

**ADDENDUM NUMBER: TWO**

**ISSUED BY: SEPW Architecture Inc.**  
109 – 3725 Pasqua St., Regina, SK. S4S 6W8

**PROJECT: INTERIOR FIT-UP PHASE 2  
REGINA, SASKATCHEWAN**

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This Addendum forms part of the Contract Documents and amends the original Drawings and Specifications dated 2017-02-03, previous Addenda if applicable and as noted below. This Addendum consists of **13** pages.

Ensure that all parties are aware of all items included in this Addendum.

**The following revised or additional Specification Sections accompany and form an integral part of this Addendum:**

Section No.	Title	Pages	Date of Issue
	N/A		

**The following revised or additional Drawings accompany and form an integral part of this Addendum:**

Dwg. No.	Title	Date of Issue
AR-1	WALL MOUNTED MONITOR - TYPICAL	2017-06-02
AR-2	ADDITIONAL DEMOLITION AND SALVAGE EQUIPMENT MAIN FLOOR EAST PARTIAL PLAN	2017-06-02
AR-3	ADDITIONAL DEMOLITION AND SALVAGE EQUIPMENT SECOND FLOOR WEST PARTIAL PLAN	2017-06-02
AR-4	PARTIAL SITE PLAN	2017-06-02
AR-5	PARTIAL BASEMENT PLAN	2017-06-02
AR-6	ADDITIONAL MAGNETIC GLASS BOARD ELEVATIONS	2017-06-02
AR-7	PARTIAL SECOND FLOOR PLAN EAST – ROOM 221	2017-06-02
C1.1	SURFACE GRADING	2017-06-02
L.SK1	PARKING LOT PLANTING REVISIONS	2017-06-02

**A-2-1 REF. SPECIFICATION SECTION 01 11 00 SUMMARY OF WORK**

- .1 Add: 1.1.3: Work of this Contract will require the excavation of sand and soil within the crawlspace to facilitate Mechanical Work in this area. Refer to Detail 1/M1.2 between grid lines 10-11. Excess material can be relocated within the crawl space. Ensure sand within Work area is reinstated in a level and tidy manner.
- .2 Add: 1.2.6: Construction of the parking lot and sidewalks is to be done in conjunction with that of Priority One (1) Work. Contractor to make every effort to complete parking lot by Fall of 2017.
- .3 Add: 1.2.7: Completion of all Priority One (1) spaces will need to be occur by May 15, 2018 to coincide with personnel moving into the building from other locations. Contractor shall identify this milestone on their construction schedule and to identify as early in the project as possible whether or not this date can be achieved.

- .4 Add: 1.2.7: Washroom expansion as shown on 6/A2.13 is to be completed as a part of Priority One (1) Work, rather than Priority Two.

**A-2-2 REF. SPECIFICATION SECTION 01 14 00 WORK RESTRICTIONS**

- .1 Revise: 1.2.3 to read as: “Carry out interruptions after normal working hours of occupants. Shut-offs to building services must be completed on weekends.”

**A-2-3 REF. SPECIFICATION SECTION 01 41 00 REGULATORY REQUIREMENTS**

- .1 Add: 1.4 Building Permit  
 .1 Permit is not required for this Project from the City of Regina.

**A-2-4 REF. SPECIFICATION SECTION 08 90 10 DOOR AND FRAME SCHEDULE**

- .1 Revise: Schedule to read as: (Confirm existing door sizes and openings.)

Door No.	Door				Frame			Fire Rating	Glass	Additional Requirements
	Size	Type	Mat'l	Fin.	Type	Mat'l	Fin.			
101A	Exist	-	-	-	-	-	-	-	-	Replace door receiver on strike jamb. Color to match frame.
101B	900 x 2150	B	AL	PT	-	AL	PT	-	TG	Provide new vertical door jambs.
102	900 x 2150	B	AL	PT	-	AL	PT	-	TG	Provide new vertical door jambs.
126B	900 x 2150	B	AL	PT	-	AL	PT	-	TG	Provide new vertical door jambs.

