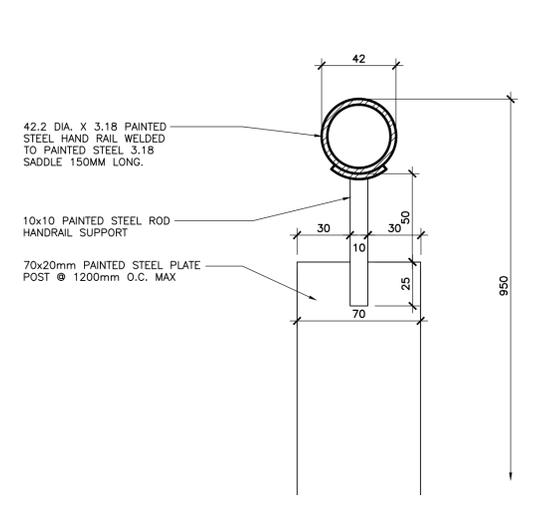
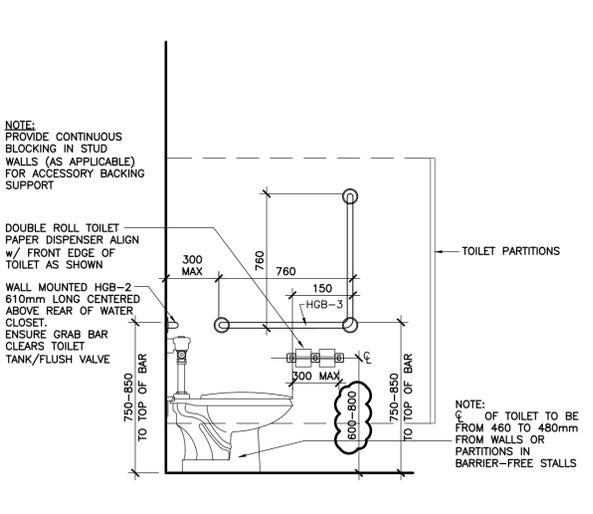
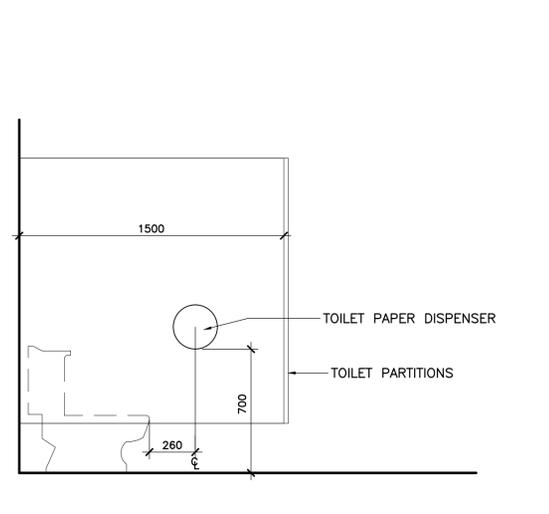
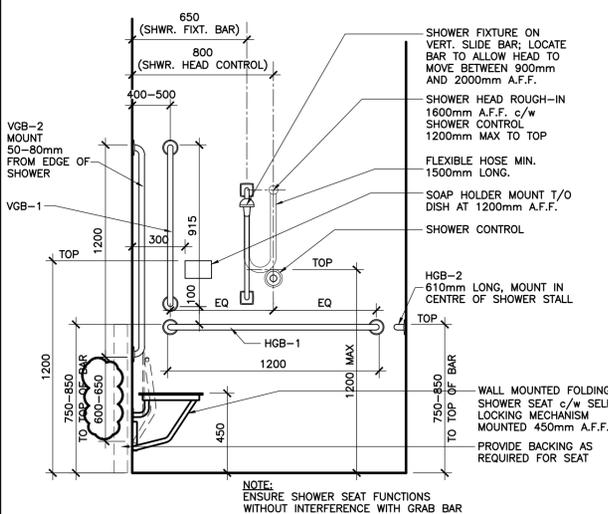


1 TYPICAL MOUNTING HEIGHTS
1:20

7 TYP. HANDRAIL ELEVATION
1:25

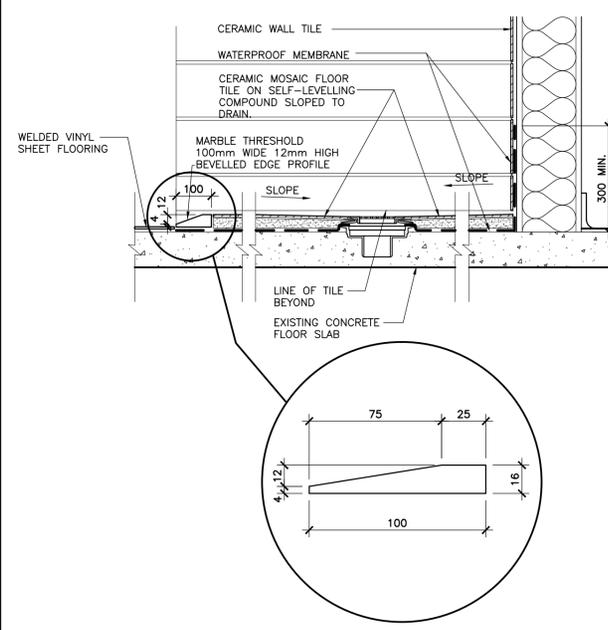


2 SHOWER MOUNTING HEIGHTS
1:20

3 TYPICAL TOILET STALL
1:20

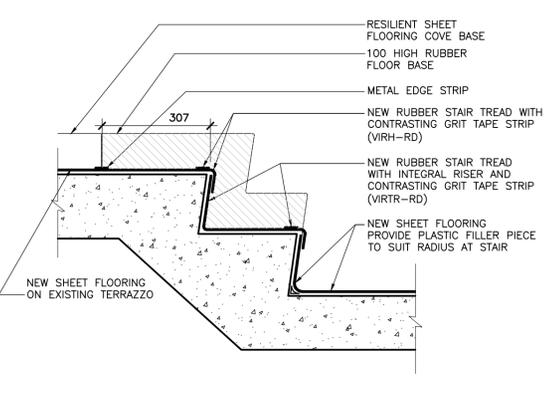
4 BARRIER FREE TOILET STALL
1:20

8 TYPICAL HANDRAIL
1:2



ABBREVIATIONS

- ATT ALUMINUM FLOOR TRANSITION TRIM AT DOOR, LOCATE AT CENTRE OF DOOR
- BFD BARRIER FREE STALL DOOR, 900mm WIDE WITH SPRING TYPE OR GRAVITY HINGES WITH AUTOMATIC CLOSING. PULL ON BOTH SIDES NEAR LATCH, BOTTOM AT 900mm ABOVE FINISHED FLOOR.
- BFS BARRIER FREE WALL HUNG SINK
- CH COAT HOOK TYPE 1
- CH2 COAT HOOK TYPE 2
- CRB 100mm WIDE X 100mm HIGH CAST IN PLACE DOWELED IN CONCRETE CURB; REFER TO DETAIL 6/A011
- CS STAINLESS STEEL CORNER SHELF
- FD FLOOR DRAIN
- GB SURFACE MOUNTED WASTE RECEPTACLE
- HAN 42.2mm DIAM. X 3.18 STEEL HANDRAIL
- HD ELECTRIC HAND DRYER
- HGB-1 HORIZONTAL GRAB BAR 1220mm LONG (48")
- HGB-2 HORIZONTAL GRAB BAR 610mm LONG (24")
- HGB-3 "L" SHAPE GRAB BAR MIN 760mm VERTICAL AND HORIZONTAL COMPONENT
- MBT MARBLE THRESHOLD 100mm WIDE WITH 12mm HIGH BEVELLED PROFILE; REFER TO DETAIL 5/A011
- MIR MIRROR 18" X 36"
- MSH MIRROR SHELF 18" LONG
- MTC METAL TOILET COMPARTMENT
- MTCO METAL TOILET COMPARTMENT DOOR
- PTD WALL MOUNTED PAPER TOWEL DISPENSER
- SC SHOWER CURTAIN
- SD SOAP DISPENSER
- SDB SHOWER DRESSING BENCH (SOLID PHENOLIC)
- SFSB-C BARRIER FREE SHOWER FIXTURE WITH VERTICAL SLIDING BAR AND SHOWER CONTROL
- SH WALL SHOWER HEAD
- SS SURFACE MOUNTED SOAP HOLDER
- ST SHOWER STALL UNIT REFER TO SPECIFICATIONS
- SPP SOLID PHENOLIC OVERHEAD BRACED PARTITION
- SPPD SOLID PHENOLIC PARTITION DOOR
- SPUS SOLID PHENOLIC URINAL SCREEN, WALL SCREEN 42" HIGH
- TPD TOILET PAPER DISPENSER
- TMIR TILTED MIRROR 18" X 36"
- VGB-1 VERTICAL GRAB BAR 915mm LONG (36")
- VGB-2 VERTICAL GRAB BAR 1220mm LONG (48")
- VGB-3 VERTICAL GRAB BAR 610mm LONG (24")
- WMFSS WALL MOUNTED FOLDING SHOWER SEAT



5 CERAMIC FLOOR DETAIL
1:10

6 NOT USED

9 FLOOR DETAIL @ STAIR
1:10

Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

revisions	description	date
1	ISSUED FOR TENDER	2017 05 14

A	A detail no. no. du detail	A
B	B location drawing no. sur dessin no.	B
C	C drawing no. dessin no.	C

project project
M2-5378, M59-5379
WASHROOM RENOVATION

drawing dessin
WASHROOM ELEVATIONS AND DETAILS
STAIR DETAILS

Designed By	J.V.D.	Conçu par	
Date	2016 03 04	(yyyy/mm/dd)	
Drawn By	A.W.	Dessiné par	
Date	2016 03 07	(yyyy/mm/dd)	
Reviewed By	J.J.	Examiné par	
Date	2016 03 09	(yyyy/mm/dd)	
Approved By	BRANDON LALONDE	Approuvé par	
Date	2016 06 22	(yyyy/mm/dd)	
Tender	ISABELLE D'AMOUR TANGUAY	Soumission	
Project Manager		Administrateur de projets	
W.O. no.		D.T. no.	
	5378, 5379		
Drawing no.		No. du dessin	
	A011		

ROOM FINISH SCHEDULE (BUILDING M2)

BLDG	LOCATION	FLOOR		WALL		CEILING			REMARKS
NO.	ROOM NO.	FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
M2	124	SF RT	SFCB R	CT EXP	- P	GWB	P	-	GN-1, GN-2, GN-3, GN-5, GN-6

ROOM FINISH SCHEDULE (BUILDING M6 AND M59)

BLDG	LOCATION	FLOOR		WALL		CEILING			REMARKS
NO.	ROOM NO.	FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
M59	100	ET	ETB	EXP	P	EXP	P	-	GN-1
M59	101	ET	ETB	EXP	P	EXP	P	-	GN-1
M59	104	SF	SFCB	CT GWB	- P	GWB	P	-	GN-1, GN-2, GN-3, GN-5
M59	115	SF	SFCB	CT EXP CB	- P P	GWB	P	-	GN-1, GN-2, GN-3, GN-5
M59	126	ECONCF	ER	EXP	P	-	-	-	GN-1
M59	128	SF	SFCB	CT EXP	- P	GWB	P	-	GN-1, GN-2, GN-3, GN-5
M59	129	SF CT	SFCB CT	CT EXP	- P	GWB	P	-	GN-1, GN-2, GN-3, GN-5
M59	LOCKER ROOM	SF	SFCB	EXP	P	GWB	P	-	GN-1, GN-2, GN-3, GN-5
M59	VESTIBULE	EXVCT	ER	EXP CB	P P	-	-	-	GN-1

