Drawings and Specifications



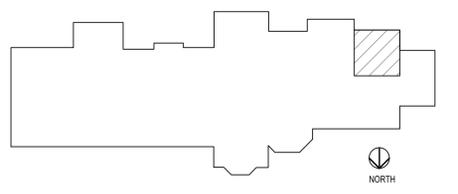
1 SITE PLAN
A0-00 SCALE: NTS



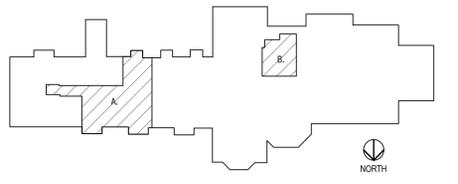
DRAWING LIST - ARCHITECTURAL/ INTERIORS	
Sheet Number	Sheet Name
A0-00	COVER PAGE
A0-01	GENERAL NOTES
A1-01	FIRST FLOOR PLANS, ELEVATIONS, DETAILS
A1-02	SECOND FLOOR PLANS, ELEVATION
A1-03	THIRD FLOOR PLANS, ELEVATIONS
A2-01	SCHEDULES



2 FIRST FLOOR KEY PLAN
A0-00 SCALE: NTS



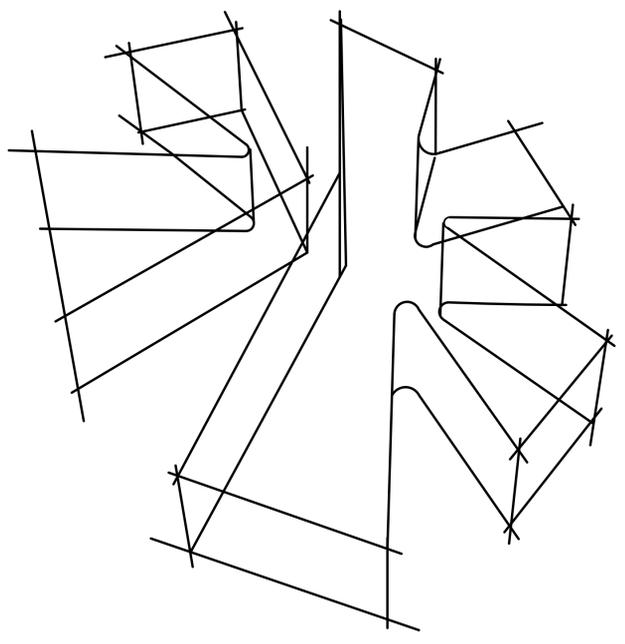
3 SECOND FLOOR KEY PLAN
A0-00 SCALE: NTS



4 THIRD FLOOR KEY PLAN
A0-00 SCALE: NTS

BUILDING CODE SUMMARY	
PARKS CANADA AGENCY BANFF NATIONAL PARK ADMINISTRATION BUILDING	
INTERIOR RENOVATION OF RECEPTION (MAIN FLOOR) AND OFFICE (2ND AND 3RD FLOORS) INCLUDES ADDING DOORS AND WINDOWS.	
APPLICABLE BUILDING CODE (ABC 2014)	
MAJOR OCCUPANCY: OFFICES - BUSINESS - GROUP D	
TOTAL BUILDING AREA: TOTAL BUILDING AREA: 689.6 M2 (7 423 FT2)	
BUILDING CLASSIFICATION: THE PROJECT IS A SINGLE EXISTING COMBUSTIBLE. THE BUILDING FACES ONE STREET. THE BUILDING IS SPRINKLERED.	
1. GROUP D OFFICES AS PER 3.2.2.61, GROUP D, UP TO 3 STOREYS, SPRINKLERED	
OCCUPANT LOAD (TABLE 3.1.17.1) TOTAL BUILDING: 74 PEOPLE (OFFICE USE: 9.30 M2 PER PERSON)	
EXIT WIDTH REQUIREMENT (3.4.3.2) FROM TABLE 3.4.3.2.A. EXIT CORRIDORS 1100 MM RAMPS 1100 MM STAIRS 1100 MM DOORWAYS 800 MM	
PER SECTION 3.4.2.5 THE TRAVEL DISTANCE WITHIN THE ROOM OR SUITE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN 45M. NOTE: TRAVEL DISTANCE NOT CHANGED.	

REFERENCES - SYMBOL LEGEND	
	ROOM NAME AND NUMBER
	DOOR TAG. REFER TO DOOR SCHEDULE AND SPECIFICATIONS
	FURNITURE TAG
	PARTITION TAG
	FINISH TAG
	SECTION REFERENCE MARKER
	INTERIOR ELEVATION REFERENCE MARKER
	DRAWING TITLE MARKER
	ENLARGED DETAIL MARKER



ABBREVIATIONS	
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
CL	CENTRE LINE
CLG	CEILING
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
DIM	DIMENSION
EXIST	EXISTING
EXT	EXTERIOR
FF&E	FURNITURE FIXTURES & EQUIPMENT
FLR	FLOOR
GL	GLASS / GLAZING
GWB	GYPSONUM WALL BOARD
mm	MILLIMETER
NIC	NOT IN CONTRACT
O/C	ON CENTRE
PTD	PAINTED
RCP	REFLECTED CEILING PLAN
SC	SOLID CORE
SCW	SOLID CORE WOOD
SD	SINGLE SWING DOOR
TBD	TO BE DETERMINED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.

BANFF NATIONAL PARK ADMIN BUILDING OFFICE RENOVATION

PROJECT NUMBER:
ISSUED FOR:
DATE:

180241
TENDER
NOVEMBER 4, 2016

CLIENT



LAURIE MACDONALD
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P.O. BOX 900
BANFF, ALBERTA
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ARCHITECTURAL



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O: 403-295-2440

GENERAL REQUIREMENTS

- THIS CONTRACT IS FOR A COMPLETE INTERIOR CONSTRUCTION INCLUDING ALL STRUCTURAL, MECHANICAL AND ELECTRICAL WORK AND COORDINATION OF ALL TRADES.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. NEITHER THE ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS AND SECTIONS NOR THE ARRANGEMENT OF DRAWINGS SHALL CONTROL. THE CONTRACTOR IN DOING THE WORK AMONG SUBCONTRACTORS AND SUPPLIERS OR ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- READ ALL DRAWINGS IN CONJUNCTION WITH ALL APPLICABLE CONSULTANT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL INTERIOR DESIGN, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY AND A RESOLUTION PROVIDED TO THE GENERAL CONTRACTOR PRIOR TO FABRICATION.
- CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION AND, WHERE REQUIRED, TAKE INTO CONSIDERATION ASSEMBLY CONSTRUCTION AND THICKNESS OF FINISHING MATERIALS. NO CONTRACT REVISIONS OR EXTRAS WILL BE ALLOWED FOR FAILURE TO VERIFY SITE CONDITIONS AND DIMENSIONS. REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH WORK.
- THIS IS AN IMPERIAL DRAWING AND ALL DRAWINGS HAVE BEEN DRAWN IN IMPERIAL. ANY MEASUREMENT CONVERSION AND COORDINATION REQUIRED TO INTEGRATE MATERIALS AND/OR EQUIPMENT FABRICATED IN IMPERIAL, SHALL BE THE SOLE RESPONSIBILITY OF THE MANUFACTURER AND ITS AGENTS. METRIC MEASUREMENTS SHALL BE INCORPORATED IN ALL SHOP DRAWING SUBMITTALS.
- CONTRACTOR SHALL UNDERTAKE ALL WORK IN ACCORDANCE WITH THE ALBERTA BUILDING CODE 2014 AND ALL MUNICIPAL BYLAWS, CODES OR ORDINANCES, GUIDELINES, AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. AFTER COMPLETION OF WORK CONTRACTOR TO COORDINATE FOR A FINAL WALK-THROUGH INSPECTION WITH THE CONSULTANTS AND TENANT FORWARD A COPY OF THE OCCUPANCY INSPECTION COMPLETE WITH ALL REQUIRED VERIFICATIONS AND CERTIFICATES TO THE CONSULTANT.
- CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND FAMILIARIZE HIMSELF AND ALL TRADES AND SUB-TRADES WITH THE BUILDING REGULATIONS FOR CONSTRUCTION AND BUILDING ACCESS, PARKING AND LOCAL BUSINESS LICENSING AND INCLUDE SUCH COSTS IN CONTRACT.
- CONTRACTOR, TRADES AND SUB-TRADES SHALL COMPLY WITH THE RULES AND REGULATIONS FOR CONSTRUCTION WITHIN THE BUILDING AS SET OUT BY THE LANDLORD TO MEET TYPICAL BUILDING STANDARDS. CONTRACTOR SHALL ONLY USE IDENTIFIED TRADE CONTRACTORS TO PERFORM MODIFICATIONS AND ADDITIONS TO SYSTEMS SUCH AS LONG-DURATION CONTROL AND MANAGEMENT SYSTEM, SPRINKLER SYSTEM, FIRE ALARM SYSTEM AND ELECTRICAL SYSTEM AS IDENTIFIED IN THE BUILDING RULES AND REGULATIONS.
- CONTRACTOR SHALL CLEAN AND MAINTAIN PROJECT AREA ON A DAILY BASIS DURING CONSTRUCTION TO ENSURE ANY ACCUMULATION OF WASTE, DEBRIS AND RECYCLABLE MATERIALS IS ORGANIZED AND DISPOSED OF ACCORDING TO THE BEST PRACTICE FOR WASTE MANAGEMENT AND DISPOSAL. CONFIRM THE APPROVED METHOD OF WASTE REMOVAL AND FREQUENCY AND LOCATION OF COLLECTION BINS WITH THE LANDLORD.
- THE CONTRACTOR SHALL PROTECT ALL BASE BUILDING FINISHES AND EQUIPMENT DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THE BASE BUILDING CAUSED BY HIM OR HIS SUBTRADES UNDER HIS SUPERVISION.
- THE CONTRACTOR SHALL CARRY OUT ALL NECESSARY WORK REQUIRED TO BYPASS ALL SYSTEM SO THAT THEY DO NOT INTERFERE IN ANY WAY WITH THE CONTINUITY OF THE OPERATION OF THE BASE BUILDING OR EXISTING TENANT PREMISES.
- COMPLY WITH ALL REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT, CODE AND REGULATIONS. EVERY WORKER SHALL ENSURE THE SAFETY OF HIS WORKERS AND OTHER WORKERS ON THE WORK SITE AND ENSURE THAT THE WORKERS ARE AWARE OF THEIR RESPONSIBILITIES AND DUTIES UNDER THE OHS ACT, CODE AND REGULATIONS.
- DO NOT REMOVE OR ALTER ANY ITEMS WHICH WILL AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING UNLESS NOTED OTHERWISE IN THE CONTRACT - REFER TO STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL X-RAY SLAB PRIOR TO ANY CUTTING OR DRILLING, CORING SHALL BE COORDINATED WITH THE STRUCTURAL ENGINEER AND ALL CORING LOCATIONS VERIFIED ON SITE BY THE ARCHITECT/DESIGNER PRIOR TO ANY CUTTING OR DRILLING. ALL X-RAYS, CUTTING OR DRILLING TO BE CARRIED OUT AFTER REGULAR BUSINESS HOURS. CONTRACTOR SHALL ADHERE TO BUILDING REGULATIONS FOR PERFORMING WORK AFTER HOURS.
- COORDINATE WORK WITH LANDLORD, ANY WORK WHICH MAY DISRUPT OTHER TENANTS' ACTIVITIES SHALL BE REVIEWED WITH LANDLORD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO ENSURE CONTAMINANTS ARE NOT SPREAD TO ADJACENT TENANTS OR PUBLIC SPACES.
- ALL MATERIAL TO BE AS SPECIFIED, ALTERNATIVES OR SUBSTITUTIONS ARE NOT ALLOWED AND ARE NOT TO BE INCLUDED IN TENDER PRICING AND CONSTRUCTION UNLESS PREVIOUSLY APPROVED BY CONSULTANT.
- ENSURE THAT ALL REQUIRED HOARDING IS MAINTAINED IN A SAFE, DUST-PROOF AND SECURE CONDITION.
- UPON AWARD OF PROJECT, CONTRACTOR SHALL PROVIDE PROPOSED CONSTRUCTION SCHEDULE IN BAY SHEET FORM WITH ALL TASKS AND TRADES IDENTIFIED WITH ONLY TIME MEASUREMENT FOR REVIEW BY TENANT, CONSULTANT AND PROPERTY MANAGER. MAKE ADJUSTMENTS AS REQUIRED AFTER REVIEW BY TENANT, CONSULTANT AND PROPERTY MANAGER.
- CONTRACTOR SHALL PROVIDE A ROOM OR AREA LOCATED ON SITE COMPLETE WITH TABLE AND CHAIRS FOR WEEKLY SITE MEETINGS FOR DESIGN, CONSULTANTS, CONTRACTOR AND TENANT. MEETING MINUTES ARE TO BE RECORDED AND DISTRIBUTED BY THE CONTRACTOR.
- A SITE VISIT BY CONTRACTOR, TRADES AND SUBTRADES IS REQUIRED IN ORDER TO PROVIDE ACCURATE PRICING PRIOR TO SUBMISSION OF TENDER PRICING. CHANGE ORDERS DUE TO FAILURE TO VERIFY SITE PRIOR TO SUBMISSION OF TENDER PRICING WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL CONDUCT A SITE CHECK WITH THE LANDLORD AND CONSULTANT TO RECORD EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ADVISE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES AFFECTING PROJECT SCOPE.
- ALL SHOP DRAWINGS ARE TO BE ISSUED BY THE CONTRACTOR TO THE CONSULTANT AND APPLICABLE ENGINEER CONSULTANT.
- SHOP DRAWINGS SHALL INDICATE APPROVAL BY CONTRACTOR PRIOR TO SUBMISSION TO CONSULTANT AND SHALL MAKE PROVISION FOR APPLICABLE EXISTING SITE CONDITIONS.
- VERIFY DIMENSIONS BY FIELD MEASUREMENTS BEFORE FABRICATION AND INDICATE MEASUREMENTS ON SHOP DRAWINGS.
- SUBMIT SHOP DRAWINGS FOR REVIEW BY CONSULTANT AND REVIEWED SHOP DRAWINGS BACK PRIOR TO COMMENCEMENT OF WORK. SHOP DRAWINGS SHALL BE IN "PDF" FORMAT.
- CONTRACTOR SHALL CONFORM TO ALL SUSTAINABLE BEST PRACTICES AND PROCEDURES AS REQUIRED BY BASE BUILDING.
- ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL PERFORMANCE OR SUCH LONGER PERIOD AS MAY BE SPECIFIED.
- ALL DEFICIENCIES ARE TO BE COMPLETED BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION UNLESS A LONGER PERIOD IS AGREED TO BETWEEN THE TENANT AND THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE FINAL INSPECTION DATE WITH CONSULTANT PRIOR TO MOVE IN.
- FINAL CLEANING TO BE COMPLETED BY CONTRACTOR TO REMOVE ALL CONSTRUCTION DUST AND DEBRIS, CLEAN AND POLISH ALL SURFACE MATERIALS (NEW AND EXISTING) TO A MOVE-IN READY CONDITION IN ACCORDANCE WITH MANUFACTURER'S WRITTEN CLEANING INSTRUCTIONS. REMOVE SURPLUS PRODUCTS, TOOLS AND CONSTRUCTION EQUIPMENT BEFORE DECLARATION OF SUBSTANTIAL PERFORMANCE. NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
- CONTRACTOR SHALL PROVIDE THE TENANT AND PROPERTY MANAGER WITH WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS AND EQUIPMENT.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO CONSULTANT WITHIN 30 DAYS OF SUBSTANTIAL PERFORMANCE. IN ADDITION, PROVIDE ORIGINAL SITE MARK-UP COPY WITH ALL CHANGES AND MODIFICATIONS CLEARLY NOTED.
- WORKMANSHIP SHALL BE OF THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THEIR RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. CONSULTANT MUST BE NOTIFIED IMMEDIATELY IF THE REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCE THE REQUIRED RESULTS.

