


451 TALBOT STREET, LONDON, ONTARIO
(ELEVATOR CAB RETROFITS)

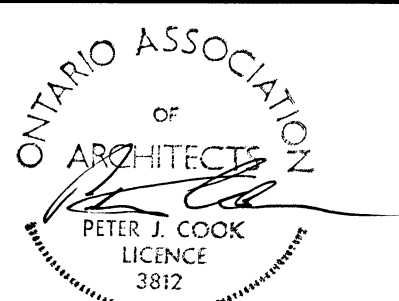
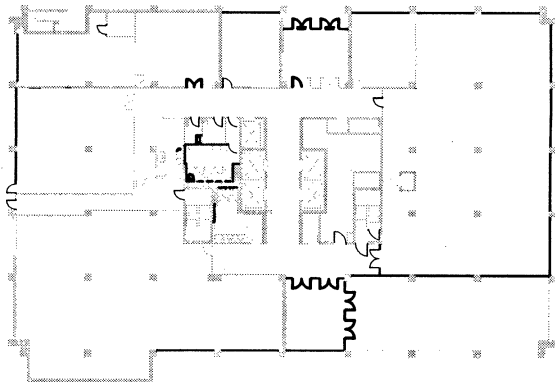
Item/ Article	BUILDING CODE DATA MATRIX / MATRICE DE DONNÉES DU CODE DU BÂTIMENT		NBCC 2010 REFERENCE CNBC 2010							
1	Project Description & civic adress/Type de Projet et adresse de voleerie: <div><div><input type="checkbox"/> New/Nouveau <input type="checkbox"/> Addition/Ajout <input checked="" type="checkbox"/> Alteration/Transformation <input type="checkbox"/> Change in Use/Changement d'usage</div></div>		<input type="checkbox"/> Part/ Partie 3 A 1.3.3	<input type="checkbox"/> Part/ Partie 9 A 1.3.3 B 9.10.1.3						
2	Major Occupancies(s)/Usage(s) Principal(aux) Adjoining Major Occupancy/Usage principal contigue: Major Occupancy Fire Separations/Séparation Coupe-Feu des Usages Principaux: GROUP "D"		B 3.1.2.1.(1)	B 9.10.2						
3	Building Area/Aire du bâtiment (m) ² Existing/Existante 17.0 New/Nouvelle 0 Total/Total 17.0		A 1.4.1.2	A 1.4.1.2						
4	Gross Area/Aire brute du bâtiment (m) ² Existing/Existante 28,596.2 New/Nouvelle 0 Total/Total 28,596.2 N / A									
5	Number of Storeys/ Nombre d'étages 13 TOTAL Above Grade/ Au-dessus du sol 11 Below Grade/ Au-dessous du sol 2		A 1.4.1.2 B 3.2.1.1	A 1.3.3.3 A 1.4.1.2 B 9.10.4						
6	Height of Building/Hauteur du bâtiment (m) 11 STOREYS 42.3M		B 3.2.1.1							
7	Number of Streets, Access Routes/Nombre de rues et de voies d'accès 2		B 3.2.2.10 B 3.2.5.5							
8	Building Classification/Classification du bâtiment GROUP "D" , ANY HEIGHT, ANY AREA, SPRINKLERED		B 3.2.2.54	B 9.10.2						
9	Existing Building/Bâtiment actuel <input checked="" type="checkbox"/> sprinklered/Protégé par gicleur <input type="checkbox"/> not sprinklered/Sans gicleurs									
10	Sprinkler System Proposed/ Réseau d'extincteurs proposé <input checked="" type="checkbox"/> entire building/dans tout le bâtiment <input type="checkbox"/> basement only/Au sous sol seulement <input type="checkbox"/> in lieu of roof rating/plutôt qu'un toit ayant un degré de résistance au feu <input type="checkbox"/> phased/installation par étapes <input type="checkbox"/> non required/non requis		B 3.2.2.20-88 B 3.2.1.5 B 3.2.2.18	B 9.10.8.2						
11	Standpipe required/Réseaux de canalisation d'incendie requis <input checked="" type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non		B 3.2.5.8							
12	Fire Alarm required/Système d'alarme incendie requis <input checked="" type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non		B 3.2.4	B 9.10.18.2						
13	Water Service, Adequate Supply/ Alimentation en eau adéquate <input checked="" type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non		B 3.2.5.7							
14	High Building/Bâtiment de grande hauteur <input type="checkbox"/> Yes/Oui <input checked="" type="checkbox"/> No/Non		B 3.2.6							
15	Authorized construction autorisé <input type="checkbox"/> Combustible/Combustible <input checked="" type="checkbox"/> Non-combustible/Incombustible <input type="checkbox"/> Both/Les deux Real construction réelle <input type="checkbox"/> Combustible/Combustible <input checked="" type="checkbox"/> Non-combustible/Incombustible <input type="checkbox"/> Both/Les deux		B 3.2.2.20-88	B 9.10.6						
16	Mezzanine(s) Area/Aire de la mezzanine (m) ² N/A		B 3.2.1.1	B 9.10.4.1						
17	Total Occupant Load/Nombre de personnes Based on/Fondé sur <input checked="" type="checkbox"/> m ² per person/par personne <input type="checkbox"/> design of building/Conception du bâtiment basement/sous-sol usage capacity/capacité 1st storey/1iere étage usage 88 capacity/capacité 500 (TYPICAL FLOOR 2-11) usage 203 PER FLOOR capacity/capacité 285 PER FLOOR		B 3.1.17	B 9.9.1.3						
18	Barrier-free Design/Conception sans obstacles <input checked="" type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non (explain/expliquer)		B 3.8	B 9.5.2						
19	Hazardous Substances/Matières dangereuses <input checked="" type="checkbox"/> Yes/Oui <input type="checkbox"/> No/Non BEING REMOVED		B 3.3.1.2 B 3.3.1.20	B 9.10.1.3.(4)						
20	<div>Required Horizontal Assemblies FRB/ DNF des éléments horizontaux (heures/Heures) Listed Design No. or Description/ Numéro des assemblages, types ou description</div> <div>Fire Floors/Planchers Hours/Heures 2 EXISTING 240mm THICK CONCRETE</div> <div>Resistance Roof/Toit Hours/Heures 0</div> <div>Rating Mezzanine/Mezzanine Hours/Heures N/A</div> <div>(FRB) FRB of Supporting Members/DNF des éléments porteurs 2 Listed Design No. or Description/ Description ou numéro de concept répertorié</div> <div>Degré de Floors/Planchers Hours/Heures 2 EXISTING 240mm THICK CONCRETE</div> <div>Mezzanine/Mezzanine Hours/Heures N/A</div> <div>résistance au Roof/Toit Hours/Heures 0</div> <div>feu requis Walls/Murs Hours/Heures</div> <div>(DRF) FRB of Non-Supporting Members/ DNF des éléments non-porteurs Listed Design No. or Description/ Description ou numéro de concept répertorié</div> <div>Walls/Murs (Interior/Intérieurs) Hours/Heures</div>		B 3.2.2.20-88 B 3.2.1.4	B 9.10.8 B 9.10.9						
21	Maximum Area of Glazing for Closures and FS/ Surface maximale du vitrage dans des dispositifs d'obturation et séparation coupe feu (m) ² Wired Glass in Door/Verre armé dans une porte EXISTING Glass Block/Wired Glass (not in a door)/Verre armé ou briques de verre (ailleurs que dans une porte)		B 3.1.8.16	B 9.10.13.5 B 9.10.13.7						
22	Spatial Separation - Construction of Exterior Walls/Séparation spatiale - composition des murs extérieurs		B 3.2.3	B 9.10.14						
	Wall/Murs	Area of EBF/ Surface des façades de rayonnement (m ²)	LB/ L'g or H/L/ Largeur et hauteur ou rayonement	Permitted Max. Poutcentage maximal d'ouvertures permises	Proposed % of Openings/ Pourcentage d'ouvertures proposé	FRB/DRF (hours/heures)	Listed Design or Description/ # assemblage ou description	Combustible Constr./ Construction combustible	Combustible Construction, Non-combustible Coating/ Construction combustible, Revêtement incombustible	Non-Comb. Constr./ Construction incombustible
	North/Nord	EXISTING	EXISTG.	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
	South/Sud									
	East/Est									
	West/Ouest									

