

UBC OKANAGAN MWO BUILDING LEVEL 1 RENOVATION

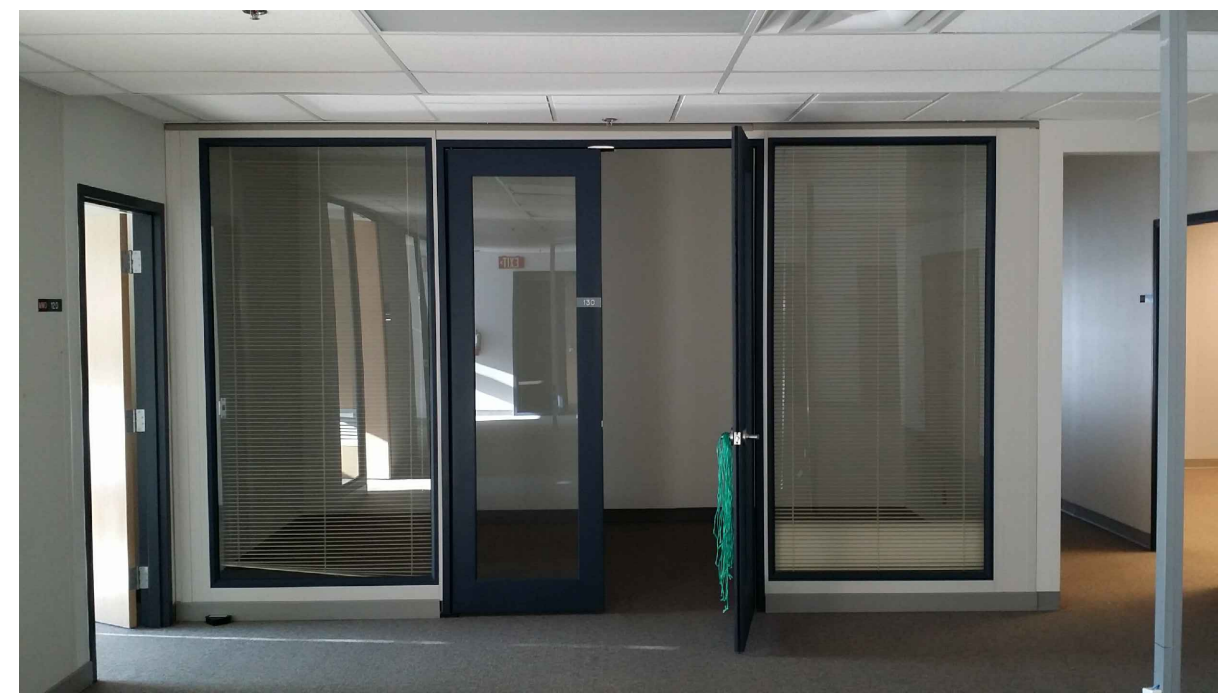


PHOTO 1: VIEW OF ENTRY DOORS AND SIDELIGHTS TO ROOM W130

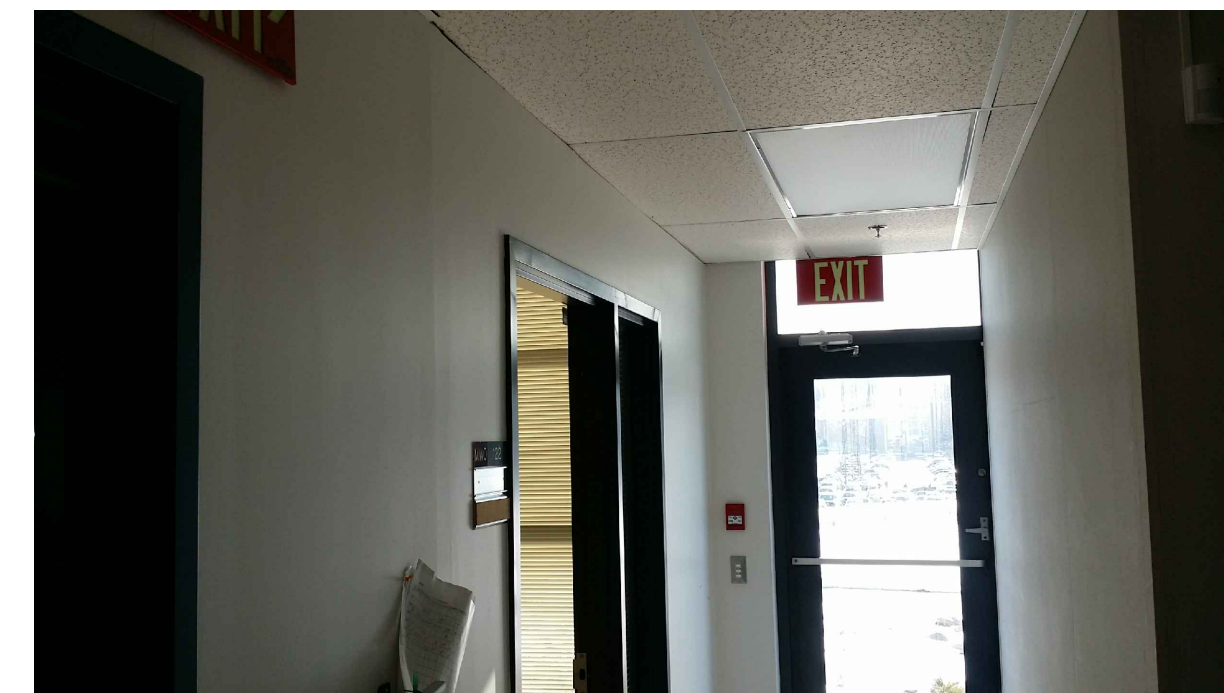


PHOTO 2: VIEW OF ROOM W119 DOOR AND EXTERIOR DOOR FROM ROOM W118

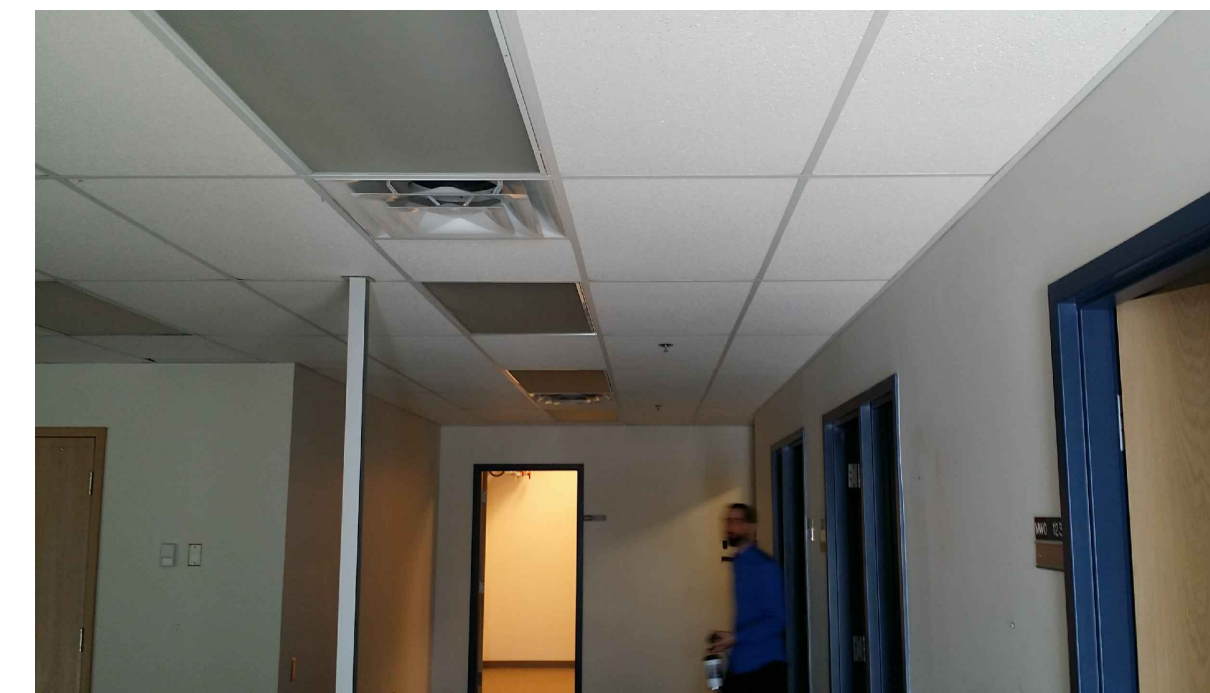


PHOTO 3: VIEW OF CEILING AT DOORS TO ROOMS W124 AND W125

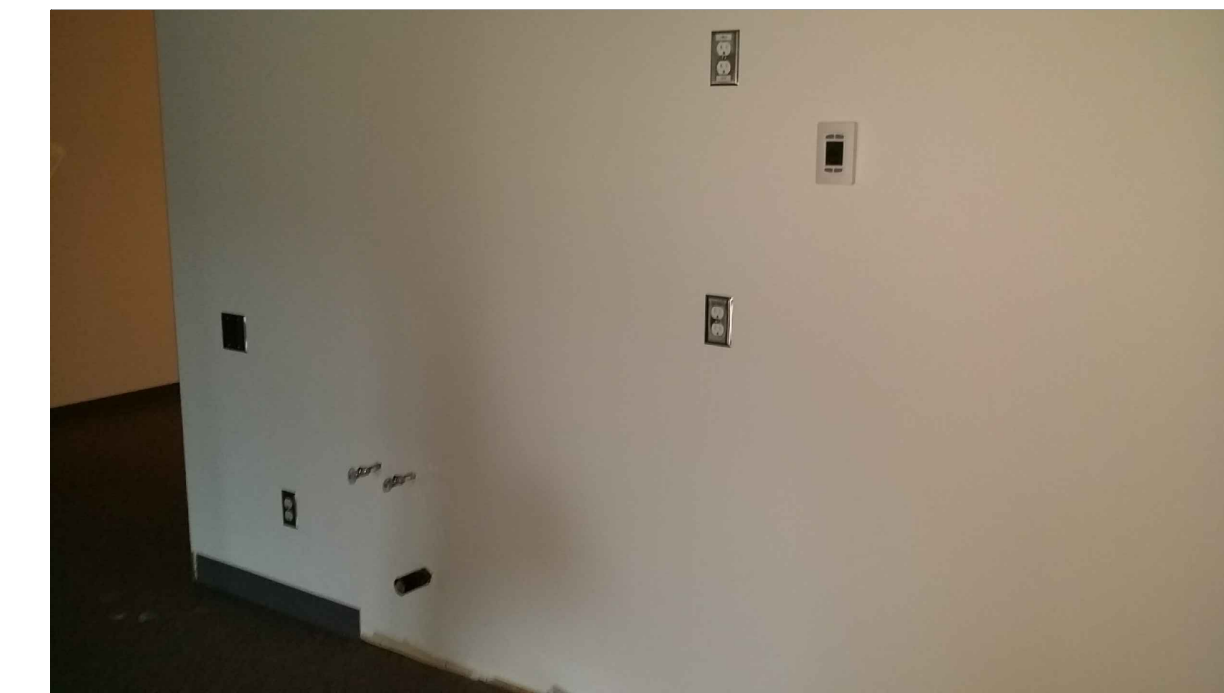


PHOTO 4: VIEW OF EXISTING PLUMBING STUBS ON RATED WALL WEST OF BOILER ROOM



PHOTO 5: VIEW OF EXTERIOR WALL AT GRIDS 1/A-K



PHOTO 6: VIEW OF EXTERIOR WALL AND GRILLS AT GRIDS C/1-2



PHOTO 7: VIEW OF EXTERIOR WALL AND GRILLS AT GRIDS 1/J-K

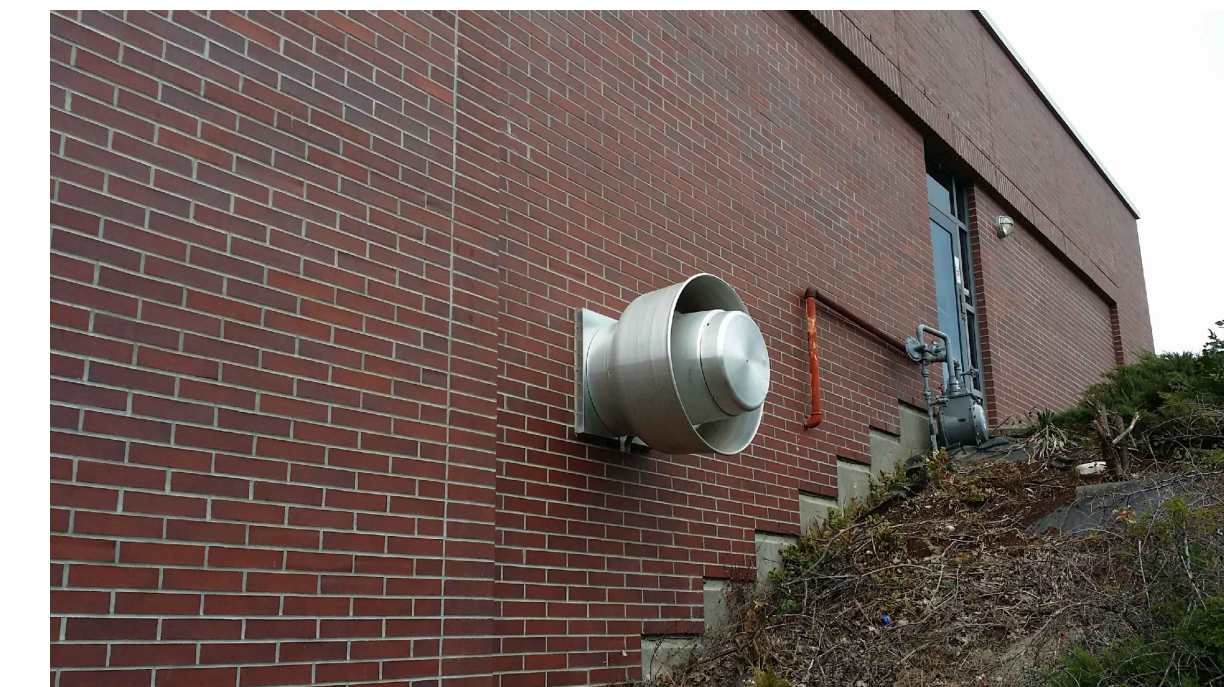


PHOTO 8: VIEW OF EXTERIOR WALL AND FAN AT GRIDS K/1-2

1238 DISCOVERY AVENUE, KELOWNA BC, V1V 1V7

ISSUED FOR CONSTRUCTION

2016-09-28

ARCHITECTURAL

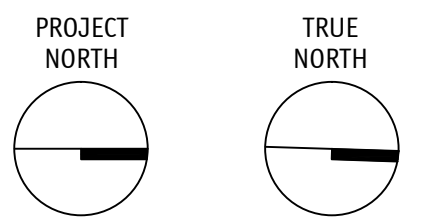
- A0.00 COVER SHEET, DRAWING LISTS & PHOTOS
- A1.11 LEGENDS, ASSEMBLIES, CODE AND SITE PLANS
- A3.01 LEVEL 1 FLOOR PLANS
- A3.02 LEVEL 1 CEILING PLANS
- A5.01 MILLWORK AND SECTION DETAILS

MECHANICAL

- M000 LEGEND, NOTES, DETAILS
- M100 LEVEL 1 HVAC & PLUMBING - DEMOLITION PLAN
- M101 LEVEL 1 HVAC & PLUMBING - NEW WORK
- M102 LEVEL 1 FIRE SUPPRESSION - DEMO AND NEW WORK
- M200 SPECIFICATION

ELECTRICAL

- E-1 SITE PLANS, DETAILS
- E-2 LEVEL 1 FLOOR PLANS - LIGHTING
- E-3 LEVEL 1 FLOOR PLANS - POWER
- E-4 DETAILS, SCHEDULES
- E-5 LEVEL 1 FLOOR PLANS - SECURITY
- E-6 OUTLINE SPECIFICATION



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Project Title
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 MWO BUILDING
 L1 RENOVATION**

1238 DISCOVERY AVENUE, KELOWNA BC

Drawing Number

A0.01

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Drawing Title

COVER SHEET

Job No.	m+m 16-1665
Scale	AS NOTED
Drawn	ST
Checked	ST

DEMOLITION FLOOR PLAN KEYNOTES:	
1	EXISTING PLUMBING STUBS TO BE REMOVED AND CAPPED - REFER TO MECH. EXISTING FIRE RATED WALL TO BE MADE GOOD.
2	EXISTING RADIATOR TO BE REMOVED - REFER TO MECH.
3	EXISTING TILE FLOOR IN ENTRY AREA - TO BE REMOVED.
4	EXISTING PARTITION WALLS IN ALL ROOMS IN PROJECT AREA - TO BE REMOVED.
5	EXISTING DEMOUNTABLE PARTITION WALL SYSTEM - TO BE REMOVED.
6	EXISTING DOOR LEAF, FRAME AND SIDELIGHTS (WHERE PRESENT) - TO BE REMOVED TURN OVER DOOR LEAF TO OWNER.
7	EXISTING DOOR LEAF, FRAME AND SIDELIGHTS (WHERE PRESENT) - TO BE REMOVED AND REINSTALLED IN NEW LOCATION - REFER TO KEYNOTE 53.
8	EXISTING WINDOW COVERINGS IN ALL ROOMS IN PROJECT AREA - TO BE REMOVED.
9	EXISTING PAC POLE TO BE REMOVED - REFER TO ELEC
10	NEW OPENING IN FIRE RATED WALL
11	EXISTING UNRATED (APPROX 2440 HIGH) WALLS AND LOCALLY SUSPENDED CEILING - TO BE REMOVED AND REPLACED WITH RATED WALL AND CEILING - REFER TO ALTERNATE PRICE #1, KEYNOTE 57, AND DRAWING AS 01.
12	EXISTING DOOR HARDWARE TO BE REMOVED - REFER TO KEYNOTE 58
13	REPLACE EXISTING DOORS AND FRAME WITH SOUND AND FIRE RATED DOORS AND FRAME. REPAIR AFFECTED WALL - REFER TO ALTERNATIVE PRICE #2.
DEMOLITION CEILING PLAN NOTES:	
31	SURFACE MOUNTED AUTOMATED EXTERNAL DEFIBRILLATOR (AED) ON LEVEL 2 ON WALL BETWEEN ROOMS 222B AND 222C TO BE RELOCATED TO LEVEL 1.
32	EXISTING CEILING GRILLS AND ASSOCIATED HEAT PUMP CW/DUCTWORK TO BE REMOVED - REFER TO MECH. EXISTING CEILING TO BE REMOVED.
33	EXISTING SUSPENDED T-BAR CEILING TILES AND GRID IN PROJECT AREA - TO BE REMOVED. TURN OVER TILES TO OWNER. REFER TO ELEC AND MECH FOR ASSOCIATED FIXTURE AND GRILL REMOVAL.