DEMOLITION GENERAL REQUIREMENTS

- ANY AND ALL DAMAGE CAUSED DURING THE DEMOLITION PHASE IS TO BE PATCHED AND REPAIRED TO LIKE NEW CONDITION AT CONTRACTORS EXPENSE.
- REFER TO ELECTRICAL/MECHANICAL REQUIREMENTS FOR ELECTRICAL/MECHANICAL DEMOLITION NOTES.
- DO NOT DISTURB ANY WALLS/CEILING/FLOORING UNLESS STRICTLY NECESSARY FOR REQUIRED SCOPE OF WORK. DO NOT REMOVE OR OTHERWISE AFFECT ANY ITEMS OF HISTORICAL SIGNIFICANCE (IE. EXISTING MILLWORK, TRIMS, MOLDINGS, CASEWORK, DECORATIVE FINISHES ETC.) WITHOUT PRIOR APPROVAL FROM THE LANDLORD AND THE AUTHORITY HAVING JURISDICTION.
- ALL DEMOLITION WORK NOT EXPRESSLY OUTLINED IN THESE DRAWINGS TO BE REVIEWED AND APPROVED BY THE CLIENT, LANDLORD AND ARCHITECTURAL CONSULTANT PRIOR TO EXECUTION.
- CONTRACTOR SHALL VISIT SITE PRIOR TO COMMENCEMENT OF WORK TO FAMILIARIZE HIMSELF WITH THE SCOPE OF DEMOLITION WORK, REPORT ANY DISCREPANCIES TO THE CONSULTANT.
- ANY AND ALL ITEMS REMOVED BY THE CONTRACTOR TO FACILITATE CONSTRUCTION SUCH AS COVER PLATES, DOOR HARDWARE, ETC., ARE TO BE REINSTALLED BY THE CONTRACTOR AT THE END OF THE PROJECT UNLESS NOTED OTHERWISE.
- REMOVE ALL DEBRIS FROM DEMOLITION AND LEAVE SITE CLEAN AND READY FOR NEW CONSTRUCTION.
- SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION OR CONSTRUCTION (IE. MOLD, ASBESTOS ETC.) CONTRACTOR TO STOP WORK IMMEDIATELY AND REPORT ALL FINDINGS TO CLIENT AND PRIME CONSULTANT. ALL HAZARDOUS MATERIALS TO BE PROFESSIONALLY REVIEWED AND ENCLOSED / ABATED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

PARTITION GENERAL REQUIREMENTS

- CONTRACTOR SHALL COORDINATE ALL TRADES ON SITE DURING DEMOLITION PHASE.
- REFER TO ENLARGED PLANS AS INDICATED FOR PARTITION TYPE INFORMATION, ELEVATION REFERENCES AND DETAILS.
- CONFORM TO PRODUCT MANUFACTURER'S WRITTEN INSTRUCTION AND ULC DESIGN REQUIREMENTS TO PROVIDE STC AND FIRE RATINGS AS INDICATED ON THE DRAWINGS. LIGHT GAUGE STEEL INTERIOR WALL FRAMING AND GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTHWEST WALL AND CEILING BUREAU, STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL ALL NEW MATERIALS AS PER THE MANUFACTURER'S WRITTEN INSTRUCTION AND TO MEET THE REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND STANDARDS.
- ALL PARTITION NOT CENTRED ON CEILING GRID OR ALIGNED WITH BASE BUILDING ARCHITECTURE (CORE WALLS, COLUMN FACES, CENTRE OF WINDOW MULLIONS ETC.) ARE DIMENSIONED TO THE FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AS REQUIRED. ALL EXISTING SURFACES TO REMAIN AREA TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION AND ARE TO BE CLEANED TO A LIKE-NEW CONDITION UPON CONSTRUCTION COMPLETION.
- ALL PARTITIONS, NEW AND EXISTING, TO BE FINISHED TO A MINIMUM LEVEL 4 FINISH.
- CUTTING, FASTENING OR PENETRATING THE FINISHED SURFACE IN ANY MANNER IS NOT PERMITTED TO EXTERIOR WALLS OR MULLIONS. ANY DAMAGE TO THE BASE BUILDING ENVELOPE MUST BE REPAIRED TO THE SATISFACTION OF THE LANDLORD.
- OPENINGS FOR NON-COMBUSTIBLE PIPES AND DUCTS SHALL BE FIRE STOPPED TO PREVENT THE PASSAGE OF SMOKE AND FLAME.
- FIRESTOP ALL PENETRATIONS, TOP DEFLECTION TRACK AND HORIZONTAL BRACING IN FIRE RATED WALL AS REQUIRED BY ULC DESIGN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT WHERE WORK PASSES THROUGH A FIRE SEPARATION, THE OPENING SHALL BE SEALED WITH ULC LABELED FIRE STOPPING SEALANT TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION. EXISTING FIRE SEPARATIONS MUST BE MAINTAINED AS SUCH, AND ANY NEW, EXISTING OR ABANDONED HOLES OR CUTTINGS MUST BE SEALED TO RETAIN THE SEPARATION'S INTEGRITY. APPLY FIRESTOPPING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS, ACCEPTED AND ULC OR WITH APPROVED TESTED ASSEMBLIES, AND APPROVED DETAILS.
- DO NOT SCREW OR MECHANICALLY FASTEN WALLS TO WINDOW FRAMES, WINDOW MULLIONS OR RADIANT PANELS. PROVIDE CLOSED CELL FOAM TAPES AT THESE INTERSECTIONS AND ENSURE A "LIGHT-TIGHT" CONNECTION.
- REFER TO PARTITION DETAILS FOR BOTTOM TRACK ADHESION TO SUBSTRATE.
- WHERE PARTITIONS OF VARYING THICKNESS ALIGN, OR WHERE ADDITIONAL LAYER OF GYPSUM BOARD MEETS NEW PARTITION CONSTRUCTION, ENSURE A FLUSH PARTITION FINISH ON EXPOSED FACES UNLESS NOTED OTHERWISE.
- DESIGNER AND TENANT TO REVIEW AND APPROVE CHALKLINE LAYOUT WITH CONTRACTOR PRIOR TO INSTALLATION OF STUDS. FAILURE TO OBTAIN APPROVAL MAY RESULT IN ADJUSTMENTS TO WALLS THAT DO NOT COMPLY WITH DRAWINGS AT NO COST.
- INSTALL ALL NECESSARY PLYWOOD BLOCKING/BACKING IN WALLS AT LOCATIONS TO INCLUDE BUT NOT LIMITED TO MILLWORK, AV EQUIPMENT LIGHT FIXTURES, ALL SPECIFIED FURNITURE, FIXTURES AND EQUIPMENT FEEL, SIGNAGE AND DISPLAY SHELVING, AND WASHROOM ACCESSORIES PRIOR TO GYPSUM WALLBOARD BEING INSTALLED. INSTALL LEVEL AND PLUMB, RIGIDLY ANCHORED TO SUBSTRATE. REFER TO FURNITURE PLANS FOR REFERENCE AND COORDINATION.
- ALL PARTITION TYPES TO BE CONTINUOUS ABOVE DOORS AND GLAZING UNLESS NOTED OTHERWISE.
- NEW DOORS SHALL BE LOCATED 150MM (6") AWAY FROM ADJACENT PARTITIONS UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL X-RAY SLAB PRIOR TO ANY CUTTING OR DRILLING, CORING SHALL BE COORDINATED WITH THE STRUCTURAL ENGINEER AND ALL CORING LOCATIONS VERIFIED ON SITE BY THE ARCHITECT/DESIGNER PRIOR TO ANY CUTTING OR DRILLING. ALL X-RAYS, CUTTING OR DRILLING TO BE CARRIED OUT AFTER REGULAR BUSINESS HOURS. CONTRACTOR SHALL ADHERE TO BUILDING REGULATIONS FOR PERFORMING WORK AFTER HOURS.
- ALL ELECTRICAL SWITCHES, CARD READERS, AND THERMOSTATS ARE TO ALIGN EITHER VERTICALLY OR HORIZONTALLY. INSTALL FIRST COMPONENT 150MM (6") AWAY FROM DOOR FRAME ON NEAREST WALL U.L.O. COORDINATE LOCATIONS AND LAYOUTS WITH CONSULTANT ON SITE PRIOR TO INSTALLATION.
- NO THERMOSTATS, LIGHT SWITCHES, WALL MOUNTED AV PANELS ETC. TO BE MOUNTED ON WALLS WITH ACCENT MATERIAL OR PAINT COLORS. COORDINATE ON SITE WITH CONSULTANTS PRIOR TO PROCEEDING IF CONFLICT ARISES.
- CONTRACTOR SHALL COORDINATE NEW MECHANICAL, ELECTRICAL, AND DATA WITH NEW CONSTRUCTION, FURNITURE AND EQUIPMENT INSTALLATIONS.
- ALL MECHANICAL/ELECTRICAL RISERS NOT OTHERWISE LOCATED WITHIN A STUD PARTITION OR BEHIND WALL STRAPPING TO BE CONCEALED IN FINISHED AREAS. CONFIRM ALL LOCATIONS OF EXPOSED ELECTRICAL AND MECHANICAL RISERS, CONDUIT ETC. WITH DESIGNER AT CONSTRUCTION START-UP MEETING.
- THE WORK OF EXTENDING, CUTTING AND PATCHING SHALL BE PERFORMED BY THOSE TRADES WHOSE MATERIALS ARE AFFECTED.