REMARKS:	ROOM FINISH SCHEDULE ABBREVIATIONS:
GN-1 REPAIR AND MAKE GOOD EXISTING WALLS, FLOOR, AND CEILING FINISHES.	AT NEW ACOUSTICAL TILE AND T-BAR SYSTEM
GN-2 PAINT ALL EXPOSED ELECTRICAL AND MECHANICAL WORK, PAINT MATTE FINISH.	CB CONCRETE BLOCK
GN-3 PAINT NEW DOOR AND FRAME.	CT CERAMIC FLOOR OR WALL TILE
GN-4 NOT USED.	EAT EXISTING ACOUSTICAL TILE
GN-5 PAINT ALL ELECTRICAL AND MECHANICAL WORK ABOVE.	EB EXISTING BRICK
GN-6 PAINT ALL EXISTING DOOR FRAMES	EC EXISTING CONCRETE
	ECB EXISTING CONCRETE BLOCK
	ECONCF EXISTING CONCRETE FLOOR
	ECT EXISTING CERAMIC FLOOR OR WALL TILE
	EGB EXISTING GYPSUM BOARD
	ET EXISTING TERRAZZO FLOOR
	ETB EXISTING TERRAZZO FLOOR BASE
	EXVCT EXISTING VINYL COMPOSITE TILE
	EXP EXISTING PLASTER WALL
	ER EXISTING RUBBER BASE
	GB GYPSUM BOARD
	P PAINT SATIN FINISH
	R RUBBER BASE
	RT RUBBER STAIR TREADS
	SF WELDED VINYL SHEET FLOORING
	VCT VINYL COMPOSITE TILE
	SFCB WELDED VINYL SHEET FLOORING COVE BASE



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

DOOR SCHEDULE

BLDG#	DOOR#	LOCATION		OPENING		FRAME MATERIAL		DOOR				ULC LABEL	REMARKS
		FROM	TO	HEAD	JAMB	TYPE	DEPTH	TYPE	WIDTH	HEIGHT	THICKNESS		
M2	124	STAIR	124	-	-	EX	-	PM	±965	±2160	45	-	SC, KP, LS, FS, PP, DS 12x18 GRILLE
M2	124A	124	124A	-	-	EX	-	PM	±810	±2160	45	-	KP, LS, FS, 12x18 GRILLE
M59	104	104	100	EXM	EXM	PM	178	PM	965	2150	45	-	SC, KP, LS, OS, DB, DS 12x18 GRILLE
M59	115	115	101	CB	CB	PM	178	PM	965	2150	45	-	SC, KP, LS, OS, PP, ADO, DS 24x12 GRILLE
M59	129A	129	126	EXM	EXM	EX	-	PM	±915	±2115	45	-	SC, KP, LS, OS, TS, WS, BS, ADO, PP, DS
M59	129B	VEST.	129	EXM	EXM	PM	178	PM	965	2150	45	-	SC, KP, LS, TS, WS, BS, PP, ADO, DS

DOOR ABBREVIATIONS:

- ADO AUTOMATIC DOOR OPERATOR -
- BS BOTTOM SEAL
- C CONCRETE
- CB NEW CONCRETE BLOCK
- CBL NEW CONCRETE BLOCK LINTEL
- DB DEAD-BOLT W/ OCCUPIED/VACANT INDICATOR
- DS WASHROOM DOOR SIGNAGE- MOUNT AT 1600 AFF. ALL TEXT TO INCLUDE ENGLISH, FRENCH AND BRAILLE WRITING. TRIMCO MODEL NO'S 507 (MALE) AND 508 (FEMALE)
- EC EXISTING CONCRETE
- EX EXISTING
- EXM EXISTING MASONRY
- GB GYPSUM BOARD
- GL 12mm TEMPERED GLASS DOOR, SEE SPECIFICATIONS FOR DOOR HARDWARE
- KP KICK PLATE
- LS LOCKSET
- PM PRESSED STEEL
- PP PUSH AND PULL
- SC SELF CLOSING DEVICE
- TS ALUMINUM THRESHOLD
- OS OVERHEAD STOP
- FS FLOOR STOP
- WS WEATHER STRIPPING

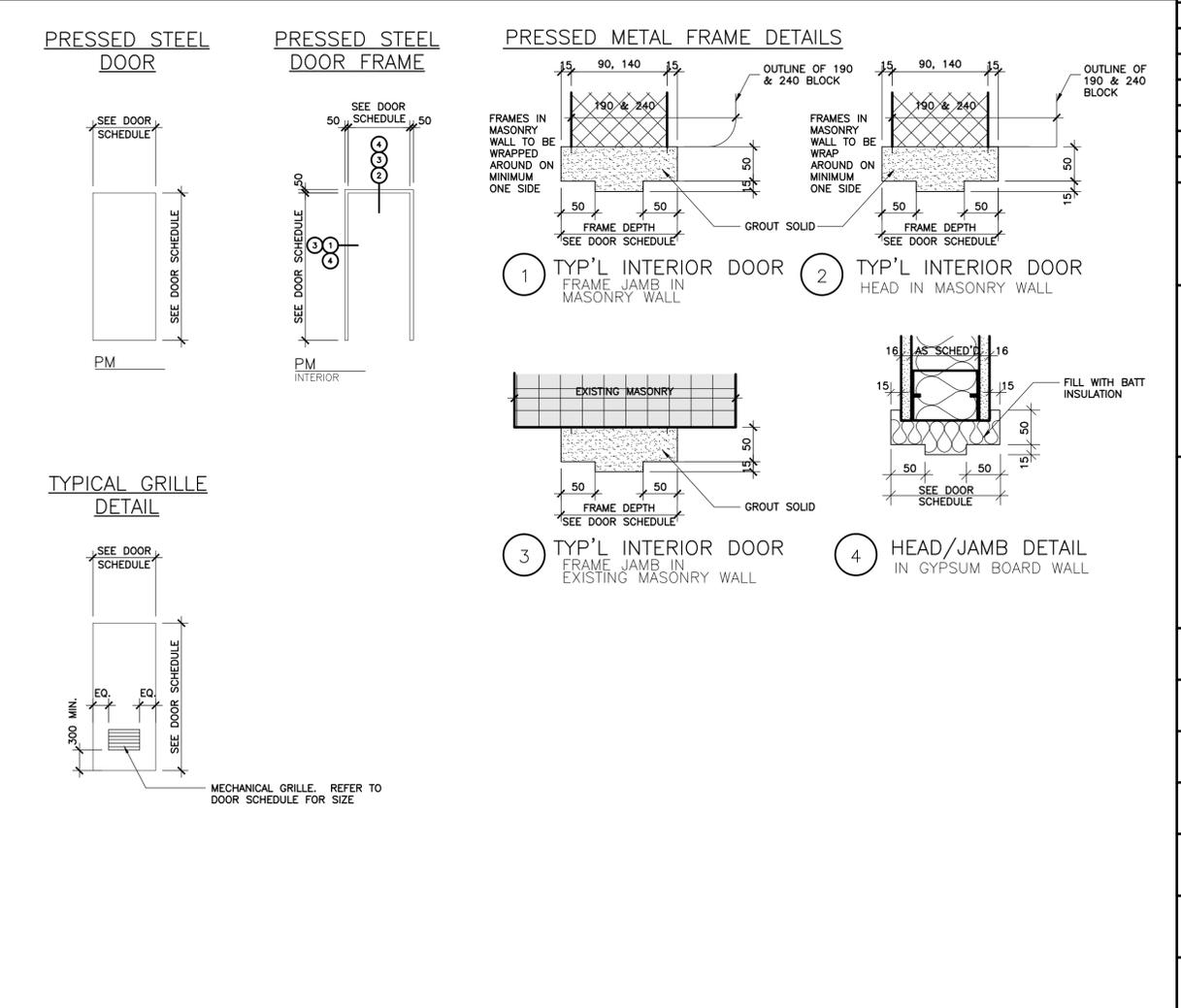
ULC LABELLING/FIRE RATING:

- C 45 MINUTES
- D 90 MINUTES

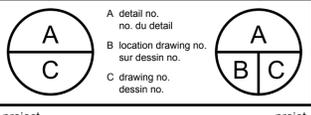
NOTES:

- SITE VERIFY EXISTING OPENING OF DOOR 124 124A (M2), AND 129A (M59). REPAIR AND MAKE GOOD EXISTING METAL DOOR FRAME TO ACCEPT NEW DOOR HARDWARE. FILL-IN ALL OPENINGS AND HOLES FLUSH WITH EXISTING FRAME

DOOR ELEVATIONS AND DETAILS

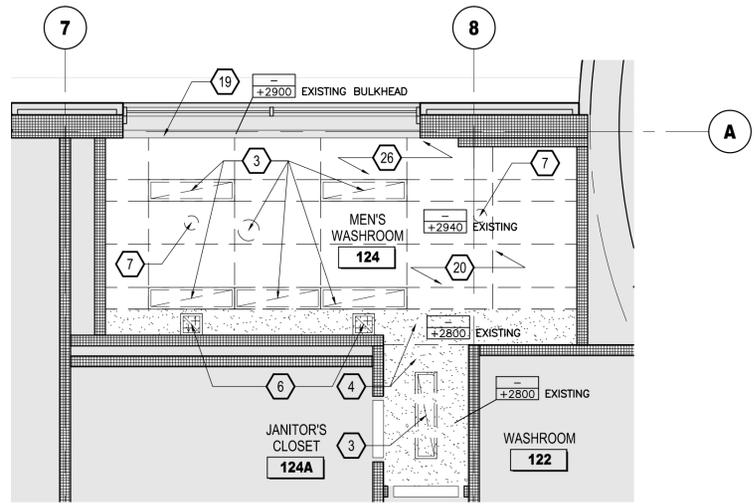


revisions	description	date
1	ISSUED FOR TENDER	2017/05/14



project M2-5378, M59- 5379
WASHROOM RENOVATION
 1200 Montreal Road, Ottawa, ON
 drawing M2-5378, M59- 5379
ROOM FINISH & DOOR SCHEDULE

Designed By	J.V.D. / J.J.	Conçu par
Date	2016 03 04	(yyyy/mm/dd)
Drawn By	A.W.	Dessiné par
Date	2016 03 07	(yyyy/mm/dd)
Reviewed By	J.J.	Examiné par
Date	2016 06 22	(yyyy/mm/dd)
Approved By	BRANDON LALONDE	Approuvé par
Date	2016 06 22	(yyyy/mm/dd)
Tender	ISABELLE D'AMOUR TANGUAY	Soumission
Project Manager	PROJECT_MAN	Administrateur de projets
W.O. no.	5378, 5379	D.T. no.
Drawing no.	A012	No. du dessin

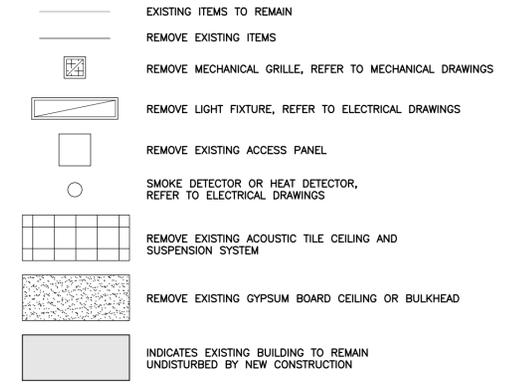


1 DEMOLITION RCP - WASHROOM 124 & ROOM 124A
1:50

DEMOLITION NOTES – CEILING PLAN

- 1 RELOCATE EXISTING CAMERA TO NEW LOCATION AS DIRECTED BY DEPARTMENTAL REPRESENTATIVE
- 2 EXISTING SPRINKLER HEAD TO REMAIN. REFER TO MECHANICAL DRAWINGS
- 3 REMOVE EXISTING LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS
- 4 REMOVE EXISTING PLASTER OR GYPSUM BOARD CEILING OR BULKHEAD, INCLUDING SUSPENSION SYSTEM
- 5 REMOVE EXISTING MECHANICAL DIFFUSER. REFER TO MECHANICAL DRAWING
- 6 REMOVE EXISTING MECHANICAL RETURN AIR GRILLE. REFER TO MECHANICAL DRAWING
- 7 REMOVE EXISTING SMOKE DETECTOR. REFER TO ELECTRICAL DRAWING
- 8 RELOCATE EXISTING EXIT SIGN. REFER TO ELECTRICAL
- 9 EXISTING CONCRETE FLOOR STRUCTURE.
- 10 EXISTING SPRINKLER PIPE. REFER TO MECHANICAL
- 11 EXISTING MECHANICAL DUCTWORK. REFER TO MECHANICAL
- 12 EXISTING CABLE TRAY. REFER TO ELECTRICAL
- 13 EXISTING INSULATED HEATING PIPE. REFER TO MECHANICAL
- 14 EXISTING CONCRETE COLUMN CAPITAL.
- 15 EXISTING RAINWATER PIPING. REFER TO MECHANICAL
- 16 EXISTING PLUMBING PIPE. REFER TO MECHANICAL
- 17 EXISTING MECHANICAL DUCTWORK AND LOUVRE. REFER TO MECHANICAL
- 18 NOT USED.
- 19 EXISTING GYPSUM BOARD BULKHEAD TO REMAIN
- 20 REMOVE EXISTING ACOUSTICAL TILE AND ASSOCIATED SUSPENSION SYSTEM. ALSO REMOVE PLASTER CEILING ABOVE AND ASSOCIATED SUSPENSION SYSTEM
- 21 REMOVE EXISTING WALL.
- 22 EXPOSED ROOF STRUCTURE AND STEEL BEAMS
- 23 EXISTING SUSPENDED LIGHT FIXTURE TO REMAIN
- 24 REMOVE EXISTING ACCESS PANEL
- 25 REMOVE EXISTING SURFACE MOUNTED CONDUIT. REFER TO ELECTRICAL DRAWINGS
- 26 EXISTING PLASTER CEILING ABOVE SUSPENDED TILE CEILING TO REMAIN. RETAIN EXISTING SUSPENSION SYSTEM TO HANG NEW CEILING TILE AND T-BAR GRID