34	EXISTING EXHAUST FAN TO BE REMOVED AND CAPPED - SEE PHOTO #8 ON A0.01. REFER TO MECH. COVER BASE WITH SHEET METAL CAP PLATE (PAINTED TO MATCH EXISTING GRILLS ON SOUTH WALL) CW AIRTIGHT CONNECTION TO EXISTING BOX. INSULATE INBOARD OF CAP AS REQUIRED AND INSTALL VAPOUR BARRIER - CONFIRM EXTENTS OF INSULATION WITH ARCHITECT PRIOR TO INSTALLATION.
35	EXISTING GRILL TO BE RE-USED - SEE PHOTO #7 ON A0.01. REFER TO MECH.
36	EXISTING VENT TO BE CAPPED SEE PHOTO #7 ON A0.01. REFER TO MECH. INSULATE INBOARD OF CAP AS REQUIRED AND INSTALL VAPOUR BARRIER - CONFIRM EXTENTS OF INSULATION WITH ARCHITECT PRIOR TO INSTALLATION.
37	EXISTING VENT TO BE REPAINTED (COLOUR TO MATCH EXISTING GRILLS ON SOUTH WALL) - SEE PHOTO #6 ON A0.01. REFER TO MECH.
38	EXISTING MAIN WATER SUPPLY LINE - TO REMAIN.

RENOVATION FLOOR PLAN KEYNOTES:	
51	NEW SINK - REFER TO MECH. TRENCHING OF SLAB REQUIRED TO TIE-IN TO EXISTING SANITARY - APPROXIMATE EXTENTS SHOWN BY DASHED BOUNDARY REQUIRE. EXISTING SLAB ON GRADE CUTTING & TRENCHING AS WELL AS PATCHING AND FILLING TO MAKE GOOD.
52	NEW COUNTER AND UPPER AND LOWER CABINETS - REFER TO MILLWORK.
53	EXISTING DOOR LEAF, FRAME AND SIDELIGHT RELOCATED AND REINSTALLED IN NEW CONSTRUCTION - REFER TO KEYNOTE 7. NOTE DOORS WITH "PREFIX" INDICATE THAT DOOR, FRAME AND SIDELIGHT ARE BEING REINSTALLED. DOORS WITH " " PREFIX INDICATE THAT DOOR, FRAME AND SIDELIGHT ARE BEING REINSTALLED.
54	USE SALVAGE EXISTING FLOORING TO PATCH AND MAKE GOOD AREA AFFECTED BY DOOR REMOVAL.
55	OWNER SUPPLIED ITAV EQUIPMENT (TYP) - CONFIRM LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO ELECTRICAL EQUIPMENT INSTALLATION.
56	OWNER SUPPLIED, OWNER INSTALLED FURNITURE (TYP) - CONFIRM LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO ELECTRICAL EQUIPMENT INSTALLATION.
57	NEW 1 HR FIRE RESISTANCE RATED WALL AND CEILING - REFER TO ALTERNATE PRICE #1, AND DRAWINGS 63 ON AS 01.
58	NEW UBCO SECURITY DOOR HARDWARE INSTALLED ON EXISTING DOOR.
59	DELETED
60	DELETED
61	WALL MOUNTED SPLIT AC UNIT CONDENSER - REFER TO MECH. REFER TO CASH ALLOWANCE 1 FOR ENGINEERING, SUPPLY AND INSTALL OF WALL BRACKETS. APPROXIMATE LOCATION SHOWN - FINAL LOCATION TO BE DETERMINED BY ARCHITECT AND OWNER PRIOR TO INSTALLATION.
62	PLYWOOD TO BE INSTALLED UP TO 2440MM HIGH ON ALL INSIDE FACE OF ROOM 008B WALLS. PLYWOOD PAINTED WITH TWO COATS OF NON-CONDUCTIVE, WHITE IN COLOR, FIRE RETARDANT PAINT. ALL JOINTS SCREW AND NAIL HOLES ARE TO BE CAULKED AND/OR COVERED - REFER TO APPENDIX 1.
63	REPLACE EXISTING DOORS AND FRAME WITH SOUND AND FIRE RATED DOORS AND FRAME. REPAIR AFFECTED WALL - REFER TO ALTERNATIVE PRICE #2.
64	SECURITY EQUIPMENT (O.S.O.I.) LOCATED ON WALLS AND/OR CEILING - REFER TO ELEC & APPENDIX B FOR ALL EQUIPMENT LOCATIONS.
65	REMOVAL AND RELOCATION OF EXISTING WIND MONITORING STATION - REFER TO ELECTRICAL. CONTRACTOR TO MAKE GOOD DRYWALL AS REQUIRED TO MAINTAIN INTEGRITY OF FIRE RATING. NO RE-PAINTING OF AFFECTED WALLS REQUIRED.
RENOVATION CEILING PLAN NOTES:	
81	NEW GRILL AND DUCTWORK - REFER TO MECH. NEW GRILL TO BE INSTALLED IN SAME LOCATION AS WALL MOUNTED EXHAUST FAN - REFER TO KEYNOTE 34. PATCH AND MAKE GOOD DISTURBED EXTERIOR WALL AND AIR BARRIER AS REQUIRED.
82	NEW GRILL AND DUCTWORK - REFER TO MECH. NEW OPENING REQUIRED IN EXTERIOR WALL - PATCH AND MAKE GOOD DISTURBED EXTERIOR WALL AND AIR BARRIER AS REQUIRED.