- .2 Add: Door Type ‘B’ is tempered single glazed sealed unit with 45mm x 89mm (nominal) style and top rail, bottom rail is 45mm x 165mm.

**A-2-5 REF. SPECIFICATION SECTION 09 51 13 ACOUSTICAL PANEL CEILINGS**

- .1 Revise: 2.1.6.8 to read as: “Suspended Installation: Aircraft cable with all necessary clips, brackets and hangers required for a vertical baffle style installation.”

**A-2-6 REF. SPECIFICATION SECTION 10 14 00 SIGNAGE**

- .1 Add: 2.3.5 to read as: “All exterior signage is to be displayed in English and French. Final French translation will be provided by Departmental Representative.”

.2 Revise: 3.3 Schedule to read as:

TYPE	SIGNAGE NAME	# REQ'D	ROOM NO. or LOCATION	ADDITIONAL NOTES
A	Room Number	85	-	-

**A-2-7 REF. SPECIFICATION SECTION 10 21 13.19 PLASTIC TOILET COMPARTMENTS**

- .1 Revise: 2.1.3.1 to read as: “Floor-to-ceiling mounted”
- .2 Revise: 2.3.1 to read as: “Doors, panels and screens: solid phenolic panels with melamine surfaces, to sizes indicated.”

**A-2-8 REF. SPECIFICATIONS SECTION 26 50 00 LIGHTING**

- .1 Revise the specification for type ‘D’ as follows:
  - .1 Luminaire: Suspended LED pendant, 559 mm diameter prismatic frosted UV stabilized acrylic refractor with linear pattern, extruded cylindrical aluminum top housing and decorative rods and ring around the reflector, color powder coat finish (amber), 347 Volt input, maximum 86 Watts. 0-10 Volt dimming driver. Suspend from ceiling with mounting hub and 19mm stem painted to match fixture and cut to length. Bottom of fixture shall be level with underside of existing red painted steel beams to match existing height. Five year warranty.
  - .2 Lamps: 8990 delivered lumens LED module, 3,500K, 78 CRI, 60000 hours at 70% lumen maintenance.
  - .3 **Driver: 347-volt input, 0-10 Volt Dimming**
  - .4 Manufacturers:  
 Luminis Prisma Nova PR2265 Series  
 Or approved equal.
- .2 Revise the specification for fixture type ‘CC’ to include the following:  
 The contractor shall chain hang the fixture from the concrete structure so that the bottom of the fixture is flush with the bottom of the metal ceiling panel. Provide an edge trim to conceal the cut edge of the metal ceiling grid opening.
- .3 Exterior fixtures PL1, PL2 and PL3 – the diameter of the poles for these fixtures shall be 127mm.

**A-2-9 REF. SPECIFICATIONS SECTION 27 11 27 SOUND MASKING**

- .1 Revise the sound masking emitter/speaker housing: Housing colour shall be ‘BLACK’.
- .2 Revise the public address speakers/covers colours: For speakers that are installed in open ceilings and wood panel ceilings the housing shall be ‘BLACK’. Covers for speakers installed in T-bar ceilings shall be ‘WHITE’.

**A-2-10 REF. SPECIFICATIONS SECTION 28 22 00 BUILDING SECURITY  
ACCESS CONTROL**

- .1 Provide one 21mm rigid PVC conduit c/w #10 conductors from the T5 cabinet to the building crawlspace. Run parallel to u/g security conduit to the building. Transition to EMT and run feed to the emergency Panel E2S0 in Room 004. Provide water tight seal at the wall penetration. Remove one 15 amp single pole spare breaker and provide a new 15 amp tandem breaker. Use one half of the tandem breaker for T5 and the other half breaker for A5 receptacle in Room 007.
- .2 Run flexible conduit inside the lighting poles from the security PVC conduit installed in the pole base to Item #87 mounted on the pole and terminate in the pole cabinet.

**A-2-11 REF. DRAWING A0.1 PRIORITY PHASING PLANS**

- .1 Revise: Hatch for washrooms located on second floor between grid lines 6/7 and D/E to read as Phase 2 - Priority One (1).