REFLECTED CEILING PLANS DEMOLITION LEGEND

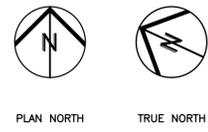


GENERAL DEMOLITION NOTES

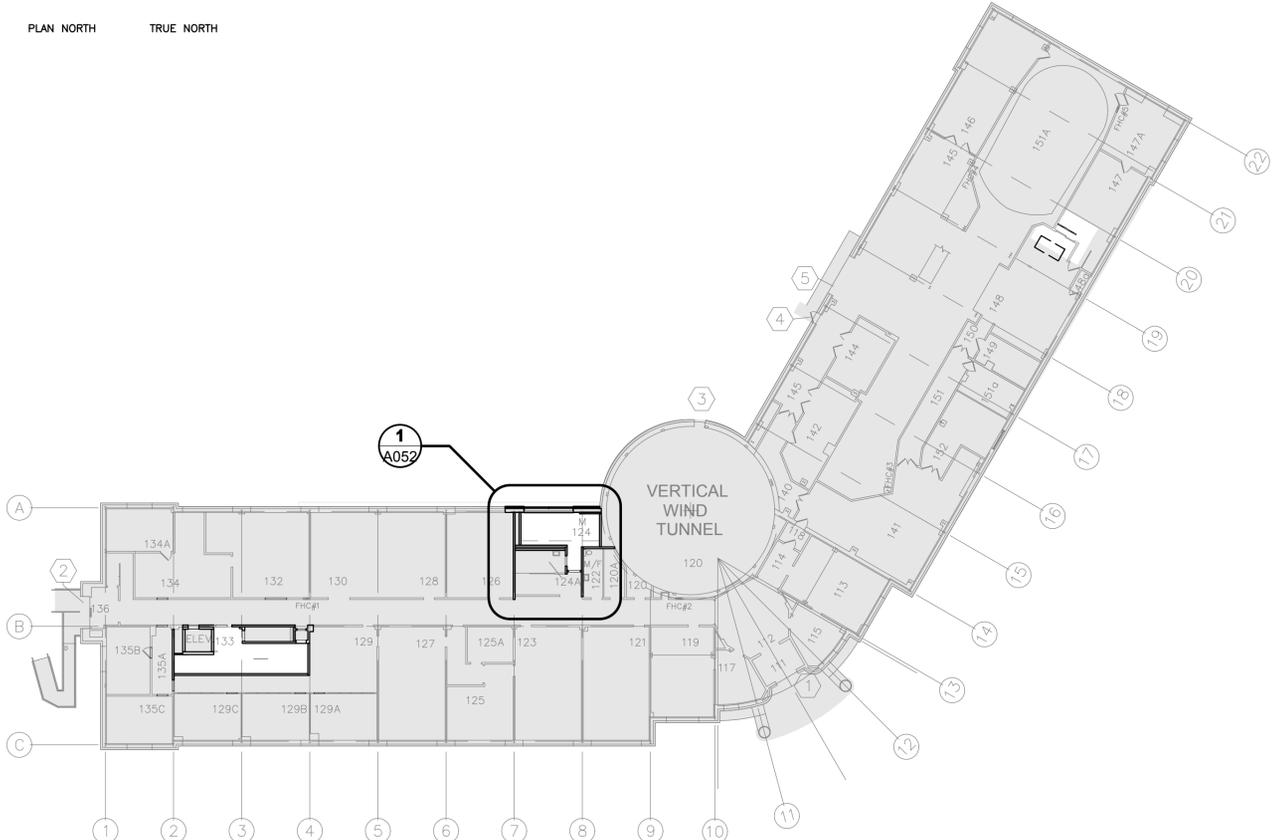
1. REFER TO ARCHITECTURAL DRAWINGS FOR EXTENTS OF NEW WORK.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
3. WHERE REQUIRED FOR NEW MECHANICAL OR ELECTRICAL PENETRATION THRU EXISTING FLOOR CUT OUTS, COORDINATE WITH STRUCTURAL ENGINEER.
4. WHERE NEW OPENINGS ARE TO BE PROVIDED IN EXISTING WALL OR FLOOR ASSEMBLIES, OR EXISTING OPENINGS ARE TO BE FILLED IN, REPAIRS AND IN-FILL MATERIAL SHALL MATCH EXISTING WALL CONSTRUCTION IN DETAIL, MATERIAL THICKNESS AND FINISHES. IN FIRE-RATED FLOOR OR WALL ASSEMBLIES NEW INFILL ASSEMBLY SHALL COMPLY WITH FIRE-RATING AND ULC REQUIREMENTS.
5. WHERE REQUIRED FOR NEW OPENING IN EXISTING MASONRY OR CONCRETE WALL PROVIDE NEW LINTEL. COORDINATE WITH STRUCTURAL ENGINEER.
6. WALLS INDICATED FOR DEMOLITION SHALL BE DEMOLISHED TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. MAINTAIN FIRE RATING OF ANY EXISTING GYPSUM SOFFITS ABOVE. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY WORK.
7. CAREFULLY REMOVE/SALVAGE ITEMS TO BE REMOVED AND REINSTATED FOR REUSE, AND ITEMS THAT ARE TO BE TURNED OVER TO THE DEPARTMENTAL REPRESENTATIVE.
8. PATCH AND MAKE GOOD AND PREPARE ALL DAMAGED SURFACES FOR INSTALLATION OF NEW FINISHES.
9. REMOVE EXISTING PLASTER WALL FINISH AT ALL LOCATIONS WITH NEW CERAMIC TILE FINISH



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

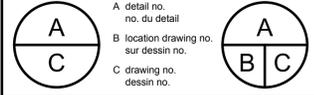


PLAN NORTH TRUE NORTH



3 KEY PLAN - BUILDING M2
1:300

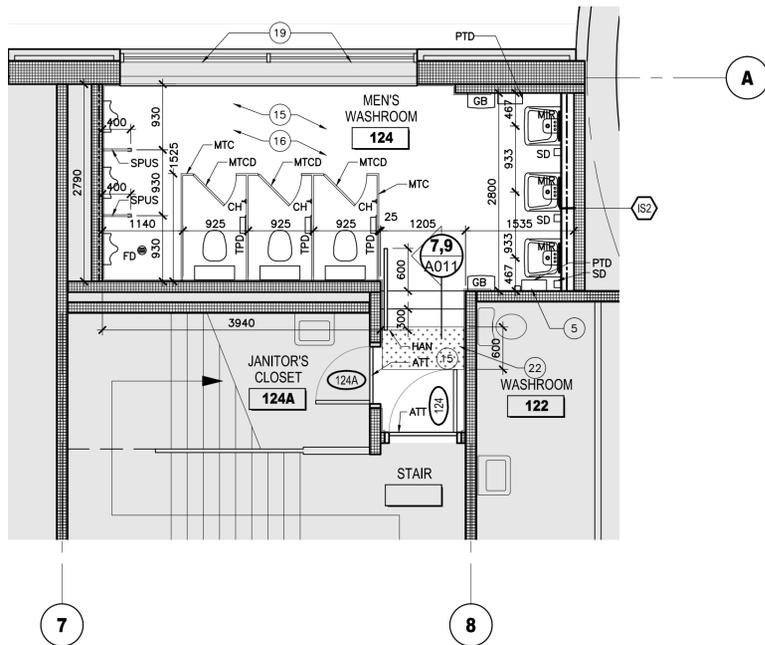
1	ISSUD FOR TENDER	2017/05/14
revisions	description	date



project projet

WASHROOM RENOVATION
1200 Montreal Road, Ottawa, ON
drawing dessin
M2 GROUND FLOOR DEMOLITION CEILING PLANS

Designed By	J.J. / J.V.D.	Conçu par	J.J. / J.V.D.
Date	2016 03 04	(yyyy/mm/dd)	
Drawn By	A.W.	Dessiné par	A.W.
Date	2016 03 07	(yyyy/mm/dd)	
Reviewed By	J.J.	Examiné par	J.J.
Date	2016 03 09	(yyyy/mm/dd)	
Approved By	BRANDON LALONDE	Approuvé par	BRANDON LALONDE
Date	2016 06 22	(yyyy/mm/dd)	
Tender	ISABELLE D'AMOUR TANGUAY	Soumission	ISABELLE D'AMOUR TANGUAY
Project Manager		Administrateur de projets	
W.O. no.		D.T. no.	
	M2-5378		
Drawing no.		No. du dessin	
	A052		



1 FLOOR PLAN - WASHROOM 124 & JANITOR'S CLOSET 124A
1:50

DRAWING NOTES

- 1 NOT USED.
- 2 EXISTING MECHANICAL EQUIPMENT TO REMAIN.
- 3 EXISTING LADDER TO REMAIN.
- 4 COORDINATE LOCATION OF ACCESS DOORS WITH MECHANICAL TRADES TO PERMIT ACCESS TO EQUIPMENT BEHIND GYPSUM BOARD OR PLASTER SURFACES. ACCESS DOORS SUPPLIED BY MECHANICAL.
- 5 NOT USED.
- 6 NEW 16mm GYPSUM BOARD BULKHEAD ON 92mm STEEL STUDS FRAMING. GYPSUM BOARD BULKHEAD TO BE 50mm ABOVE EXISTING STEEL LINTELS.
- 7 RELOCATED EXISTING PULL STATION
- 8 RELOCATED EXISTING STROBE
- 9 REINSTATED LOCKERS.
- 10 PROVIDE NEW VINYL COMPOSITE TILE FLOORING TO MATCH EXISTING.
- 11 PROVIDE NEW RUBBER BASE TO MATCH EXISTING.
- 12 FILL EXISTING OPENING WITH 140mm CONCRETE BLOCK. PROVIDE 16mm CEMENT BOARD AND 22mm METAL FURRING CHANNELS ON TOP OF CONCRETE BLOCK TO MATCH ADJACENT WALL FINISH.
- 13 NEW WALL THICKNESS TO MATCH EXISTING ADJACENT WALL.
- 14 PATCH REPAIR AND MAKE GOOD EXISTING WALL AND/OR DOOR AND/OR FRAME FINISH TO RECEIVE NEW PAINT FINISH.
- 15 TYPICAL FOR ALL WALLS IN THIS ROOM: PATCH REPAIR AND MAKE GOOD ALL PLASTER FINISH ON EXISTING WALLS. PROVIDE NEW CERAMIC WALL TILES ON SCRATCH COAT TO 1090mm A.F.F., REFER TO TYPICAL DETAIL ON SHEET A010.
- 16 TYPICAL FOR ALL WALLS IN THIS ROOM: PATCH REPAIR AND MAKE GOOD EXISTING WALL FINISHES, DOORS AND FRAMES TO RECEIVE NEW PAINT FINISH.
- 17 AT EXISTING PARTIALLY FINISHED ENCLOSURE: PROVIDE NEW LAYER OF 16mm CEMENT BOARD ON ALL SIDES. RELOCATE/EXTEND DOUBLE LIGHT SWITCH AS REQUIRED.
- 18 TYPICAL FOR ALL WALLS IN SHOWER: PROVIDE NEW PLASTER FINISH ON EXISTING WALLS. PROVIDE NEW CERAMIC WALL TILES ON SCRATCH COAT TO UNDERSIDE OF CEILING, REFER TO TYPICAL DETAIL ON SHEET A010.
- 19 APPLY TRANSLUCENT PRIVACY FILM ON EXISTING INSULATED GLASS UNITS ON INSIDE FACE, TYPICAL. REFER TO SPECIFICATIONS.
- 20 NOT USED
- 21 NEW LOCKERS, REFER TO SPECIFICATIONS.
- 22 HATCH DENOTES "EON TILE" BY KINESIK TACTILE WARNING STRIP.

