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British Columbia
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Bid Fax: (604) 775-9381

SOLICITATION AMENDMENT

MODIFICATION DE L'INVITATION

The referenced document is hereby revised; unless otherwise indicated, all other terms and conditions of the Solicitation remain the same.

Ce document est par la présente révisé; sauf indication contraire, les modalités de l'invitation demeurent les mêmes.

Comments - Commentaires

Vendor/Firm Name and Address
Raison sociale et adresse du
fournisseur/de l'entrepreneur

Issuing Office - Bureau de distribution
Public Works and Government Services Canada -
Pacific Region
800 Burrard Street, Room 219
800, rue Burrard, pièce 219
Vancouver
British C
V6Z 0B9

Title - Sujet Palace Grand Theatre Renovation	
Solicitation No. - N° de l'invitation EZ899-171574/A	Amendment No. - N° modif. 006
Client Reference No. - N° de référence du client	Date 2016-12-02
GETS Reference No. - N° de référence de SEAG PW-\$PWY-028-7894	
File No. - N° de dossier PWY-6-39183 (028)	CCC No./N° CCC - FMS No./N° VME
Solicitation Closes - L'invitation prend fin at - à 02:00 PM on - le 2016-12-15	Time Zone Fuseau horaire Pacific Standard Time PST
F.O.B. - F.A.B. Plant-Usine: <input type="checkbox"/> Destination: <input checked="" type="checkbox"/> Other-Autre: <input type="checkbox"/>	
Address Enquiries to: - Adresser toutes questions à: Lam (PWY), Tian	Buyer Id - Id de l'acheteur pwy028
Telephone No. - N° de téléphone (604) 775-9382 ()	FAX No. - N° de FAX (604) 775-6633
Destination - of Goods, Services, and Construction: Destination - des biens, services et construction: PCA Parks Canada Agency - Palace Grand Theatre - Dawson City, YT	

Instructions: See Herein

Instructions: Voir aux présentes

Delivery Required - Livraison exigée	Delivery Offered - Livraison proposée
Vendor/Firm Name and Address Raison sociale et adresse du fournisseur/de l'entrepreneur	
Telephone No. - N° de téléphone Facsimile No. - N° de télécopieur	
Name and title of person authorized to sign on behalf of Vendor/Firm (type or print) Nom et titre de la personne autorisée à signer au nom du fournisseur/ de l'entrepreneur (taper ou écrire en caractères d'imprimerie)	
Signature	Date

Solicitation No. - N° de l'invitation
EZ899-171574/A

Amd. No. - N° de la modif.
006

Buyer ID - Id de l'acheteur
pwy028

Client Ref. No. - N° de réf. du client

File No. - N° du dossier CCC No./N°
PWY-6-39183

CCC - FMS No./N° VME

The Solicitation Amendment 006 is raised to incorporate Addendum No. 3

Please find Addendum A003 herein

All other terms and conditions remain unchanged.

GENERAL

The following changes / clarifications in the tender documents are effective immediately.
This Addendum will form part of the Contract Documents.

1. Electrical Clarification: The following are responses to queries submitted during the tendering period:

1. Amend/revise the specifications as follows:

E1. General Reference to drawings and specifications:

1. Uninterruptable power supply (UPS) for smoke evacuation system shall be rated for at least 20kVA.

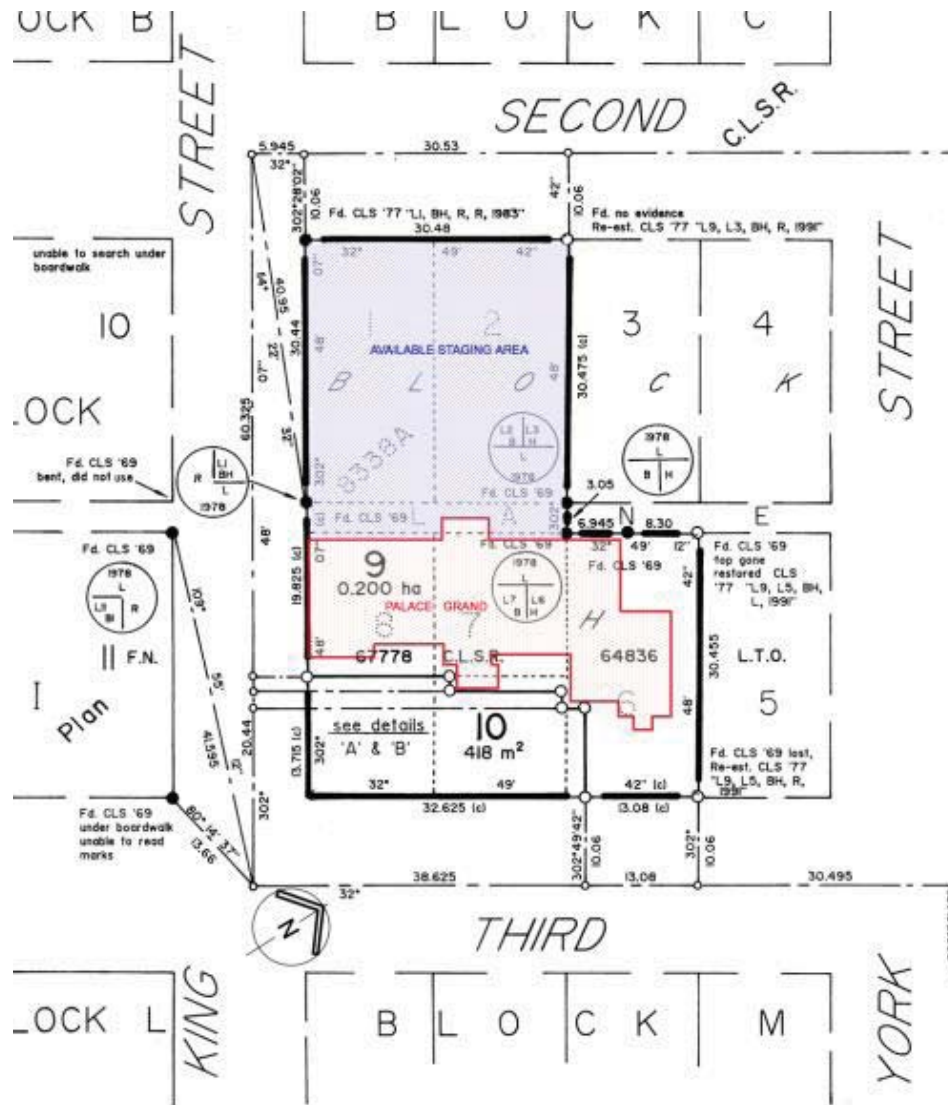
2 QUESTIONS from bidders as submitted during the tendering period:

Q1	<u>Bidder</u>	<u>Question</u>	<u>Question Date</u>
	NGC Builders		Nov 24 -2016, email
		<i>'I am looking for contact information regarding the lot adjacent to the Palace Grand Theatre in Dawson City.</i>	
		<i>We would like to discuss arrangements for availability for staging during the project, as it is an empty lot.</i>	
		<i>Also, if there is a cost attached to this, we would need a value to include in our bid. I have a copy of the Certificate of Title indicating that it is Crown Land. (see attached doc)</i>	
		<i>Would you have any information as to whom to contact about this?"</i>	

Answer

The two lots as depicted in the following sketch can be used for staging purposes, there will be no cost to the contractor to use these empty lots.
After project completion, the lots should be in, as found condition or better.

Q1 cont...



Q2	<u>Bidder</u> CMF	<u>Question</u>	<u>Question Date</u> Nov 25 -2016, email
		<i>"In regards to the spec, "Section 26 33 16 – Battery Racks" seems to be missing. It is referred to under Section 26 33 53 but is not actually in the spec.</i>	
		<u>Answer</u> Remove all references to section 26 33 16.	
Q3	<u>Bidder</u> NGC Builders	<u>Question</u>	<u>Question Date</u> Nov 25 -2016, email
		<i>-The roof on the main building is a copper standing seam roof that cannot be lifted without complete removal and damage.</i>	
		<i>-Also, this type of roof doesn't typically require the addition of an ice & water membrane. Will this item be deleted?</i>	
		<i>-The building skirting is currently vented. Expanding the existing vents would be a more cost effective solution to increasing the crawlspace ventilation than adding new hoods to the top. Can this item be changed?</i>	
		<i>-It will be very difficult to make architecturally acceptable patching to the wallpaper surfaces on the ceilings at the sprinkler upgrades. Wherever possible, can be use bulkheads to match existing ones?</i>	
		<i>-Will the owner remove all of the furnishings and store them, or is this the contractors responsibility?</i>	
		<i>-It may be necessary to remove rigging and backdrop systems to facilitate mechanical renovations in the roof space above the stage. Will the owner take responsibility for removal and re-installation?</i>	
		<u>Answer</u> <ul style="list-style-type: none">- Every effort should be made to remove only as much roof as possible to install the new membrane. If it is required to remove the whole roof of the stairwell(s), remove only to the intersection of valley. Install membrane as per tender documents.- Install vents per tender documents.- Repairs/patching to be made as per tender documents.	
		<u>Answer</u> <ul style="list-style-type: none">- All furnishings will be removed and stored by the owner.- Contractor to assume removal/replacement/relocation of all affected stage items as necessary to complete the mechanical work.	

