



Photograph 1: Overall view of the eastern portion of roof area 1.1 facing east.



Photograph 2: Overall view of Polaris building Roof Area 1.1 looking south towards Halifax. This is a 2 ply modified bitumen roof that is approximately 12 years old



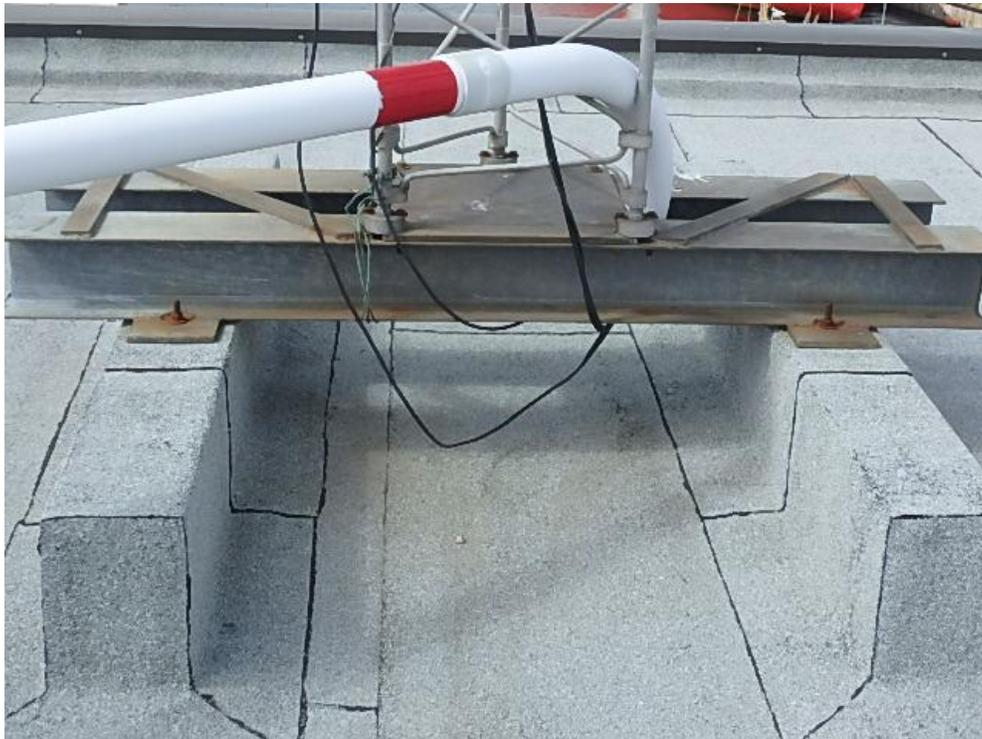
Photograph 3: Roof Area 1.1 – showing debris and membrane wear



Photograph 4: Roof Area 1.1 – roof divider between two parts of 1.1 that is not protected by metal flashing. Also shows roof anchors that are not in use and should be removed.



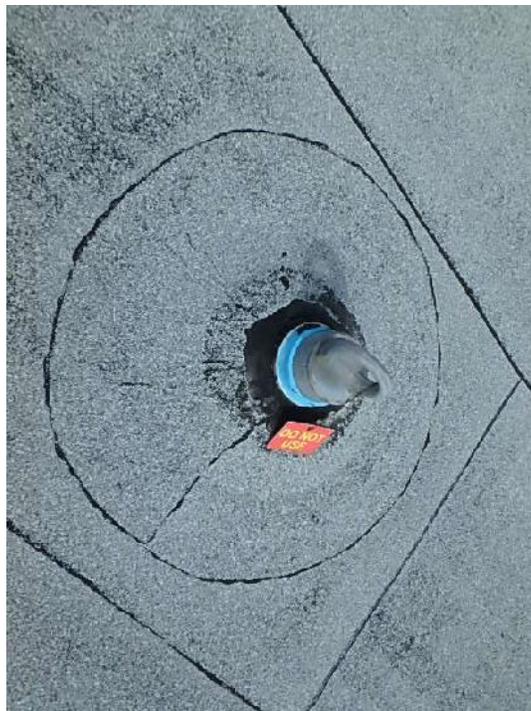
Photograph 5: Roof Area 1.1 – Improperly sealed and cracked pitch pan with improperly sealed conduit penetrations.



Photograph 6: Roof Area 1.1 – Sleepers supporting steel beam antenna base along with conduit pipe.



Photograph 7: Roof Area 1.1 – unused sleepers and unused conduit gooseneck with worn out sealant around its base.



Photograph 8: Roof Area 1.1 – Existing roof anchor that is not in use and should be removed.



Photograph 9: Roof Area 1.1 – View of the east corner showing two different parapet conditions along with security camera and conduit gooseneck penetration with worn sealant.



Photograph 10: Roof Area 1.1 – Roof divider condition at perimeter showing minor debris build up. Majority of perimeters are not protected by metal flashing.



