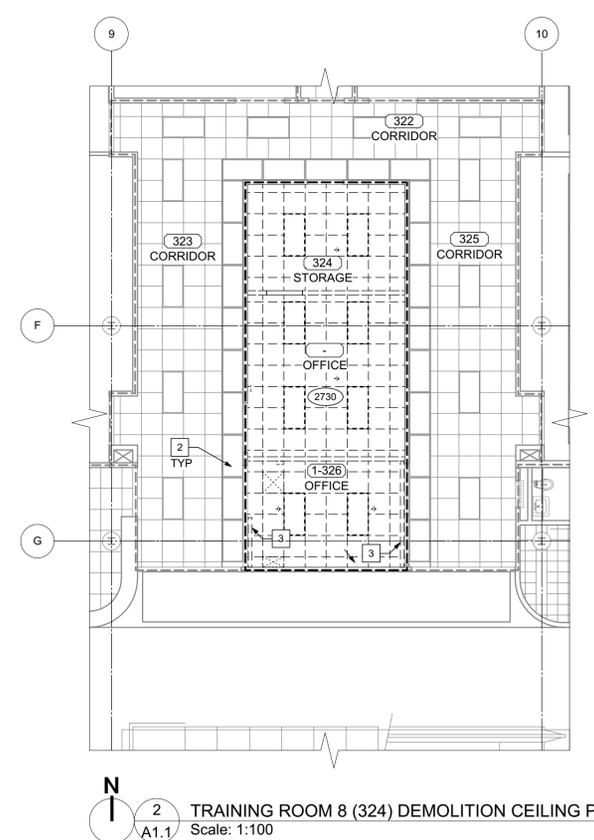


1 TRAINING ROOM 8 (324) DEMOLITION PLAN
Scale: 1:100



2 TRAINING ROOM 8 (324) DEMOLITION CEILING PLAN
Scale: 1:100

DEMOLITION GENERAL NOTES

- CONTRACTOR TO COORDINATE WITH DEPARTMENTAL REPRESENTATIVE ALL ITEMS REQUIRED TO BE TEMPORARILY MOVED. ALL ITEMS TO BE SALVAGED AND RETURNED TO DEPARTMENTAL REPRESENTATIVE.
- REMOVE AND SALVAGE ALL EXISTING INTERIOR SIGNAGE INCLUDING BUT NOT LIMITED TO ROOM NUMBERS & FIRE EXTINGUISHER SIGNAGE - VERIFY WITH DEPARTMENTAL REPRESENTATIVE.
- REFER TO MECHANICAL AND ELECTRICAL FOR DEMOLITION INFORMATION RELATED TO MECHANICAL AND ELECTRICAL ELEMENTS.
- SALVAGE ALL EXISTING FIRE EXTINGUISHERS WITHIN THE AREA OF WORK AND RETURN TO DEPARTMENTAL REPRESENTATIVE. ALL OTHER EXISTING FIRE EXTINGUISHERS TO REMAIN.
- REFER TO PLANS FOR DIMENSIONS RELATED TO DEMOLITION OF OPENING IN EXISTING WALLS.
- ENSURE THAT ALL EXISTING COMPONENTS TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION.
- REMOVE EXISTING DOOR HARDWARE ON ALL EXISTING DOORS WITHIN THE AREA OF WORK AND BE TURNED OVER TO THE DEPARTMENTAL REPRESENTATIVE. PROVIDE NEW HARDWARE AS INDICATED IN THE DOOR SCHEDULE.
- PATCH, REPAIR AND PAINT ALL G.W.B. WALL AND CEILING SURFACES TO REMAIN WITHIN THE AREA OF WORK.
- REMOVE EXISTING RAISED ACCESS FLOOR MODULES WITH HOLES FOR ELECTRICAL THAT ARE NO LONGER REQUIRED. SALVAGE MODULES FOR RE-USE IN RENOVATION AS PER NEW ELECTRICAL/INTERIOR LAYOUT. - REFER TO ELECTRICAL.
- CONTRACTOR TO PATCH AND MAKE GOOD ALL EXISTING HOLES AND HOLES RESULTING FROM DEMOLISHED ARCHITECTURAL/ELECTRICAL/MECHANICAL ITEMS.
- CONTRACTOR TO REMOVE ALL REDUNDANT SCREWS, NAILS, HARDWARE ETC. IN EXISTING WALLS. PATCH AND MAKE GOOD.

NOTE:
ASBESTOS CONTAINING MATERIALS (ACM'S) MAY BE PRESENT ON SITE. SHOULD THE CONTRACTOR SUSPECT ANY ACM'S ARE PRESENT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PWGSC PROJECT MANAGER AND THE DEPARTMENTAL REPRESENTATIVE. REFER TO SPECIFICATION FOR KNOWN LOCATIONS OF HAZARDOUS MATERIALS.