ABBREVIATIONS

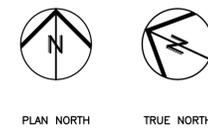
ATT	ALUMINUM FLOOR TRANSITION TRIM AT DOOR, LOCATE AT CENTRE OF DOOR
BFD	BARRIER FREE STALL DOOR, 900mm WIDE WITH SPRING TYPE OR GRAVITY HINGES WITH AUTOMATIC CLOSING. PULL ON BOTH SIDES NEAR LATCH, BOTTOM AT 900mm ABOVE FINISHED FLOOR.
BFS	BARRIER FREE WALL HUNG SINK
CH	COAT HOOK TYPE 1
CH2	COAT HOOK TYPE 2
CRB	100mm WIDE X 100mm HIGH CAST IN PLACE DOWELED IN CONCRETE CURB; REFER TO DETAIL 6/A011
CS	STAINLESS STEEL CORNER SHELF
FD	FLOOR DRAIN
GB	SURFACE MOUNTED WASTE RECEPTACLE
HAN	42.2mm DIAM. X 3.18 STEEL HANDRAIL
HD	ELECTRIC HAND DRYER
HGB-1	HORIZONTAL GRAB BAR 1220mm LONG (48")
HGB-2	HORIZONTAL GRAB BAR 610mm LONG (24")
HGB-3	L' SHAPE GRAB BAR MIN 760mm VERTICAL AND HORIZONTAL COMPONENT
MBT	MARBLE THRESHOLD 100mm WIDE WITH 12mm HIGH BEVELED PROFILE; REFER TO DETAIL 5/A011
MIR	MIRROR 18" X 36"
MSH	MIRROR SHELF 18" LONG
MTC	METAL TOILET COMPARTMENT
MTC-D	METAL TOILET COMPARTMENT DOOR
PTD	WALL MOUNTED PAPER TOWEL DISPENSER
SC	SHOWER CURTAIN
SD	SOAP DISPENSER
SDB	SHOWER DRESSING BENCH (SOLID PHENOLIC)
SFSB-C	BARRIER FREE SHOWER FIXTURE WITH VERTICAL SLIDING BAR AND SHOWER CONTROL
SH	WALL SHOWER HEAD
SS	SURFACE MOUNTED SOAP HOLDER
ST	SHOWER STALL UNIT REFER TO SPECIFICATIONS
SPP	SOLID PHENOLIC OVERHEAD BRACED PARTITION
SPPD	SOLID PHENOLIC PARTITION DOOR
SPUS	SOLID PHENOLIC URINAL SCREEN, WALL SCREEN 42" HIGH
TPD	TOILET PAPER DISPENSER
TMIR	TILTED MIRROR 18" X 36"
VGB-1	VERTICAL GRAB BAR 915mm LONG (36")
VGB-2	VERTICAL GRAB BAR 1220mm LONG (48")
VGB-3	VERTICAL GRAB BAR 610mm LONG (24")
WMFSS	WALL MOUNTED FOLDING SHOWER SEAT

LEGEND

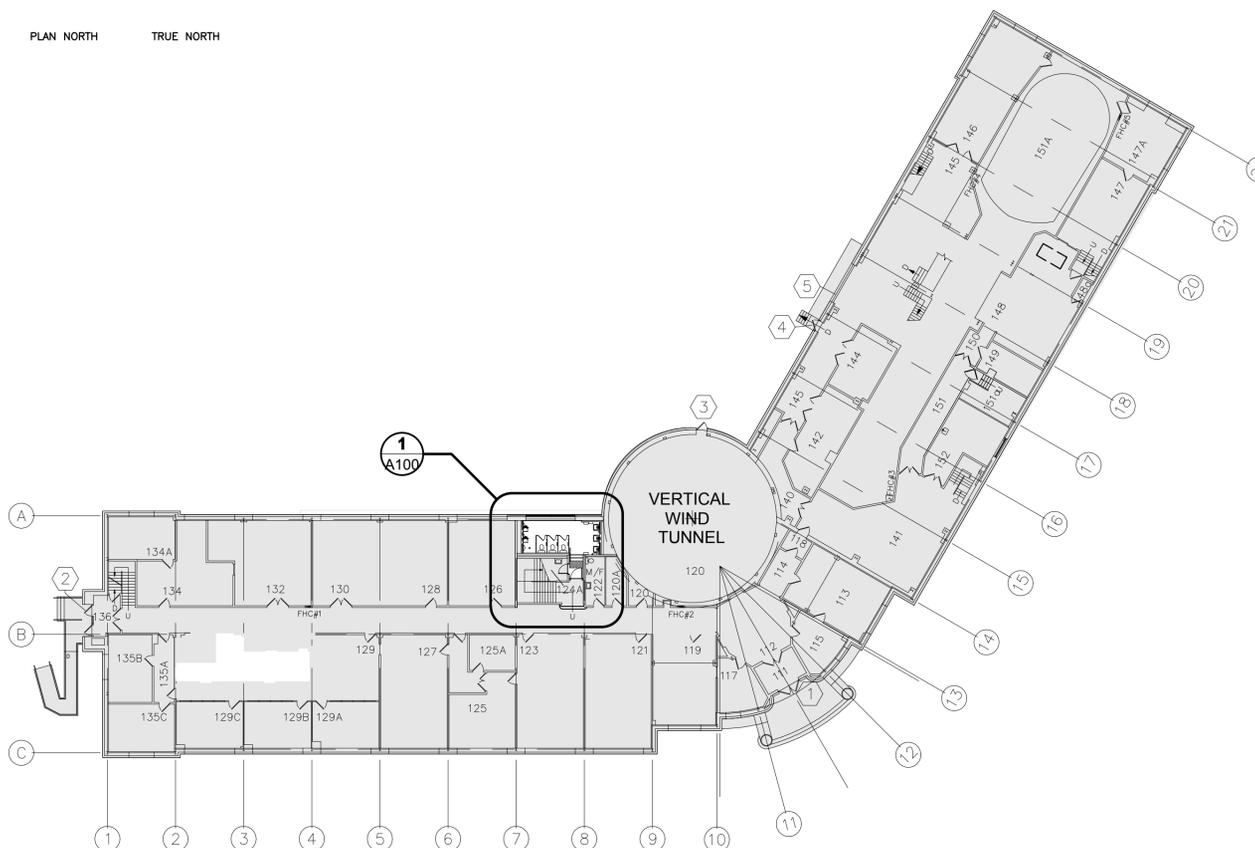
	INDICATES PORCELAIN MOSAIC TILES, WATERPROOFING MEMBRANE AND SELF-LEVELLING COMPOUND AS REQUIRED FOR SLOPE TO DRAIN
	INDICATES EXISTING MASONRY WALL PATCH AND REPAIR AND MAKE GOOD AS REQUIRED FOR INSTALLATION OF NEW FINISH
	INDICATES EXISTING BUILDING TO REMAIN UNDISTURBED BY NEW CONSTRUCTION
	INDICATES WALL TILE CT-2 TO U/S OF CEILING. SEE TYPICAL DETAILS ON A010
	INDICATES WALL TILE CT-2 1100 HIGH. SEE TYPICAL DETAILS ON A010
	INDICATES WALL TILE CT-1 TO U/S OF CEILING. SEE TYPICAL DETAILS ON A010



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.



PLAN NORTH TRUE NORTH



3 KEY PLAN - BUILDING M2
1:300

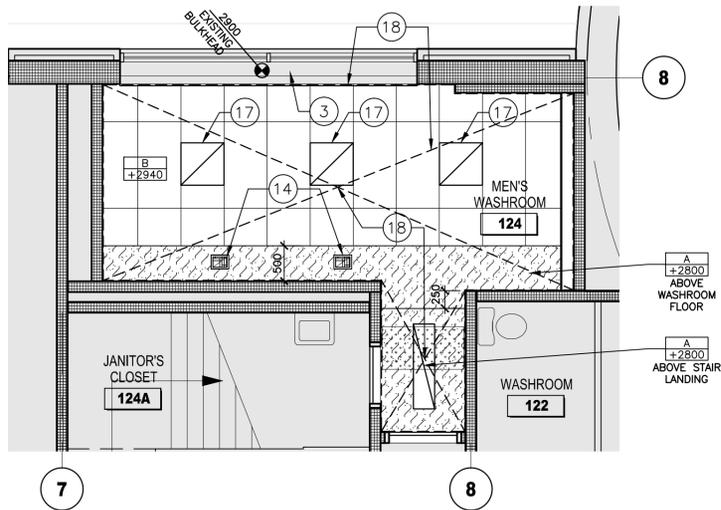
1	ISSUED FOR TENDER	2017 05 14
revisions	description	date

A	A detail no. no. du détail	A
C	B location drawing no. sur dessin no.	B
	C drawing no. dessin no.	C

project / projet
M2-5378 WASHROOM RENOVATION
1200 Montreal Road, Ottawa, ON

drawing / dessin
M2 GROUND FLOOR PLANS: NEW WORK

Designed By	J.J. / J.V.D.	Conçu par	
Date	2016 03 04	(yyyy/mm/dd)	
Drawn By	A.W.	Dessiné par	
Date	2016 03 07	(yyyy/mm/dd)	
Reviewed By	J.J.	Examiné par	
Date	2016 03 09	(yyyy/mm/dd)	
Approved By	BRANDON LALONDE	Approuvé par	
Date	2016 06 22	(yyyy/mm/dd)	
Tender	ISABELLE D'AMOUR TANGUAY	Soumission	
Project Manager		Administrateur de projets	
W.O. no.		D.T. no.	
	M2-5378		
Drawing no.		No. du dessin	
	A100		



1 CEILING PLAN - WASHROOM 124 & JANITOR'S CLOSET 124A
1:50

DRAWING NOTES

- 1 16mm GYPSUM BOARD BULKHEAD
- 2 RELOCATED EXISTING EXIT SIGN
- 3 EXISTING GYPSUM BOARD BULKHEAD
- 4 2800mm HIGH WALL WITH 16mm GYPSUM BOARD TOP
- 5 GYPSUM BOARD BULKHEAD WITH 16mm GYPSUM BOARD ON ALL FACES WITH 152mm STEEL STUDS FRAMING
- 6 PLASTER FINISH WINDOW HEADER
- 7 NEW MASONRY LINTEL WITH PLASTER FINISH
- 8 EXISTING STAIR
- 9 COORDINATE NEW CONSTRUCTION WITH EXISTING MECHANICAL EQUIPMENT, PIPES AND DUCTS. MAINTAIN REQUIRED ACCESS TO MECHANICAL VALVES
- 10 EXISTING STAIR TO REMAIN
- 11 EXISTING LADDER TO REMAIN
- 12 HIGH WALL WITH 16mm MOISTURE RESISTANT GYPSUM BOARD
- 13 GYPSUM BOARD BULKHEAD WITH 16mm MOISTURE RESISTANT GYPSUM BOARD ON ALL FACES. BOTTOM 2200mm ABOVE FLOOR.
- 14 NOT USED
- 15 RADIANT HEAT PANEL. REFER TO MECHANICAL
- 16 REPLACE DEMOLISHED SUSPENDED PLASTER OR GYPSUM BOARD CEILING WITH GYPSUM BOARD CEILING AND ASSOCIATED SUSPENSION SYSTEM
- 17 ELECTRICAL LIGHT FIXTURE. REFER TO ELECTRICAL
- 18 DASHED LINE DENOTES AREA OF FLOOR ASSEMBLY ABOVE TO RECEIVE NEW FIRE SEPARATION ASSEMBLY. REFER TO TYPICAL FIRE SEPARATION DETAIL AT EXISTING FLOOR ASSEMBLIES* ON SHEET A010