COMPLETE DRAWING LIST	
GENERAL TITLE SHEET 0-001 COMPLETE DRAWING LIST & O.B.C. MATRIX	
ARCHITECTURAL A-101 EXISTING FIRST FLOOR PLAN A-102 EXISTING ELEVATOR CAB PLANS, EXISTING PENTHOUSE PLAN, EXISTING MACHINE ROOM PLAN A-103 DEMOLITION PLANS & NOTES, RENOVATED PLANS & NOTES, INTERIOR CAB ELEVATIONS	

 Public Works and
Government Services Canada
Travaux publics et
Services gouvernementaux Canada

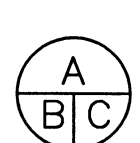


SUITE 201, 330 RICHMOND STREET, CHATHAM, ONTARIO, P.O. BOX 460, N7M 5K5
TELEPHONE : 519-352-2010 FAX : 519-352-6344
WEB SITE www.jordenandcook.com E-MAIL mail@jordenandcook.com



1	ISSUED FOR TENDER	12-01-16

Do not scale drawings.
Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

	A Detail No. No. du détail
	B drawing no. - where detail required dessin no. - où détail exigé
	C drawing no. - where detailed dessin no. - où détaillé

project title
titre du projet
LONDON ONTARIO
PUBLIC WORKS AND GOVERNMENT SERVICES CANADA
GOVERNMENT OF CANADA BUILDING

451 TALBOT STREET
ELEVATOR UPGRADE PROJECT

drawing title
titre du dessin
BUILDKING CODE MATRIX
AND
COMPLETE DRAWING LIST

drawn by
dessine par Mark M. Nosanchuk

designed by
conc par Joy Griggs

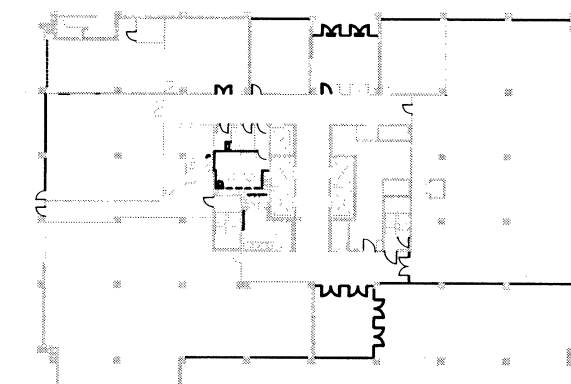
approved by
approuve par P. COOK

bid
offre project manager
administrateur de projets

project date
date du projet 2013-10-31

project no.
no. du projet R.084085.001

drawing no.
dessine no. G-001



1	ISSUED FOR TENDER	12-01-16
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A B C	A	Detail No.
	B	No. du détail
	C	drawing no. — where detail required dessin no. — où détail exigé
		drawing no. — where detailed dessin no. — où détaillé

project title
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LONDON **ONTARIO**
PUBLIC WORKS AND GOVERNMENT SERVICES CANADA
GOVERNMENT OF CANADA BUILDING