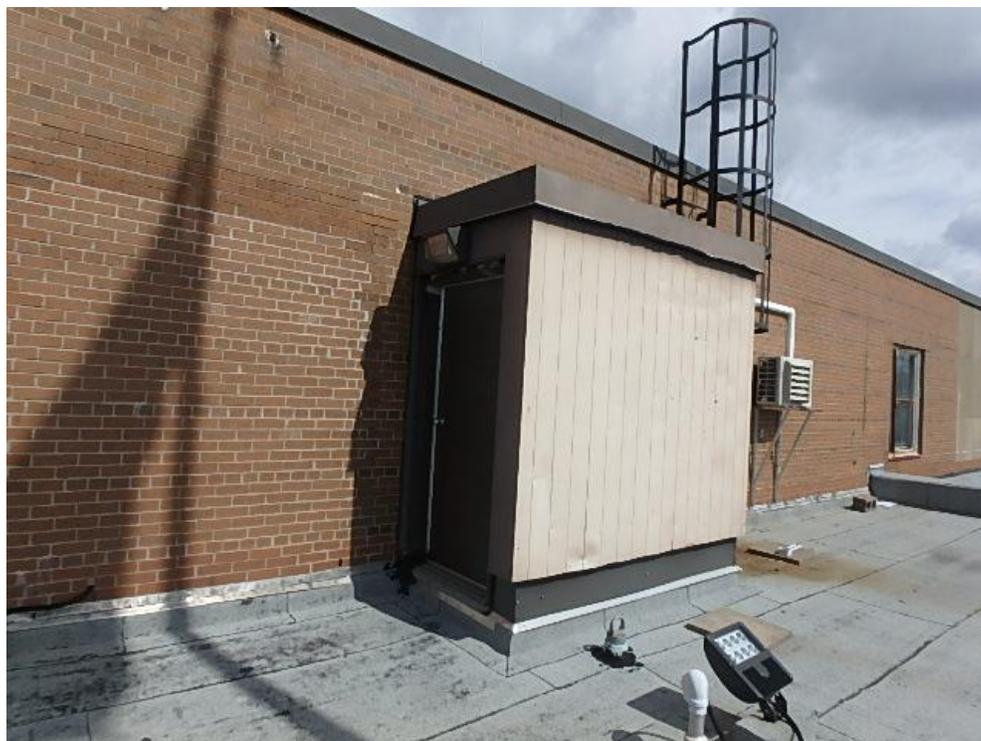
Photograph 11: Roof Area 1.1 – Typical roof drain installation with improper cap sheet detail.



Photograph 12: Roof Area 1.1 – Typical light and conduit gooseneck detail.



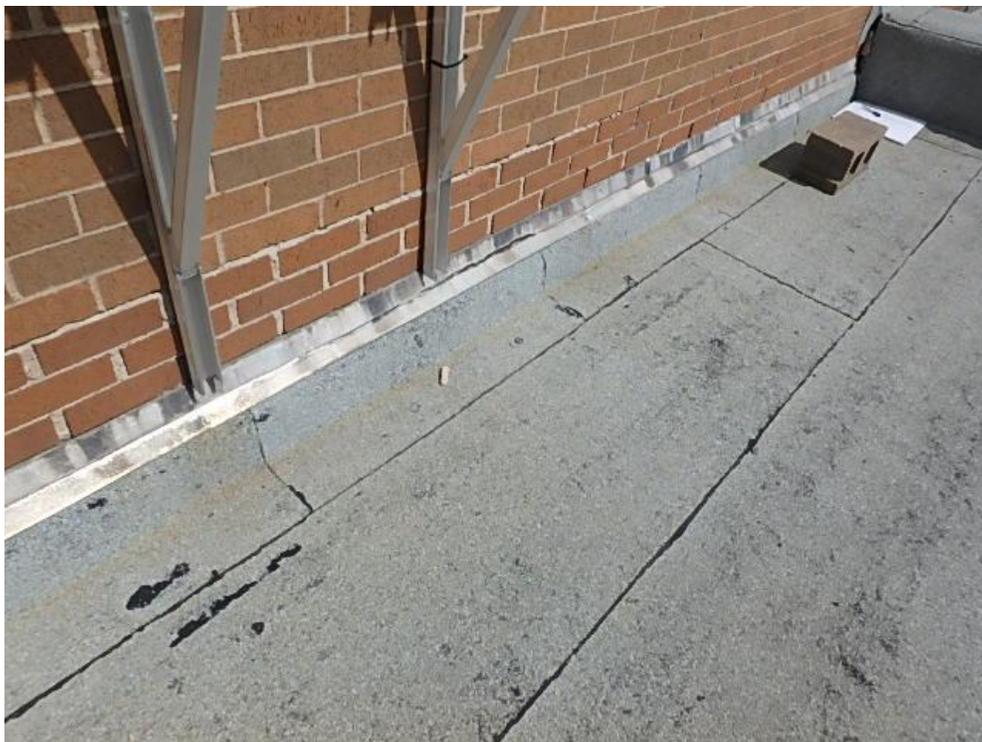
Photograph 13: Roof Area 1.1 – Exhaust fan penetration with improperly sealed conduit and fan penetrations and worn out sealant around base pan.