CEILING TYPE SCHEDULE

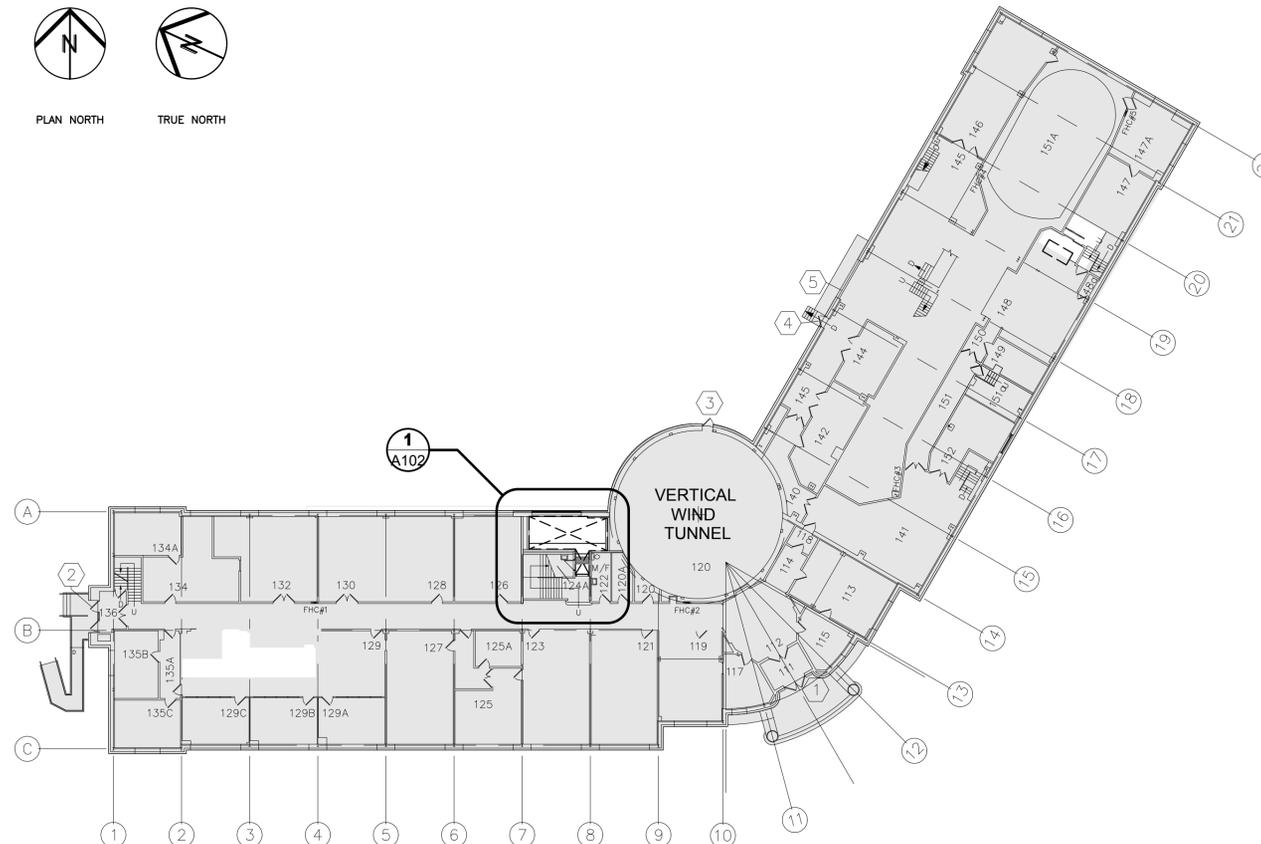
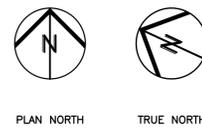
CEILING TYPE	INDICATION	DESCRIPTION
A		16mm SUSPENDED MOISTURE RESISTANT GYPSUM BOARD CEILING
B		2' X 4' (610mm X 1220mm) SUSPENDED ACOUSTICAL TILES CEILING
C		16mm SUSPENDED GYPSUM BOARD CEILING OR BULKHEAD

REFLECTED CEILING PLAN LEGEND

- 3070 DENOTES ELEVATION ABOVE FLOOR
- DENOTES EXPOSED ROOF OR FLOOR STRUCTURE
- DENOTES CEILING TYPE DENOTES ELEVATION ABOVE FLOOR
- LIGHT FIXTURE. REFER TO ELECTRICAL
- MECHANICAL GRILLE. REFER TO MECHANICAL
- ACCESS PANEL
- SMOKE DETECTOR OR HEAT DETECTOR
- MECHANICAL DIFFUSERS REFER TO MECHANICAL DRAWINGS
- EXISTING CONSTRUCTION NOT IN CONTRACT

TYPICAL REFLECTED CEILING PLAN NOTES

1. IN THE EVENT OF DISCREPANCIES FOR THE LOCATION OF MECHANICAL OR ELECTRICAL ITEMS TO BE INCORPORATED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN.
2. IN THE EVENT OF DISCREPANCIES IN THE QUANTITY AND TYPE OF MECHANICAL, ELECTRICAL ITEMS TO BE INCORPORATED, MECHANICAL AND ELECTRICAL DRAWINGS SHALL GOVERN. REFER ALSO TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR OTHER ITEMS TO BE INCORPORATED BUT NOT SHOWN ON ARCHITECTURAL DRAWINGS.
3. REFLECTED CEILING PLANS ARE TO BE READ IN CONJUNCTION WITH DETAILS AND INFORMATION SHOWN ELSEWHERE ON DRAWINGS. IN THE EVENT OF DISCREPANCIES THE MORE STRINGENT REQUIREMENT SHALL GOVERN (FOR EXAMPLE: DRYWALL BULKHEADS SHOWN ON REFLECTED CEILING PLANS MAY NOT APPEAR ON BUILDING SECTIONS BUT ARE REQUIRED TO BE INCORPORATED).
4. UNLESS SHOWN OTHERWISE ON DRAWINGS, GYPSUM BOARD BULKHEADS SHALL EXTEND VERTICALLY A MINIMUM OF 100mm ABOVE THE ADJACENT CEILINGS. ALL BULKHEADS SHALL PROJECT A MINIMUM OF 25mm BELOW THE LOWEST ADJACENT ACOUSTIC TILE CEILING UNLESS NOTED OTHERWISE.
5. SEE FLOOR PLANS FOR ADDITIONAL TYPICAL NOTES.
6. AT RECESSED LIGHT FIXTURES INSTALLED IN GYPSUM BOARD SOFFITS, PROVIDE SUITABLE TRIM DETAIL, TO PROVIDE SEAT AND SUPPORT FOR THESE UNITS. INSTALL ADDITIONAL HANGER WIRES.
7. COORDINATE LOCATION OF ACCESS DOORS WITH MECHANICAL TRADES TO PERMIT ACCESS TO EQUIPMENT BEHIND HARD SURFACES. ACCESS DOORS SUPPLIED BY MECHANICAL



3 KEY PLAN - BUILDING M2
1:300



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

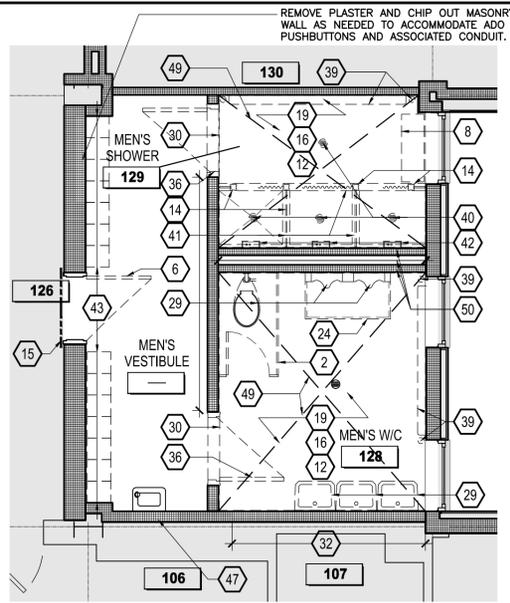
revisions	description	date
1	ISSUED FOR TENDER	2016/06/22

revisions	description	date
1	ISSUED FOR TENDER	2016/06/22

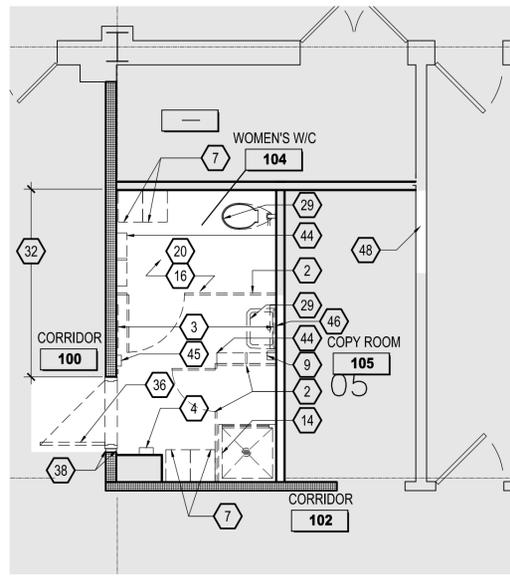
project **M2-5378 WASHROOM RENOVATION**
PROJECT_ADDRESS

drawing **M2 GROUND FLOOR REFLECTED CEILING PLANS - NEW WORK**

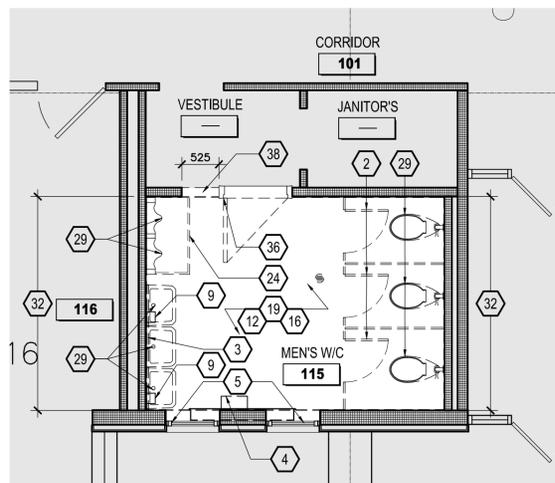
Designed By	J.V.D. / J.J.	Conçu par	2016 03 04
Date	2016 03 04	(yyyy/mm/dd)	
Drawn By	A.W.	Dessiné par	2016 03 07
Date	2016 03 07	(yyyy/mm/dd)	
Reviewed By	J.J.	Examiné par	2016 03 09
Date	2016 03 09	(yyyy/mm/dd)	
Approved By	BRANDON LALONDE	Approuvé par	2016 06 22
Date	2016 06 22	(yyyy/mm/dd)	
Tender	ISABELLE D'AMOUR TANGUAY	Soumission	
Project Manager		Administrateur de projets	
W.O. no.		D.T. no.	
	M2-5378		
Drawing no.		No. du dessin	
	A102		