451 TLABOT STREET
ELEVATOR UPGRADE PROJECT

drawing title
titre du dessin
EXISTING FIRST FLOOR PLAN

drawn by
dessiné par **Mark M. Nosanchuk**

designed by
conçu par **Peter Cook**

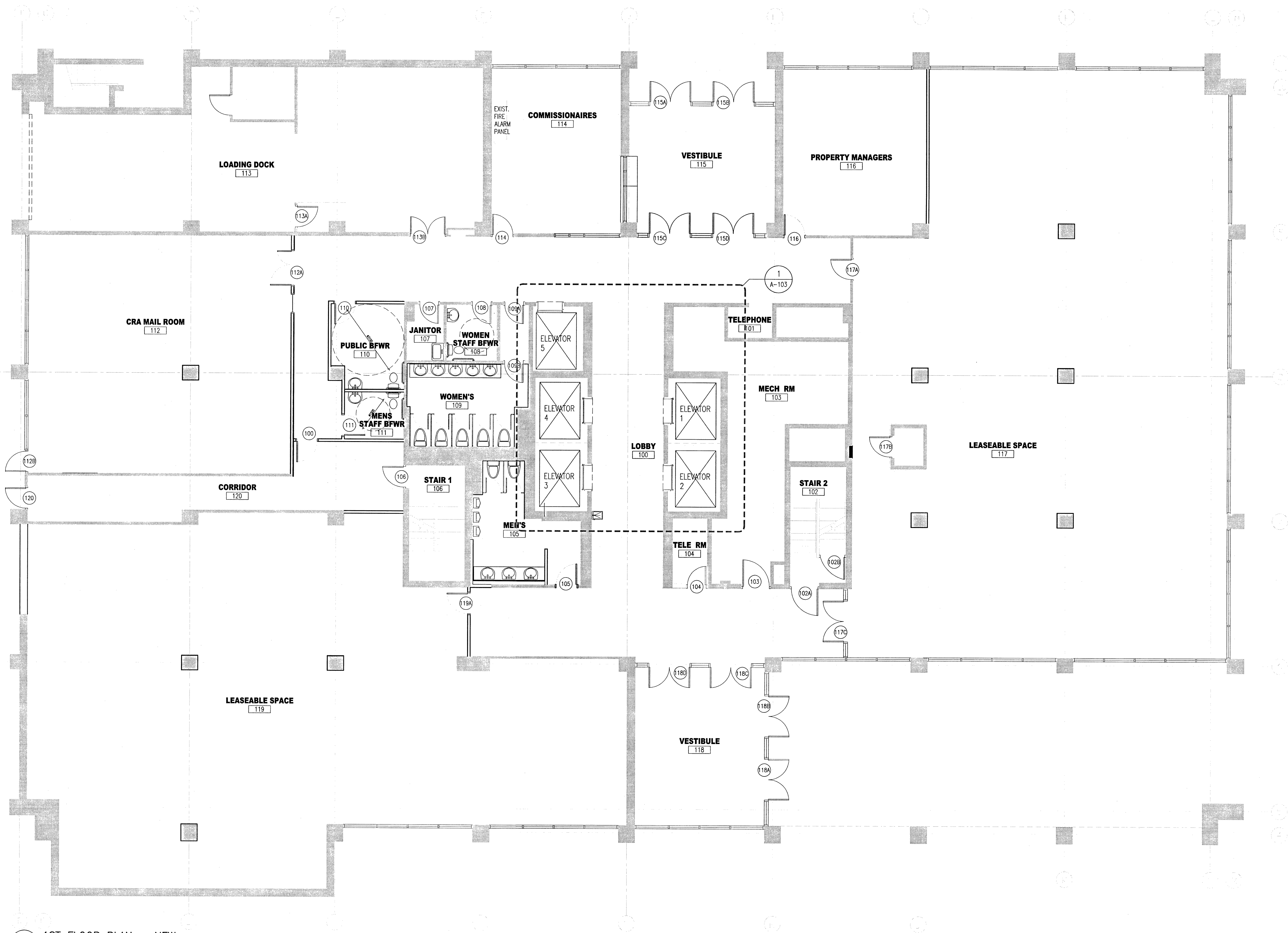
approved by
approuvé par **P. COOK**

bid
offre project manager
administrateur
de projets

project date
date du projet **2015-03-31**

project no.
no. du projet **R.084085.001**

drawing no.
dessiné no. **A-101**



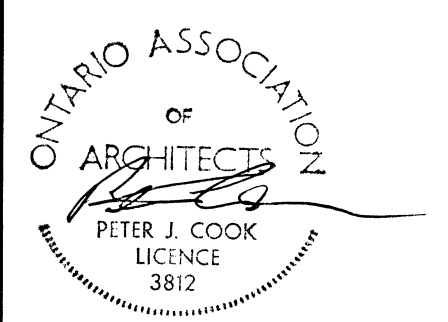
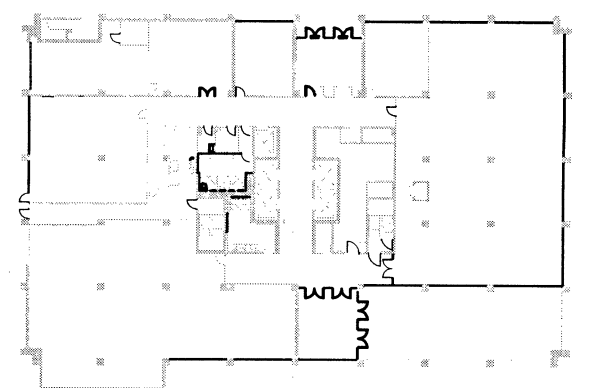
1 1ST FLOOR PLAN - NEW
A-101 / SCALE: 1:100

GENERAL DEMOLITION NOTES

BUILDING WILL BE IN CONTINUOUS OPERATIONS DURING CONSTRUCTION

REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE
COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS AND LISTED IN
THE SPECIFICATIONS.

- ALL DEMOLITION SHALL BE PROPERLY DISPOSED OF OFF SITE BY CONTRACTOR
UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER.
- PROVIDE APPROPRIATE PROTECTION FOR EXISTING CONSTRUCTION TO REMAIN.
REPAIR OR REPLACE AT CONTRACTORS EXPENSE ANY EXISTING CONSTRUCTION
DESIGNATED TO REMAIN THAT ARE DAMAGED DURING WORK TO PRE-EXISTING
CONDITIONS.



1	ISSUED FOR TENDER	12-01-16
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Do not scale drawings.
Verify all dimensions and conditions on site and immediately
notify the Departmental Representative of all discrepancies.

A	Detail No.
B	No. du détail
C	drawing no. - where detail required
	dessin no. - où détail exigé
	drawing no. - where detailed
	dessin no. - où détaillé

project title
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LONDON ONTARIO
PUBLIC WORKS AND GOVERNMENT SERVICES CANADA
GOVERNMENT OF CANADA BUILDING

451 TALBOT STREET
ELEVATOR UPGRADE PROJECT

drawing title
titre du dessin
EXISTING ELEVATOR CAB PLANS
EXISTING PENTHOUSE PLAN
EXISTING MACHINE ROOM PLAN

