



**Photograph 1:** Overall view of Holland Building Roof Area 1.1 facing east. Ridging exists throughout roof area.



**Photograph 2:** Holland Building Roof Area 1.1 Ridging in membrane throughout roof area, and typical roof drains.



**Photograph 3:** Roof Area 1.2 – Damaged flashing at reglet.



**Photograph 4:** Holland Building Roof Area 1.2 substantial ridging in membrane throughout roof area.





**Photograph 5:** Roof Area 1.2 – substantial ridging in membrane and typical roof drain



**Photograph 6:** Roof Area 2.1 – flashing poorly sealed and debonded at conduit gooseneck.





**Photograph 7:** Roof Area 2.1 – flashing problem at roof anchor that is not being used and should be removed.



**Photograph 8:** Roof Area 2.1 – Roof drain without proper membrane cap flashing (typical throughout roof area) and vegetation growth. Also shows debonding of cap sheet membrane.



**Photograph 9:** Roof Area 2.1 – Ridging in membrane



**Photograph 10:** Roof Area 2.1 – ridging in membrane between roof areas 3.1 and 3.2.





**Photograph 11:** Roof Area 2.1 – Rust staining of membrane from ladder and membrane protection missing under ladder.



**Photograph 12:** Roof Area 2.1 – Overall view of roof area 2.1 between 3.1 and 3.2.



**Photograph 13:** Roof Area 2.1 – poor adhesion of flashings at intersection of parapet and expansion joint.



**Photograph 14:** Roof Area 2.1 – Conduit over parapet and wood sleeper without proper membrane protection.





**Photograph 15:** Roof Area 2.1. Small HVAC unit on wood sleepers without proper membrane protection.



**Photograph 16:** Roof Area 2.1 – Solar panels on evenly spaced structural supports that are improperly flashed to cap sheet membrane.





**Photograph 17:** Roof Area 2.1 – poor sealant adhesion at intersection in expansion joint



**Photograph 18:** Roof Area 2.1 – Overall view of west side of roof area facing south.



**Photograph 19:** Roof Area 2.1 – Overall view of roof area 2.1 on north side facing east showing unused roof curbs, conduit, exhaust fans and typical parapet flashing.