LEGEND

- DEMOLISH EXISTING WALL
- EXISTING WALL TO REMAIN
- - - - - DEMOLISH EXISTING DOOR, FRAME, AND SIDELITES (WHERE APPLICABLE)
- EXISTING DOOR, FRAME, AND SIDELITES (WHERE APPLICABLE) TO REMAIN. REFER TO DOOR SCHEDULE FOR MODIFICATIONS TO EXISTING DOOR, FRAME AND/OR DOOR HARDWARE

DEMOLITION KEYNOTES

- PATCH AND MAKE GOOD FLOOR IN AFFECTED AREA FOR NEW FLOOR FINISH
- NOT USED
- REMOVE EXISTING CARPET TILE FLOORING AND RUBBER BASE THROUGHOUT. SALVAGE ALL CARPET TILE IN GOOD CONDITION FOR RE-USE IN RENOVATION. REFER TO SPEC FOR DISPOSAL OF ALL TILES THAT ARE DEEMED NOT SATISFACTORY FOR RE-USE.
- REMOVE EXISTING WALL MOUNTED ACCESSORIES AND TURN OVER TO OWNER
- DEMOLISH EXISTING RUBBER BASE TO EXTENT INDICATED.
- SIGNAGE ON DOOR TO REMAIN. REMOVE AND STORE TO PAINT DOOR. REINSTALL ONCE PAINTING IS COMPLETE.
- REMOVE AND STORE EXISTING WALL MOUNTED PICTURES. REINSTALL ONCE WORK IS COMPLETE.
- EXISTING ELECTRICAL SWITCH - REFER TO ELECTRICAL
- DEMOLISH EXISTING ELECTRICAL SWITCH - REFER TO ELECTRICAL
- REMOVE EXISTING THERMOSTAT - REFER TO MECHANICAL
- TEMPORARY HOARDING WALLS TO U/S OF EXISTING CEILING. DO NOT SCREW INTO EXISTING CEILING. DUST PROOF ASSEMBLY. PROVIDE LOCKABLE DOOR. - TYP.
- DEMOLISH EXISTING WAINSCOTING. PATCH AND MAKE GOOD FOR NEW PAINT.
- NOT USED
- ELECT. PANELS TO REMAIN - REFER TO ELECT.
- RAISED ACCESS FLOOR MODULES WITH HOLES TO BE REMOVED TO SUIT NEW LAYOUT. DRAWING INDICATES LOCATION OF SOME BUT MAY NOT BE ALL PRESENT IN THE AREA OF RENOVATION. REFER TO DEMOLITION GENERAL NOTE #9.
- FILM ON GLAZING TO REMAIN. PROVIDE PROTECTION DURING PAINTING OF FRAME.

RCP DEMOLITION GENERAL NOTES

- CONTRACTOR TO REVISE SPRINKLER LINES AS REQUIRED TO ACCOMMODATE NEW LAYOUT. REFER TO MECH.
- REFER TO MECHANICAL AND ELECTRICAL FOR DEMOLITION AND RELOCATION OF WORK ASSOCIATED WITH MECHANICAL AND ELECTRICAL.

NOTE:
ASBESTOS CONTAINING MATERIALS (ACM'S) MAY BE PRESENT ON SITE. SHOULD THE CONTRACTOR SUSPECT ANY ACM'S ARE PRESENT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PWGSC PROJECT MANAGER AND THE DEPARTMENTAL REPRESENTATIVE. REFER TO SPECIFICATION FOR KNOWN LOCATIONS OF HAZARDOUS MATERIALS.

LEGEND

- - - - - REMOVE EXISTING LIGHTS AND RETURN TO OWNER. REFER TO ELECT.
- EXISTING LIGHTS TO REMAIN. REFER TO ELECT.
- - - - - REMOVE EXISTING MECHANICAL DIFFUSER AND RETURN TO OWNER. REFER TO MECH.
- - - - - REMOVE EXISTING ACOUSTIC CEILING TILE AND GRID. REFER TO SPECIFICATIONS FOR COMPONENTS TO BE SALVAGED
- EXISTING ACOUSTIC CEILING TILE AND GRID TO REMAIN
- - - - - EXISTING 1 HR FIRE RESISTANCE RATINGS TO BE MAINTAINED
- REMOVE SPRINKLER - REFER TO MECH.
- (2730) CEILING HEIGHT

RCP DEMOLITION KEYNOTES

- NOT USED
- EXISTING CEILING WITH INTEGRATED LIGHTING TO REMAIN. GRILLS MAY BE REMOVED TEMPORARILY DURING CONSTRUCTION AS REQUIRED.
- REMOVE EXISTING CEILING MOUNTED BLINDS AND TURN OVER TO OWNER



Revision	Description	Date
4		
3		
2		
1		
0	ISSUED FOR CONSTRUCTION	17-04-24

PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

Project title
**WINNIPEG TAX CENTRE (WTC)
66 STAPON ROAD, WINNIPEG, MANITOBA**

**CRA WINNIPEG
TAX-CENTRE FIT-UP**

Designed by **MY** Conçu par
Drawn by **KK** Dessiné par
Approved by _____ Approuvé par

PWGSC Project Manager **Jason Frozza** Administrateur de Projets TPSGC

Drawing title
**ARCHITECTURAL
TRAINING ROOM #8 (324)
DEMOLITION PLAN AND DEMO RCP
MAIN FLOOR**

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
R.078618	A1.1 OF	0