drawn by
dessiné par
Mark M. Nosanchuk

designed by
conçu par
Joy Griggs

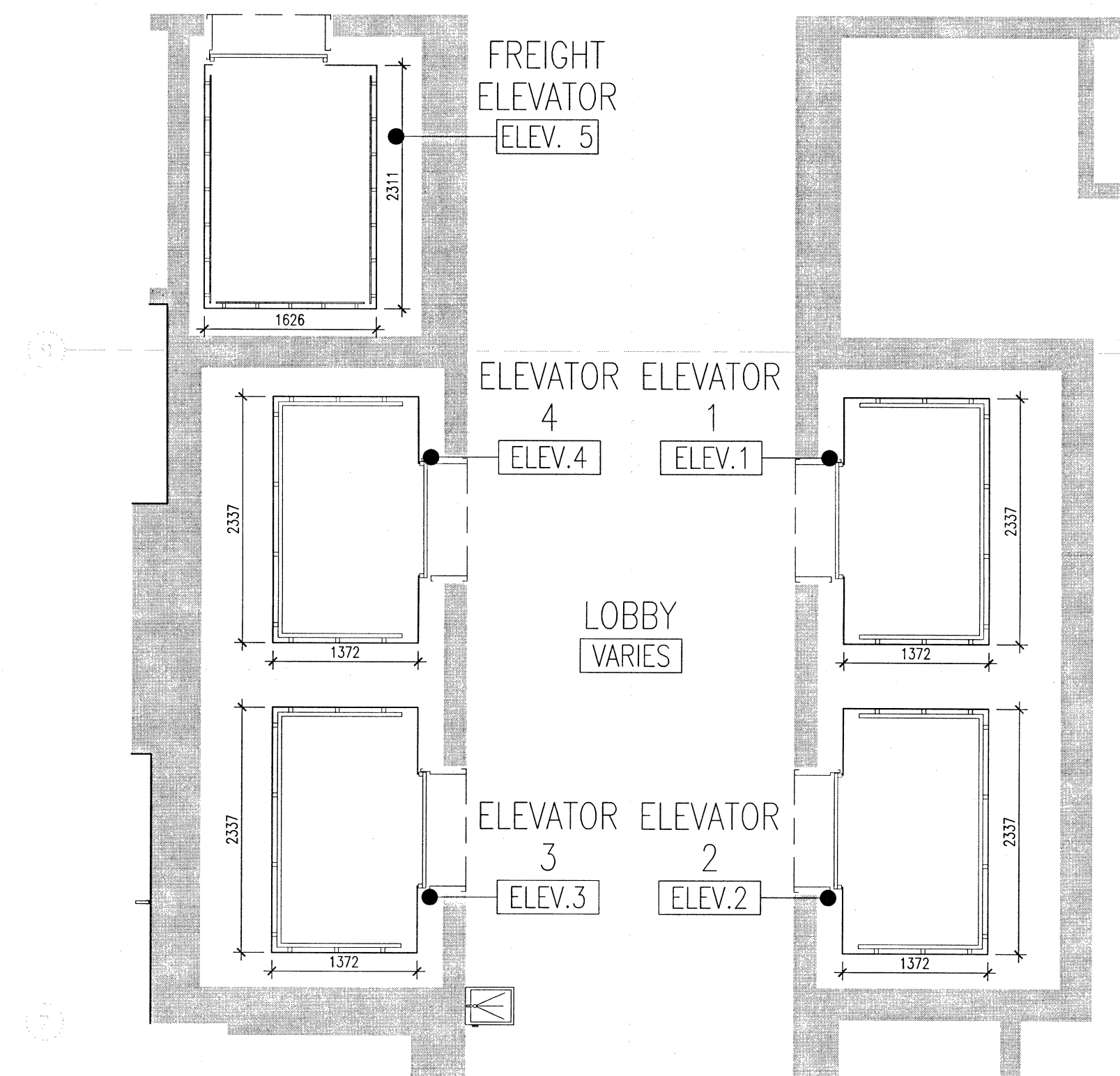
approved by
approuvé par
P. COOK

bid
offre
project manager
administrateur
de projets

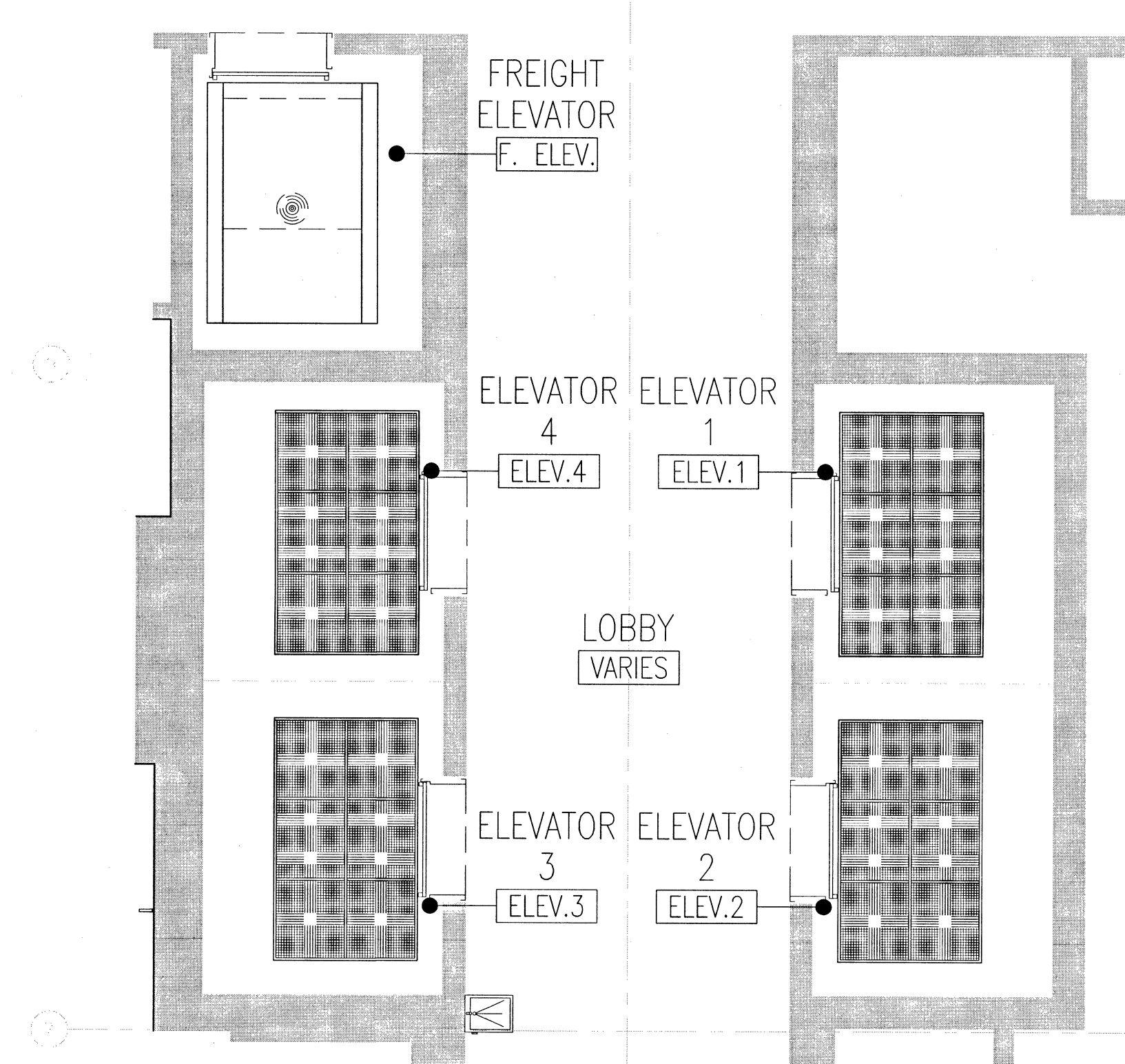
project date