NEW CONSTRUCTION / RENOVATION NOTES:	
1.	UNLESS OTHERWISE NOTED, ALL PLAN DIMENSIONS ARE MEASURED FROM FACE OF WALL, FACE OF CONCRETE, CENTERLINE OF COLUMN.
2.	FRAMING CONTRACTOR TO SUPPLY AND INSTALL FURRING, BLOCKING, AND BACKING AT ALL WALL MOUNTED CABINETS, MILLWORK, AND AVIT EQUIPMENT AS REQUIRED - REFER TO ARCH. - CONFIRM LOCATIONS WITH OWNER & ARCHITECT PRIOR TO BOARDING.
3.	FIRE RESISTANCE WALLS TO BE CONTINUOUS TO US ROOF & FLOOR DECKING WITH FIRE CAULKING/FIRE STOP AT TOP OF WALL. FIRE STOP ALL HOLES IN SHAFTS, AND OTHER PENETRATIONS THROUGH RATED ASSEMBLIES. PROVIDE FIRE STOPPING DETAILS FOR ARCHITECTS' REVIEW AND APPROVAL.
4.	ALIGN DIFFERENT WALL TYPES TO ENSURE FINISHES WILL LINE UP. U.N.O. (ADD PLYWOOD SPACERS OR OFFSET STUDS WHERE APPLICABLE).
5.	FRAMING AND GWS TO US OF FLOOR OR ROOF ABOVE U.N.O.
6.	PROVIDE DEFLECTION HEAD AT TOP OF STUDS, AS REQUIRED, TO UNDERSIDE OF STRUCTURE AT EXTERIOR AND INTERIOR WALLS.
7.	PROVIDE SMOKE SEALS TO TOP AND BOTTOM OF PARTITIONS FOR ALL NON-RATED FIRE SEPARATIONS.
8.	PARTITIONS WITH STC 45 OR GREATER SHALL HAVE 2 BEADS OF ACOUSTIC NON-HARDENING SEALANT BETWEEN US CEILING AND T/O WALL AS WELL AS T/O SLAB AND US WALL. ALL PENETRATIONS THROUGH WALL ASSEMBLIES WITH ACOUSTIC INSULATION TO BE CAULKED FOR SOUND TRANSMISSION.
9.	REFER TO ELECTRICAL DRAWINGS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, SMOKE DETECTORS, FIRE ALARMS, AUDIBLE AND VISUAL ALARMS, SPEAKERS, ETC.
10.	REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL LAYOUTS, FIXTURE TYPES, SPECIFICATIONS AND DETAILS.
11.	REFER TO ELECTRICAL DRAWINGS FOR COMPLETE CONDUIT SYSTEM FOR SECURITY EQUIPMENT. SECURITY EQUIPMENT NOTED ON ELECTRICAL TO BE OWNER SUPPLIED. OWNER INSTALLED. CONTRACTOR TO CONFIRM LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO BOARDING AND CEILING GRID INSTALLATION.
12.	REFER TO MECHANICAL DRAWINGS FOR MECHANICAL LAYOUTS, FIXTURE TYPES, SPECIFICATIONS AND DETAILS.
13.	NEW WINDOW COVERINGS ON ALL EXTERIOR WINDOWS IN PROJECT AREA - REFER TO SPEC.
DEMOLITION NOTES:	
1.	PROVIDE ANY AND ALL TEMPORARY FRAMING & SUPPORT DURING DEMOLITION & CONSTRUCTION.
2.	ALL DEMOLITION ITEMS TO BE REMOVED FROM SITE UNLESS OTHERWISE NOTED.
3.	ALL EXISTING SURFACES/FINISHES AFFECTED BY DEMOLITION TO BE PATCHED & MADE GOOD.
4.	DEMOLISH EXISTING PARTITION WALLS AS SHOWN. PATCH & MAKE GOOD ALL AFFECTED SURFACES TO FIRE FLOORING & WALLS. REMOVE ALL WALL MOUNTED EQUIPMENT.
5.	REMOVE EXISTING CABINETS, C/W PLUMBING FIXTURES, PIPING, ELECTRICAL EQUIPMENT, AND WIRING AS SHOWN. REPAIR EXISTING SURFACES AFFECTED BY THE DEMOLITION. CLEAN AND PREP AREAS FOR NEW CONSTRUCTION.

FLOOR/CEILING PLAN LEGEND:	
101	CLASSROOM
AAAA	ROOM NUMBER - EXISTING NOTED WITH X PREFIX
ROOM NAME	ROOM FINISH
DOOR NUMBER	CORRESPONDS TO ROOM NUMBER
PARTIAL SECTION SYMBOL	SECTION NUMBER/DRAWING
CONOTES WALL FINISH	FINISH TAG REFER TO FINISH SCHEDULE
CONOTES FLOOR FINISH	CONOTES WALL BASE
2	DETAIL NUMBER REFER TO DETAILS
P1	INTERIOR WALL ASSEMBLIES REFER TO LEGEND
C1	SOFFIT/CEILING ASSEMBLY REFER TO LEGEND
GL	EXISTING GRIDLINES
FURNITURE N/C	FOR INFO ONLY
F/E	FIRE EXTINGUISHER REFER TO MECH
LIGHT FIXTURES & SWITCHES	REFER TO ELEC
SMOKE DETECTORS	REFER TO ELEC
EXIT SIGNS	REFER TO ELEC
HVAC GRILLS & THERMOSTATS & TEMP SENSORS	REFER TO MECH
SPRINKLER HEADS	REFER TO FIRE PROTECTION
9'-6"	CEILING HEIGHT - TO BE VERIFIED ON SITE AND READ IN CONJUNCTION WITH DETAILS

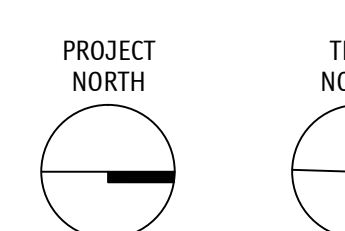
INTERIOR WALL ASSEMBLIES LEGEND:		
P1	PARTITION WALL -1 LAYER 13MM TYPE X GYPSUM WALLBOARD -50MM/2" STEEL STUDS @400MM O.C. (152MM AT ELEC PANELS - REFER TO ELEC) -MINERAL WOOL INSULATION TO FILL STUD CAVITY -1 LAYER 13MM TYPE X GYPSUM WALLBOARD STC RATING: 47 (BCBC 20102 TABLE 9.10.3.1 A - WALL TYPE S4B) FRR RATING: 1 HOUR (ULC DESIGN NUMBER W415)	
G1	INTERIOR GLAZING LEGEND: STOREFRONT GLAZING -ALUMINUM STOREFRONT GLAZING SYSTEM -CLEAR VISION GLASS (C/W PRIVACY FILM) FOR EXTENTS REFER TO GLAZING ELEVATIONS ON A3.01	
C1	INTERIOR CEILING ASSEMBLIES LEGEND: SUSPENDED CEILING -T-BAR SUSPENSION GRID -LAY-IN TILES (SIZE AND ORIENTATION SHOWN ON DRAWINGS)	
C2	EXPOSED METAL DECK METAL DECK - REFER TO EXISTING DRAWINGS	
C3	1-HOUR RATED GYPSUM BOARD CEILING -SUSPENDED CEILING FRAMING HEIGHT TO US STRUCTURE VARIES - REFER TO DRAWINGS -1" SHAFIT LINER -2 1/2" C-H STUD SHAFIT SYSTEM -2 LAYERS 5/8" FIREGUARD GWS FIRE RESISTANCE RATING: 1 HOUR ULC LISTED SYSTEM	
INTERIOR FINISHES SCHEDULE:		
FLOORING:	WALL:	WALL BASE:
CPT CARPET TILE	PT PAINTED GWS	RB RUBBER BASE
RF RESILIENT FLOORING	T TILE	
ASF ANTI-STATIC FLOORING		
XRC EXISTING ROLLED CARPET		

201-75 FRONT STREET
PENIKTON, B.C.
V2A 5B2
TEL: 250.492.3143
FAX: 250.492.0318
EMAIL: pen-mai@shaw.ca

233 BERNARD AVENUE
KELOWNA, B.C.
V1Y 6N2
TEL: 250.762.3004
FAX: 250.762.8707
EMAIL: kel-mai@shaw.ca



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1238 DISCOVERY AVENUE, KELOWNA BC