CEILING PLAN GENERAL REQUIREMENTS

- CONTRACTOR SHALL COORDINATE ALL TRADES ON SITE DURING CONSTRUCTION PHASE.
- CONTRACTOR ALL BASE BUILDING FINISHES AND EQUIPMENT DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO BASE BUILDING CAUSED BY THEMSELVES OR SUBTRADES UNDER THEIR SUPERVISION.
- VERIFY ON SITE ALL CONDITIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY.
- ALL SUSPENDED ACOUSTIC CEILINGS, LIGHT GAUGE STEEL FRAMING, AND GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTHWEST WALL AND CEILING BUREAU, STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL GWB BULKHEADS TO BE FINISHED TO A LEVEL 5 FINISH AND BE INSTALLED PLUMB AND LEVEL. INSTALL ALL SUSPENSION SYSTEMS IN ACCORDANCE WITH ASTM C841, LEVEL, TO WITHIN A TOLERANCE OF 3MM IN 3650MM.
- ENSURE FINISHED CEILING IS STRAIGHT, TRUE AND WITH ADEQUATE STRUCTURAL SUPPORT. NO "HOMEMADE" HANGERS ALLOWED.
- ATTACH HANGERS DIRECTLY TO THE STRUCTURE WHERE POSSIBLE. ELSEWHERE, ATTACH HANGERS IN V-PARS OR TO NESTED CARRYING CHANNELS SUSPENDED BELOW CONSTRUCTION DO NOT ATTACH CEILINGS TO OVERHEAD DUCTS OR PIPES.
- LIGHTING SUPPLIER SHALL BE RESPONSIBLE FOR CSA APPROVAL AND ALL COSTS INCURRED FOR LIGHT FIXTURES PRIOR TO INSTALLATION.
- ALL ACCESS PANELS IN GWB CEILINGS TO BE CONFIGURED AND MARKED ON SITE AND REVIEWED WITH CONSULTANT PRIOR TO INSTALLATION. ALL ACCESS PANELS TO BE CONCEALED, FRAMELESS, 610MM X 610MM MAX SIZE UNLESS OTHERWISE APPROVED, AND FINISHED TO MATCH THE ADJACENT GWB CEILING.
- ALL WOOD BLOCKING WITHIN THE CEILING PLENUM TO BE COMPLETE WITH INTUMESCENT PAINT OR BE FIRE RATED.
- ALL GWB CEILINGS AND BULKHEADS TO BE PAINTED AS REQ'D TO MATCH EXISTING.

FINISH GENERAL REQUIREMENTS

- REFER TO FINISH IDENTIFICATION SCHEDULE FOR SPECIFIED FINISHES.
- ALL EXISTING SITE CONDITIONS SHALL BE REVIEWED FOR SUBSTRATE CONDITIONS FOR THE APPLICATION OF NEW FINISHES AND CORRESPONDING DETAILS. ADVISE CONSULTANT IMMEDIATELY OF ANY SITE CONDITIONS THAT DO NOT ALLOW FOR THE EXECUTION OF NEW AND/OR REPAIRATION WORK SPECIFIED UNDER THIS CONTRACT.
- ENSURE THAT THE DELIVERY OF THE ITEMS SPECIFIED DOES NOT CAUSE A DELAY IN THE SCHEDULED COMPLETION OF THE PROJECT. ADVISE THE CONSULTANT OF ANY ITEMS WITH LONG DELIVERY TIMES.
- ALL FINISHES AND MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND ENSURE COMPATIBILITY WITH OWNERS MAINTENANCE AND CLEANING PRACTICES AND PROCEDURES.
- FINISHES ARE TO BE BUTT JOINTED U.L.O.
- WHERE NEW FINISHES ARE TO MATCH EXISTING FINISHES, MATCH EXISTING CONSTRUCTION TECHNIQUES. THERE SHALL BE NO VISUAL DIFFERENCE BETWEEN OLD AND NEW. PROVIDE SAMPLE FOR APPROVAL.
- NO SUBSTITUTIONS FOR THE SPECIFIED MANUFACTURER SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CONSULTANT.
- WHERE INDICATED, SUBMIT TRIPLICATE SAMPLES FOR REVIEW BY CONSULTANT. SAMPLES SHALL BE A MINIMUM OF 3000MM X 300MM. CONSULTANT WILL RETAIN ONE SAMPLE. WHERE SAMPLES ARE REQUIRED TO ESTABLISH LIMITS OF A RANGE OF COLOUR, TEXTURE, ETC. SUBMIT DUPLICATE SAMPLES OF EXTREMES OF RANGE. DO NOT ORDER MATERIAL UNTIL REVIEWED SAMPLES HAVE BEEN RETURNED.
- USE THE LARGEST CONTINUOUS PIECE OF MATERIAL AS PROVIDED BY THE MANUFACTURER TO COMPLETE THE INSTALLATION OF EACH FLOOR AND BASE FINISH.

FLOOR FINISH REQUIREMENTS

- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING FLOORING DURING DEMOLITION AND CONSTRUCTION. MAKE GOOD ALL DAMAGE TO FLOORING BEING REMOVED INCLUDING ANY PATCHING AND REPAIRS THAT MAY BE REQUIRED TO PROVIDE A CLEAN FINISH.
- FOR EXISTING DOORS AND FRAMES RECEIVING NEW FINISH, REMOVE ALL EXISTING SIGNS AND HARDWARE PRIOR TO PAINTING AND RE-INSTALL UPON COMPLETION IF INSTRUCTED TO DO SUCH. DO NOT PAINT FIRE LABELS ON RATED DOORS AND FRAMES.
- NO SUBSTITUTIONS FOR THE SPECIFIED MANUFACTURER SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CONSULTANT.
- NO THERMOSTATS, LIGHT SWITCHES, WALL MOUNTED AV PANELS ETC. TO BE MOUNTED ON WALLS WITH ACCENT MATERIAL OR PAINT COLORS. COORDINATE ON SITE WITH CONSULTANTS PRIOR TO PROCEEDING IF CONFLICT ARISES.
- WHERE INDICATED, SUBMIT TRIPLICATE SAMPLES FOR REVIEW BY CONSULTANT. SAMPLES SHALL BE A MINIMUM OF 3000MM X 300MM. CONSULTANT WILL RETAIN ONE SAMPLE. WHERE SAMPLES ARE REQUIRED TO ESTABLISH LIMITS OF A RANGE OF COLOUR, TEXTURE, ETC. SUBMIT DUPLICATE SAMPLES OF EXTREMES OF RANGE. DO NOT ORDER MATERIAL UNTIL REVIEWED SAMPLES HAVE BEEN RETURNED.
- ALL PAINTING AND WALL COVERING INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE M.P.I. PAINTING SPECIFICATION MANUAL, 1997 VERSION, "PREMIUM GRADE STANDARDS". IT IS IMPORTANT THAT THE PROPER SURFACE PREPARATION PROCEDURES ARE FOLLOWED PER THE M.P.I. SPECIFICATION MANUAL. IN ADDITION, PAINT MANUFACTURERS HAVE REQUIREMENTS THAT MUST BE FOLLOWED FOR APPLICATION OF THEIR SPECIFIC PRODUCTS. THE MOST STRINGENT GUIDELINE WILL BE DEEMED ACCEPTABLE FOR WORK OF THIS CONTRACT.
- WHERE WALL FINISHES NEED TO BE CLARIFIED AS TO THE START AND STOP POINTS, REFER TO BOTH FINISH PLANS AND ELEVATION DRAWINGS AND CONFIRM WITH CONSULTANT PRIOR TO INSTALLATION.
- ALL PAINT DRAW DOWNS ARE TO BE SUBMITTED TO CONSULTANT FOR REVIEW PRIOR TO ORDERING MATERIAL. DRAW DOWNS MUST BE PROVIDED IN FLAT, EGGSHELL AND SEMI-GLOSS FINISHES ON A MINIMUM 305MM X 305MM PAPER FORMAT.
- USE ONLY PAINT COLOUR AND MANUFACTURERS SPECIFIED SUBSTITUTIONS ARE NOT PERMITTED.
- USE THE LARGEST CONTINUOUS PIECE OF MATERIAL, AS PROVIDED BY MANUFACTURER, TO COMPLETE INSTALLATION OF EACH WALL FINISH.
- FINISHES TO CONTINUE TO NEAREST FULL HEIGHT DOOR FRAME, DESIGN ELEMENT (INCLUDING REVEALS) OR CORNER, UNLESS NOTED OTHERWISE.
- ALL WALL REVEALS TO BE PAINTED TO MATCH THE WALL THEY ARE ON.
- REFER TO PARTITION/DOOR TYPE/HARDWARE DRAWINGS AND NOTES FOR ALL DOOR AND FRAME REFERENCES.
- THE FOLLOWING PAINT TYPES SHALL BE USED FOR RESPECTIVE SURFACES UNLESS OTHERWISE SPECIFIED ON THE WALL FINISH LEGEND:
 - GYPSUM WALLBOARD CEILINGS:
 - 1-COAT ENAMEL PRIME
 - 2-COATS LATEX, FLAT.
 - GYPSUM WALLBOARD WALL & OTHER VERTICAL SURFACES:
 - 1-COAT LATEX PRIME
 - 2-COATS ACRYLIC LATEX, EGGSHELL.
 - NEW WOOD DOORS AND FRAMES & MILLWORK TRIM:
 - 1-COAT STAIN TO MATCH EXISTING DOORS, FRAMES AND TRIM IN ADJACENT AREAS.
 - 2-COATS CLEAR FINISH SEALANT, TYPE AND SHEEN TO MATCH EXISTING DOORS, FRAMES AND TRIM IN ADJACENT AREAS.
 - NEW WALLS TO HAVE PAINT FINISH, PICTURE RAIL AND WALL BASE TO MATCH EXISTING ADJACENT UNLESS NOTED OTHERWISE. CONFIRM HEIGHT OF PICTURE RAIL ON SITE.

F, F & E GENERAL REQUIREMENTS

- FURNITURE IS IN CONTRACT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR RESPONSIBLE TO COORDINATE ELECTRICAL & DATA INSTALLATIONS AND FINAL CONNECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR FINAL COUNTS OF ALL FURNITURE COMPONENTS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE MEASUREMENTS.
- ALL FIXTURES, ACCESSORIES AND APPLIANCES ARE INCLUDED IN CONTRACT U.N.O. REFER TO EQUIPMENT SCHEDULE FOR LIST OF ALL EQUIPMENTS AND EQUIPMENT SPECIFIED ON THE PROJECT.
- INSTALL ALL FIXTURES & ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND IN ACCORDANCE WITH SECTION 3.1. OF 2014 ALBERTA BUILDING CODE.
- AV EQUIPMENT COORDINATION AND INSTALLATION BY GENERAL CONTRACTOR, COORDINATE AV SUPPLIER WITH ELECTRICAL DATA INSTALLATION. EQUIPMENT SUPPLIED BY OWNER.
- TEST ALL PIECES OF EQUIPMENT TO ENSURE THEY ARE IN PROPER WORKING ORDER FOR THE ELECTRICAL SERVICE PROVIDED AND THAT NO OPERATIONAL CONFLICTS OCCUR (IE. CIRCUIT OVERLOADING).
- REMOVE 19mm PLYWOOD CONCEALED BACKING @ ALL WALL MOUNTED LCD TV'S TO COMPLY WITH LOCAL BUILDING CODES. THEN SECURE UNIT WITH SCREWS FURNISHED. COORDINATE SIZE AND LOCATION OF BACKING ON SITE W/ AV ELECTRICAL CONSULTANT.

MILLWORK GENERAL REQUIREMENTS

- COMPLY WITH REQUIREMENTS STATED HEREIN.
- CONTRACTOR TO CONFIRM ALL FF&E SIZES AND SPECIFICATIONS WITH CONSULTANT PRIOR TO ORDERING AND FABRICATION OF MILLWORK. FF&E TO BE INCLUDED IN SHOP DRAWINGS. ALL MILLWORK IS TO BE BUILT TO SUIT AND TO ALLOW FOR FULL OPERATION OF ADJACENT EQUIPMENT AND FURNITURE.
- SUBMIT SHOP DRAWINGS TO CONSULTANT FOR REVIEW PRIOR TO FABRICATION WITH ALL FF&E DIMENSIONS SHOWN.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL HARDWARE, APPLIANCE AND ACCESSORIES SPECIFICATIONS.