Photograph 14: Roof Area 2.1 – Door to roof area 1.1 with worn membrane due to lack of membrane protection outside of doorway.



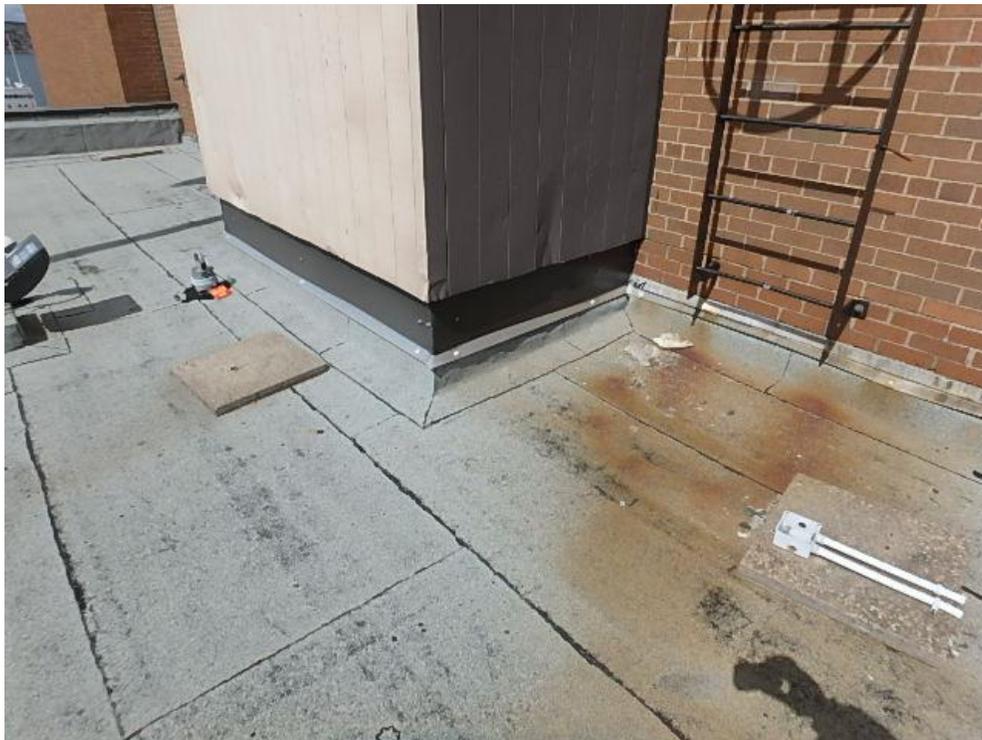
Photograph 15: Roof Area 1.1. Corner of roof area at adjacent wall showing worn, and tented flashing, sealant between parapet and wall, and reglet detail at wall. Both wall transitions are poorly sealed.



Photograph 16: Roof Area 1.1 – Ladder to roof area 3.1 showing no membrane protection at bottom, bleed out at seams, and wearing of membrane.



Photograph 17: Roof Area 1.1 – roof divider between Polaris and Murray building with improper reglet detail at intersection of divider and wall.



Photograph 18: Roof Area 2.1 – Debris and worn membrane at bottom of ladder along with unused roof anchor.



Photograph 19: Roof Area 2.1 – Overall view of roof area 2.1 over doorway to roof area 2.1 with improper drip edge, and reglet detail with poor seal to adjacent wall.



Photograph 20: Roof Area 2.1 – improper and poorly sealed roof edge detail at fascia.



Photograph 21: Roof Area 1.1 - A core test of the roof system was conducted at a central portion of the roof.



Photograph 22: Roof Area 1.1 – moisture test at core cut location.



Photograph 23: Roof Area 3.1 – Overall view of roof area facing south west. Also shows metal truss supporting antennae.



Photograph 24: Roof Area 3.1 – Overall view of roof area facing north east. Also showing metal truss supporting antennae, sleeper truss supports, and conduit goosenecks along with exhaust fans, drains, and roof anchors.



Photograph 25: Roof Area 3.1 – unprotected conduit support and minor debris and membrane rust staining.



Photograph 26: Roof Area 3.1 – ridging, tenting and evidence of water ponding on membrane. Also shows unused roof anchor to be removed.



Photograph 27: Roof Area 3.1 –Truss support sleeper with connector screwed directly through membrane (improperly sealed), and typical roof edge detail.



Photograph 28: Roof Area 3.1 – improperly sealed wall penetration and no membrane protection under pipe.



Photograph 29: Roof Area 3.1 – damaged membrane due to lack of protection at top of ladder.



Photograph 30: Roof Area 3.1 – Typical roof drain installation with improper cap sheet detail.