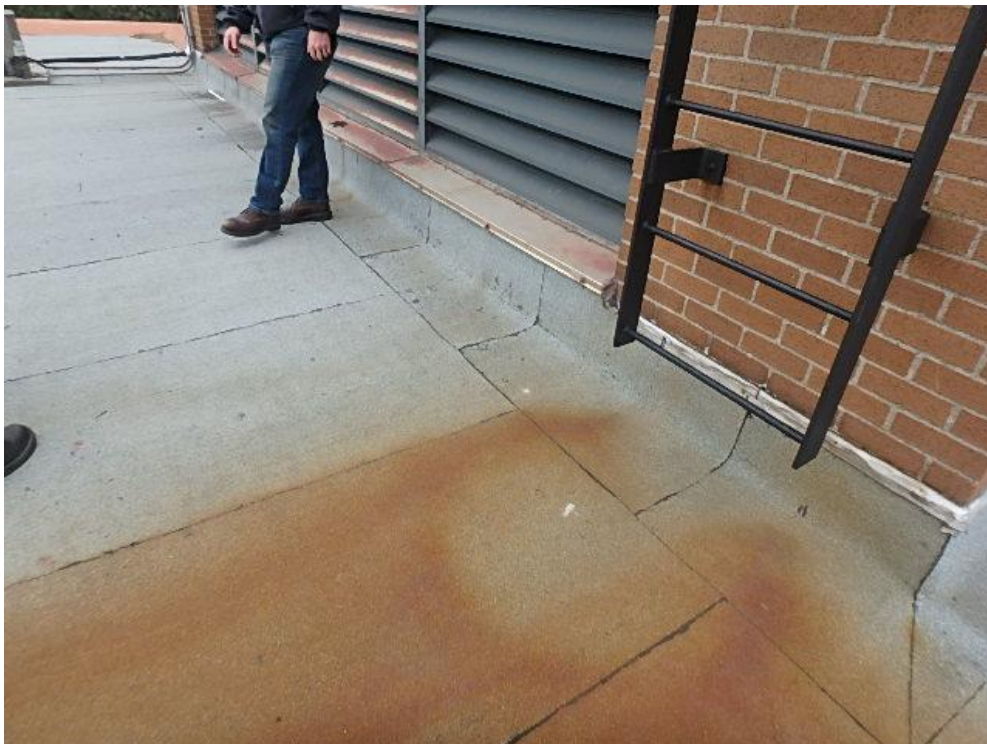


**Photograph 20:** Roof Area 2.2 – Overall view of roof area 2.2 facing north west.





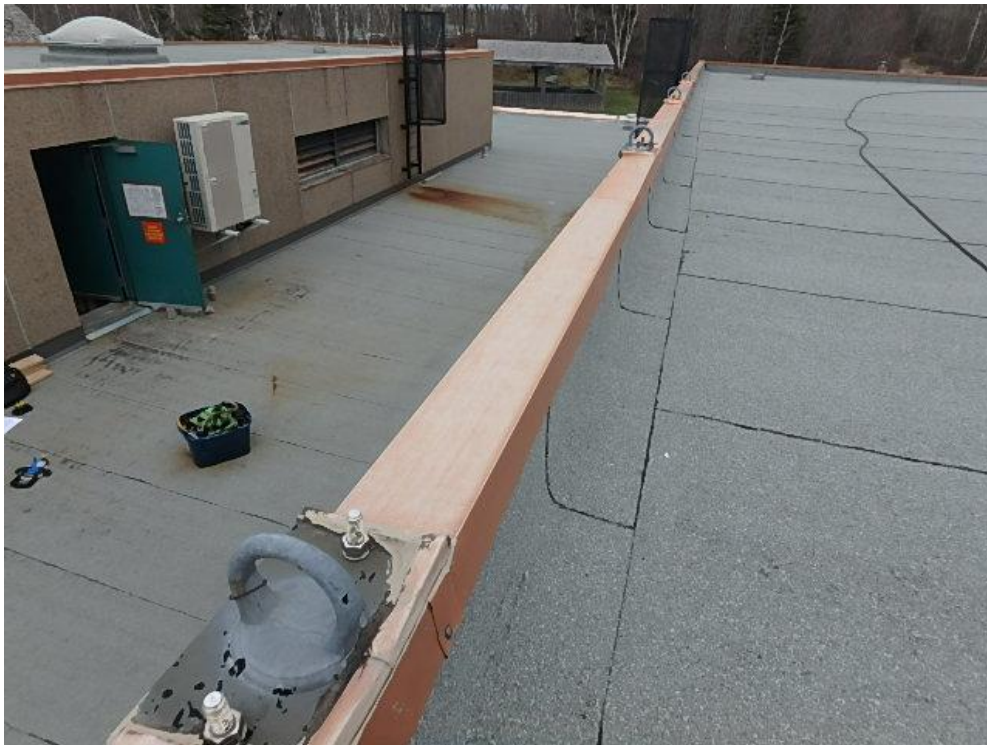
**Photograph 21:** Roof Area 2.2 – Showing conduit penetration into wall, wall louvre with water staining on membrane and air conditioner on pavers with cap sheet as membrane protection.



**Photograph 22:** Roof Area 2.2 – Rust staining on membrane and missing membrane protection under ladder.



**Photograph 23:** Roof Area 3.1 – Overall view of roof area facing south west.



**Photograph 24:** Roof Area 3.1 – Poor sealant failure around base plate of roof anchor and parapet. Also shows typical parapet condition.





**Photograph 25:** Roof Area 3.1 – Membrane tenting around parapet, ridging in cap sheet membrane, conduit across roof area and improper cap sheet at roof drain.



**Photograph 26:** Roof Area 3.2 – Overall view of roof area 3.2 facing south. Shows drains with improper cap sheet flashing, skylights, adjacent solar panels, and typical parapet. Roof is generally in good condition.



**Photograph 27:** Roof Area 3.2 –Damaged skylight.



**Photograph 28:** Roof Area 3.3 –Overall view of roof area 3.3 facing south.





**Photograph 29:** Roof Area 3.3 – Corner of parapet flashing in poor condition and sealant is missing.



**Photograph 30:** Roof Area 3.3 – Blistered and poorly sealed membrane flashing around base of roof anchor.



**Photograph 31:** Roof Area 3.3 – Full view of membrane flashing that is in poor condition around roof anchor.



**Photograph 32:** Typical roof area core cut on Holland Building.





**Photograph 33:** Moisture testing showing a low level of moisture present in roof system.