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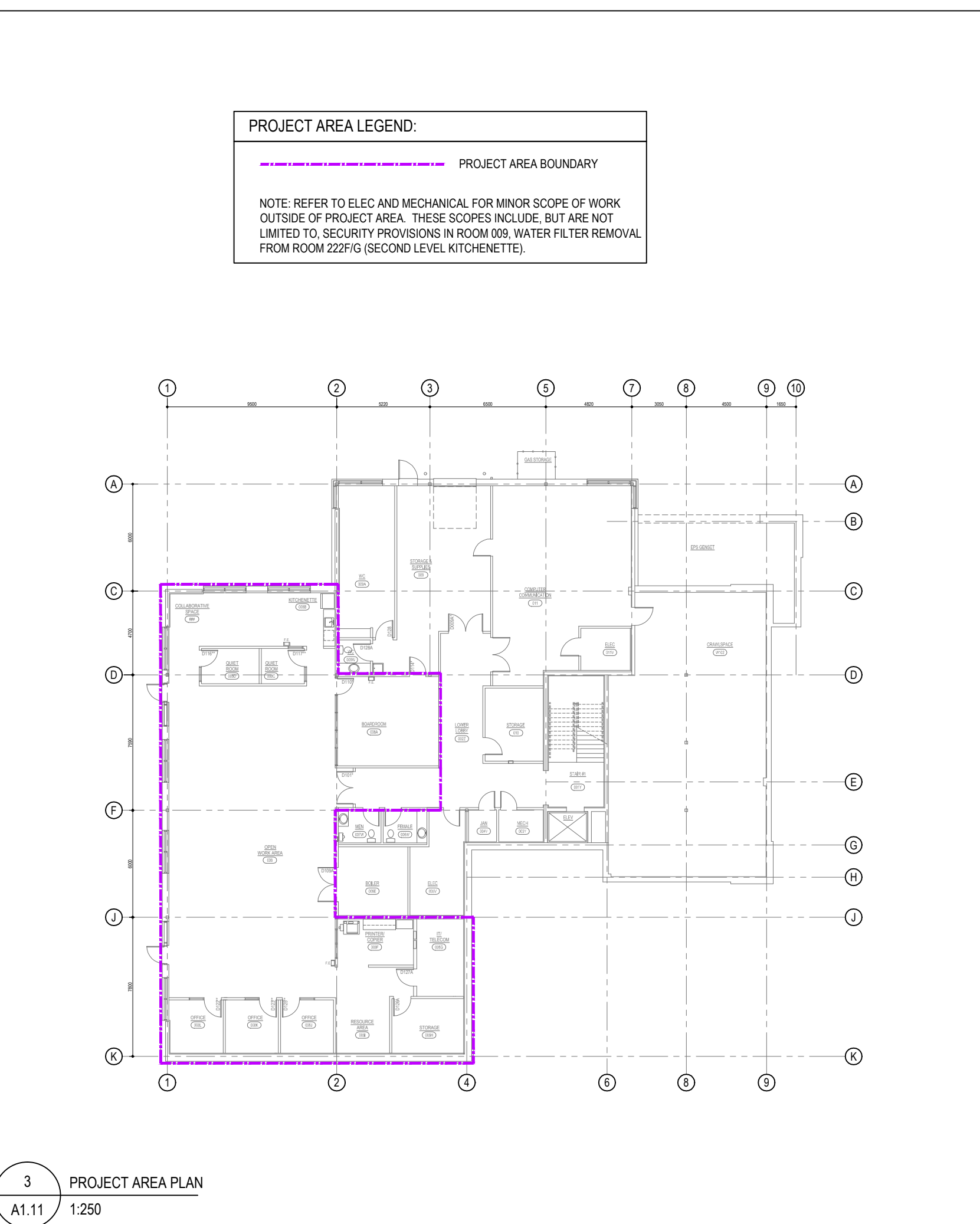
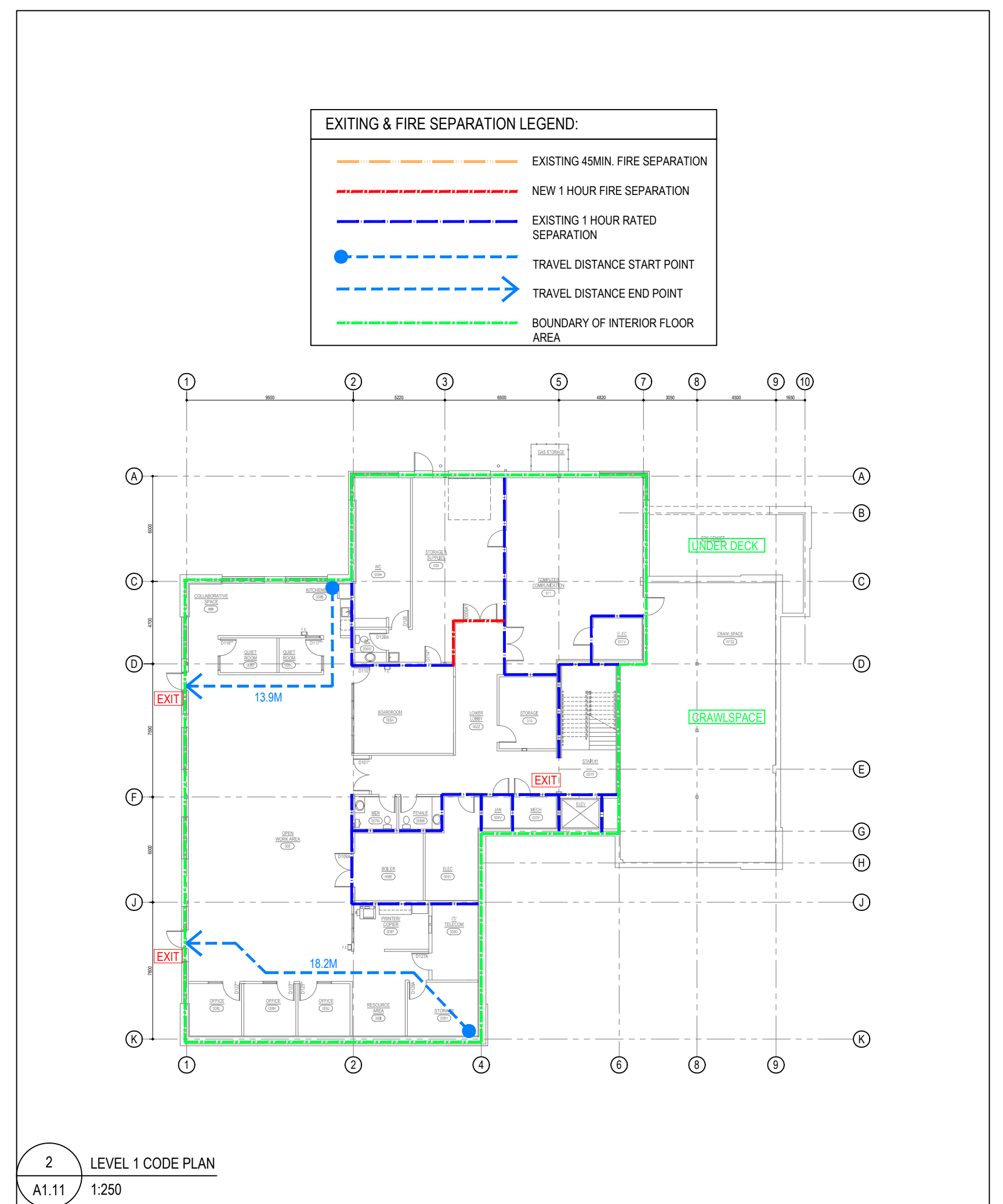
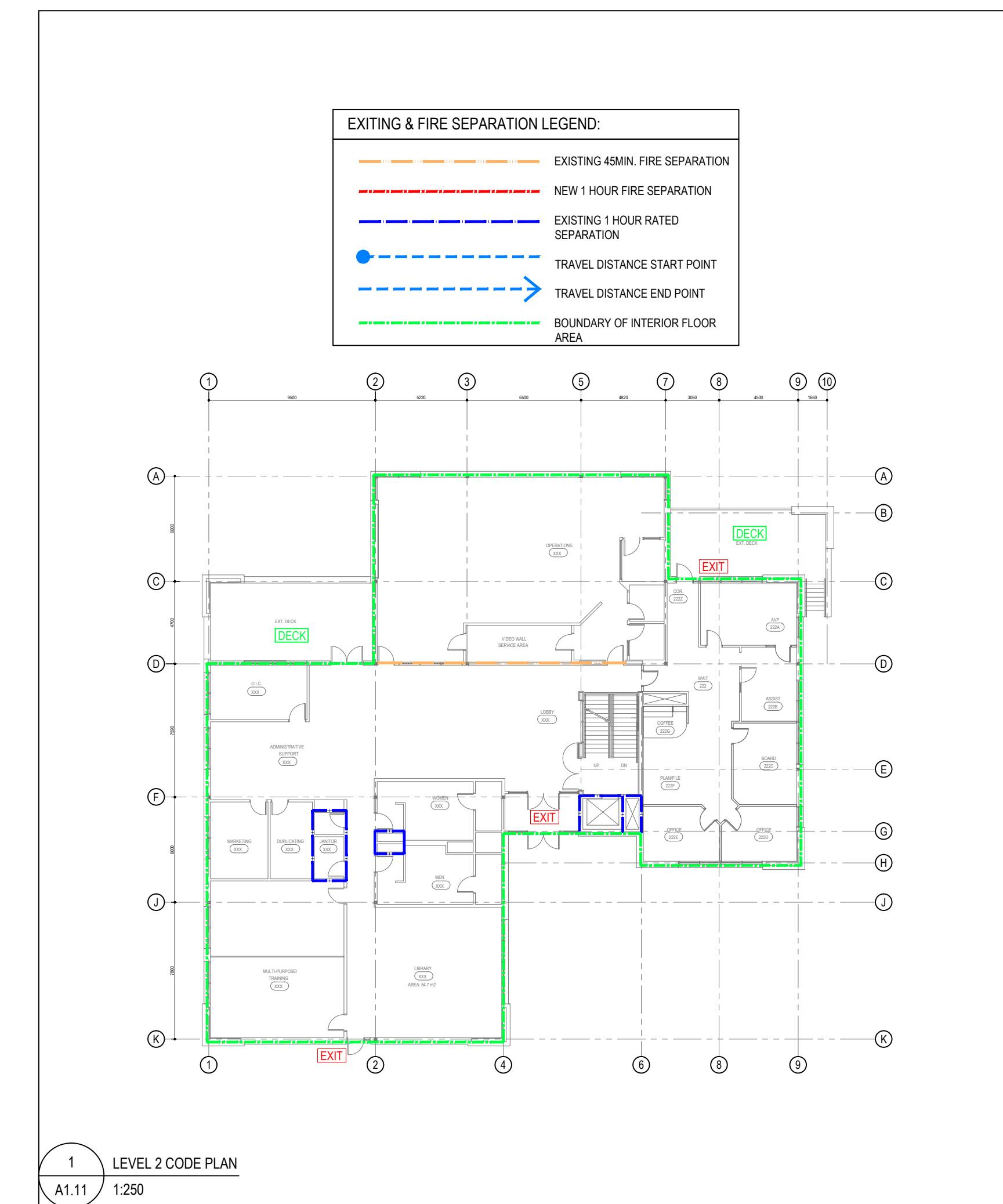
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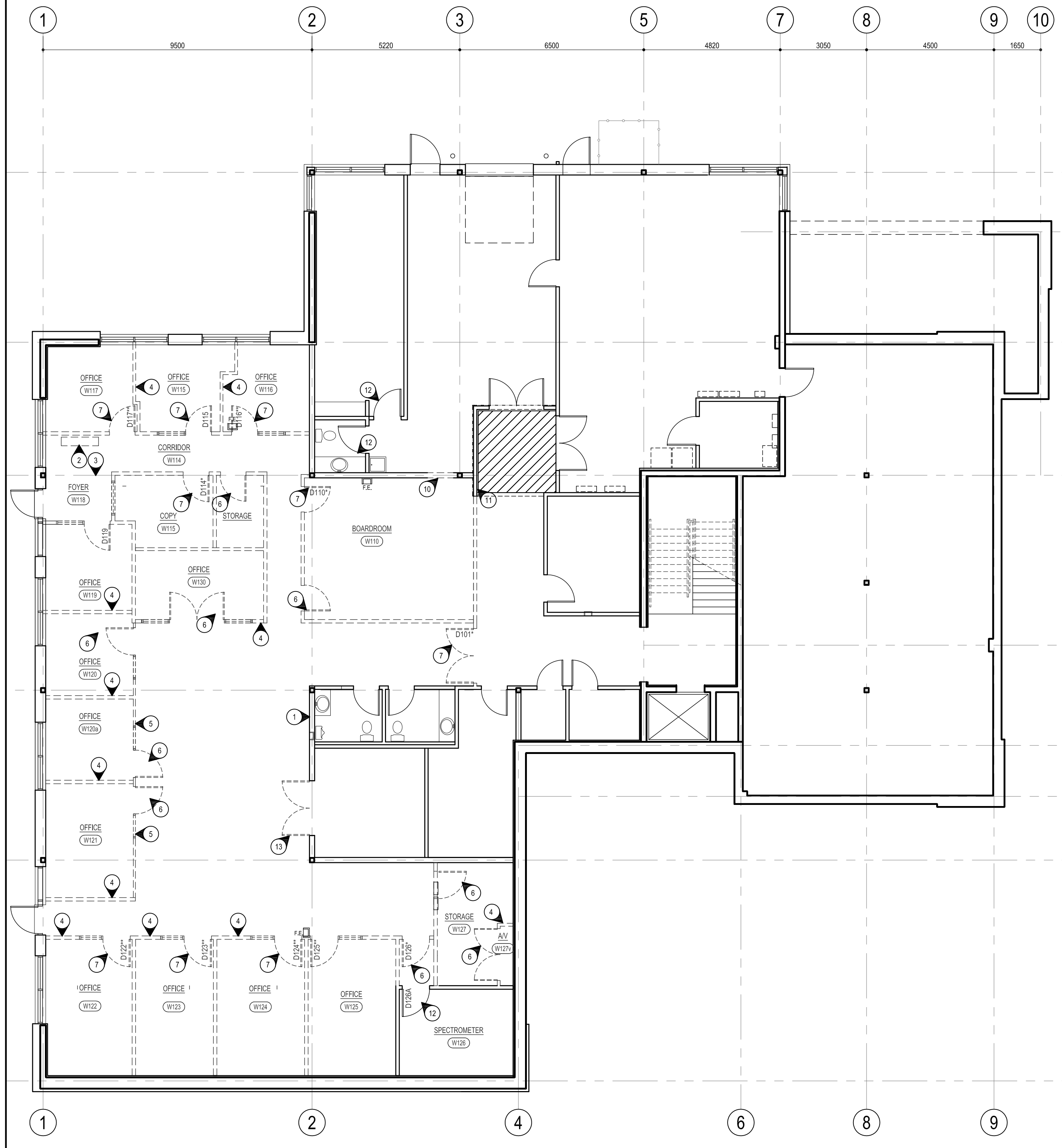
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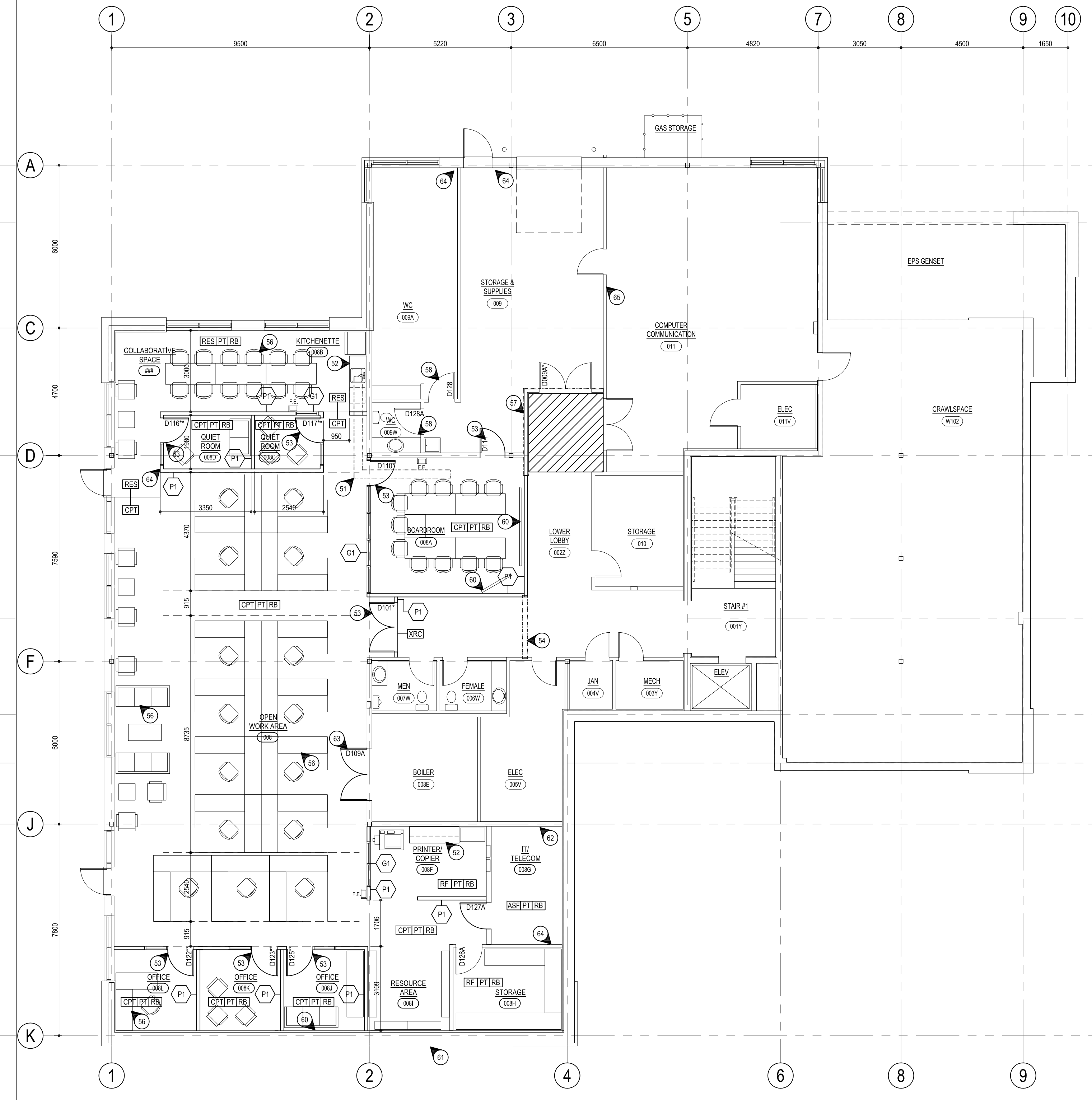
**LEGENDS, SCHEDULES,
& ASSEMBLIES
SITE & CODE PLANS**