date du projet
2013-10-31

project no.
no. du projet
R.084085.001

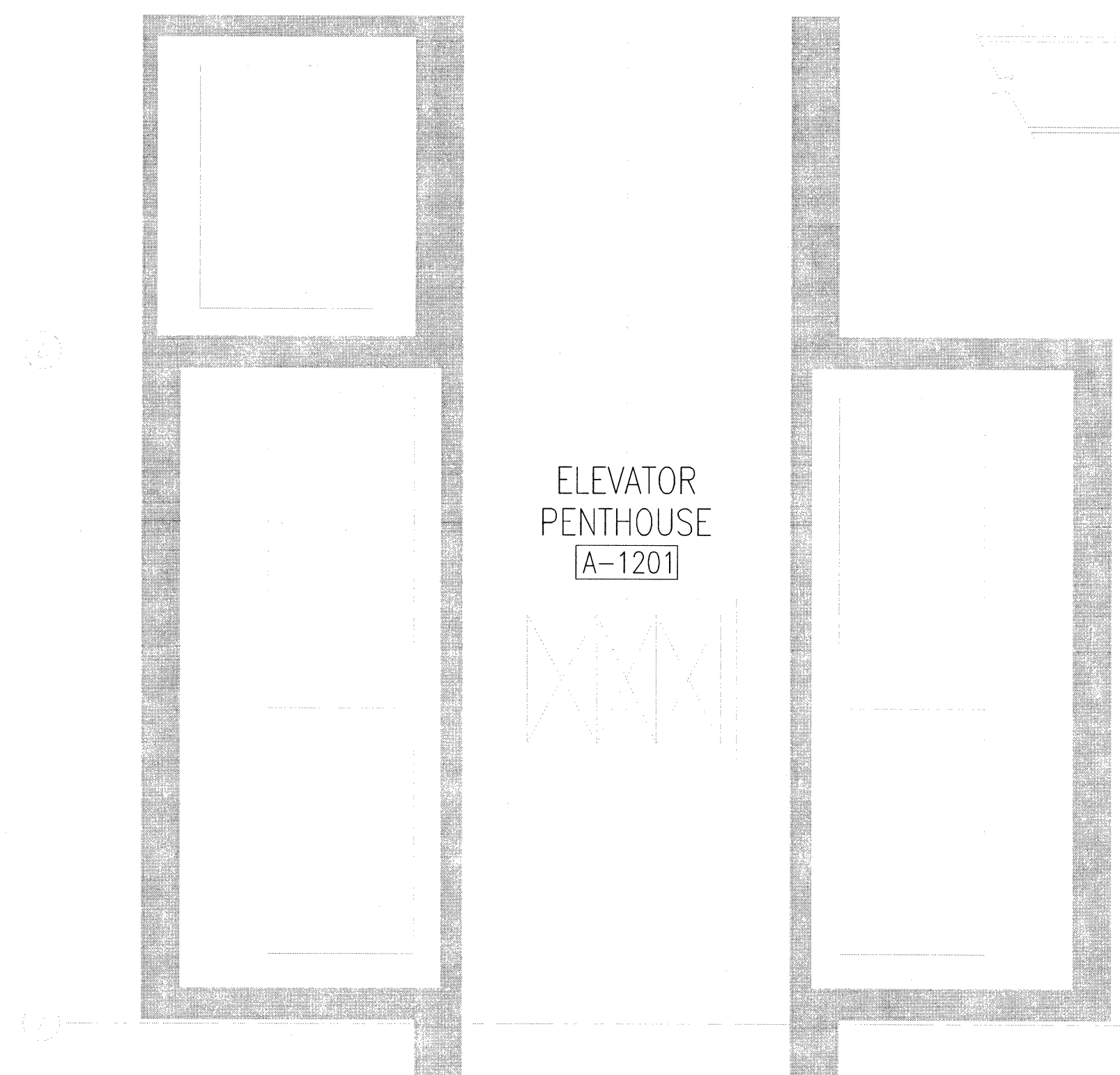
drawing no.
dessiné no.
A-102



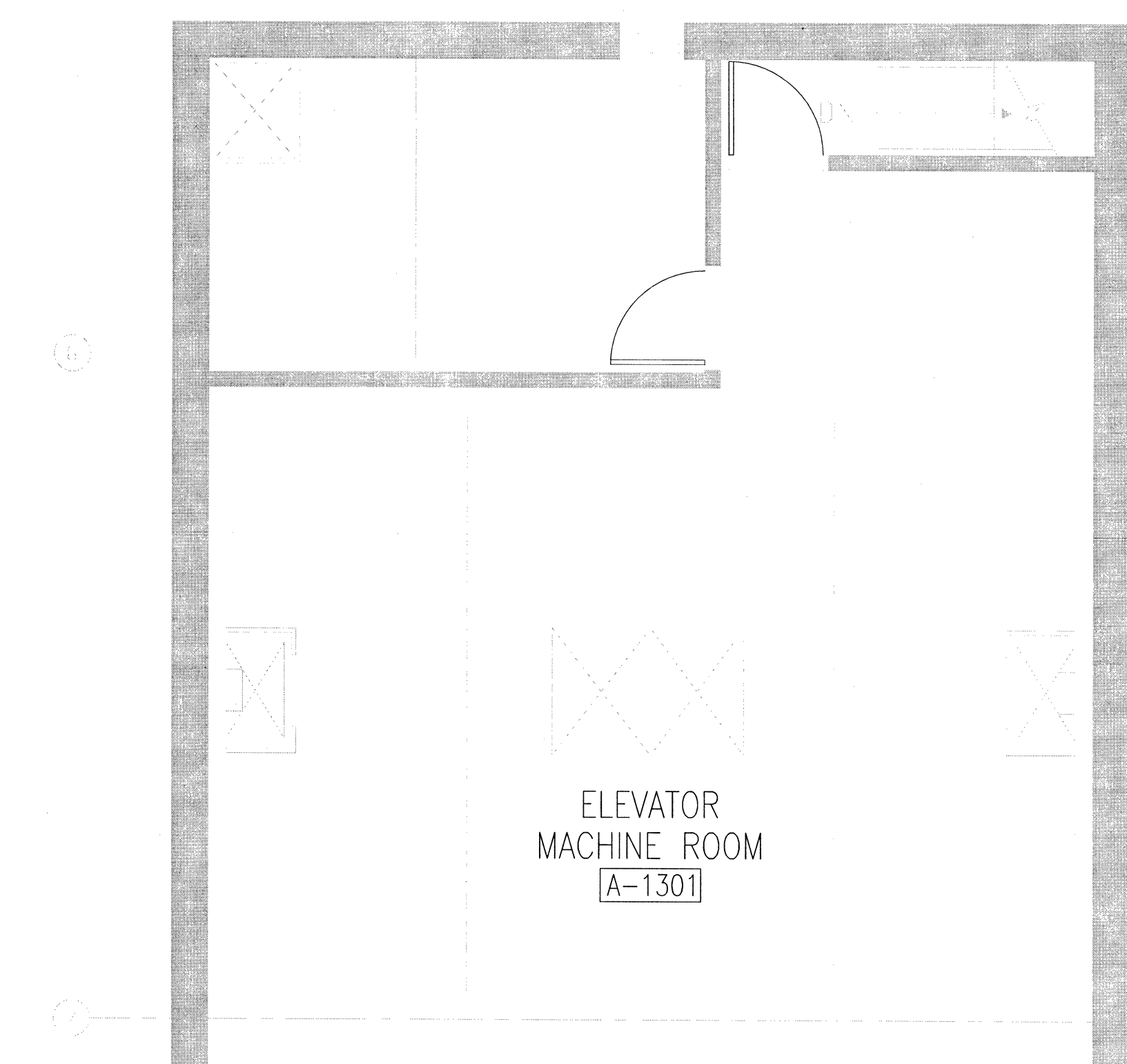
1 PASSENGER & FREIGHT ELEVATOR TYPICAL FLOOR PLAN
A-102 SCALE: 1:50