MILLWORK CONSTRUCTION REQUIREMENTS

- SUBMIT MILLWORK SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCING FABRICATION OF MILLWORK. ELECTRONIC SUBMITTALS (PDF) WILL BE ACCEPTABLE OR ONE COPY OF PRINTED DRAWINGS. COPIES WILL BE MADE OF ALL COMMENTS FOR DISPERSING. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO SUBMITTING SHOP DRAWINGS.
- CONTRACTOR TO SUBMIT THREE (3) SAMPLES OF ALL MATERIALS/FINISHES AND NEW TO MATCH EXISTING MATERIALS/FINISHES FOR DESIGNER TO APPROVE PRIOR TO ORDERING.
- ALL MILLWORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE ARCHITECTURAL, WOODWORK STANDARDS - CUSTOM GRADE FOR SUPPLY, FABRICATION, FINISH, AND INSTALLATION. CASEWORK SHALL CONFORM TO AWS DETAILS FOR FLUSH OVERLAY.
- PROVIDE 13mm REVEAL WHERE MILLWORK MEETS WALLS. PROVIDE 38mm SPACE WHERE CABINET DOORS MEET AT 90° CORNERS. ALL EXPOSED EDGES TO BE FINISHED.
- PROVIDE CONTINUOUS CLEAR SILICONE SEALANT WHERE COUNTER MEETS BACKSPLASH OR WALL. USE NON-YELLOWING GROUT.
- TO AVOID WARPING, UNDER NO CIRCUMSTANCES SHOULD CABINET DOORS AND DRAWER FRONTS BE COMPOSED OF VENEER CORE PLYWOOD. VENEER CORE PLYWOOD IS ACCEPTABLE IN OTHER PARTS OF CABINET CONSTRUCTION, FOR ANY CABINET CONSTRUCTION THAT TOUCHES THE FLOOR IN AREAS WHERE WATER COULD BE PRESENT. ENSURE THAT WATERPROOF GLUE IS USED WHEN USING VENEER CORE, MDF CORE, OR PARTICLE BOARD CORE PLYWOOD.
- ALL CABINET DOOR AND DRAWER FRONTS TO BE FABRICATED FROM 19mm (3/4") MATERIAL. DOORS TO BE FINISHED ON ALL 6 FACES WITH THE SAME FINISH AS SPECIFIED FOR EXTERIOR FACE.
- DRAWER BOTTOMS TO BE 6mm(1/4") MATERIAL. ALL CABINET ENDS, TOPS, BOTTOMS, BASE, BACKSPLASH, AND SHELVES FOR 19mm (3/4") MATERIAL.
- PROVIDE FULL BACKS TO CABINETS USING 6mm (1/4") MATERIAL.
- CABINETS/DOORS TO BE PARTICLE BOARD OR MDF UNLESS RECOMMENDED OTHERWISE BY THE ARCHITECTURAL, WOODWORK STANDARDS AND THE MANUFACTURER OF THE FINISH SPECIFIED FOR THE CABINETS.
- ALL DRAWER AND DOOR STOPS TO BE SOLID WOOD.
- IN OPEN ASSEMBLY, ALL SURFACES OF ADJUSTABLE SHELVES TO BE WOOD VENEER FINISH AS INDICATED, REFER TO ELEVATIONS.
- IN CLOSED CABINET ASSEMBLY, ALL SURFACES OF ADJUSTABLE SHELVES AND DRAWER INTERIORS TO BE WOOD VENEER FINISH TO MATCH EXTERIOR.
- USE MELAMINE SELF EDGE ON MELAMINE ITEMS. USE PLASTIC LAMINATE EDGING ON PLASTIC LAMINATE ITEMS. USE SOLID WOOD EDGING, 10mm (3/8") THICK, ON WOOD VENEER ITEMS. FINISH TO MATCH ITEMS BEING EDGED.
- ALL END GABLES TO BE FINISHED TO MATCH THE ADJACENT MILLWORK FACE U.N.O.
- ALL MILLWORK FOR PAINT, STAIN, AND CLEAR COATED FINISHES ARE FOR ON SITE FINISHED U.N.O.
- MILLWORK INSTALLER SHALL BE RESPONSIBLE FOR FIELD TOUCH-UP OF MILLWORK REQUIRED AS A RESULT OF JOB FITTING AND REPAIR OF ALL DAMAGE FROM CONSTRUCTION.

MILLWORK HARDWARE REQUIREMENTS

- SUPPLY AND INSTALL ALL HARDWARE REQUIRED FOR THE COMPLETE INSTALLATION OF MILLWORK.
- ALL MILLWORK IS TO BE INSTALLED WITH CONCEALED FASTENERS.
- ALL DRAWERS TO RUN ON FULL EXTENSION SOFT-CLOSE GLIDES. SIDE MOUNTED, SILENT RUNNING DRAWER GLIDES, ACCURDIE OR EQUAL.
- ALL DOORS FOR FULLY CONCEALED SOFT-CLOSE METAL HINGES, 110° OPENING, BRUSHED CHROME FINISH, 2 HINGES PER DOOR (3 HINGES PER DOOR HIGHER THAN 915mm (3'-0"))
- WHERE REQUIRED, ALL LOCKS TO BE KEVED ALIKE.
- ENSURE ADEQUATE CLEARANCE IS PROVIDED FOR ALL SPECIFIED HARDWARE AT DOORS AND DRAWERS TO ENSURE ALL DOORS AND DRAWERS WILL OPEN FULLY.
- CONTRACTOR TO CONTINUE TO NEAREST FULL HEIGHT DOOR FRAME, DESIGN ELEMENT (INCLUDING REVEALS) OR CORNER, UNLESS NOTED OTHERWISE.
- ALL WALL REVEALS TO BE PAINTED TO MATCH THE WALL THEY ARE ON.
- REFER TO PARTITION/DOOR TYPE/HARDWARE DRAWINGS AND NOTES FOR ALL DOOR AND FRAME REFERENCES.
- THE FOLLOWING PAINT TYPES SHALL BE USED FOR RESPECTIVE SURFACES UNLESS OTHERWISE SPECIFIED ON THE WALL FINISH LEGEND:
 - GYPSUM WALLBOARD CEILINGS:
 - 1-COAT ENAMEL PRIME
 - 2-COATS LATEX, FLAT.
 - GYPSUM WALLBOARD WALL & OTHER VERTICAL SURFACES:
 - 1-COAT LATEX PRIME
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 - NEW WOOD DOORS AND FRAMES & MILLWORK TRIM:
 - 1-COAT STAIN TO MATCH EXISTING DOORS, FRAMES AND TRIM IN ADJACENT AREAS.
 - 2-COATS CLEAR FINISH SEALANT, TYPE AND SHEEN TO MATCH EXISTING DOORS, FRAMES AND TRIM IN ADJACENT AREAS.
 - NEW WALLS TO HAVE PAINT FINISH, PICTURE RAIL AND WALL BASE TO MATCH EXISTING ADJACENT UNLESS NOTED OTHERWISE. CONFIRM HEIGHT OF PICTURE RAIL ON SITE.

DOOR & HARDWARE GENERAL REQUIREMENTS

- DOOR, DOOR FRAME AND DOOR HARDWARE SHOP DRAWINGS ARE TO BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO ORDER AND FABRICATION.
- UNLESS NOTED OTHERWISE ALL DOORS ARE TO BE INSTALLED WITH THEIR HINGE SIDE 6" AWAY FROM THE ADJACENT WALL.
- SUBMIT A 3 YEAR WARRANTY AGAINST DEFECTS IN THE DOOR & FRAME MATERIALS AND WORKMANSHIP, INCLUDING, BUT NOT LIMITED TO, WARPING, CUPPING, TWISTING, SHRINKAGE, SWELLING AND DE-LAMINATION.
- DOOR SIZES SHOWN ON THE DOOR SCHEDULE ARE NOMINAL SIZES. ACTUAL SIZE SHALL FIT OPENINGS. VERIFY ALL DIMENSIONS ON SITE BEFORE PROCEEDING WITH SHOP WORK.
- UNLESS SPECIFICALLY NOTED OTHERWISE, DOOR CONSTRUCTION AND TOLERANCES SHALL COMPLY WITH THE REQUIREMENTS OF CSA STANDARD 0132.241917, FOR SOLID CORE FLUSH DOORS.
- DOOR FRAME CONSTRUCTION SHALL CONFORM TO AWMAW SECTION 500, ITEM 501.4 - INTERIOR FRAME DETAILS. SOLID STOCK AND STOP WITH WALL FINISH DADOS. THE USE OF PARTICLE OR FIBRE BOARD IS NOT ACCEPTABLE. REFER TO DETAILS FOR SPECIFIC PROFILES.
- DOORS AND FRAMES SHALL BE FACTORY FINISHED WHICH SHALL BE APPLIED IN ACCORDANCE WITH SECTION 600 OF AWMAW QUALITY STANDARDS.
- INSTALL INTERIOR FRAMES IN ACCORDANCE WITH SECTION 700, ITEM 707 OF AWMAW QUALITY STANDARDS.
- INSTALL SOLID CORE WOOD DOORS IN ACCORDANCE WITH SECTION 700, ITEM 709 OF AWMAW QUALITY STANDARDS.
- ALL EXISTING DOORS TO BE PATCHED, REPAIRED AND MADE LIKE NEW TO RECEIVE NEW FINISH U.N.O.
- REFER TO FINISH IDENTIFICATION SCHEDULE FOR DESCRIPTION OF FINISHES AND COLOURS.
- HARDWARE & KEYING
- INSTALL FINISH HARDWARE IN ACCORDANCE WITH SECTION 700, ITEM 711 OF AWMAW QUALITY STANDARDS. ENSURE FRAME DIMENSION IS ADEQUATE TO CONCEAL AND SUPPORT FINISHING HARDWARE. CHECK HARDWARE SCHEDULE FOR REQUIREMENTS.
- PROVIDE WRITTEN WARRANTY COVERING FINISHED HARDWARE AGAINST DEFECTS OF MATERIALS AND WORKMANSHIP COMMENCING FROM DATE OF ACCEPTANCE OF THE COMPLETED PROJECT. THE WARRANTY PERIOD SHALL BE 2 YEARS GENERALLY AND 4 YEARS FOR LOCKSETS.
- ALL LOCK CYLINDERS TO BE KEVED TO LANDLORD AND TENANT'S REQUIREMENTS. COORDINATE WITH BUILDING CONSTRUCTION COORDINATOR AND TENANT REPRESENTATIVE FOR KEY QUANTITIES AND KEYING REQUIREMENTS.
- MAKE GOOD ALL EXISTING BASE BUILDING DOOR HARDWARE WHICH IS TO BE REUSED OR REMAIN. REPAIR AS REQUIRED TO MATCH EXISTING AND REPORT TO CONSULTANT. REMOVE HARDWARE AND SIGNAGE AS REQUIRED FOR RE-FINISHING OF EXISTING DOORS AND RE-INSTALL UPON COMPLETION.
- ALL HARDWARE TO BE OF COMMERCIAL GRADE AND TO MEET ALBERTA BUILDING CODE REQUIREMENTS. SUPPLY AND INSTALL ALL NEW HARDWARE REQUIRED.
- PROVIDE NRP (NON REMOVABLE PINS) HINGES ON OUTSWINGING DOORS.
- ALL DOORS WITH LOCK CYLINDERS TO MATCH THE EXISTING BUILDING KEYING SYSTEM.

GLAZING GENERAL REQUIREMENTS

- GLAZING SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT FOR REVIEW PRIOR TO ORDER AND FABRICATION. SHOP DRAWINGS TO INDICATE A MINIMUM THE FOLLOWING: SIZES, QUANTITIES, LOCATIONS, FRAME DETAILS AND FASTENING CONNECTION DETAILS.
- ALL GLAZING IS TO HAVE ALL EXPOSED EDGES POLISHED.
- CONTRACTOR TO PROVIDE SAMPLES OF ALL GLAZING TRIMS AND CHANNELS TO ARCHITECT PRIOR TO ORDER OF MATERIALS.
- NO SILICONE JOINTS ON NON-FIRE RATED PARTITIONS. INSTALLATION OF FRAMELESS GLAZING TO BE BUTT & EASED AS REQUIRED.