**A-2-12 REF. DRAWING A1.1 SITE PLAN**

- .1 Refer to attached AR-4 Sketch for expansion of existing visitor and accessible parking at main entry of building.

**A-2-13 REF. DRAWING A2.1 DEMOLITION PLAN MAIN FLOOR PLAN EAST  
AND AR-2**

- .1 Refer to sketch AR-2 (Attached to this Addendum) for Additional Demolition and Salvage notes.

**A-2-14 REF. DRAWING A2.3 DEMOLITION PLAN SECOND FLOOR PLAN EAST  
AND AR-3**

- .1 Refer to sketch AR-3 (Attached to this Addendum) for Additional Demolition and Salvage notes.

**A-2-15 REF. DRAWING A2.10 MAIN FLOOR PLAN WEST**

- .1 Revise: Corridor 105 partition 'P6' detail symbol between Grid lines 11 and 12 to read as 1/A4.6 TYP.

**A-2-16 REF. DRAWING A2.11 SECOND FLOOR PLAN EAST**

- .1 Reference Room 233: Revise note to read as "Wall mounted monitors. N.I.C."

**A-2-17 REF. DRAWING A2.12 SECOND FLOOR PLAN WEST**

- .1 Revise: Corridor 201 partition 'P6' detail symbol between Grid lines 4/5, 7/8 and 11/12 to read as 2/A4.6 TYP.

- .2 Reference Room 202: Add note "Provide blocking for 65" monitor on West wall."  
Refer to AR-1 for blocking size and information.
- .3 Reference Room 205: Add note "Provide blocking for 65" monitor on South wall."  
Refer to AR-1 for blocking size and information.
- .4 Reference Room 206: Add note "Provide blocking for 65" monitor on North wall.  
Center line of blocking to be 3000mm west of millwork." Refer to AR-1 for  
blocking size and information.
- .5 Reference Room 217: Add note "Provide blocking for 65" monitor on East wall."  
Refer to AR-1 for blocking size and information.

**A-2-18 REF. DRAWING A2.16 REFLECTED CEILING PLAN SECOND FLOOR EAST**

- .1 Add: 600mm x 600mm access panel in gypsum ceiling Room 226 to provide access  
to existing mechanical valves. Confirm location with Departmental Representative  
prior to installation. Refer to Section 08 31 00 Access Doors for product  
information.

**A-2-19 REF. DRAWING S1.1 PARTIAL MAIN FLOOR PLAN**

- .1 Add: Drill and epoxy hooked 10M reinforcing bars 300x300 on alternating sides of  
the trench spaced 610 o/c at 50 below top of main floor slab. Install 2-10M  
continuous bars full length of trench. Infill trench with N type concrete, 25MPa @  
28d, 75mm-110mm slump with no air entrainment.

**A-2-20 REF. DRAWING M1.1 BASEMENT FLOOR PLAN EAST PLUMBING DEMOLITION**

- .1 Remove existing chiller pumps in middle of mechanical room for replacement of  
concrete. Re-install existing chiller pump in same location after concrete  
replacement. See architectural drawings AR-5 (Attached to this Addendum) for  
location of pumps.

**A-2-21 REF. DRAWING M1.2 BASEMENT FLOOR PLAN WEST PLUMBING DEMOLITION**

- .1 Re-establish slopes of existing sanitary and storm lines between Grid lines 10 and  
12.

**A-2-22 REF. DRAWING M1.3 MAIN FLOOR PLAN EAST PLUMBING DEMOLITION**

- .1 Remove existing sink in Room 104 and relocate sink and faucet to second floor  
Room 221, see architectural sketch AR-7 (Attached to this Addendum). Tie into  
existing plumbing lines in vicinity.

**A-2-23 REF. DRAWING M1.5 SECOND FLOOR PLAN EAST PLUMBING  
DEMOLITION**

- .1 Delete demolition of Acid Waste condensate drain line between grids E and F as these drain lines were removed in phase 1.