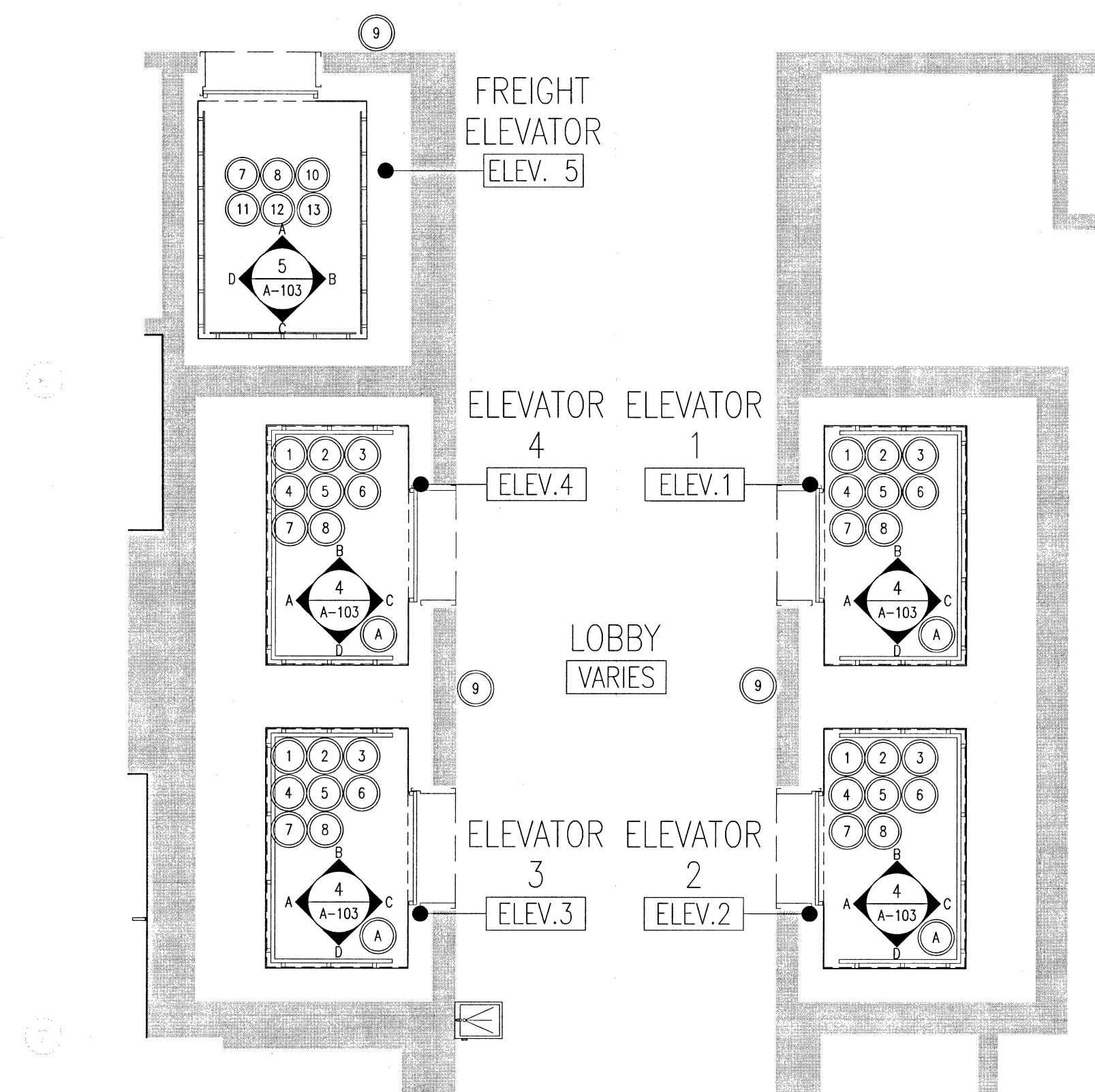
2 PASSENGER & FREIGHT ELEVATOR TYPICAL REFLECTED CEILING FLOOR PLAN
A-102 SCALE: 1:50
TYPICAL FLOOR PLAN 11