1 DEMOLITION FLOOR PLAN - WASHROOM 128/129
1:50

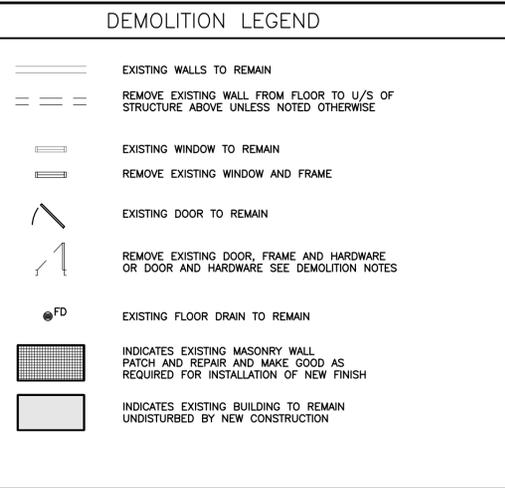


2 DEMOLITION FLOOR PLAN - WASHROOM 104
1:50

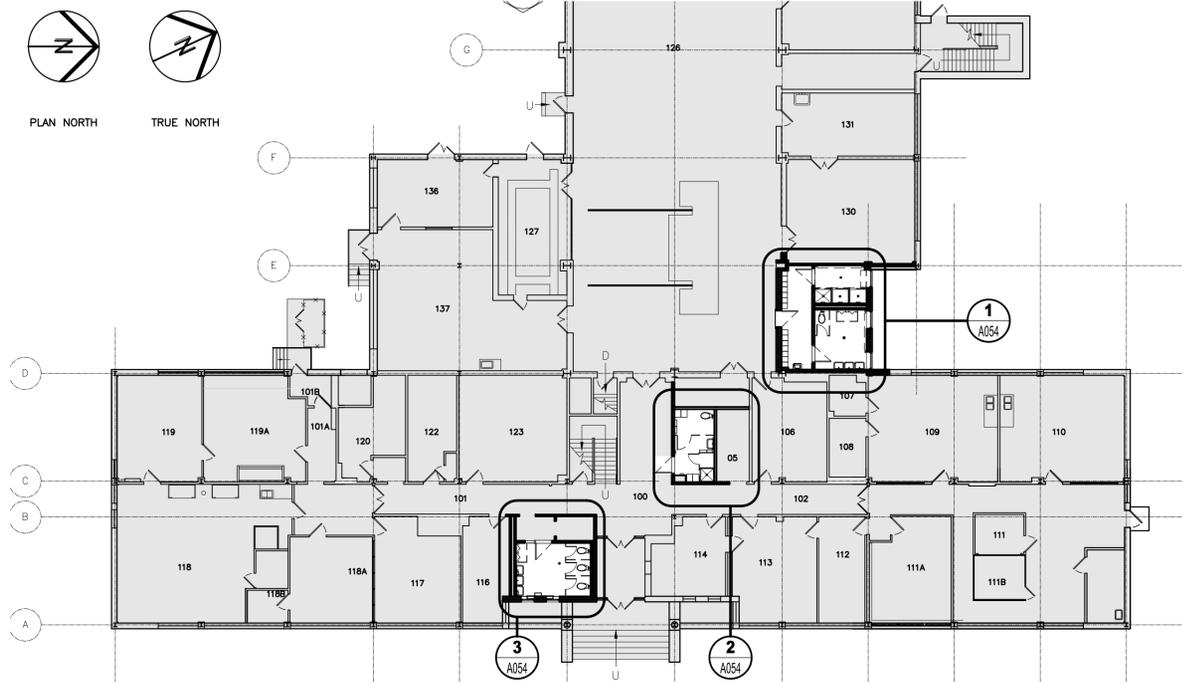


3 DEMOLITION FLOOR PLAN - WASHROOM 115
1:50

- ### DEMOLITION NOTES
- 1 REMOVE EXISTING GYPSUM BOARD, FURRING CHANNELS AND STUDS FROM EXISTING CONCRETE OR CONCRETE BLOCK WALL. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
 - 2 REMOVE ALL EXISTING WASHROOM STALL PARTITIONS.
 - 3 REMOVE EXISTING WALL MOUNTED MIRROR.
 - 4 REMOVE EXISTING PAPER TOWEL DISPENSERS. RETAIN AND REINSTALL WITH NEW CONSTRUCTION WORK.
 - 5 EXISTING WINDOW TO REMAIN.
 - 6 REMOVE EXISTING DOOR AND DOOR HARDWARE, INCLUDING HINGES. EXISTING HOLLOW METAL DOOR FRAME TO REMAIN. PATCH AND MAKE GOOD FOR NEW DOOR HARDWARE INSTALLATION.
 - 7 REMOVE ALL EXISTING STEEL LOCKERS. RETAIN FOR REINSTATEMENT AT NEW LOCATIONS SHOWN ON DRAWINGS
 - 8 REMOVE EXISTING BENCHES.
 - 9 REMOVE EXISTING SOAP DISPENSERS.
 - 10 REMOVE EXISTING COUNTER INCLUDING SUPPORTS.
 - 11 REMOVE EXISTING TOILET PAPER DISPENSERS. RETAIN AND REINSTALL WITH NEW CONSTRUCTION WORK.
 - 12 REMOVE EXISTING TILE WALL FINISH FROM ALL WALLS, WINDOW SILLS AND WINDOW JAMBS THROUGHOUT ROOM AND PATCH AND MAKE GOOD EXISTING SUBGRADE WALL TO RECEIVE NEW TILE.
 - 13 EXISTING PIPES AND CONDUITS TO REMAIN.
 - 14 EXISTING SHOWER PARTITIONS & SHOWER STALL FRAMING TO BE REMOVED. PATCH AND MAKE GOOD EXISTING SUBGRADE WALL TO RECEIVE NEW TILE.
 - 15 CONSTRUCT TEMPORARY 6mil POLY DUST CONSTRUCTION DROP SHEET BARRIER AROUND EXISTING DOORWAY. BARRIER IS TO BE SEALED ON ALL SIDES AS TO PREVENT ANY DUST FROM REACHING OTHER AREAS OF THE BUILDING. INSTALL ACCESS DOORWAY USING HEAVY DUTY ZIPWALL ZIPPERS, REFER TO SPECIFICATIONS.
 - 16 PATCH AND MAKE GOOD & PREPARE ALL WALLS, AND RADIANT HEATERS TO RECEIVE NEW PAINT.
 - 17 EXISTING TERRAZZO FLOORING AND TERRAZZO COVERED BASE THROUGHOUT TO BE PATCHED AND MADE GOOD AND PREPARED TO RECEIVE NEW WELDED VINYL FLOORING.
 - 18 EXISTING COMPOSITE VINYL TILE FLOORING THROUGHOUT TO BE REMOVED. REMOVE FLOOR AND WALL BASE THROUGHOUT. CONCRETE SLAB BENEATH TO BE PATCHED AND MADE GOOD AND PREPARED TO RECEIVE NEW WELDED VINYL FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHERE AND AS REQUIRED.
 - 19 EXISTING CERAMIC TILE FLOORING THROUGHOUT TO BE REMOVED. CONCRETE SLAB BENEATH TO BE PATCHED AND MADE GOOD AND PREPARED TO RECEIVE NEW WELDED VINYL FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHERE AND AS REQUIRED.
 - 20 EXISTING VINYL SHEET FLOORING THROUGHOUT TO BE REMOVED. REMOVE COVERED VINYL FLOOR BASE. CONCRETE FLOOR SLAB AND WALL BENEATH TO BE PATCHED AND MADE GOOD AND PREPARED TO RECEIVE NEW WELDED VINYL FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHERE AND AS REQUIRED.
 - 21 PROTECT EXISTING FIRE HOSE CABINET, STAND PIPE AND SIGN. REFER TO MECHANICAL.
 - 22 REMOVE EXISTING RUBBER FLOOR BASE. PATCH AND MAKE GOOD AND PREPARE WALL FOR INSTALLATION OF COVERED BASE FOR WELDED VINYL FLOORING.
 - 23 REMOVE EXISTING RADIANT HEATER AND ASSOCIATED PIPING. REFER TO MECHANICAL DRAWINGS
 - 24 REMOVE EXISTING CERAMIC TILE RAISED CONCRETE FLOOR PODIUM AND WAINSCOT AT URINALS. PATCH AND MAKE GOOD EXISTING FLOOR TO RECEIVE NEW FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHERE AND AS REQUIRED.
 - 25 EXISTING WINDOW SILL AND JAMB FINISHES TO REMAIN.
 - 26 REMOVE EXISTING METAL FRAME AND ALUMINUM SILL FOR DUMBWAITER. REFER TO DRAWING A100 FOR NEW WORK. REMOVE EXISTING BLOCK WALL TO U/S OF SLAB ABOVE TO ACCOMMODATE NEW MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL FOR NEW FLOOR CUTTING AND CORING
 - 27 REMOVE MASONITE/FIBREBOARD CHASE WALL.
 - 28 REMOVE EXISTING GYPSUM BOARD WALL IN FULL HEIGHT.
 - 29 REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED PLUMBING. REFER TO MECHANICAL.
 - 30 REMOVE MARBLE THRESHOLD.
 - 31 RELOCATE EXISTING MECHANICAL PIPING TO NEW LOCATION. REFER TO MECHANICAL.
 - 32 BREAK OUT EXISTING MASONRY WALL AS NEEDED TO GAIN ACCESS TO INSTALL NEW PLUMBING. DO NOT PUNCTURE BACK FACE OF WALL DURING DEMOLITION. COORDINATE W/ NEW CONSTRUCTION
 - 33 REMOVE EXISTING LOW WALL, INCLUDING TILE FINISH. PATCH AND MAKE GOOD EXISTING MASONRY WALL TO RECEIVE NEW TILE.
 - 34 REMOVE EXISTING LIGHT FIXTURE.
 - 35 REMOVE EXISTING HORIZONTAL BLINDS. REPAIR AND MAKE GOOD EXISTING WALL AND BULKHEAD.
 - 36 REMOVE EXISTING DOOR, FRAME AND THRESHOLD. REMOVE EXISTING WALL ASSEMBLY ON EITHER SIDE OF DOOR FRAME AS NEEDED FOR FRAME REMOVAL AND INSTALLATION OF NEW DOOR FRAME.
 - 37 REMOVE EXISTING VINYL COMPOSITE TILE TO NEAREST JOINT AS SHOWN. REMOVE EXISTING FLOOR BASE. CONCRETE SLAB BENEATH TO BE PATCHED AND MADE GOOD AND PREPARED TO RECEIVE NEW VINYL TILE FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHERE AND AS REQ'D.
 - 38 DEMOLISH EXISTING MASONRY WALL. COORDINATE EXTENTS OF DEMOLITION WITH NEW WORK
 - 39 REMOVE EXISTING FIN TUBE HEATER AND ASSOCIATED PIPING. REFER TO MECHANICAL DRAWINGS
 - 40 REMOVE EXISTING FLOOR DRAIN
 - 41 REMOVE EXISTING CONCRETE SHOWER CURB AND FINISH TILES. MAKE GOOD EXISTING FLOOR TO RECEIVE NEW FLOORING. PROVIDE SELF-LEVELLING SUB-BASE WHEN AND AS REQ'D.
 - 42 REMOVE EXISTING STEEL ENCLOSURE FOR SHOWER PIPING, PIPING FOR SHOWER, SHOWER HEAD AND FAUCETS. ALSO REFER TO MECHANICAL
 - 43 REMOVE EXISTING LOCKERS
 - 44 REMOVE EXISTING SHELVES AND ACCESSORIES
 - 45 REMOVE EXISTING AIR DRYER
 - 46 REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL
 - 47 DEMOLISH EXISTING MASONRY WALL AS NEEDED TO ACCOMMODATE NEW MECHANICAL DUCTWORK. COORDINATE EXTENT OF DEMOLITION WITH MECHANICAL TRADES
 - 48 DEMOLISH EXISTING GYPSUM BOARD WALL AS NEEDED TO ACCOMMODATE NEW MECHANICAL DUCTWORK. COORDINATE EXTENT OF DEMOLITION WITH MECHANICAL TRADES
 - 49 EXISTING SLAB ON GRADE TO BE CUT AND PATCHED AS NEEDED TO ACCOMMODATE NEW MECHANICAL WORK. REFER TO MECHANICAL FOR EXTENTS OF MECHANICAL WORK. REFER TO STRUCTURAL DETAIL BY LEIBE ENGINEERING ASSOCIATES FOR CONCRETE REINSTATEMENT/REPAIR DETAIL
 - 50 DEMOLISH EXISTING MASONRY WALL FROM TOP OF FLOOR STRUCTURE TO UNDERSIDE OF CEILING STRUCTURE



- ### GENERAL DEMOLITION NOTES
1. REFER TO ARCHITECTURAL DRAWINGS FOR EXTENTS OF NEW WORK.
 2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
 3. WHERE REQUIRED FOR NEW MECHANICAL OR ELECTRICAL PENETRATION THRU EXISTING FLOOR CUT OUTS, COORDINATE WITH STRUCTURAL ENGINEER.
 4. WHERE NEW OPENINGS ARE TO BE PROVIDED IN EXISTING WALL OR FLOOR ASSEMBLIES, OR EXISTING OPENINGS ARE TO BE FILLED IN, REPAIRS AND IN-FILL MATERIAL SHALL MATCH EXISTING WALL CONSTRUCTION IN DETAIL, MATERIAL THICKNESS AND FINISHES. IN FIRE-RATED FLOOR OR WALL ASSEMBLIES NEW INFILL ASSEMBLY SHALL COMPLY WITH FIRE-RATING AND ULC REQUIREMENTS.
 5. WHERE REQUIRED FOR NEW OPENING IN EXISTING MASONRY OR CONCRETE WALL PROVIDE NEW LINTEL. COORDINATE WITH STRUCTURAL ENGINEER.
 6. WALLS INDICATED FOR DEMOLITION SHALL BE DEMOLISHED TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. MAINTAIN FIRE RATING OF ANY EXISTING GYPSUM SOFFITS ABOVE. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY WORK.
 7. CAREFULLY REMOVE/SALVAGE ITEMS TO BE REMOVED AND REINSTATED FOR REUSE, AND ITEMS THAT ARE TO BE TURNED OVER TO THE DEPARTMENTAL REPRESENTATIVE.
 8. PATCH AND MAKE GOOD AND PREPARE ALL DAMAGED SURFACES FOR INSTALLATION OF NEW FINISHES.