ELECTRICAL / MECHANICAL GENERAL REQUIREMENTS

- ALL ELECTRICAL / MECHANICAL WORK TO BE EXECUTED IN ACCORDANCE WITH THE MOST CURRENT VERSIONS OF THE ALBERTA BUILDING CODE, ALBERTA FIRE CODE, CANADIAN ELECTRICAL CODE, SAFETY CODES ACT, PLUMBING CODE OF CANADA, PLUMBING CODE REGULATION AND ALL OTHER CODE / REGULATORY DOCUMENTATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR / TRADES TO BE RESPONSIBLE FOR THE COORDINATION AND EXECUTION OF ALL NEW REMOVED AND RELOCATED ELECTRICAL AND MECHANICAL SYSTEMS AND COMPONENTS IDENTIFIED IN THE ARCHITECTURAL DRAWINGS.
- CONTRACTOR AND ELECTRICAL SUB-TRADE TO REVIEW EXISTING SPACE AND MAKE PROVISIONS FOR ANY NEW OR RELOCATION OF ANY EXISTING EXIT SIGNAGE AND FIRE ALARM DEVICES. NEW EXIT SIGNS ARE REQUIRED. ALL EXIT SIGNS IN THE BUILDING ARE REQUIRED TO BE REPLACED WITH GREEN PICTOGRAM EXIT SIGNAGE IN ACCORDANCE WITH THE ALBERTA BUILDING CODE 2014. CONTRACTOR AND ELECTRICAL TRADE TO MAKE PROVISIONS FOR ALL REQUIRED FIRE ALARM RE-VERIFICATION IF REQUIRED BY ELECTRICAL SCOPE OF WORK.
- RELOCATE OR PROVIDE ANY NEW FIRE EXTINGUISHERS AS REQUIRED BY CODE.
- DATA LINES TO BE INCLUDED AS PART OF GENERAL CONTRACTOR SCOPE OF WORK. PROVIDE ALL DATA SYSTEMS AND COMPONENTS, INCLUDING TERMINATION AND TESTING, AS REQUIRED TO MEET END-USER REQUIREMENTS OUTLINED IN ARCHITECTURAL DRAWINGS. NEW DATA LINES TO BE SAME CATEGORY AS EXISTING UNLESS OTHERWISE REQUIRED BY CLIENT.
- ARCHITECTURAL DRAWINGS OUTLINE END-USER REQUIREMENTS AND ALL ARE NOT INCLUSIVE OF FULL SCOPE OF MECHANICAL/ELECTRICAL SYSTEMS AND COMPONENTS REQUIRED TO ACHIEVE THE REQUIREMENTS OUTLINED. GENERAL CONTRACTOR / TRADES TO REVIEW SCOPE AND PROVIDE ALL COMPONENTS NECESSARY.
- WHERE EXISTING MECHANICAL / ELECTRICAL SYSTEMS ARE TO BE REMOVED AND/OR RELOCATED, IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE ORIGIN OF THE MECHANICAL AND ELECTRICAL SYSTEMS AND PROVIDE FOR THEIR RELOCATION. ALL ITEMS TO BE REMOVED COMPLETELY ARE TO BE REMOVED TO THE SOURCE, NO SYSTEMS TO BE ABANDONED.
- MECHANICAL SUB-TRADE TO REVIEW THE SCOPE OF ARCHITECTURAL REVISIONS AND REVISE SPRINKLER LOCATIONS AS REQUIRED BY CODE. TRADE TO BE RESPONSIBLE TO PROVIDE ALL REQUIRED SPRINKLER ENGINEERING DRAWINGS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION FOR THE SCOPE OF WORK.
- MECHANICAL SUB-TRADE TO REVIEW THE SCOPE OF ARCHITECTURAL REVISIONS AND REVISE THE HVAC DISTRIBUTION AS REQUIRED. TRADE TO PROVIDE SCOPE OF WORK OUTLINE AND DESIGN DRAWINGS TO THE GENERAL CONTRACTOR AND ARCHITECTURAL CONSULTANT FOR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS TO CONDUCT A PRE-TENDER WALK-THROUGH WITH ELECTRICAL / MECHANICAL TRADES TO REVIEW SCOPE OF WORK AND EXISTING BUILDING SYSTEMS. IF THERE ARE CONCEALED SYSTEMS WITHIN THE WALLS, CEILINGS AND FLOORS OF THE EXISTING STRUCTURE, CONTRACTOR AND TRADES ARE TO MAKE PROVISIONS IN THE TENDER PRICING FOR THE RELOCATION AND/OR TERMINATION OF THE SYSTEMS AND REQUIRED ARCHITECTURAL PATCH AND REPAIR WORK. REFER TO DEMOLITION GENERAL NOTES FOR FURTHER DEMOLITION REQUIREMENTS.
- TRADES / GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR SCOPE OF WORK.
- OUTLINE AND / OR DRAWINGS OF FULL SCOPE OF ELECTRICAL/MECHANICAL SERVICES TO BE PROVIDED BY TRADES TO GENERAL CONTRACTOR AT TIME OF TENDER.
- CONTRACTOR TO PROTECT EXISTING STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATIONS. COMPLY WITH BUILDING RULES AND REGULATIONS AND DIRECTIONS OF THE LANDLORD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REQUIRED COMMISSIONING PROCESSES IDENTIFIED BY THE MECHANICAL AND ELECTRICAL TRADES AND SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND INSTRUMENTATION TO COMPLETE THE COMMISSIONING PROCESS.

CONSULTANT



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REV.	DATE	DESCRIPTION	BY	CHKD
2	2016-11-04	ISSUED FOR TENDER	LM	
1	2016-10-21	ISSUED FOR BUILDING PERMIT	MS	
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVIEW

PERMIT STAMP

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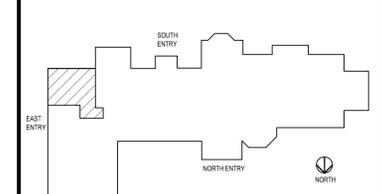
PROJECT

**BANFF NATIONAL PARK
ADMIN BUILDING OFFICE
RENOVATION**
ADMINISTRATION BUILDING, 101 MOUNTAIN AVENUE,
BANFF NATIONAL PARK, BANFF, ALBERTA

DRAWING TITLE

GENERAL NOTES

DRAWING ISSUE



2	2016-11-04	ISSUED FOR TENDER	LM
1	2016-10-21	ISSUED FOR BUILDING PERMIT	MG
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

**BANFF NATIONAL PARK
ADMIN BUILDING OFFICE
RENOVATION**

ADMINISTRATION BUILDING, 101 MOUNTAIN AVENUE,
BANFF NATIONAL PARK, BANFF, ALBERTA

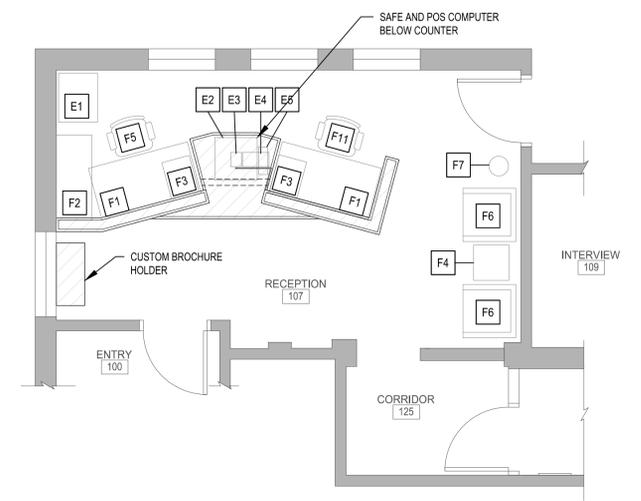
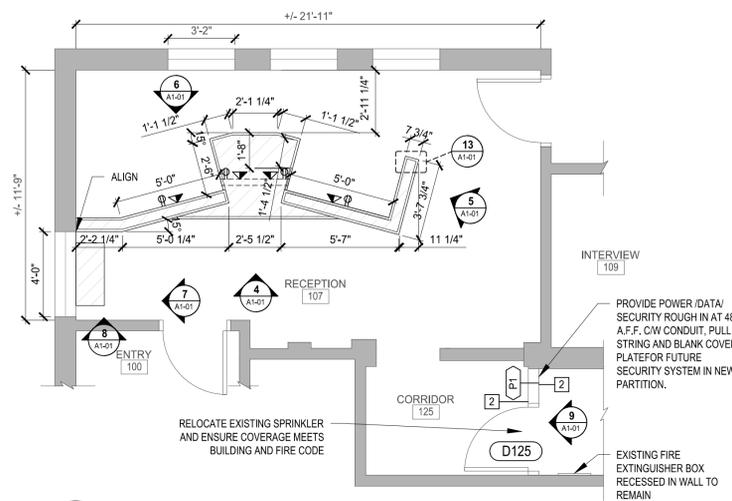
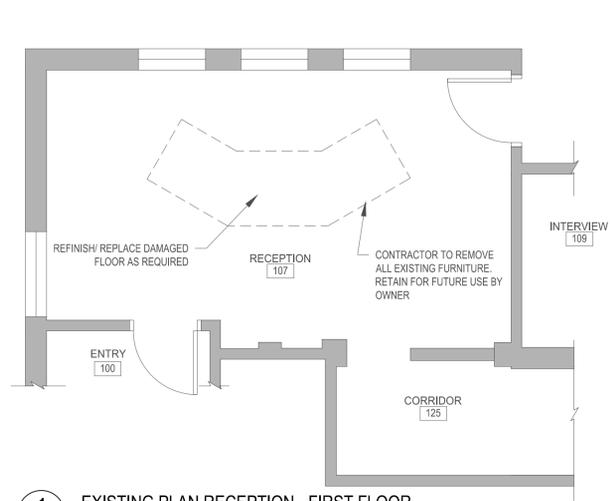
DRAWING TITLE

**FIRST FLOOR PLANS,
ELEVATIONS, DETAILS**

DRAWING ISSUE

TENDER

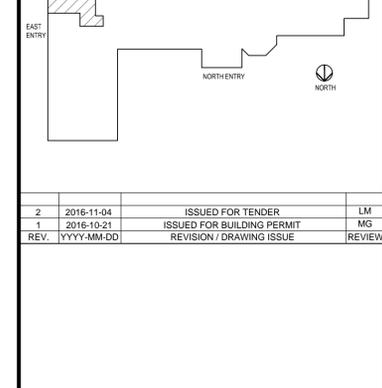
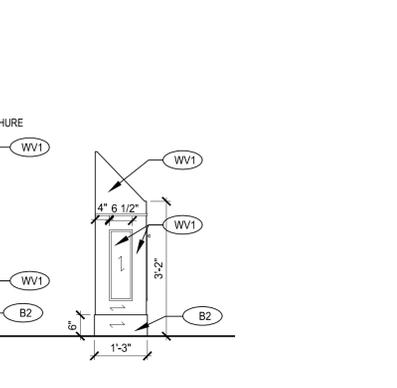
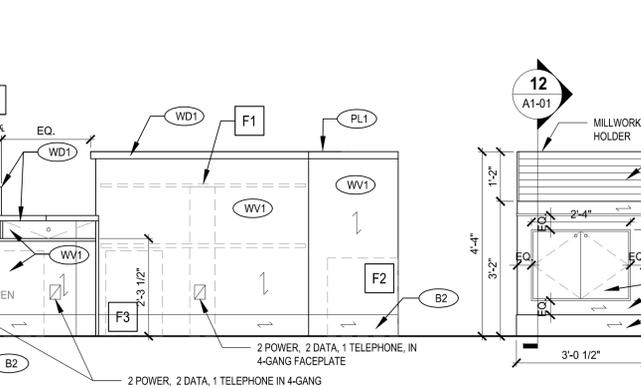
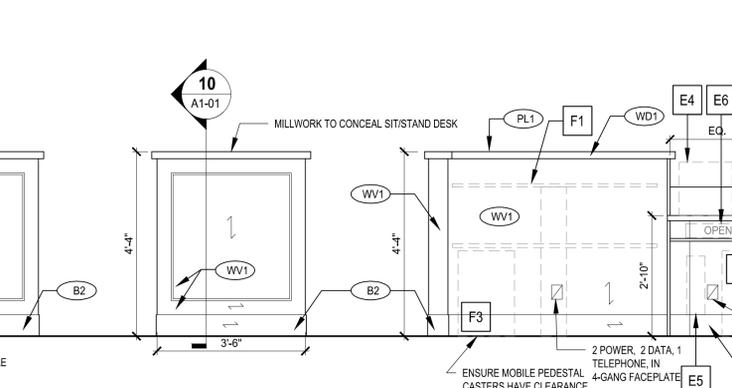
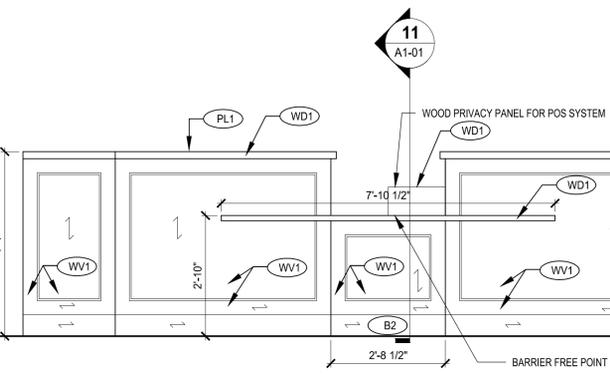
PROJECT NO.	PLOT DATE	DRAWN	CH
180241	SCALE	AS NOTED	REVIEWED
DRAWING NO.			REVISION
			A1-01
			1