3 PASSENGER & FREIGHT ELEVATOR PENTHOUSE FLOOR PLAN
A-102 SCALE: 1:50

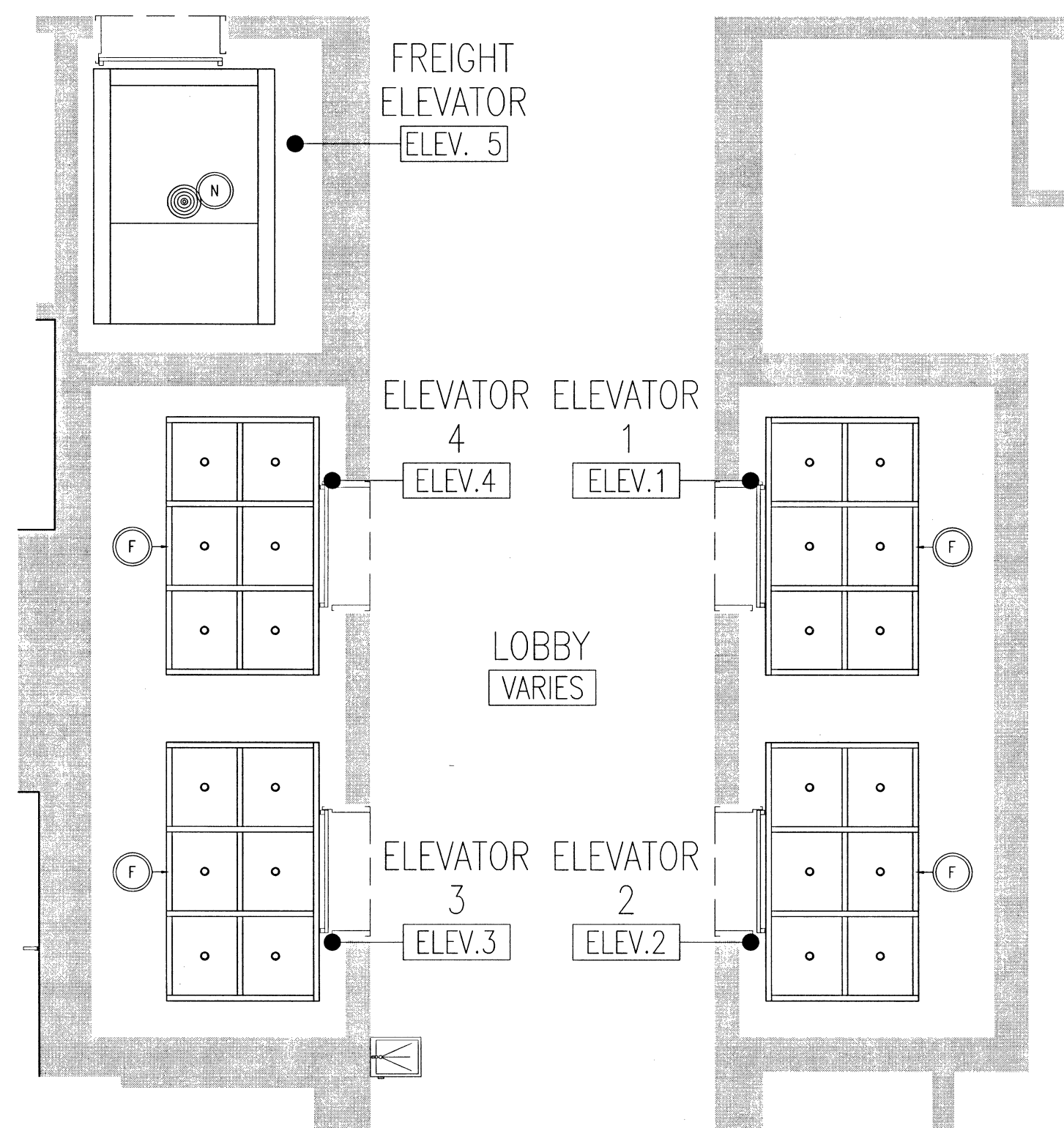


4 PASSENGER & FREIGHT ELEVATOR MACHINE ROOM FLOOR PLAN
A-102 SCALE: 1:50

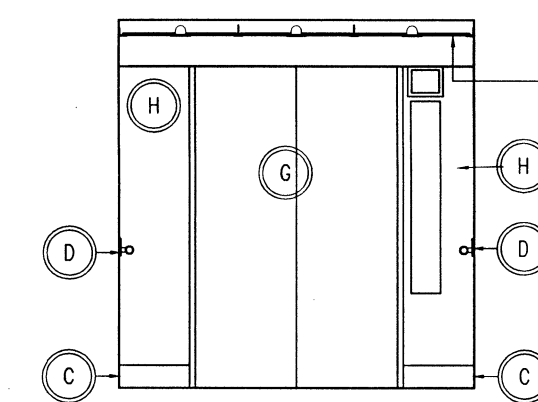


1 PASSENGER & FREIGHT ELEVATOR TYPICAL FLOOR PLAN
A-103 SCALE: 1:50

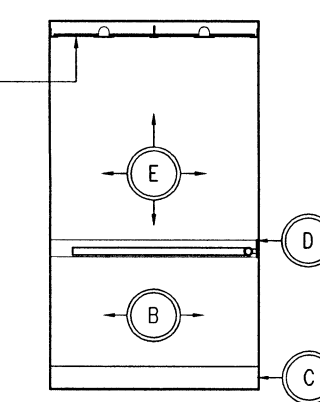
- ELEVATOR DEMOLITION KEY NOTES:**
GENERAL NOTES: PROTECT ALL SURFACES THAT DO NOT REQUIRE WORK.
- REMOVE EXISTING SHEET VINYL FLOORING COMPLETE. CLEAN, PATCH & MAKE GOOD FLOOR SURFACE TO RECEIVE NEW VINYL PLANK FLOORING.
 - REMOVE EXISTING CERAMIC/PORCELAIN WALL TILE COMPLETELY. CLEAN, PATCH & MAKE GOOD WALL SURFACE TO RECEIVE NEW PLANK ON 19 mm PARTICLE CORE WALL PANELS WITH 150 mm STAINLESS STEEL KICK PLATE.
 - EXISTING STAINLESS STEEL TRIM PLATE C/W EXISTING STAINLESS STEEL RAILING SYSTEM.
 - EXISTING MIRROR & STAINLESS STEEL MIRROR TRIM TO REMAIN. PROTECT FROM DAMAGE DURING REFURBISHING.
 - REMOVE EXISTING EDGE GRATE CEILING & GRID COMPLETELY. CLEAN, PATCH & MAKE GOOD EXISTING WALL SURFACE TO RECEIVE NEW CEILING SYSTEM C/W RECESSED POT LIGHTING.
 - REMOVE EXISTING LIGHTING & ALL RELATED MATERIAL. USE EXISTING POWER SOURCE FOR NEW LIGHTING.
 - REMOVE EXISTING DOORS, MAKE OPENING GOOD FOR NEW DOORS.
 - REMOVE EXISTING AND REPLACE EXISTING ELEVATOR OPERATING PANEL.
 - REMOVE EXISTING AND REPLACE EXISTING HALL BUTTONS AND LANTERNS.
 - REMOVE EXISTING FLOORING COMPLETE. CLEAN PATCH & MAKE GOOD SUBSTRATE TO RECEIVE NEW ALUM. CHECKERPLATE FLOORING.
 - REMOVE EXISTING STAINLESS STEEL WALL PANELS & MAKE GOOD SUBSTRATE TO RECEIVE NEW 20 GA. SCRATCH RESISTANT, PATTERNED FINISH STAINLESS STEEL PANELS.
 - EXISTING FAN - DISCONNECT AND REMOVE AS REQUIRED TO COMPLETE NEW WORK. REINSTALL/RECONNECT AT COMPLETION OF WORK.
 - RE-CLAD EXISTING LIGHT VALANCE WITH NEW 20 GA. SCRATCH RESISTANT, PATTERNED FINISH STAINLESS STEEL. INSTALL NEW FLUORESCENT FIXTURES IN EXISTING VALANCE.