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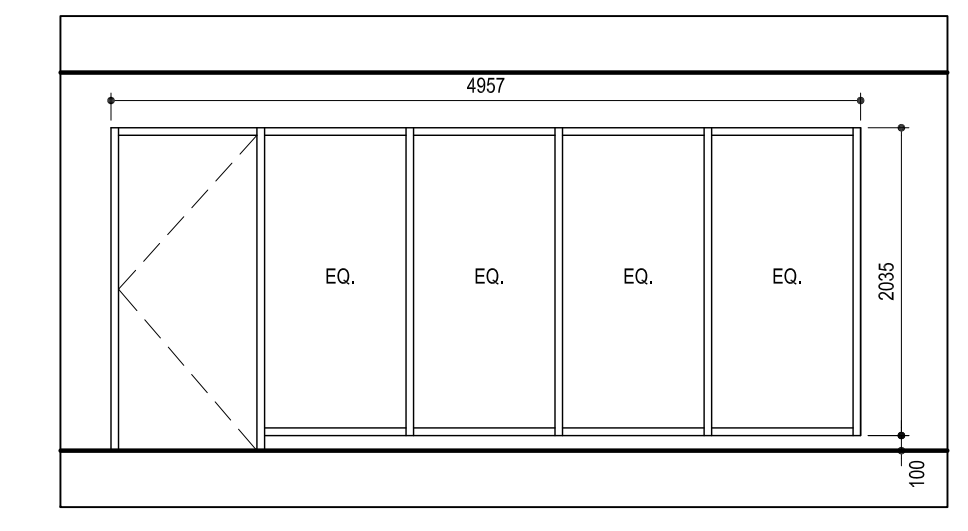




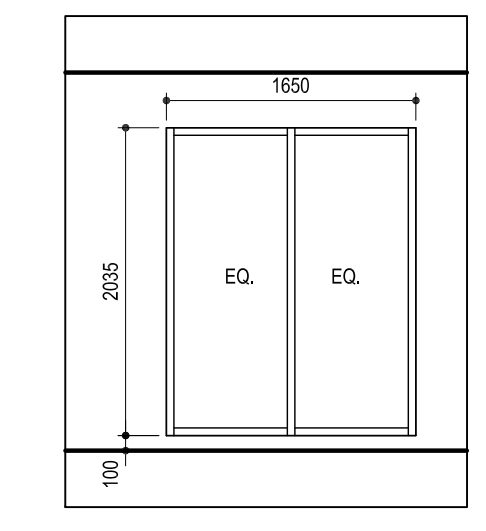
1 LEVEL 1 FLOOR PLAN - DEMOLITION
 A3.01 1:100



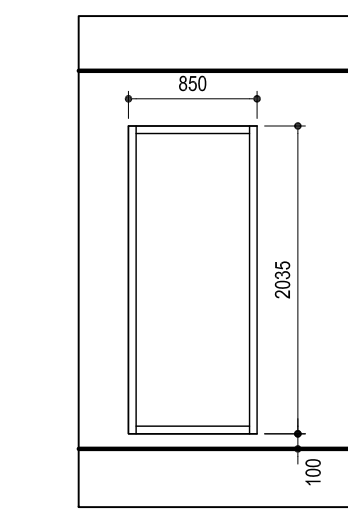
2 LEVEL 1 FLOOR PLAN - RENOVATION
 A3.01 1:100



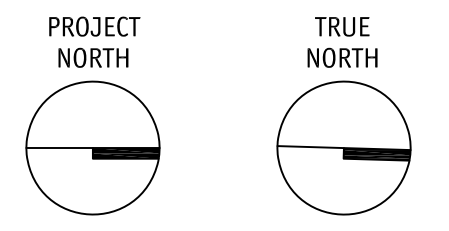
3 ROOM 008A SOUTH GLAZING ELEVATION
 A3.01 1:50



4 ROOM 008F SOUTH GLAZING ELEVATION
 A3.01 1:50



5 ROOM 008C WEST GLAZING ELEVATION
 A3.01 1:50



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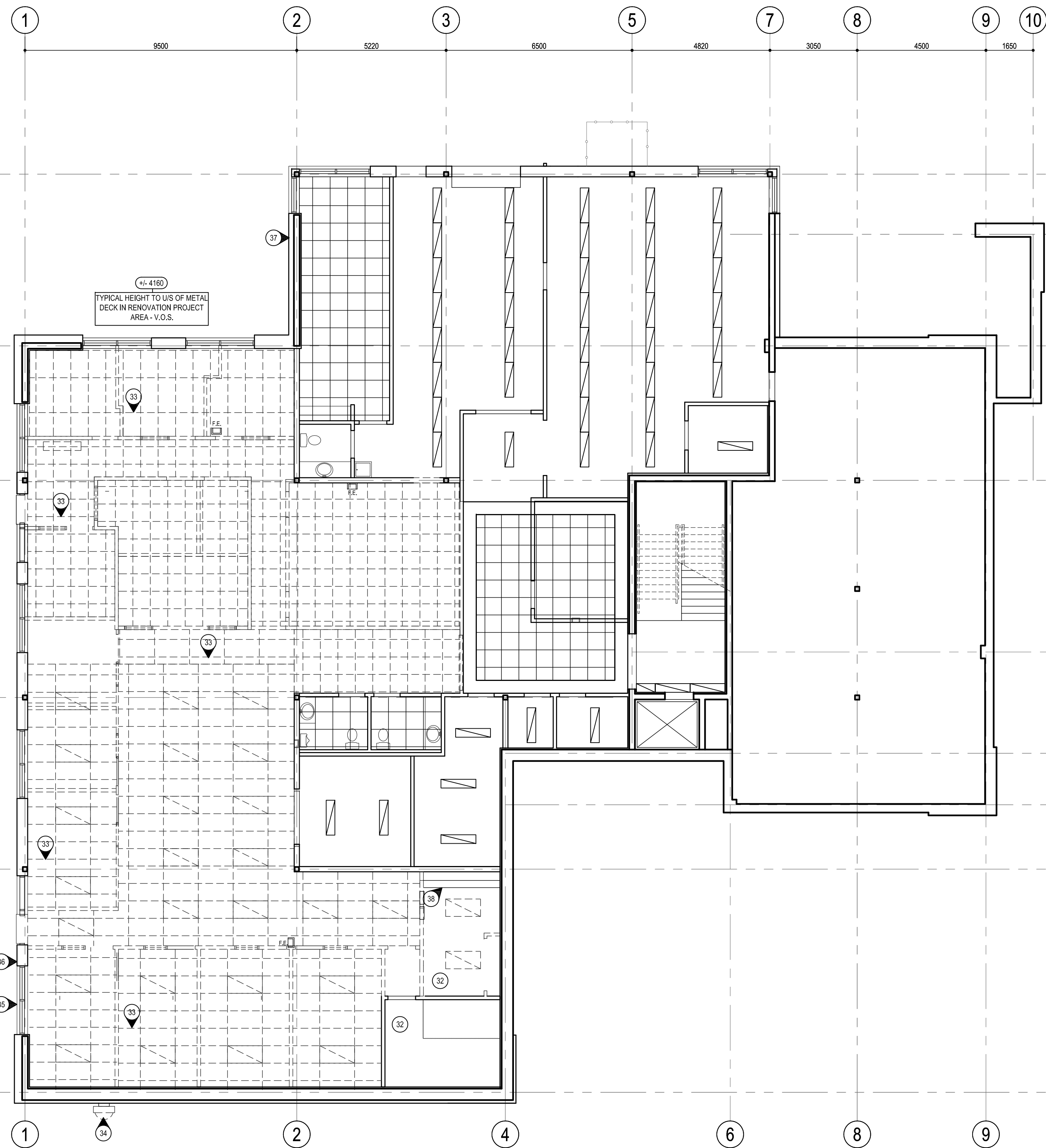
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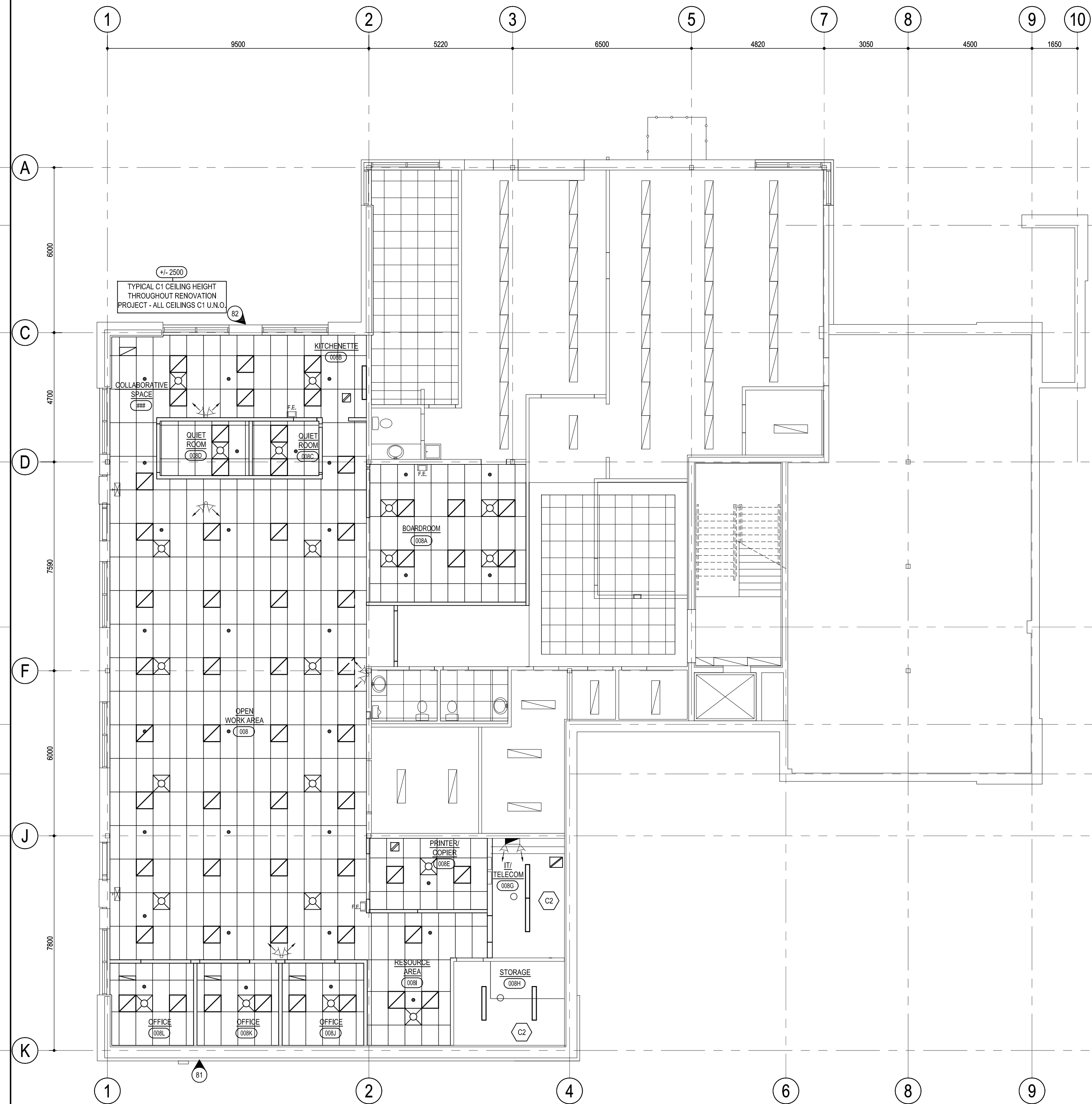
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**LEVEL 1
 FLOOR PLANS**