1 EXISTING PLAN RECEPTION - FIRST FLOOR
A1-01 SCALE: 1/4"=1'-0"

2 PARTITION PLAN RECEPTION - FIRST FLOOR
A1-01 SCALE: 1/4"=1'-0"

3 FURNITURE AND EQUIPMENT PLAN RECEPTION - FIRST FLOOR
A1-01 SCALE: 1/4"=1'-0"



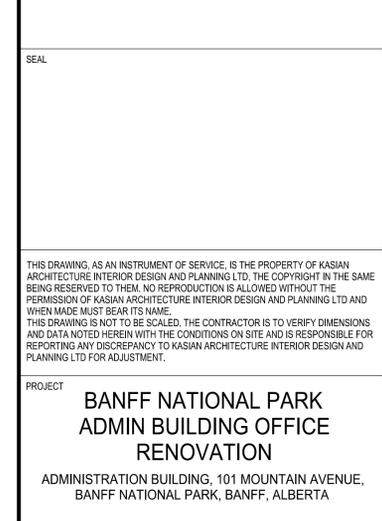
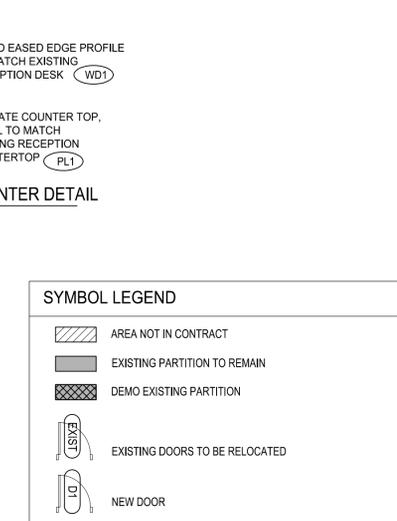
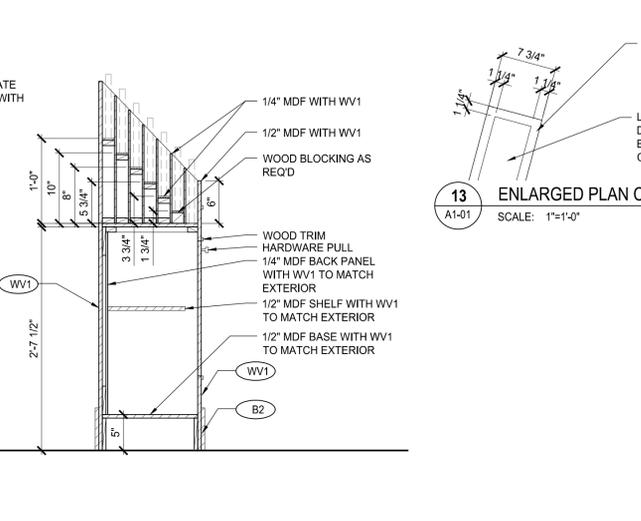
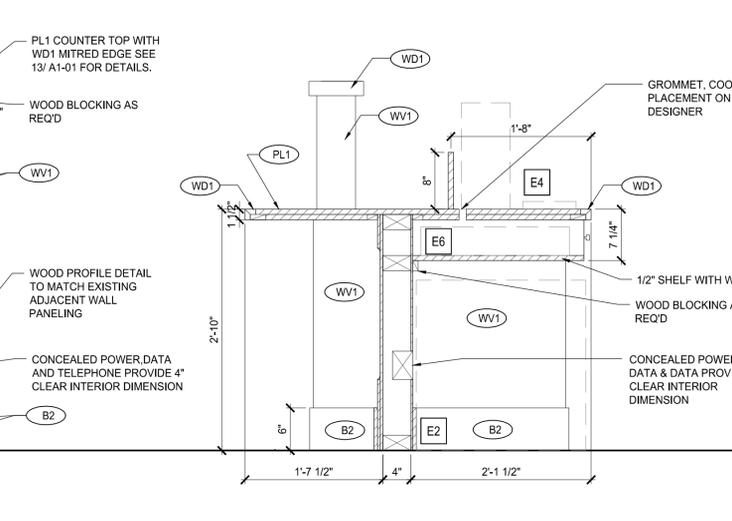
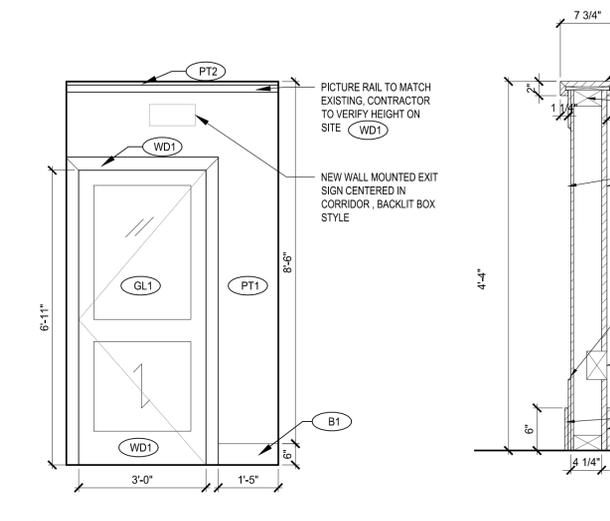
4 RECEPTION DESK ELEVATION
A1-01 SCALE: 1/2"=1'-0"

5 RECEPTION DESK ELEVATION
A1-01 SCALE: 1/2"=1'-0"

6 RECEPTION DESK ELEVATION
A1-01 SCALE: 1/2"=1'-0"

7 BROCHURE DISPLAY ELEVATION
A1-01 SCALE: 1/2"=1'-0"

8 BROCHURE DISPLAY ELEVATION
A1-01 SCALE: 1/2"=1'-0"



9 ELEVATION RECEPTION
A1-01 SCALE: 1/2"=1'-0"

10 RECEPTION DESK SECTION
A1-01 SCALE: 1"=1'-0"

11 RECEPTION DESK SECTION
A1-01 SCALE: 1"=1'-0"

12 BROCHURE HOLDER SECTION
A1-01 SCALE: 1"=1'-0"

13 ENLARGED PLAN COUNTER DETAIL
A1-01 SCALE: 1"=1'-0"

KEY NOTES

- NO PICTURE RAIL ON WALL
- PICTURE RAIL ON WALL - PROFILE DETAILS AND HEIGHT TO MATCH EXISTING ADJACENT, CONTRACTOR TO VERIFY ON SITE

PARTITION TYPES LEGEND

PT STANDARD PARTITION
5/8" FINISHED FLOOR TO U/S OF FINISHED CEILING
5/8" GYPSUM BOARD BOTH SIDES
3 5/8" STEEL STUDS @ 16" O.C. MAX
C/W ACOUSTIC BATT INSULATION

EQUIPMENT LEGEND - BY OWNER, NIC

E1	NEW PRINTER/ SCANNER/ FAX - BY OWNER
E2	EXISTING SAFE
E3	EXISTING POS PRINTER
E4	EXISTING POS MONITOR AND KEYBOARD
E5	EXISTING POS COMPUTER
E6	EXISTING CASH BOX
E7	EXISTING TV MONITOR/ CAMERA

FURNITURE LEGEND - BY GC

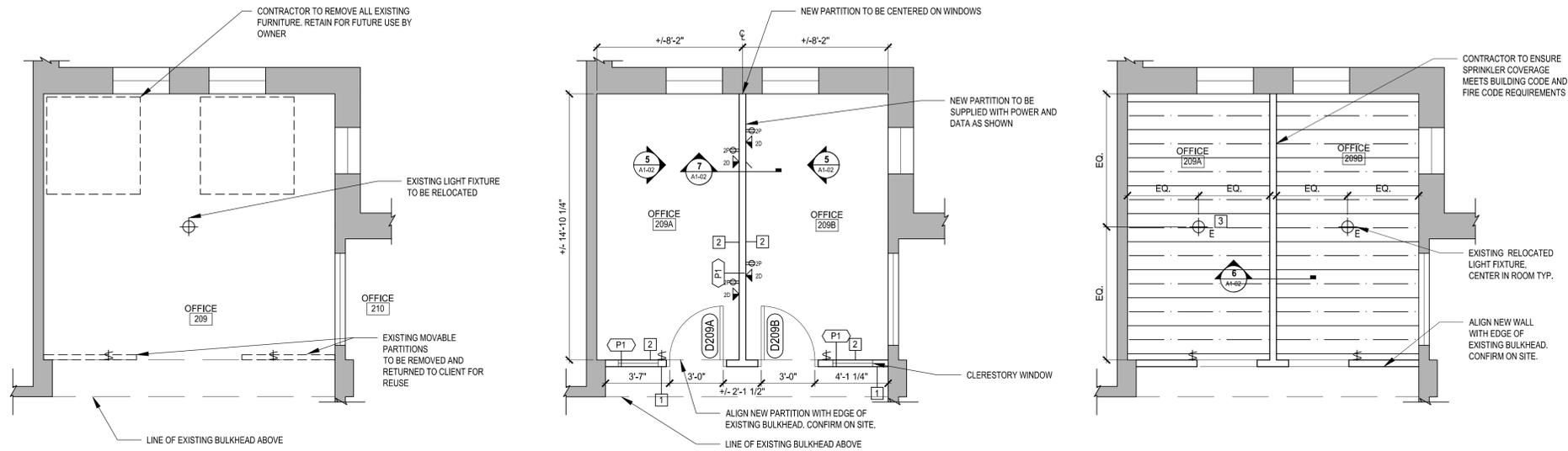
NOTE: ALL FURNITURE SPECIFICATIONS PROVIDED ON BASIS OF DESIGN. GENERAL CONTRACTOR TO PROVIDE TENDER FURNITURE PACKAGES TO CLIENT AND ARCHITECT FOR REVIEW/ APPROVAL PRIOR TO AWARD.