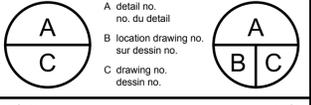


4 KEY PLAN - BUILDING M59
1:200



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

revisions	description	date
1	ISSUED FOR TENDER	2017/05/14

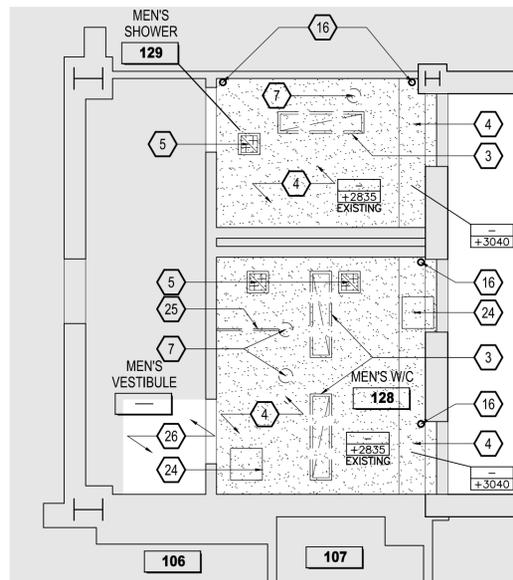


project
**M59-5379
WASHROOM
RENOVATION**
1200 Montreal Road, Ottawa, ON

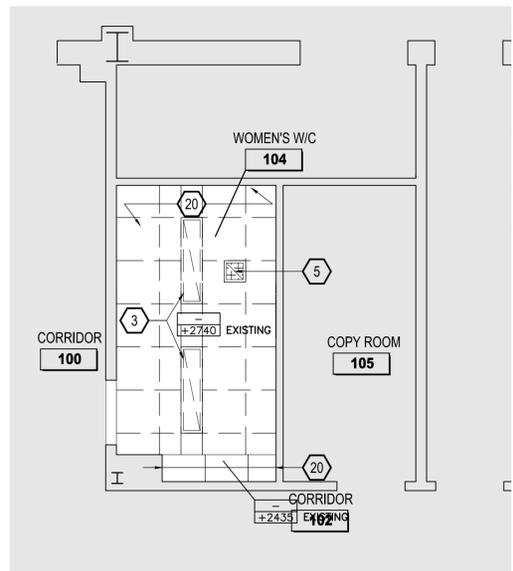
**M59 FLOOR PLANS -
DEMOLITION**

Designed By	J.V.D. / J.J.	Conçu par	
Date	2016 03 04	(yyyy/mm/dd)	
Drawn By	J.V.D.	Dessiné par	
Date	2016 03 07	(yyyy/mm/dd)	
Reviewed By	J.J.	Examiné par	
Date	2013 03 09	(yyyy/mm/dd)	
Approved By	BRANDON LALONDE	Approuvé par	
Date	2016 06 22	(yyyy/mm/dd)	
Tender	ISABELLE D'AMOUR TANGUAY	Soumission	
Project Manager		Administrateur de projets	
W.O. no.		D.T. no.	

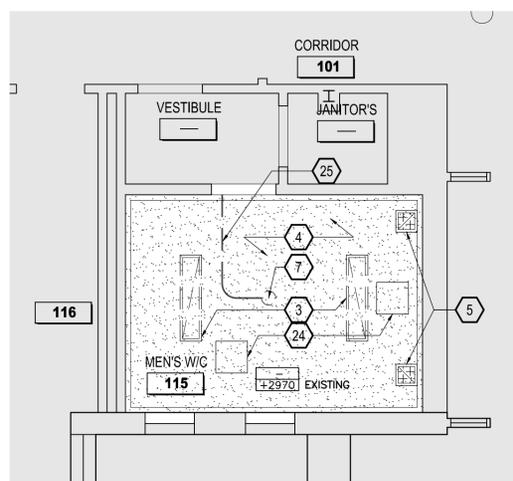
M59-5379
Drawing no. **A054** No. du dessin



1 DEMOLITION RCP - WASHROOM 128/129
1:50



2 DEMOLITION RCP - WASHROOM 104
1:50



3 DEMOLITION RCP - WASHROOM 115
1:50

DEMOLITION NOTES – CEILING PLAN

- 1 RELOCATE EXISTING CAMERA TO NEW LOCATION AS DIRECTED BY DEPARTMENTAL REPRESENTATIVE
- 2 EXISTING SPRINKLER HEAD TO REMAIN. REFER TO MECHANICAL DRAWINGS
- 3 REMOVE EXISTING LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS
- 4 REMOVE EXISTING PLASTER OR GYPSUM BOARD CEILING OR BULKHEAD, INCLUDING SUSPENSION SYSTEM
- 5 REMOVE EXISTING MECHANICAL DIFFUSER. REFER TO MECHANICAL DRAWING
- 6 REMOVE EXISTING MECHANICAL RETURN AIR GRILLE. REFER TO MECHANICAL DRAWING
- 7 REMOVE EXISTING SMOKE DETECTOR. REFER TO ELECTRICAL DRAWING
- 8 RELOCATE EXISTING EXIT SIGN. REFER TO ELECTRICAL
- 9 EXISTING CONCRETE FLOOR STRUCTURE.
- 10 EXISTING SPRINKLER PIPE. REFER TO MECHANICAL
- 11 EXISTING MECHANICAL DUCTWORK. REFER TO MECHANICAL
- 12 EXISTING CABLE TRAY. REFER TO ELECTRICAL
- 13 EXISTING INSULATED HEATING PIPE. REFER TO MECHANICAL
- 14 EXISTING CONCRETE COLUMN CAPITAL.
- 15 EXISTING RAINWATER PIPING. REFER TO MECHANICAL
- 16 EXISTING PLUMBING PIPE. REFER TO MECHANICAL
- 17 EXISTING MECHANICAL DUCTWORK AND LOUVRE. REFER TO MECHANICAL
- 18 NOT USED.
- 19 EXISTING GYPSUM BOARD BULKHEAD TO REMAIN
- 20 REMOVE EXISTING ACOUSTICAL TILE AND ASSOCIATED SUSPENSION SYSTEM. ALSO REMOVE PLASTER CEILING ABOVE AND ASSOCIATED SUSPENSION SYSTEM
- 21 REMOVE EXISTING WALL
- 22 EXPOSED ROOF STRUCTURE AND STEEL BEAMS
- 23 EXISTING SUSPENDED LIGHT FIXTURE TO REMAIN
- 24 REMOVE EXISTING ACCESS PANEL
- 25 REMOVE EXISTING SURFACE MOUNTED CONDUIT. REFER TO ELECTRICAL DRAWINGS
- 26 DEMOLISH EXISTING PLASTER CEILING AS NEEDED TO INSTALL NEW MECHANICAL DUCTWORK AND GRILLES. REFER TO MECHANICAL

REFLECTED CEILING PLANS DEMOLITION LEGEND

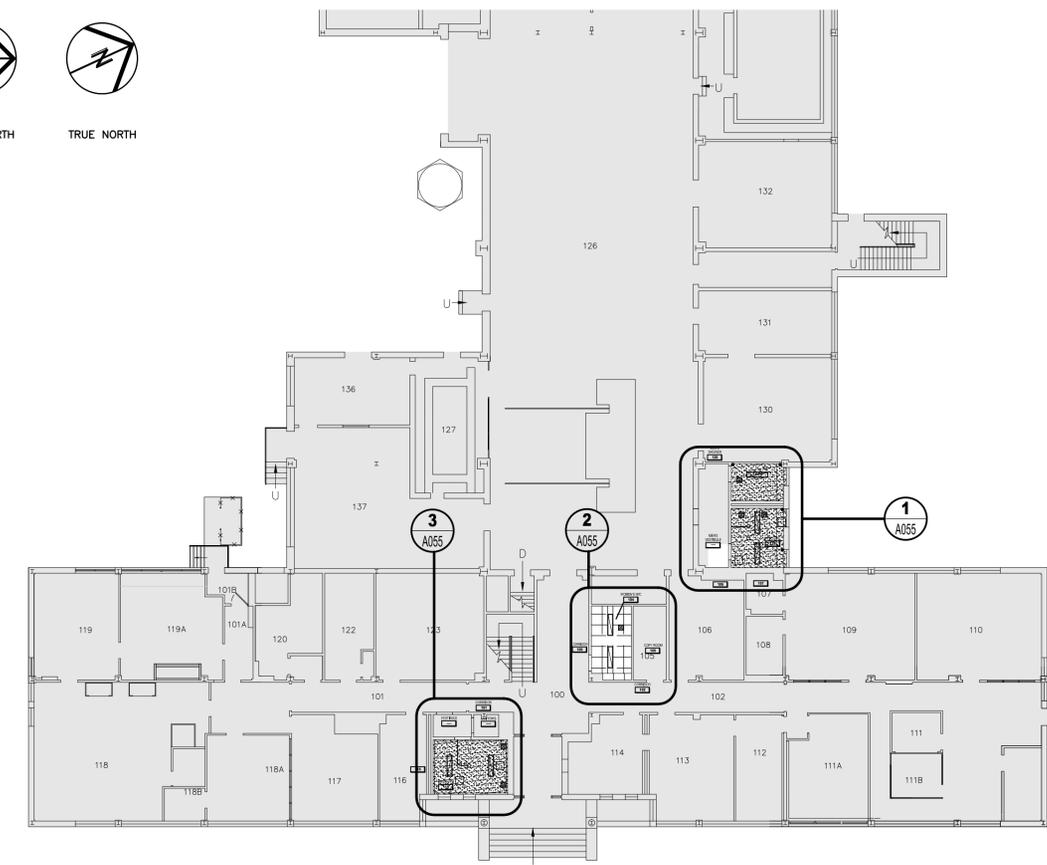
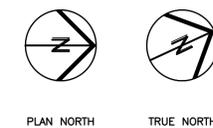
- EXISTING ITEMS TO REMAIN
- - - REMOVE EXISTING ITEMS
- [Symbol] REMOVE MECHANICAL GRILLE, REFER TO MECHANICAL DRAWINGS
- [Symbol] REMOVE LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- [Symbol] REMOVE EXISTING ACCESS PANEL
- [Symbol] SMOKE DETECTOR OR HEAT DETECTOR, REFER TO ELECTRICAL DRAWINGS
- [Symbol] REMOVE EXISTING ACOUSTIC TILE CEILING AND SUSPENSION SYSTEM
- [Symbol] REMOVE EXISTING GYPSUM BOARD CEILING OR BULKHEAD
- [Symbol] INDICATES EXISTING BUILDING TO REMAIN UNDISTURBED BY NEW CONSTRUCTION

GENERAL DEMOLITION NOTES

1. REFER TO ARCHITECTURAL DRAWINGS FOR EXTENTS OF NEW WORK.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
3. WHERE REQUIRED FOR NEW MECHANICAL OR ELECTRICAL PENETRATION THRU EXISTING FLOOR CUT OUTS, COORDINATE WITH STRUCTURAL ENGINEER.
4. WHERE NEW OPENINGS ARE TO BE PROVIDED IN EXISTING WALL OR FLOOR ASSEMBLIES, OR EXISTING OPENINGS ARE TO BE FILLED IN, REPAIRS AND IN-FILL MATERIAL SHALL MATCH EXISTING WALL CONSTRUCTION IN DETAIL, MATERIAL THICKNESS AND FINISHES. IN FIRE-RATED FLOOR OR WALL ASSEMBLIES NEW INFILL ASSEMBLY SHALL COMPLY WITH FIRE-RATING AND ULC REQUIREMENTS.
5. WHERE REQUIRED FOR NEW OPENING IN EXISTING MASONRY OR CONCRETE WALL PROVIDE NEW LINTEL. COORDINATE WITH STRUCTURAL ENGINEER.
6. WALLS INDICATED FOR DEMOLITION SHALL BE DEMOLISHED TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. MAINTAIN FIRE RATING OF ANY EXISTING GYPSUM SOFFITS ABOVE. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY WORK.
7. CAREFULLY REMOVE/SALVAGE ITEMS TO BE REMOVED AND REINSTATED FOR REUSE, AND ITEMS THAT ARE TO BE TURNED OVER TO THE DEPARTMENTAL REPRESENTATIVE.
8. PATCH AND MAKE GOOD AND PREPARE ALL DAMAGED SURFACES FOR INSTALLATION OF NEW FINISHES.
9. REMOVE EXISTING PLASTER WALL FINISH AT ALL LOCATIONS WITH NEW CERAMIC TILE FINISH



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.