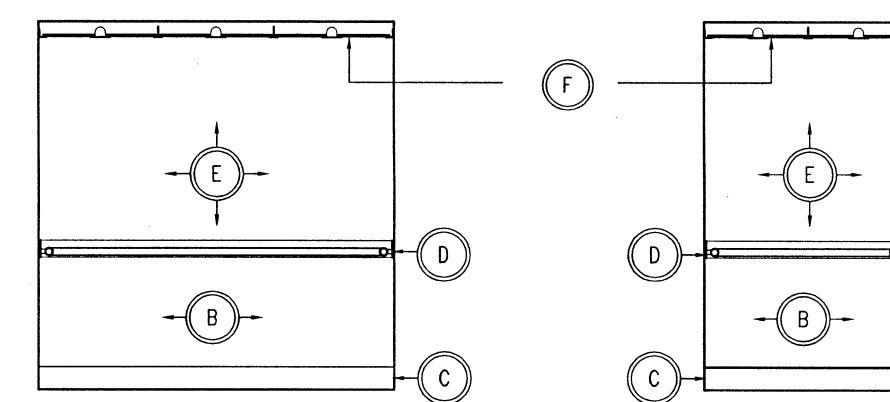
3 PASSENGER & FREIGHT ELEVATOR RENOVATED REFLECTED CEILING PLAN
A-103 SCALE: 1:50



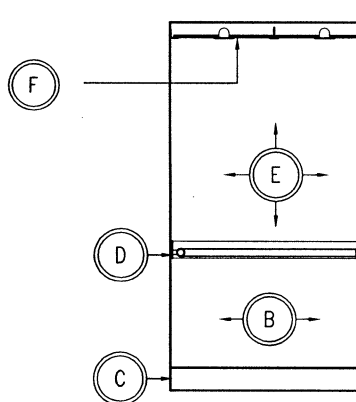
4A INTERIOR ELEVATIONS
A-103 SCALE: 1:50



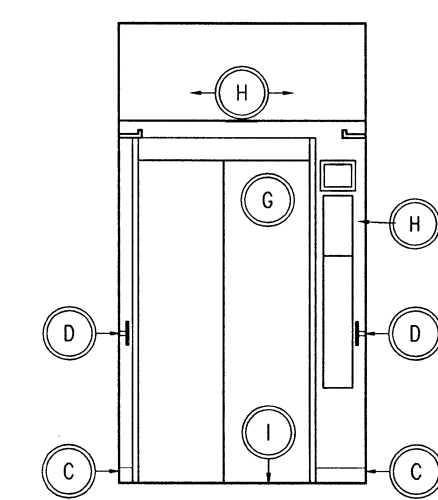
4B INTERIOR ELEVATIONS
A-103 SCALE: 1:50



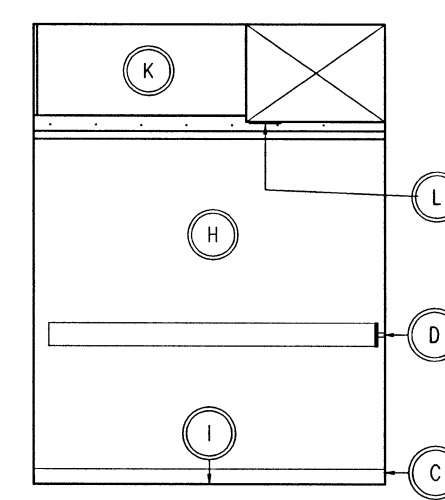
4C INTERIOR ELEVATIONS
A-103 SCALE: 1:50



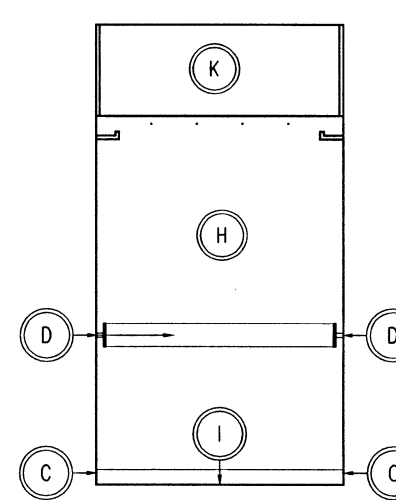
4D INTERIOR ELEVATIONS
A-103 SCALE: 1:50



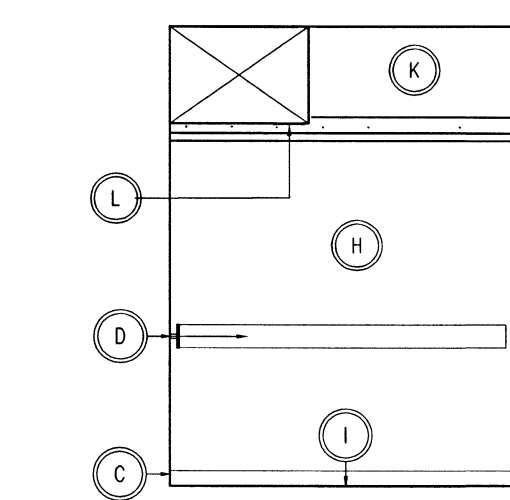
5A INTERIOR ELEVATIONS
A-103 SCALE: 1:50



5B INTERIOR ELEVATIONS
A-103 SCALE: 1:50



5C INTERIOR ELEVATIONS
A-103 SCALE: 1:50



5D INTERIOR ELEVATIONS
A-103 SCALE: 1:50

- ELEVATOR MATERIAL KEY NOTES:**
GENERAL NOTES: PROTECT ALL SURFACES THAT DO NOT REQUIRE WORK.
- NEW NON SLIP SHEET VINYL FLOORING.
 - NEW PLANK WALL FINISH.
 - NEW 150 MM 20 GA #4 STAINLESS STEEL KICK PLATE.
 - NEW 20 GA. #4 FINISH STAINLESS STEEL TRIM PLATE & RAILING SYSTEM.
 - EXISTING MIRRORS & STAINLESS STEEL TRIM - NO CHANGE.
 - NEW 6 PANEL CEILING SYSTEM C/W 6 RECESSED MR16 LED POT LIGHTS.
 - NEW 20 GA. #4 FIN. STAINLESS STEEL ELEVATOR DOORS.
 - NEW SCRATCH RESISTANT, PATTERNED FINISH, 20 GA. STAINLESS STEEL ELEVATOR CAB WALL FINISH C/W MOVING HOOKS.
 - NEW ALUM. CHECKERPLATE FLOORING.
 - CLAD EXIST. LIGHT VALANCE W/ NEW SCRATCH RESISTANT, PATTERNED FINISH, 20 GA. STAINLESS STEEL.
 - REMOVE EXISTING & INSTALL NEW PREFINISHED METAL CLADDING.
 - EXISTING FAN - DISCONNECT & RECONNECT/REINSTALL AT COMPLETION OF CAB REFURBISHING.