F1	NEW SIT/STAND DESK - STEELCASE AIRTOUCH, ARCTIC WHITE WITH 4799 PLATINUM METALLIC BASE, RECTANGLE WORKSURFACE, 2'-8" D x 4'-10" W x 1'-4" - 3'-7" H (ADJUSTABLE, NON POWERED)
F2	NEW LOCKABLE CRENDENZA - KNOLL, ANCHOR, BRIGHT WHITE, 48" W x 20" D x 22" H
F3	NEW LOCKABLE MOBILE PEDESTAL - STEELCASE, BOX/FILE, ARCTIC WHITE, 16" W x 18" H x 21" D. ENSURE CASTOR HEIGHT CAN SLIDE OVER NEW SIT/STAND DESK LEGS
F4	NEW SIDE TABLE, STEELCASE, COLEESSE, AVON TABLE, 21-2020 TABLE, 22" D x 15.5" W x 22.75" H, WOOD: 3722 MEDIUM MAHOGANY ON WALNUT - OR SIM TO MATCH EXISTING ADJACENT WOOD FINISHES
F5	EXISTING WORK CHAIR
F6	NEW SIDE CHAIR - STEELCASE, COLLABORATION GUEST CHAIR OPEN ARM, 24.5" D x 22.5" W x 31.5" H, WOOD: 3722 MEDIUM MAHOGANY ON WALNUT - OR SIM TO MATCH EXISTING ADJACENT WOOD FINISHES, FABRIC: STEELCASE MID GRADE LEATHER LOOK BRISA CREAM BR19
F7	EXISTING COAT RACK
F8	NEW SIT/STAND DESK - STEELCASE AIRTOUCH, 6034 NATURAL CHERRY WITH 6034 NATURAL CHERRY EDGE AND 4799 PLATINUM METALLIC BASE, RECTANGLE WORKSURFACE, 2'-6" D x 4'-10" W x 1'-4" - 3'-7" H (ADJUSTABLE, NON POWERED)
F9	NEW DESK - STEELCASE SHELL DESK, 26L1 NATURAL CHERRY WITH 6034 NATURAL CHERRY EDGE WITH TWO FULL END PANELS, 60" W x 24" D
F10	NEW MOBILE PEDESTAL - STEELCASE, BOX/BOX/FILE, 26L1 NATURAL CHERRY WITH 6034 NATURAL CHERRY EDGE WITH TWO FULL END PANELS, 15 1/2" W x 27" H x 23" D
F11	NEW TASK CHAIR, STEELCASE, LEAP UPHOLSTERED, ADJUSTABLE SEAT DEPTH, PLASTIC 6205 BLACK, UPHOLSTERY 5F17 BLACK, SOFT CASTERS, ARM OPTIONS LEAP STANDARD ARMS, STANDARD LUMBAR OPTION, OMIT HEADREST, STANDARD 5" SEAT HEIGHT RANGE
F12	EXISTING FILE PEDESTAL
F13	EXISTING SIT/ STAND DESK
F14	EXISTING DESK
F15	EXISTING TABLE
F16	EXISTING BOOK CASE - SHORT
F17	EXISTING BOOK SHELF - TALL
F18	EXISTING AIR UNIT
F19	EXISTING ARM CHAIR
F20	EXISTING OFFICE CHAIR
F21	EXISTING GUEST SEATING

SYMBOL LEGEND

[Pattern]	AREA NOT IN CONTRACT
[Pattern]	EXISTING PARTITION TO REMAIN
[Pattern]	DEMO EXISTING PARTITION
[Symbol]	EXISTING DOORS TO BE RELOCATED
[Symbol]	NEW DOOR
[Symbol]	NEW PARTITION
[Symbol]	INDICATES NEW MILLWORK
[Symbol]	INDICATES EXISTING MILLWORK/ FURNITURE TO BE REMOVED
[Symbol]	INDICATES FURNITURE
[Symbol]	P# PARTITION TYPE TAG, REFER TO PARTITION TYPE LEGEND FOR ASSEMBLY DESCRIPTIONS
[Symbol]	B1 FINISH TAG
[Symbol]	DUPLICATE OUTLET, 2 P TYPICAL
[Symbol]	DATA / TELEPHONE, 2 D 1 T TYPICAL
[Symbol]	NEW CEILING LIGHT
[Symbol]	EXISTING CEILING LIGHT
[Symbol]	SWITCH

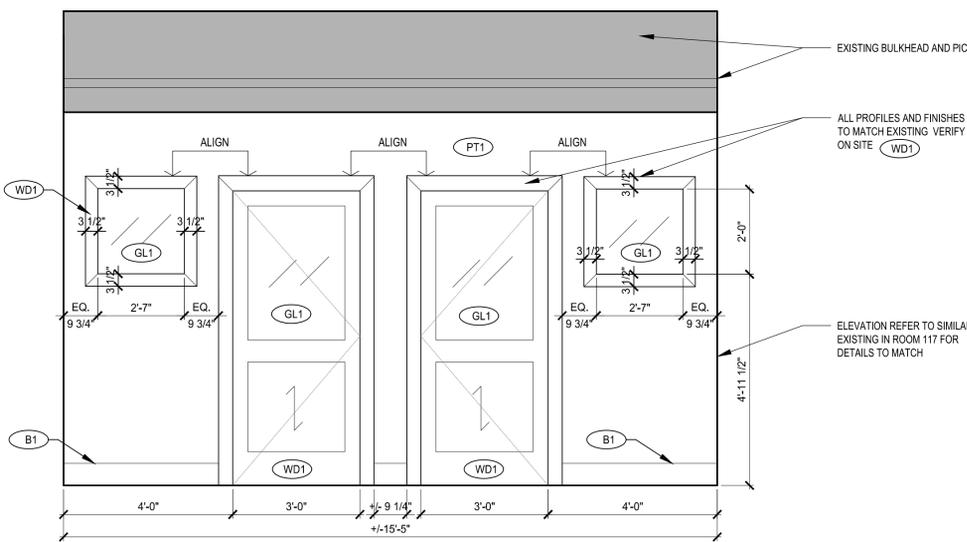
Plot date: November 3, 2016, Cadd File: \\CAL\PROJ\101\PROJECTS\180241 BANFF NATIONAL PARK ADMIN BUILDING OFFICE RENOVATION\DRAWINGS\BIM\CAD\BANFF SHEETS.rvt



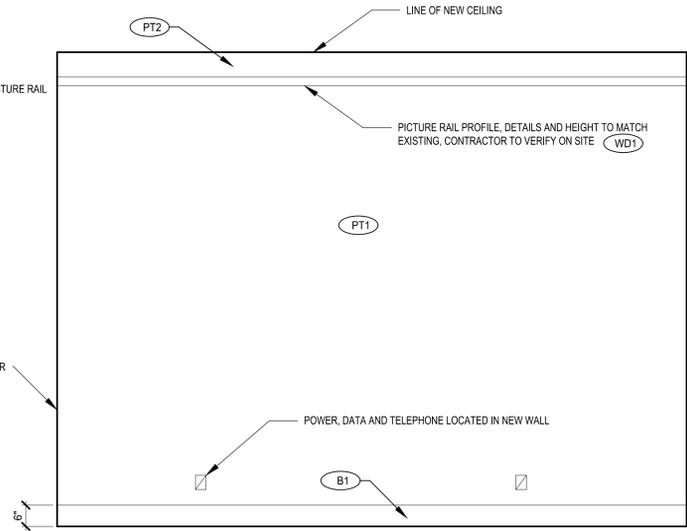
1 EXISTING PLAN ROOM 209
SCALE: 1/4"=1'-0"

2 PARTITION PLAN ROOM 209
SCALE: 1/4"=1'-0"

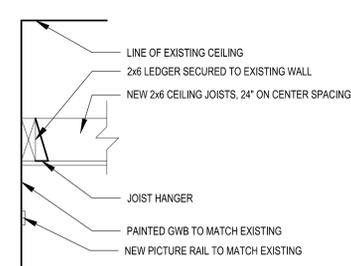
3 REFLECTED CEILING PLAN OFFICE 209A & B
SCALE: 1/4"=1'-0"



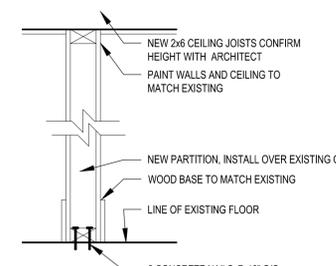
4 ELEVATION ROOM 209A & B
SCALE: 1/2"=1'-0"



5 ELEVATION ROOM 209A & B
SCALE: 1/2"=1'-0"



6 CEILING DETAIL
SCALE: 1"=1'-0"

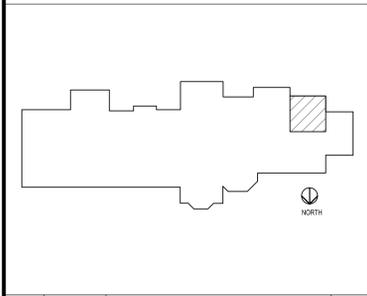


7 PARTITION DETAIL
SCALE: 1"=1'-0"

- KEY NOTES**
- 1 NO PICTURE RAIL ON WALL
 - 2 PICTURE RAIL ON WALL - PROFILE, DETAILS AND HEIGHT TO MATCH EXISTING ADJACENT, CONTRACTOR TO VERIFY ON SITE

- PARTITION TYPES LEGEND**
- P1 STANDARD PARTITION
T/O FINISHED FLOOR TO U/S OF FINISHED CEILING
5/8" GYPSUM BOARD BOTH SIDES
3 5/8" STEEL STUDS @ 16" O.C. MAX
CW ACOUSTIC BATT INSULATION

- SYMBOL LEGEND**
- [Hatched Box] AREA NOT IN CONTRACT
 - [Solid Grey Box] EXISTING PARTITION TO REMAIN
 - [Cross-hatched Box] DEMO EXISTING PARTITION
 - [Door Symbol] EXISTING DOORS TO BE RELOCATED
 - [Door Symbol] NEW DOOR
 - [Line Symbol] NEW PARTITION
 - [Hatched Box] INDICATES NEW MILLWORK
 - [Dashed Box] INDICATES EXISTING MILLWORK/ FURNITURE TO BE REMOVED
 - [White Box] INDICATES FURNITURE
 - [P# Symbol] PARTITION TYPE TAG, REFER TO PARTITION TYPE LEGEND FOR ASSEMBLY DESCRIPTIONS
 - [B1 Symbol] FINISH TAG
 - [Square with X] DUPLEX OUTLET, 2 P TYPICAL
 - [Triangle with X] DATA / TELEPHONE, 2 D 1 T TYPICAL
 - [Circle with X] NEW CEILING LIGHT
 - [Circle with E] EXISTING CEILING LIGHT
 - [Square with X] SWITCH
 - [Line Symbol] NEW DROPPED CEILING ON 2X6" STUDS, 24" ON CENTER COMPLETE WITH 1/2" GWB CONFIRM HEIGHT ON SITE



2	2016-11-04	ISSUED FOR TENDER	LM
1	2016-10-21	ISSUED FOR BUILDING PERMIT	MS
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PERMIT STAMP

SEAL

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PROJECT

BANFF NATIONAL PARK ADMIN BUILDING OFFICE RENOVATION
ADMINISTRATION BUILDING, 101 MOUNTAIN AVENUE, BANFF NATIONAL PARK, BANFF, ALBERTA

DRAWING TITLE

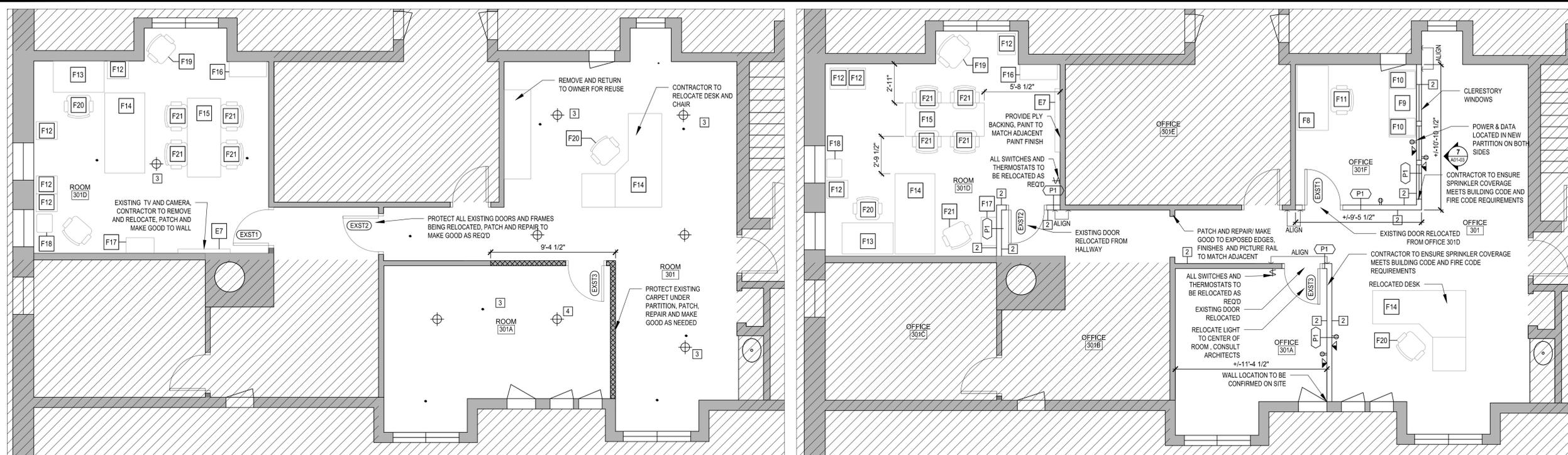
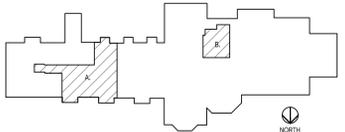
SECOND FLOOR PLANS AND ELEVATION