Q4	<u>Bidder</u> Duncans	<u>Question</u>	<u>Question Date</u> Nov 28 -2016, email
		<p><i>"Note 1 and Note 5 of the packaged outdoor air handling unit schedule make reference to an air cooled chiller. Everything else on the unit schedule and plan seems to indicate that the cooling coil on the AHU is a DX coil.</i></p> <p><i>Can you confirm that the AHU should be equipped with a Package DX section (instead of a chiller)?</i></p> <p><i>As long as the unit is DX, we should be able to put a quote together for this project; let me know if we need to supply any documentation to ensure that our unit will be accepted by the owner and engineer."</i></p> <p><u>Answer</u> Contractor to reference Section 23 73 13, 2.1.1 and 2.1.2.</p> <p>On drawing M701, Packaged Outdoor Air Handling Unit Schedule: change reference to CHILLER to read CONDENSER on Notes 1 and 5.</p>	
Q5	<u>Bidder</u> Ryfan	<u>Question</u>	<u>Question Date</u> Nov 28 -2016, email
		<p><i>"Due to the recent addenda, is it possible to get updated Fire Alarm risers and diagrams?</i></p> <p><u>Answer</u> The fire alarm riser is diagrammatical only, revisions will not be made.</p>	
Q6	<u>Bidder</u> NGC	<u>Question</u>	<u>Question Date</u> Nov 28 -2016, email
		<p><i>" Is there a requirement for pipe painting and if so to what extent? Division 9 doesn't specifically identify any pipe painting.</i></p> <p><i>Can you provide the name of a prequalified theatrical rigging company that will meet the requirements of this tender?</i></p> <p><i>Can you confirm that the 50mm gravel that slopes to the drain as indicated in drawing A11 is only in the mechanical room crawlspace?</i></p>	

Q6 cont...

Answer

Pipe painting as follows:

- 1) Sprinkler piping: follow MPI system INT 5.1E "red" Gloss level 6 in exposed, non-public areas. In exposed public areas: MPI system INT 5.1E, Gloss level 3, paint colour as determined per Departmental Representative.
- 2) Fuel oil piping: To MPI INT 5.5A primer #80, Yellow, Gloss Level 6.
Acceptable alternate preparation-1.4 Acid Etching- (Aluminum)

Provision of theatrical rigging companies, is the contractor's responsibility. No list will be provided

Sloped gravel is to be provided throughout the Mechanical crawl space and Palace proper crawl spaces, provide counter slopes down, as required to all new/existing drainage and sump locations.

Q7 Bidder
 Ryfan

Question

Question Date
Nov 28 -2016, email

"In regards to the spec, 1.2.5 of Section 26 33 53 refers to "Section 26 33 16 – Battery Racks". I cannot find this section in Specs or Addendums. Could you help me find this please?"

"Also, could you please provide me with a list of General Contractors and their contact information?"

Answer

Remove all references to section 26 33 16.

List of General Contractors will not be provided.

Q8 Bidder
 Wildstone

Question

Question Date
Nov 28 -2016, email

"1. Battery section 26 33 16 is missing, please advise

2. UPS section, item 1.10.2 calls for 20 years life battery, it is a small load, 10 KVA and only 15 min run time so the 20 years life battery will be highly oversized, please confirm if our standard battery, 10 years life will be accepted

3. Item 2.4.3 calls for isolation transformer, UPS system is 120\208V in\out, please check if we can quote the UPS without the isolation transformer

4. Item 1.4.4 Pls confirm, what is the total inrush for the loads connected to the UPS

Q8 cont...

Answer

1. Remove all references to section 26 33 16.
2. 10 years life batteries will be accepted.
3. An isolation transformer will not be required.
4. UPS and VFD drives are to be supplied by same supplier and/or manufacturer to insure the products are compatible in all regards

Q9 Bidder
 Duncans

Question

Question Date
Nov 28 -2016, email

"I am looking at this project and have concerns about working in the crawl space with the asbestos laden soil. As a responsible owner of a company I can't allow my crew to work in that environment until it has been addressed. Please consider my questions.

- 1- *Can the soil in the crawl space be removed and disposed of?*
- 2- *If the soil can't be removed can it be encapsulated in a concrete skim coat?*
- 3- *Another idea is if a heavy tear resistant poly could be installed on the ground with plywood on top to protect it?*
- 4- *My biggest concern is if nothing can be done about the soil, is that during the duct installation air borne dust will get in the acoustically lined duct work and get trapped in the insulation. This will cause an ongoing health risk once the air handler is turned on releasing dust throughout the whole building, for how long?*

Answer

Follow procedures as outlined in the contract documents.
Each contractor will determine how they will install and what they will need to move/remove/relocate the soils, to conduct the Work.
Please bid to meet or exceed the requirements/standards as outlined in the contract documents. Additions or requests for change to the contract, will be considered with the successful contractor.

