



Photograph 1: Overall view of Holland Building Roof Area 1.1 facing east. Ridging exists throughout roof area.



Photograph 2: Holland Building Roof Area 1.1 Ridging in membrane throughout roof area, and typical roof drains.



Photograph 3: Roof Area 1.2 – Damaged flashing at reglet.



Photograph 4: Holland Building Roof Area 1.2 substantial ridging in membrane throughout roof area.



Photograph 5: Roof Area 1.2 – substantial ridging in membrane and typical roof drain



Photograph 6: Roof Area 2.1 – flashing poorly sealed and debonded at conduit gooseneck.



Photograph 7: Roof Area 2.1 – flashing problem at roof anchor that is not being used and should be removed.



Photograph 8: Roof Area 2.1 – Roof drain without proper membrane cap flashing (typical throughout roof area) and vegetation growth. Also shows debonding of cap sheet membrane.



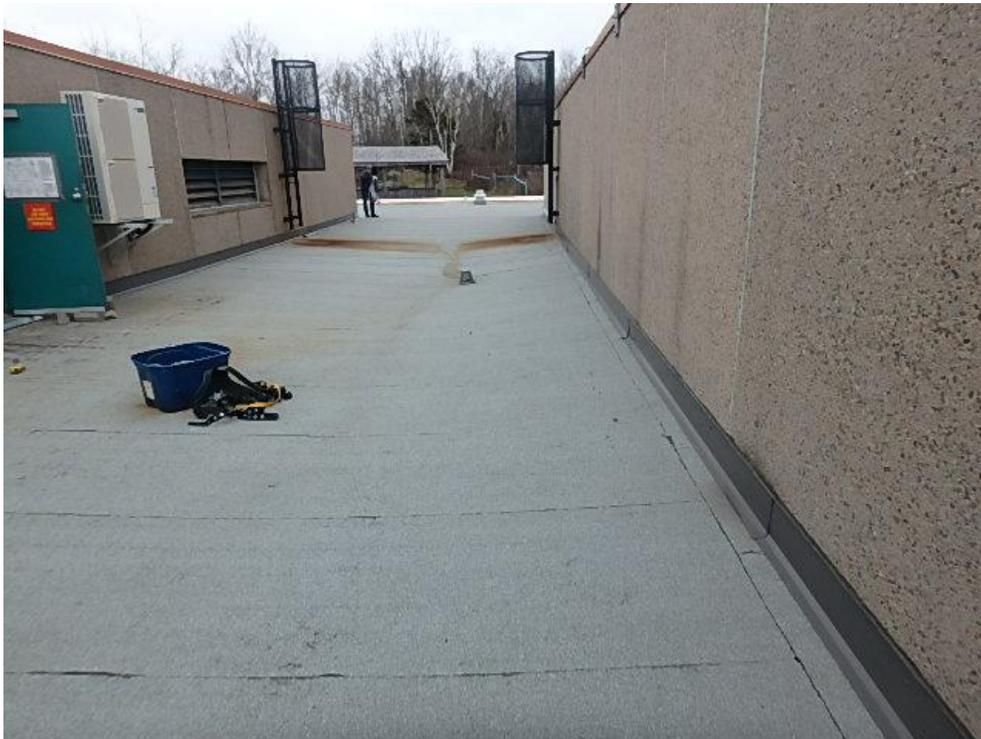
Photograph 9: Roof Area 2.1 – Ridging in membrane



Photograph 10: Roof Area 2.1 – ridging in membrane between roof areas 3.1 and 3.2.



Photograph 11: Roof Area 2.1 – Rust staining of membrane from ladder and membrane protection missing under ladder.



Photograph 12: Roof Area 2.1 – Overall view of roof area 2.1 between 3.1 and 3.2.



Photograph 13: Roof Area 2.1 – poor adhesion of flashings at intersection of parapet and expansion joint.



Photograph 14: Roof Area 2.1 – Conduit over parapet and wood sleeper without proper membrane protection.



Photograph 15: Roof Area 2.1. Small HVAC unit on wood sleepers without proper membrane protection.



Photograph 16: Roof Area 2.1 – Solar panels on evenly spaced structural supports that are improperly flashed to cap sheet membrane.



Photograph 17: Roof Area 2.1 – poor sealant adhesion at intersection in expansion joint



Photograph 18: Roof Area 2.1 – Overall view of west side of roof area facing south.