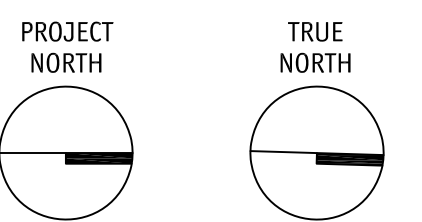
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1 LEVEL 1 FLOOR PLAN - DEMOLITION
 A3.02 1:100



2 LEVEL 1 FLOOR PLAN - RENOVATION
 A3.02 1:100



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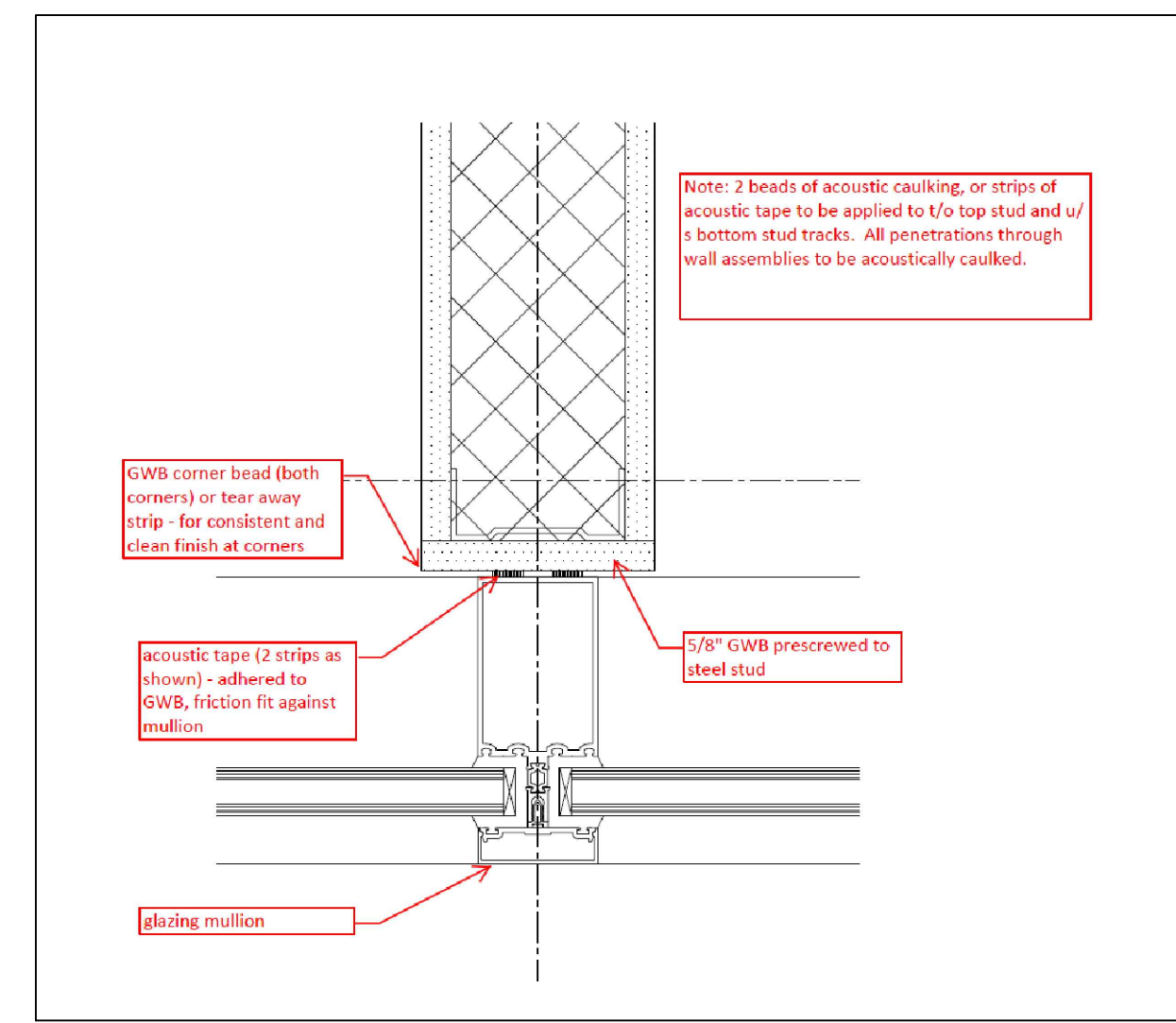
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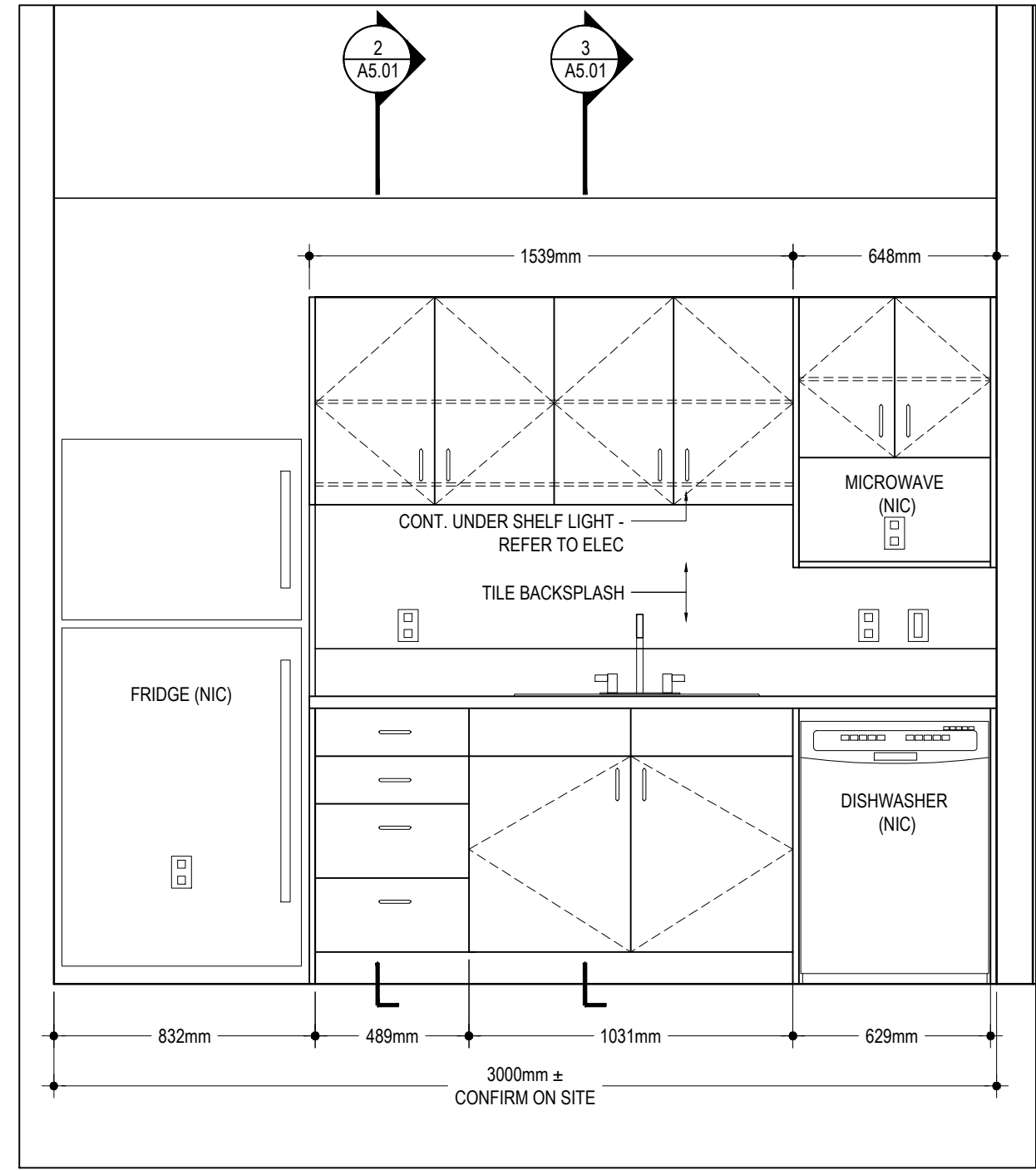
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**LEVEL 1
 CEILING PLANS**