Q10	<u>Bidder</u> NGC	<u>Question</u>	<u>Question Date</u> Nov 28 -2016, email
		<p><i>"I was given your name as someone who could help me with information regarding the vacant lots adjacent to The Palace Grand Theatre, Dawson City. We are submitting a bid on the reno contract and require use of that space for staging during construction. I've attached copies of the Certificate of Title that we were given at the Lands Branch Office. Please advise. We would also need any details on cost should there be any.</i></p> <p><u>Answer</u> The two lots as depicted in the sketch above can be used for staging purposes, there will be no cost to the contractor to use the empty lots. After project completion, the lots should be restored to original condition, or better.</p>	
Q11	<u>Bidder</u> Duncans	<u>Question</u>	<u>Question Date</u> Nov 28 -2016, email
		<p><i>"In response to the answer in addendum #4, Q1, since all existing ductwork is to be considered having ACM at every joint, is there going to be an asbestos abatement removal plan on all ducts before any demolition/work takes place?"</i></p> <p><u>Answer</u> Removal of any ductwork will need to follow asbestos precautions like all other asbestos-related items in the scope. If ductwork is not being removed, there is no need to remove the asbestos-containing mastic.</p>	
Q12	<u>Bidder</u> Ryfan	<u>Question</u>	<u>Question Date</u> Nov 29 -2016, email
		<p><i>"1. On drawing E2 of 7, light fixture at 6 E has no label but needs to be replaced. What type of fixture is it?"</i></p> <p><i>"2. None of the panel schedules show any information for "RHC1-3". I need to know what type of breaker they are terminated under.</i></p> <p><i>"3. Is it possible to get an updated fire alarm riser diagram to comply with the new addendums?"</i></p> <p><i>"4. Is there an emergency lighting plan?"</i></p> <p><i>"5. Is there a lighting control plan?"</i></p> <p><i>"I have also just found that UH-1 from the motor schedule and Mechanical room of drawing E3 of 7 is not listed on either of the panel schedules. If you could clear that up for me as well, that would be fantastic."</i></p> <p><i>"Can the fire alarm wires be run inside wire mold as the electrical spec says that only wire mold is to be used in areas visible to the public?"</i></p>	

Q12 cont....

Question

"I have also notices on the Single line drawing that the service conductors for the main breaker are 3/0, however the main breaker is rated for 600A."

Answer

1. Fixture to remain as is.
2. Reference ADD-E1 single line diagram. Main CDP shows 80 amp, 3-pole breaker for RHC-3.
3. The fire alarm riser is diagrammatical only, revisions will not be made.
4. Emergency lighting system has recently been renovated. The scope of work for this project includes relocation of some emergency lighting equipment and conduit to accommodate changes made to the mechanical room. No other work is to be included in the bid price.
5. Existing lighting controls will be reused.

Reference ADD-E1, panel schedule B, cct. No. 21: "Oil Fired Unit heater.

Wire mold will be accepted with Departmental Representative's approval for routing for all new surface wiring in public areas. Conduits may also be concealed. Surface conduit will be accepted, with Departmental Representative's approval, on routing for all new wiring in other areas. Service spaces and rooms where all new wiring will be surface conduit, to contractor's discretion.

Service entrance conductors are 3x (4-#3/0 R90xl cu in 2" conduit)

Q13 Bidder
Wildstone

Question

Question Date
Nov 30 -2016, email

"Can you please provide information on the existing fire curtain and hardware that is to be removed? Size, weight, shop drawings, manufacturer? Also provide some structural details for the attachment of the new fire curtain. There is no information provided that details where and how and to what the new fire curtain is to be attached to the existing structure."

Answer

It is assumed the existing structure and or wall header will support the new curtain assembly.

Shop drawings for new curtain assembly/Seismic/Static/Live/Working loads and fastening to be submitted under the seal of a qualified Structural Engineer registered to practice in British Columbia. Refer to Section 11 06 00 1.02 C

Q14 Bidder Question
QSD

Question Date
Dec 01 -2016, email

- "1. Is the existing valence to remain that is hiding the existing fire curtain as there is not enough room for stacking for the new curtain?"*
- "2. Is all of the existing curtains to remain or is that is a separate tender or to be quoted to another department ?"*

Answer

1. The existing Valence curtain is to remain. It is the contractor's responsibility to modify the Valence to suit the installation of the new fire curtain as necessary. If removed the valance is to be reinstalled as close to the face of the wall as possible. Contractor is responsible for maintaining the condition of any items that are removed and relocated.
2. At time of printing, all of the existing curtains, with the exception of the fire curtain, are to remain. The contractor is responsible for moving/storage and any damage/repair/replacement of existing curtains.

End of Addendum 003