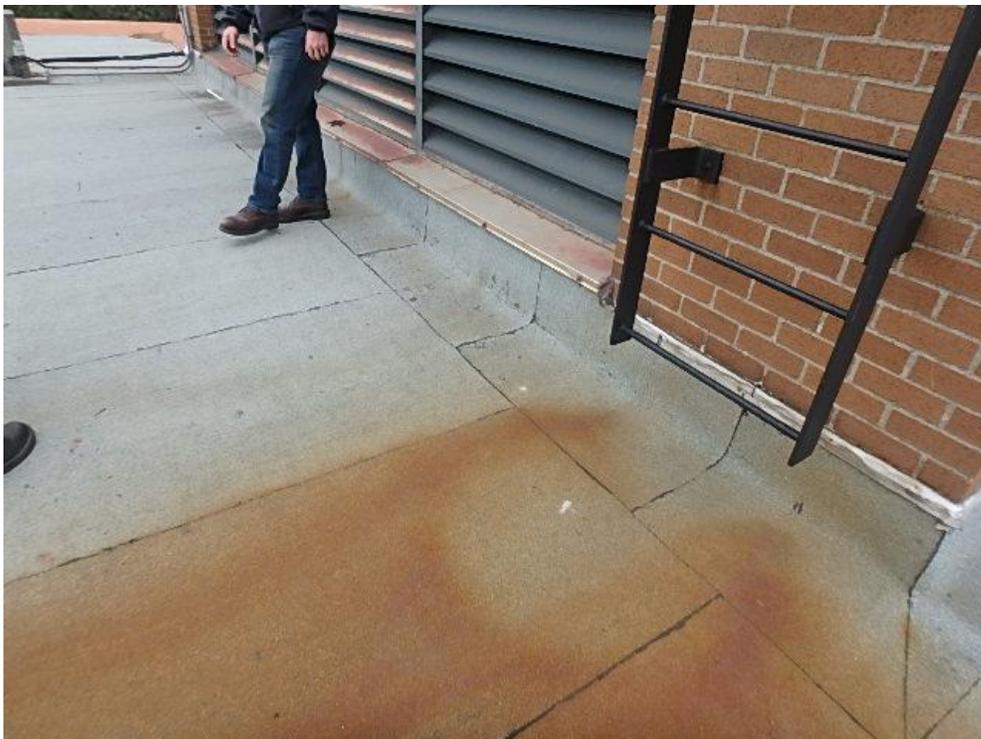
Photograph 19: Roof Area 2.1 – Overall view of roof area 2.1 on north side facing east showing unused roof curbs, conduit, exhaust fans and typical parapet flashing.



Photograph 20: Roof Area 2.2 – Overall view of roof area 2.2 facing north west.



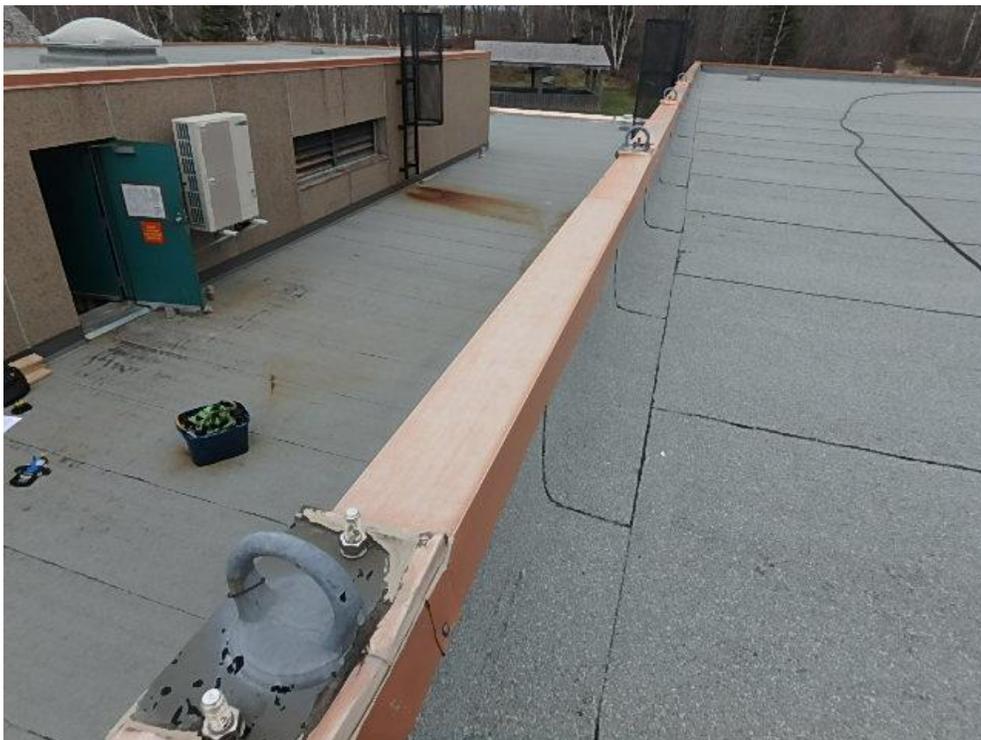
Photograph 21: Roof Area 2.2 – Showing conduit penetration into wall, wall louvre with water staining on membrane and air conditioner on pavers with cap sheet as membrane protection.



Photograph 22: Roof Area 2.2 – Rust staining on membrane and missing membrane protection under ladder.



Photograph 23: Roof Area 3.1 – Overall view of roof area facing south west.



Photograph 24: Roof Area 3.1 – Poor sealant failure around base plate of roof anchor and parapet. Also shows typical parapet condition.



Photograph 25: Roof Area 3.1 – Membrane tenting around parapet, ridging in cap sheet membrane, conduit across roof area and improper cap sheet at roof drain.



Photograph 26: Roof Area 3.2 – Overall view of roof area 3.2 facing south. Shows drains with improper cap sheet flashing, skylights, adjacent solar panels, and typical parapet. Roof is generally in good condition.



Photograph 27: Roof Area 3.2 –Damaged skylight.



Photograph 28: Roof Area 3.3 –Overall view of roof area 3.3 facing south.



Photograph 29: Roof Area 3.3 – Corner of parapet flashing in poor condition and sealant is missing.



Photograph 30: Roof Area 3.3 – Blistered and poorly sealed membrane flashing around base of roof anchor.



Photograph 31: Roof Area 3.3 – Full view of membrane flashing that is in poor condition around roof anchor.



Photograph 32: Typical roof area core cut on Holland Building.



Photograph 33: Moisture testing showing a low level of moisture present in roof system.