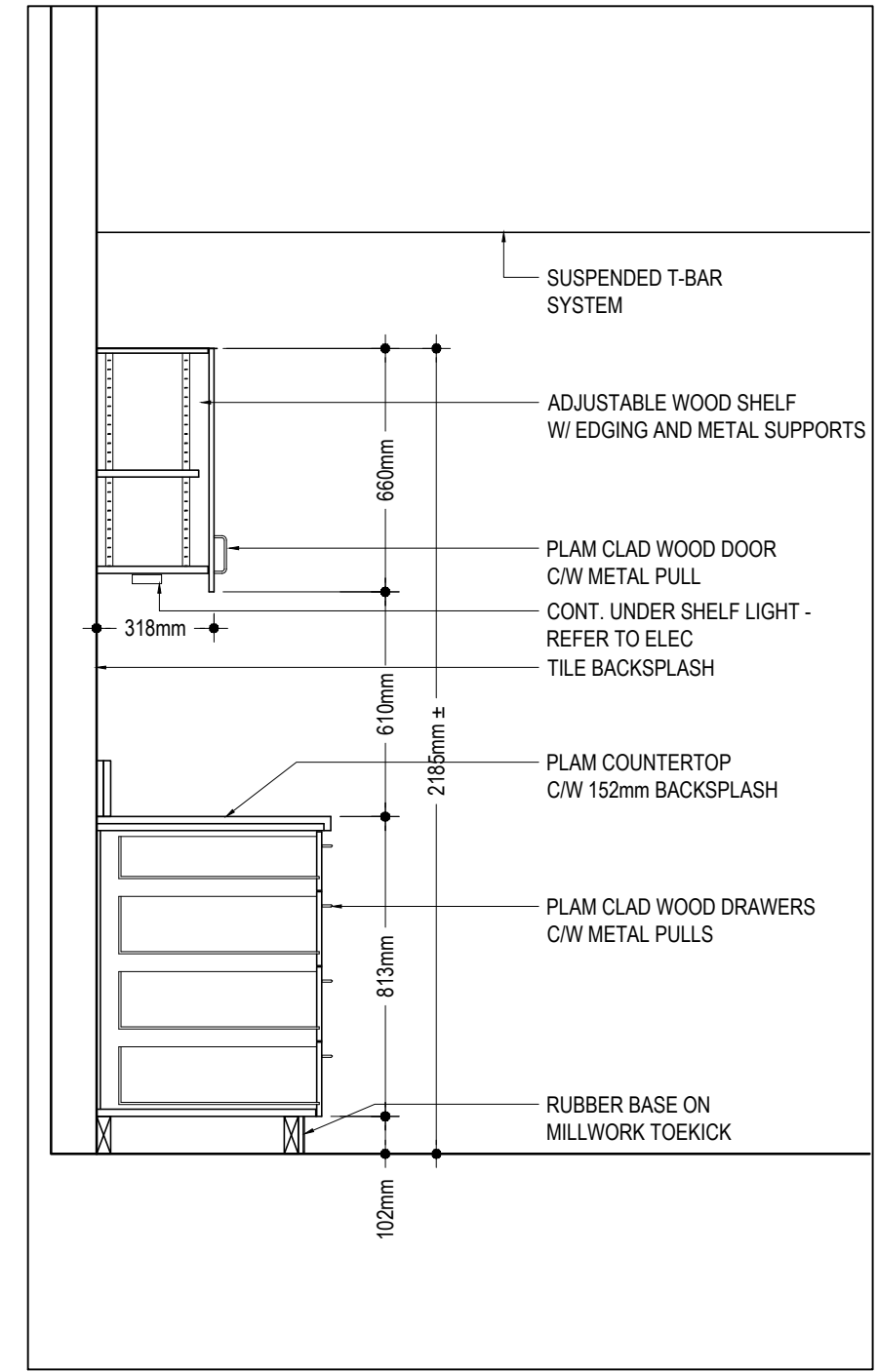
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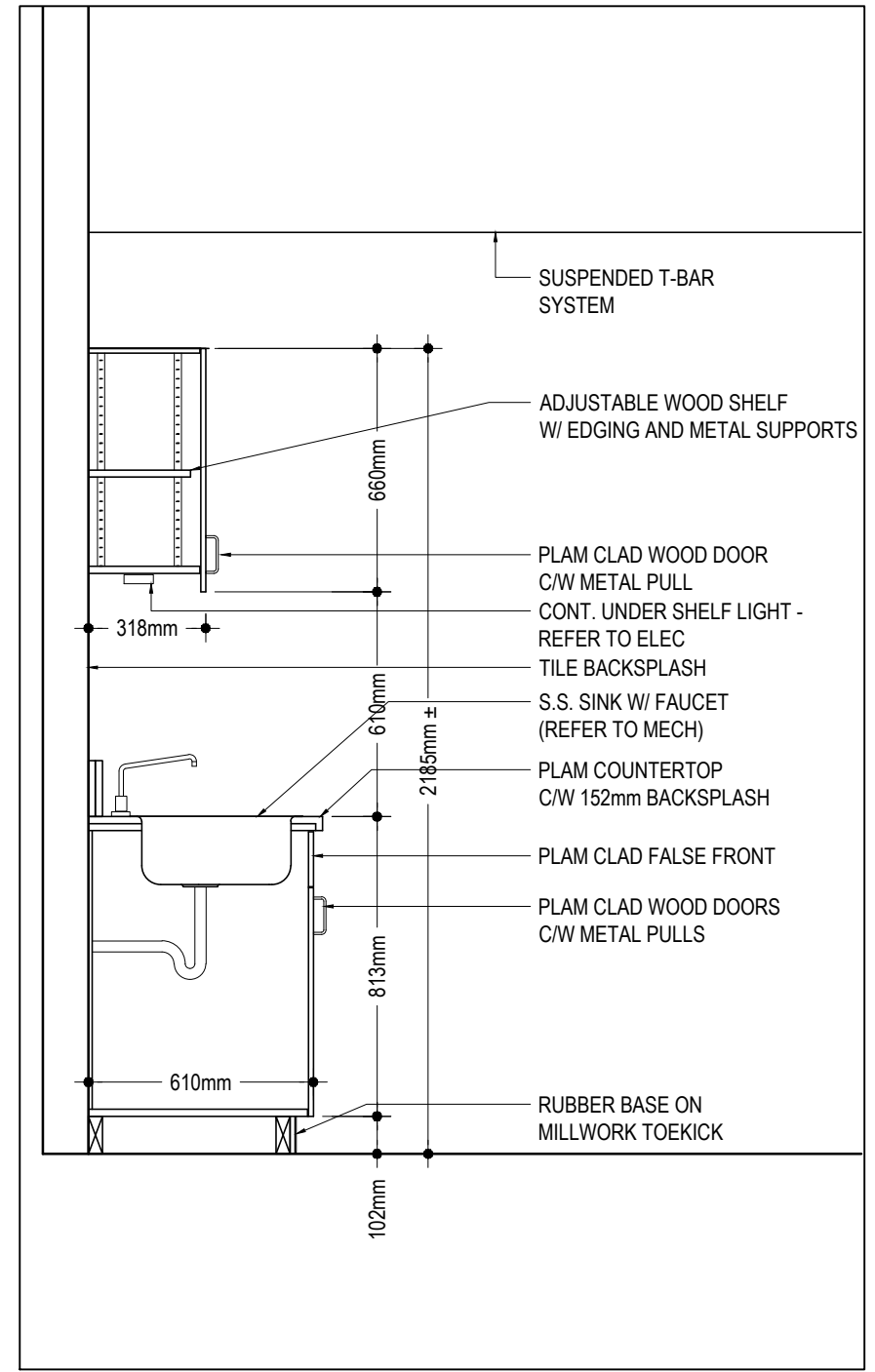
8 DETAIL AT ROOM 008L EXTERIOR GLAZING
 A5.01 N.T.S.