4 KEY PLAN - BUILDING M59
1:200

1	ISSUED FOR TENDER	2017/05/14
revisions	description	date



project project
M59-5379
WASHROOM
RENOVATION

1200 Montreal Road, Ottawa, ON

drawing dessin

M59 REFLECTED
CEILING PLANS-
DEMOLITION

Designed By J.V.D. / J.J. Conçu par
Date 2016 03 04 (yyyy/mm/dd)

Drawn By J.V.D. Dessiné par
Date 2016 03 07 (yyyy/mm/dd)

Reviewed By J.J. Examiné par
Date 2016 03 09 (yyyy/mm/dd)

Approved By BRANDON LALONDE Approuvé par
Date 2016 06 22 (yyyy/mm/dd)

Tender ISABELLE D'AMOUR TANGUAY Soumission

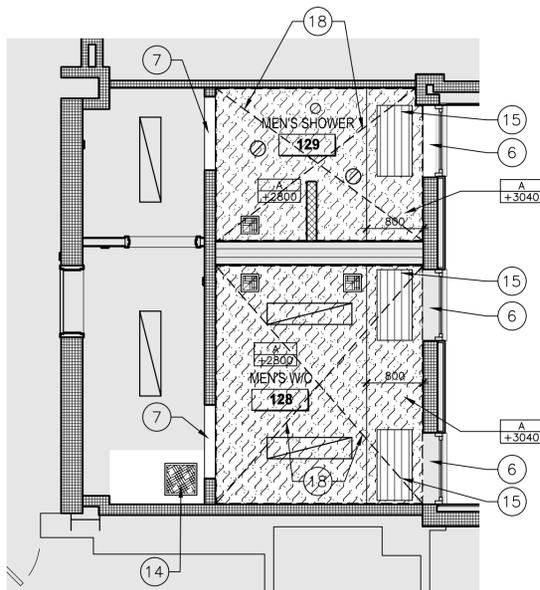
Project Manager Administrateur de projets

W.O. no. D.T. no.

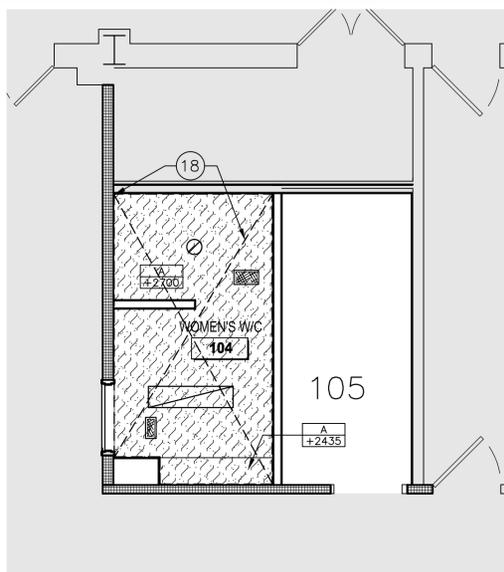
M59-5379

Drawing no. No. du dessin

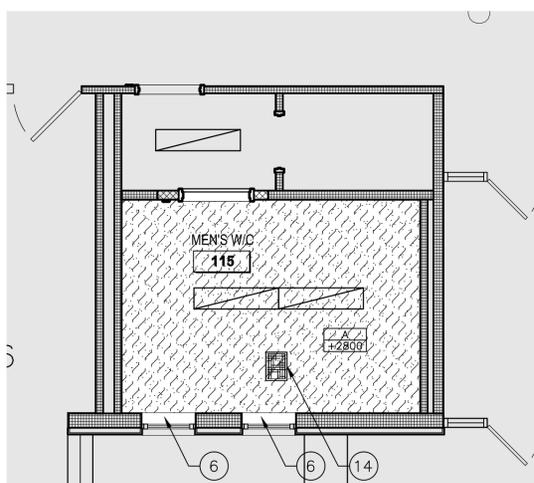
A055



1 REFLECTED CEILING PLAN - WASHROOM 128/129
1:50



2 REFLECTED CEILING PLAN - WASHROOM 104
1:50



3 REFLECTED CEILING PLAN - WASHROOM 115
1:50

DRAWING NOTES

- 1 16mm GYPSUM BOARD BULKHEAD
- 2 RELOCATED EXISTING EXIT SIGN
- 3 EXISTING GYPSUM BOARD BULKHEAD
- 4 2800mm HIGH WALL WITH 16mm GYPSUM BOARD TOP
- 5 GYPSUM BOARD BULKHEAD WITH 16mm GYPSUM BOARD ON ALL FACES WITH 152mm STEEL STUDS FRAMING
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- 14 NOT USED
- 15 RADIANT HEAT PANEL. REFER TO MECHANICAL
- 16 REPLACE DEMOLISHED SUSPENDED PLASTER OR GYPSUM BOARD CEILING WITH GYPSUM BOARD CEILING AND ASSOCIATED SUSPENSION SYSTEM
- 17 ELECTRICAL LIGHT FIXTURE. REFER TO ELECTRICAL
- 18 DASHED LINE DENOTES AREA OF FLOOR ASSEMBLY ABOVE TO RECEIVE NEW FIRE SEPARATION ASSEMBLY. REFER TO TYPICAL FIRE SEPARATION DETAIL AT EXISTING FLOOR ASSEMBLIES* ON SHEET A010

TYPICAL REFLECTED CEILING PLAN NOTES

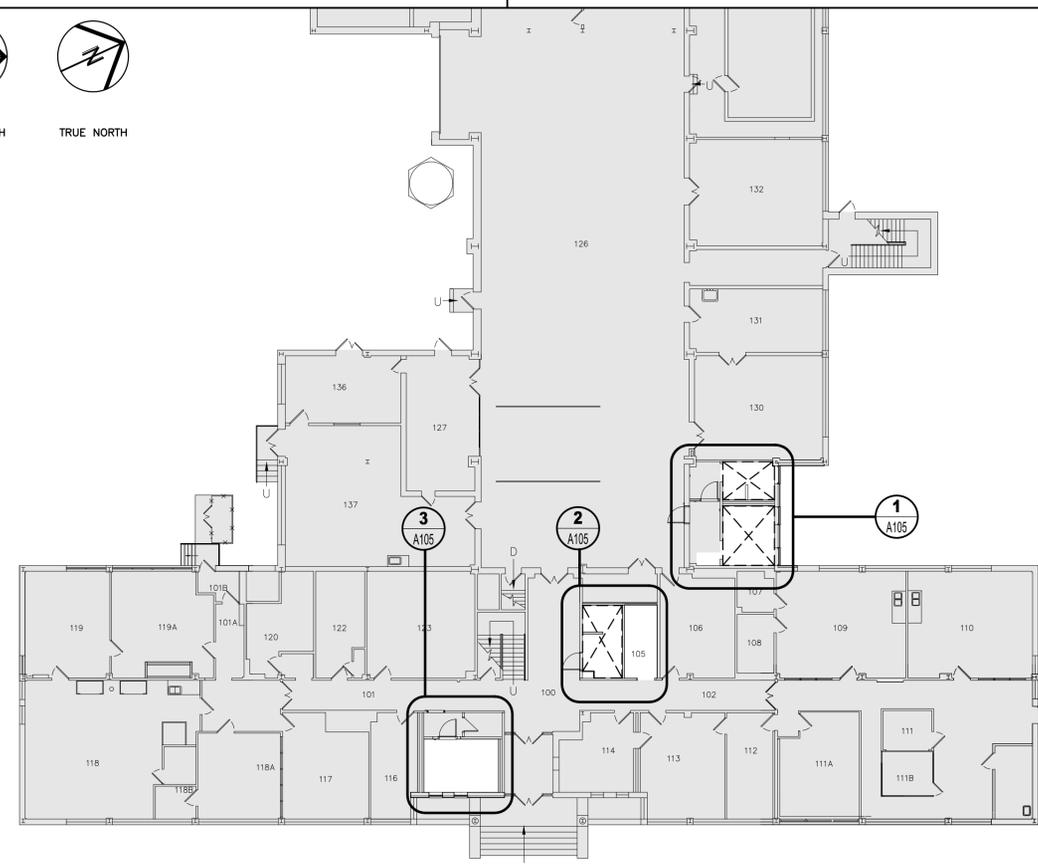
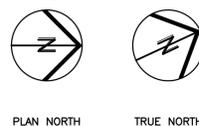
1. IN THE EVENT OF DISCREPANCIES FOR THE LOCATION OF MECHANICAL OR ELECTRICAL ITEMS TO BE INCORPORATED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN.
2. IN THE EVENT OF DISCREPANCIES IN THE QUANTITY AND TYPE OF MECHANICAL, ELECTRICAL ITEMS TO BE INCORPORATED, MECHANICAL AND ELECTRICAL DRAWINGS SHALL GOVERN. REFER ALSO TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR OTHER ITEMS TO BE INCORPORATED BUT NOT SHOWN ON ARCHITECTURAL DRAWINGS.
3. REFLECTED CEILING PLANS ARE TO BE READ IN CONJUNCTION WITH DETAILS AND INFORMATION SHOWN ELSEWHERE ON DRAWINGS. IN THE EVENT OF DISCREPANCIES THE MORE STRINGENT REQUIREMENT SHALL GOVERN (FOR EXAMPLE: DRYWALL BULKHEADS SHOWN ON REFLECTED CEILING PLANS MAY NOT APPEAR ON BUILDING SECTIONS BUT ARE REQUIRED TO BE INCORPORATED).
4. UNLESS SHOWN OTHERWISE ON DRAWINGS, GYPSUM BOARD BULKHEADS SHALL EXTEND VERTICALLY A MINIMUM OF 100mm ABOVE THE ADJACENT CEILINGS. ALL BULKHEADS SHALL PROJECT A MINIMUM OF 25mm BELOW THE LOWEST ADJACENT ACOUSTIC TILE CEILING UNLESS NOTED OTHERWISE.
5. SEE FLOOR PLANS FOR ADDITIONAL TYPICAL NOTES.
6. AT RECESSED LIGHT FIXTURES INSTALLED IN GYPSUM BOARD SOFFITS, PROVIDE SUITABLE TRIM DETAIL, TO PROVIDE SEAT AND SUPPORT FOR THESE UNITS. INSTALL ADDITIONAL HANGER WIRES.
7. COORDINATE LOCATION OF ACCESS DOORS WITH MECHANICAL TRADES TO PERMIT ACCESS TO EQUIPMENT BEHIND HARD SURFACES. ACCESS DOORS SUPPLIED BY MECHANICAL

CEILING TYPE SCHEDULE

CEILING TYPE	INDICATION	DESCRIPTION
A		16mm SUSPENDED MOISTURE RESISTANT GYPSUM BOARD CEILING
B		2' X 4' (610mm X 1220mm) SUSPENDED ACOUSTICAL TILES CEILING
C		16mm SUSPENDED GYPSUM BOARD CEILING OR BULKHEAD

REFLECTED CEILING PLAN LEGEND

- DENOTES ELEVATION ABOVE FLOOR
- DENOTES EXPOSED ROOF OR FLOOR STRUCTURE
- DENOTES CEILING TYPE
DENOTES ELEVATION ABOVE FLOOR
- LIGHT FIXTURE. REFER TO ELECTRICAL
- MECHANICAL GRILLE. REFER TO MECHANICAL
- ACCESS PANEL
- SMOKE DETECTOR OR HEAT DETECTOR
- MECHANICAL DIFFUSERS
REFER TO MECHANICAL DRAWINGS
- EXISTING CONSTRUCTION
NOT IN CONTRACT



4 KEY PLAN - BUILDING M59
1:200



Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

revisions	description	date
1	ISSUED FOR TENDER	2017 05 14

	A detail no. du detail	
	B location drawing no. sur dessin no.	
	C drawing no. dessin no.	

project project
M59-5379
WASHROOM
RENOVATION

1200 Montreal Road, Ottawa, ON

drawing dessin

M59 REFLECTED CEILING
PLANS - NEW WORK

Designed By J.V.D. / J.J. Conçu par
Date 2016 03 04 (yyyy/mm/dd)

Drawn By J.V.D. Dessiné par
Date 2016 03 07 (yyyy/mm/dd)

Reviewed By J.J. Examiné par
Date 2016 03 09 (yyyy/mm/dd)

Approved By BRANDON LALONDE Approuvé par
Date 2016 06 22 (yyyy/mm/dd)

Tender ISABELLE D'AMOUR TANGUAY Soumission

Project Manager Administrateur de projets

W.O. no. D.T. no.

M59-5379

Drawing no. No. du dessin

A105