DRAWING ISSUE

TENDER

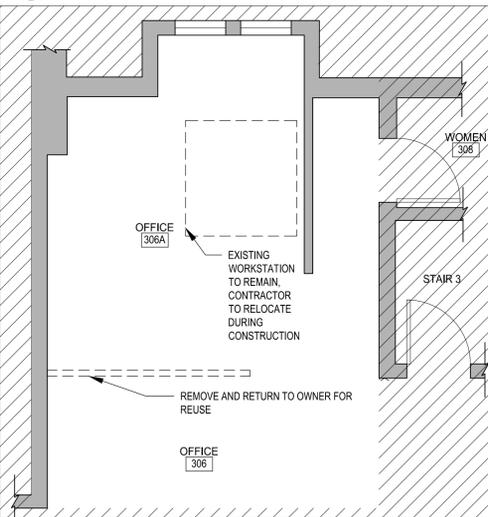
PROJECT NO.	180241	PLOT DATE	SCALE	AS NOTED	DRAWN	CH	REVIEWED	LM
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DRAWING NO.	A1-02	REVISION	1
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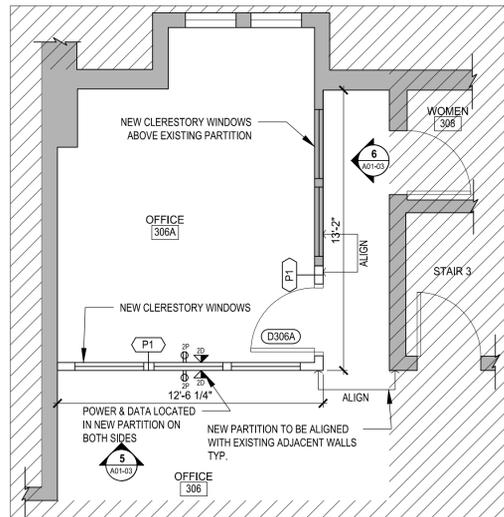
1 EXISTING PLAN - THIRD FLOOR A

A01-03 SCALE: 1/4"=1'-0"



3 EXISTING PLAN - THIRD FLOOR B

A01-03 SCALE: 1/4"=1'-0"

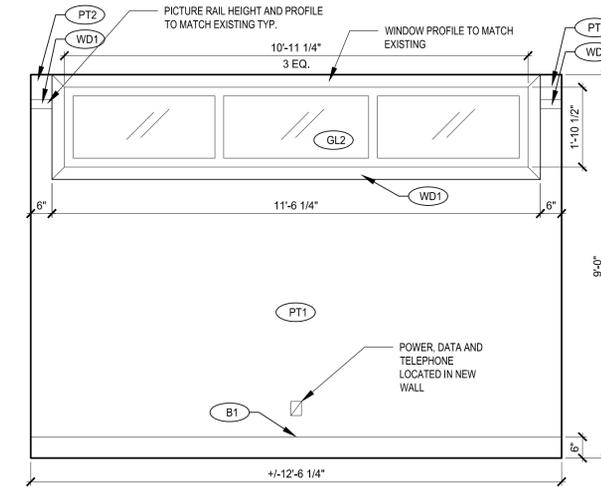


4 PARTITION PLAN - THIRD FLOOR B

A01-03 SCALE: 1/4"=1'-0"

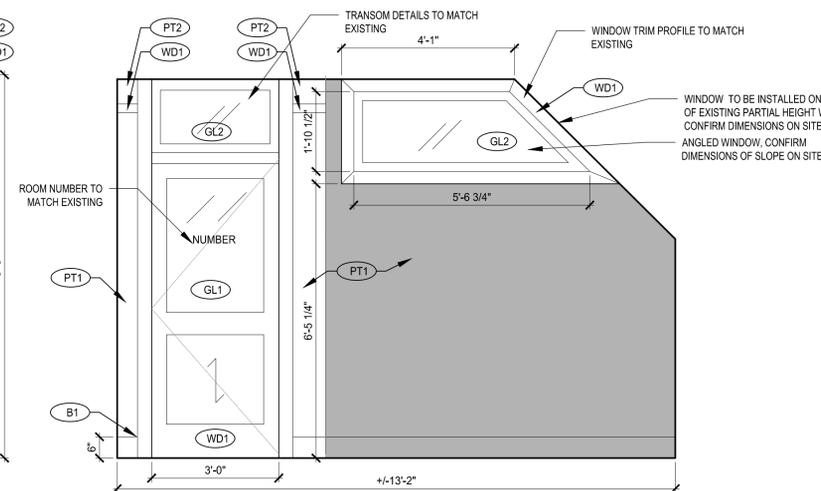
2 PARTITION PLAN - THIRD FLOOR A

A01-03 SCALE: 1/4"=1'-0"



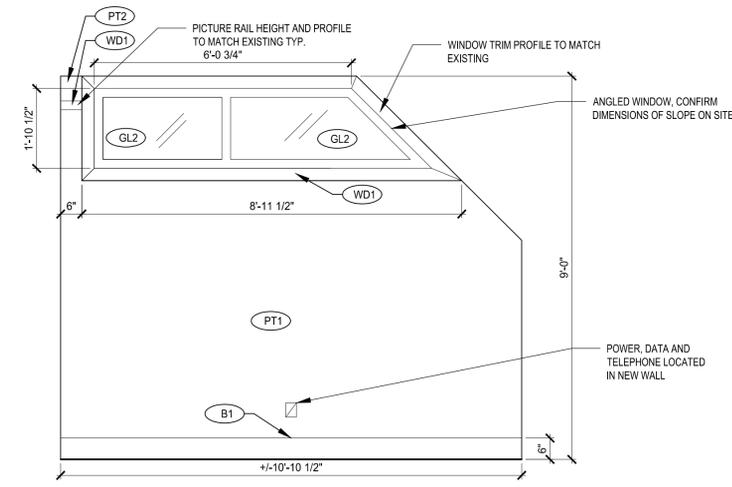
5 ELEVATION ROOM 306A

A01-03 SCALE: 1/2"=1'-0"



6 ELEVATION ROOM 306A

A01-03 SCALE: 1/2"=1'-0"



7 ELEVATION ROOM 301F

A01-03 SCALE: 1/2"=1'-0"

KEY NOTES

- NO PICTURE RAIL ON WALL
- PICTURE RAIL ON WALL - PROFILE, DETAILS AND HEIGHT TO MATCH EXISTING ADJACENT, CONTRACTOR TO VERIFY ON SITE
- EXISTING LIGHTING AND SPRINKLERS TO REMAIN, IF RELOCATION IS REQUIRED BY CODE, ADVISE CLIENT AND CONSULTANT PRIOR TO TENDER
- REMOVE EXISTING LIGHT AND SALVAGE FOR RELOCATION INTO 2ND FLOOR OFFICE 209A. PATCH AND REPAIR CEILING AS REQUIRED.

PARTITION TYPES LEGEND

- P1 STANDARD PARTITION T/O FINISHED FLOOR TO U/S OF FINISHED CEILING 5/8" GYPSUM BOARD BOTH SIDES 3 5/8" STEEL STUDS @16" O.C. MAX C/W ACOUSTIC BATT INSULATION

FURNITURE LEGEND - BY GC

- NOTE: ALL FURNITURE SPECIFICATIONS PROVIDED ON BASIS OF DESIGN. GENERAL CONTRACTOR TO PROVIDE TENDER FURNITURE PACKAGES TO CLIENT AND ARCHITECT FOR REVIEW APPROVAL PRIOR TO AWARD.
- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|
| F1 NEW SIT/STAND DESK - STEELCASE AIRTOUCH, ARCTIC WHITE WITH 4799 PLATINUM METALLIC BASE, RECTANGLE WORKSURFACE, 2'-6"D x 4'-10"W x 1'-4" - 3'-7" H (ADJUSTABLE, NON POWERED) | F7 EXISTING COAT RACK | F12 EXISTING FILE PEDESTAL |
| F2 NEW LOCKABLE CREDENZIA - KNOLL, ANCHOR, BRIGHT WHITE, 48" W x 20" D x 22" H | F8 NEW SIT/STAND DESK - STEELCASE AIRTOUCH, 6034 NATURAL CHERRY WITH 6034 NATURAL CHERRY EDGE AND 4799 PLATINUM METALLIC BASE, RECTANGLE WORKSURFACE, 2'-6"D x 4'-10"W x 1'-4" - 3'-7" H (ADJUSTABLE, NON POWERED) | F13 EXISTING SIT/STAND DESK |
| F3 NEW LOCKABLE MOBILE PEDESTAL - STEELCASE, BOX/FILE, ARCTIC WHITE, 16" W x 16" H x 21" D, ENSURE CASTOR HEIGHT CAN SLIDE OVER NEW SIT/STAND DESK LEGS | F9 NEW DESK - STEELCASE SHELL DESK, 26L1 NATURAL CHERRY WITH 6034 NATURAL CHERRY EDGE WITH TWO FULL END PANELS, 60" W x 24" D | F14 EXISTING DESK |
| F4 NEW SIDE TABLE, STEELCASE, COALESSE, AVON TABLE, 21-2020 TABLE, 22"D x 15.5"W x 22.75"H, WOOD: 3722 MEDIUM MAHOGANY ON WALNUT - OR SIM TO MATCH EXISTING ADJACENT WOOD FINISHES, FABRIC: STEELCASE MID GRADE LEATHER LOOK BRISA CREAM BR19 | F10 NEW MOBILE PEDESTAL - STEELCASE, BOX/BOX/FILE, 26L1 NATURAL CHERRY WITH 9201 POLISHED CHROME LOCK, NICKEL HANDLE PULLS, 15 1/2" W x 27" H x 23" D | F15 EXISTING TABLE |
| F5 EXISTING WORK CHAIR | F11 NEW TASK CHAIR, STEELCASE, LEAP UPHOLSTERED, ADJUSTABLE SEAT DEPTH, PLASTIC 6205 BLACK, UPHOLSTERY 5/17 BLACK, SOFT CASTERS, ARM OPTIONS LEAP STANDARD ARMS, STANDARD LUMBAR OPTION, OMT HEADREST, STANDARD 5" SEAT HEIGHT RANGE | F16 EXISTING BOOK CASE - SHORT FULL END PANELS, 60" W x 24" D |
| F6 NEW SIDE CHAIR - STEELCASE, COLLABORATION GUEST CHAIR OPEN ARM, 24.5" D x 22.5" W x 31.5" H, WOOD: 3722 MEDIUM MAHOGANY ON WALNUT - OR SIM TO MATCH EXISTING ADJACENT WOOD FINISHES, FABRIC: STEELCASE MID GRADE LEATHER LOOK BRISA CREAM BR19 | | F17 EXISTING BOOK SHELF - TALL |
| | | F18 EXISTING AIR UNIT |
| | | F19 EXISTING ARM CHAIR |
| | | F20 EXISTING OFFICE CHAIR |
| | | F21 EXISTING GUEST SEATING |

EQUIPMENT LEGEND - BY OWNER, NIC

- E1 NEW PRINTER/ SCANNER/ FAX - BY OWNER
- E2 EXISTING SAFE
- E3 EXISTING POS PRINTER
- E4 EXISTING POS MONITOR AND KEYBOARD
- E5 EXISTING POS COMPUTER
- E6 EXISTING CASH BOX
- E7 EXISTING TV MONITOR/ CAMERA

SYMBOL LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITION TO REMAIN
- DEMO EXISTING PARTITION
- EXISTING DOORS TO BE RELOCATED
- NEW DOOR
- NEW PARTITION
- INDICATES NEW MILLWORK
- INDICATES EXISTING MILLWORK/ FURNITURE TO BE REMOVED
- INDICATES FURNITURE
- P# PARTITION TYPE TAG, REFER TO PARTITION TYPE LEGEND FOR ASSEMBLY DESCRIPTIONS
- B1 FINISH TAG
- DUPLEX OUTLET, 2 P TYPICAL
- DATA / TELEPHONE, 2 D 1 T TYPICAL
- NEW CEILING LIGHT
- EXISTING CEILING LIGHT
- SWITCH
- EXISTING SPRINKLER

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**BANFF NATIONAL PARK
ADMIN BUILDING OFFICE
RENOVATION**
ADMINISTRATION BUILDING, 101 MOUNTAIN AVENUE,
BANFF NATIONAL PARK, BANFF, ALBERTA

**THIRD FLOOR PLANS
AND ELEVATIONS**

TENDER

PROJECT NO. 180241	PLOT DATE SCALE AS NOTED	DRAWN CH	REVIEWED LM
DRAWING NO. A1-03	REVISION 1		