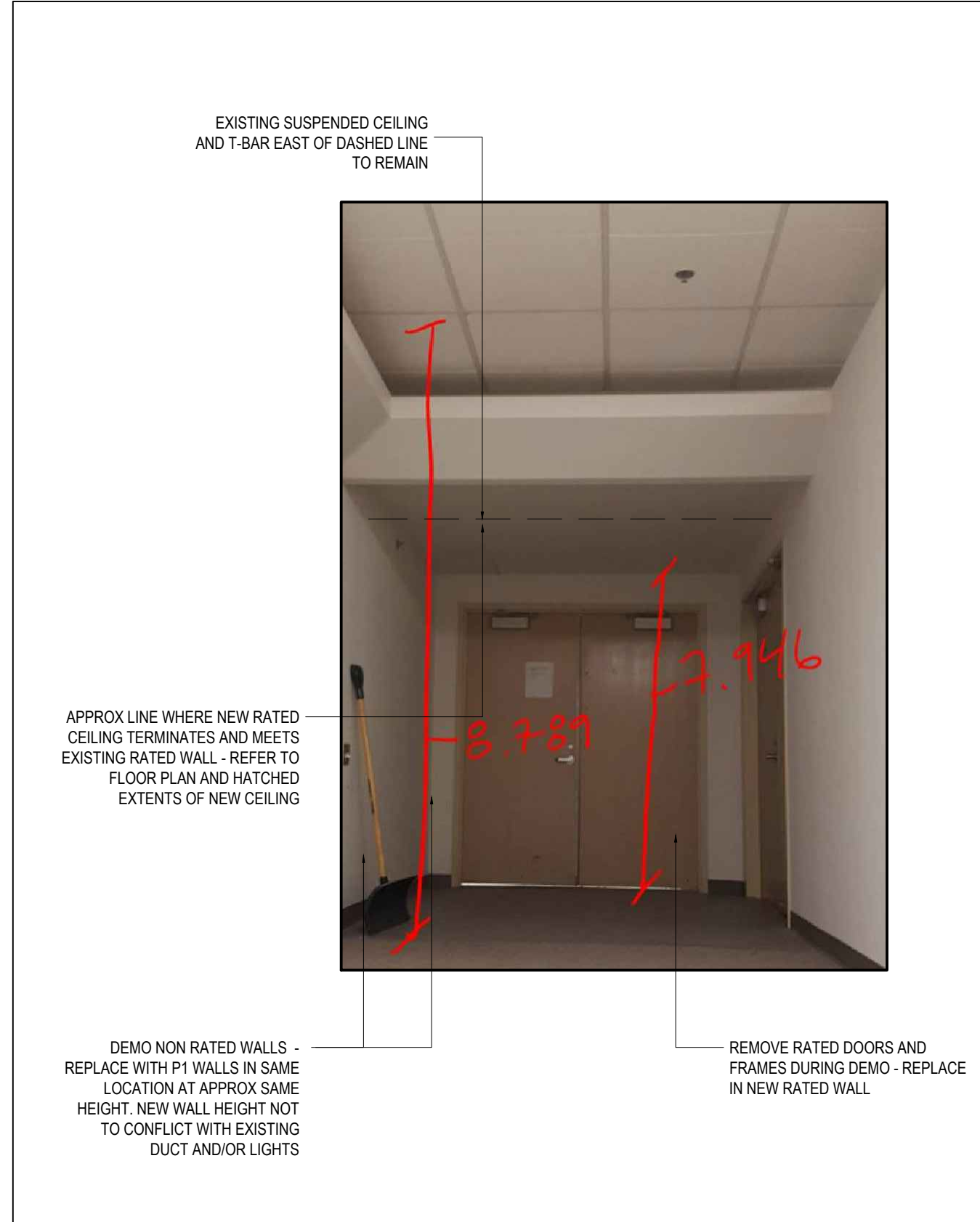
1 KITCHENETTE ELEVATION
 A5.01 1:20



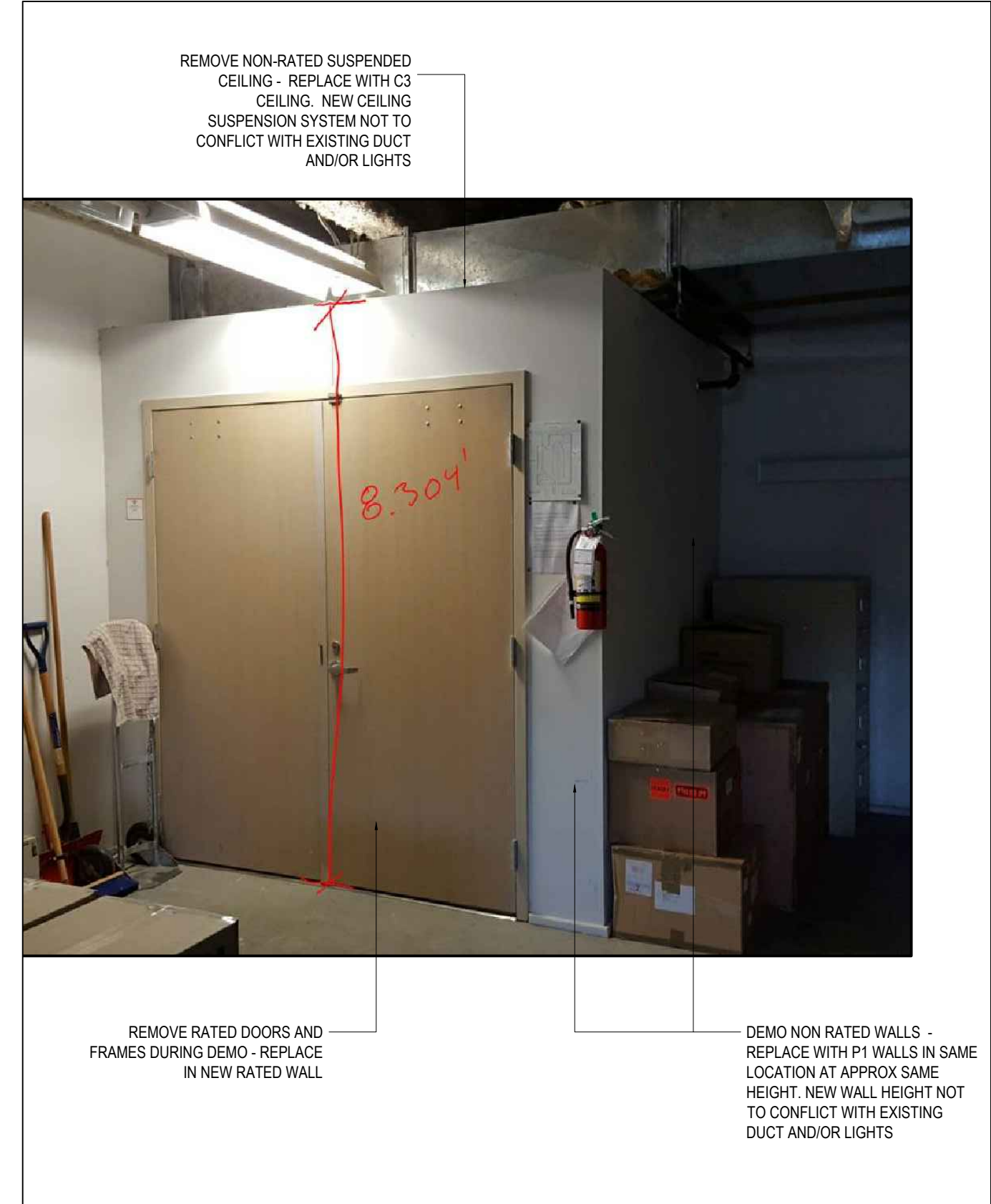
2 KITCHENETTE SECTION
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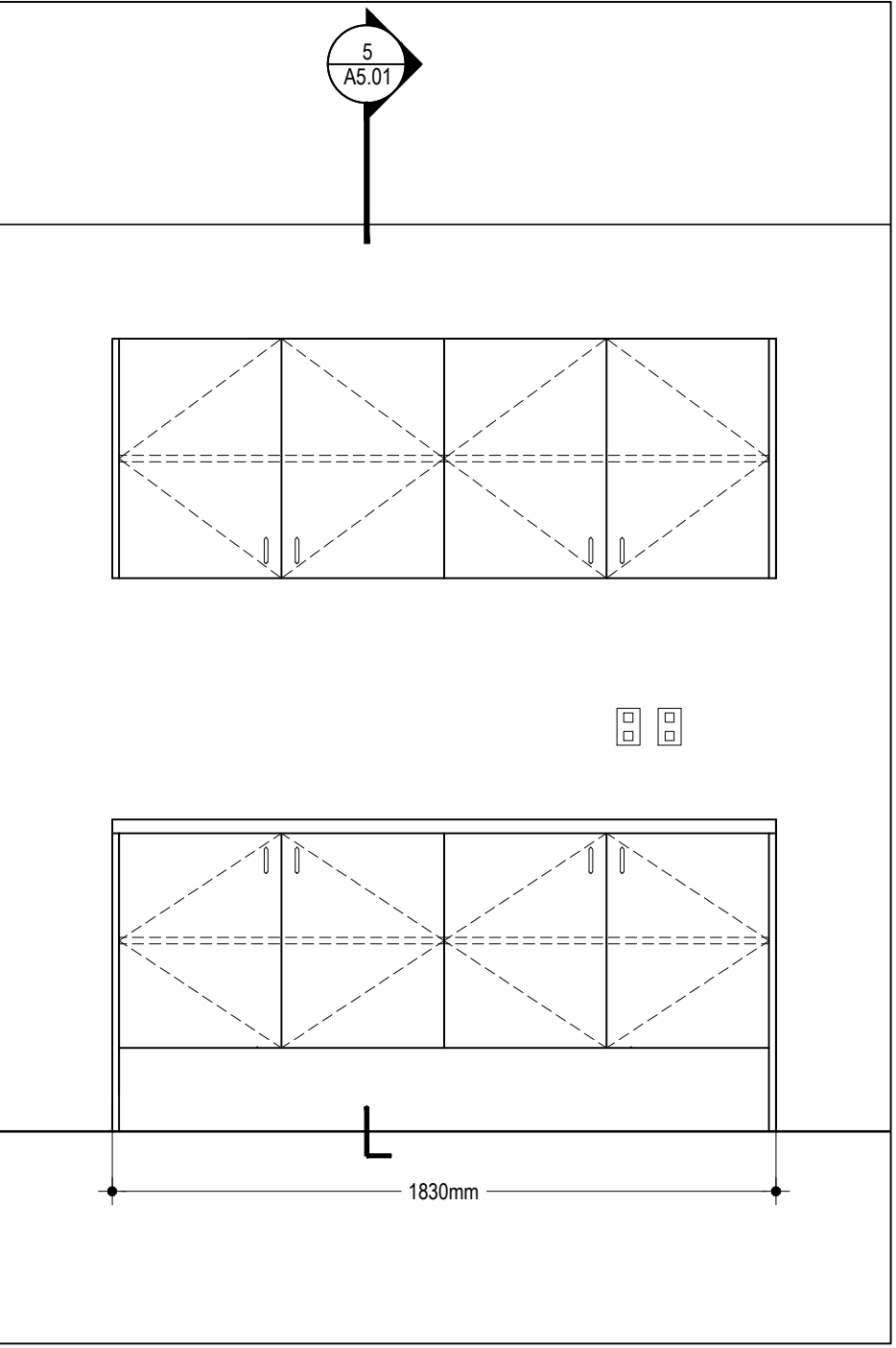
3 KITCHENETTE SECTION
 A5.01 1:20



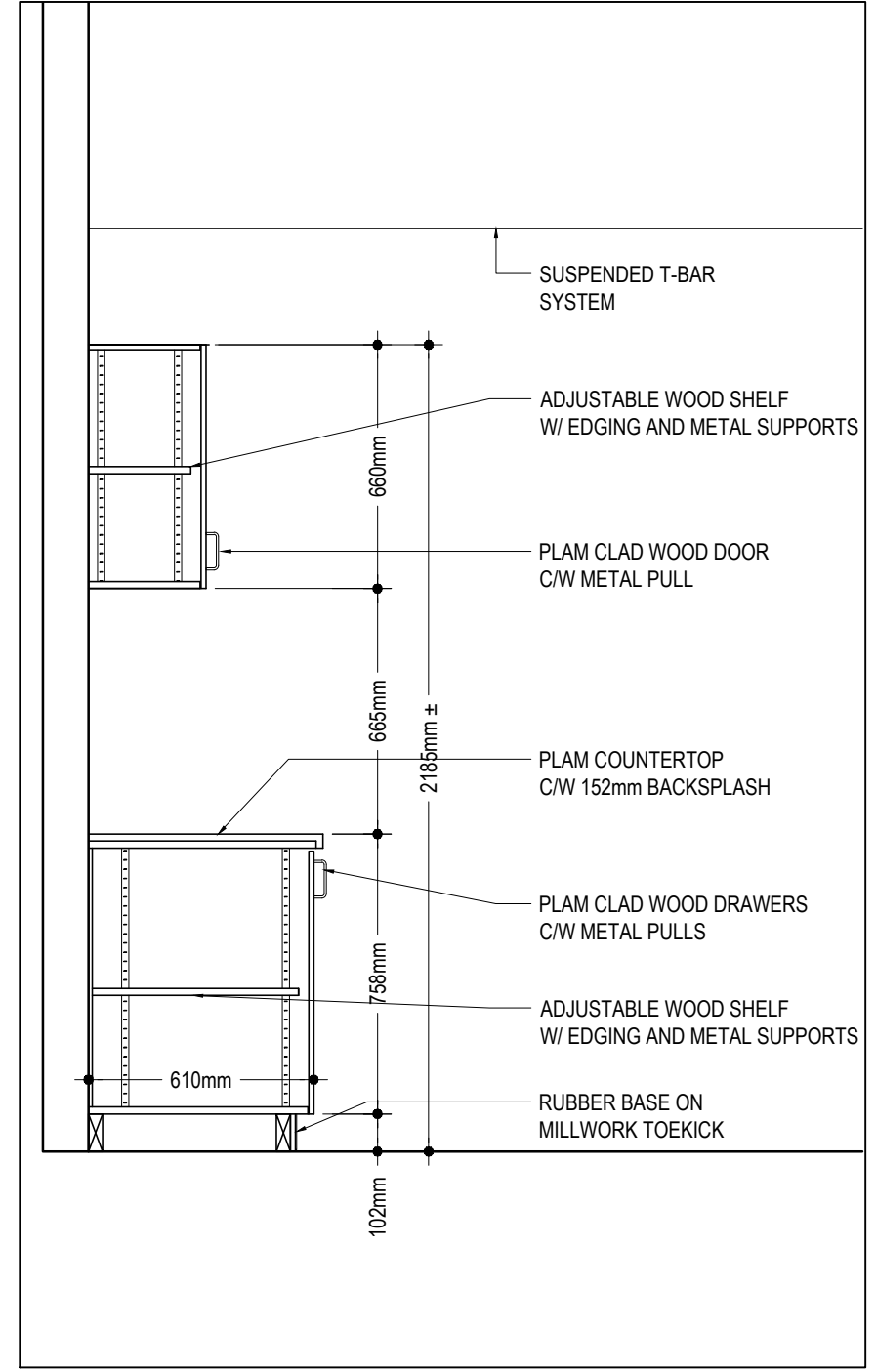
7 IN ROOM 002Z - PHOTO OF DOORS 009A
 A5.01 N.T.S.



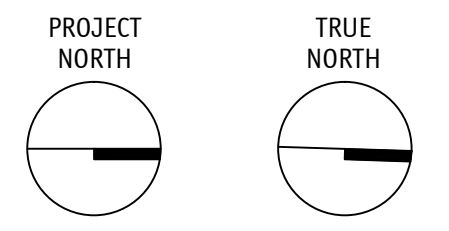
6 IN ROOM 009 - PHOTO OF DOORS 009A
 A5.01 N.T.S.



4 PRINTER/COOPER ELEVATION
 A5.01 1:20



5 PRINTER/COOPER SECTION
 A5.01 1:20



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No.	Date	Revision
01	2016-02-15	ISSUED FOR SCHEMATIC DESIGN
02	2016-04-11	ISSUED FOR PRE-TENDER REVIEW
03	2016-07-20	ISSUED FOR PRE-TENDER REVIEW
04	2016-08-12	ISSUED FOR TENDER
05	2016-09-02	ISSUED FOR BUILDING PERMIT
06	2016-09-28	ISSUED FOR CONSTRUCTION

Project Title
**UBC OKANAGAN
 MWO BUILDING
 L1 RENOVATION**

1238 DISCOVERY AVENUE, KELOWNA BC

Drawing Number

A5.01

DRAWINGS ARE NOT TO BE SCALED.
 ALL DIMENSIONS SHALL BE VERIFIED ON JOB

Drawing Title
**MILLWORK
 & DETAILS**

Job No.	m+m 16-1665
Scale	AS NOTED
Drawn	ST
Checked	ST