**A-2-24 REF. DRAWING M1.6 SECOND FLOOR PLAN WEST PLUMBING  
DEMOLITION**

- .1 Drinking fountain shown in Room 244/245 shown to be removed does not exist.
- .2 Remove existing sink in Room 248 and all associated plumbing lines.
- .3 Sink and eyewash shown for removal in Room 249 were removed in Phase 1. Remove associated plumbing lines.

**A-2-25 REF. DRAWING M1.14 SECOND FLOOR PLAN WEST VENTILATION  
SUPPLY DEMOLITION**

- .1 Remove six existing corridor 223 ceiling fans and replace with new. New fans to be variable speed, 3 blade, 900mm diameter, white enamel finish, variable speed controller, extension arm with length to suit existing. Unit to be reversible c/w reversing switch. Fan specification based on Bavit 2000 model FP36R.

**A-2-26 REF. DRAWING M1.21 MAIN FLOOR PLAN EAST FIRE PROTECTION –  
DEMOLITION**

- .1 Remove existing glycol loop on garage sprinkler zone. Existing room 142 will no longer function as a garage and therefore zone call be filled with water.

**A-2-27 REF. DRAWING M2.5 SECOND FLOOR PLAN EAST PLUMBING**

- .1 Revise north east water closet labelled WC-3 in washroom 226 to new handicap type WC-1.
- .2 Revise south east water closet labelled WC-3 in washroom 227 to new handicap type WC-1.

**A-2-28 REF. DRAWING M3.1-M3.4 MAIN FLOOR PLAN EAST HEATING**

- .1 Revise: general heating note to read as: “Install auto air vents with ball valves at all high points in the system.”

**A-2-29 REF. DRAWING M4.2 BASEMENT FLOOR PLAN WEST VENTILATION**

- .1 No work is required on this drawing. Drawing shown only for information purposes.

**A-2-30 REF. DRAWING E5.1 MAIN FLOOR PLAN WEST POWER & SYSTEMS PLAN**

- .1 In Corridor 105 provide a duplex receptacle c/w 15 amp 120 volt circuit and TV outlet c/w Belden RG6 coax cable mounted on the west wall backing on to Room 107. Mount outlets behind TV out of site. Coordinate with architectural details for mounting heights. Run wiring through Room 107 to the accessible ceiling in Room 106. Run coax cable to Room 003 and terminate at the telephone plywood. Provide an additional 3 meters of coax cable coiled in Room 003.

**A-2-31 REF. DRAWING E5.2 MAIN FLOOR PLAN EAST POWER & SYSTEMS PLAN**

- .1 In Room 144 revise the note from Detail #1 to refer to Detail #3.
- .2 In Room 127 provide (4) four door 24 Vdc Honeywell Heavy Duty Roller Micro-switch non-plug-in limit switch and (4) locking bolts one for each of Doors 127 C,D,E,F. Ensure locking bolts activate rolling micro switch when bolt is engaged. Provide a conduit and line voltage wiring from the micro switch to the door operator for control of the operator. When the mico-switch is activated the door operator is disabled.
- .3 Room 135 provide one TV outlet c/w Belden RG6 coax cable mounted on the south wall. Mount outlet behind TV out of site. Coordinate with architectural details for mounting heights. Run coax cable to Room 003 and terminate at the telephone plywood. Provide an additional 3 meters of coax cable coiled in Room 003.
- .4 Revise Note #9 and Note #10 to obtain existing pac-poles from the owner for temporary installation and provide wiring as noted to the existing pac-poles.
- .5 Provide a duplex receptacle in the T4 cabinet below desk. Provide a new 15 amp single pole breaker in Panel E2P1 located approximately 2 meters north of Gridline C/12 on main floor.

**A-2-32 REF. DRAWING E5.3 BASEMENT FLOOR PLAN**

- .1 In Room 001 the concrete housekeeping pad located on the south side of MCC2 is being replaced. The contractor shall disconnect the feeders to the two (2) existing pumps and associated disconnect switches. Loosen the mounting support brackets for the disconnect switches to allow for the new pad installation. When the pad is complete re-install the disconnect switches and reconnect the feeders.

**A-2-33 REF. DRAWING E6.1 MAIN FLOOR PLAN EAST POWER & SYSTEMS PLAN**

- .1 In Room 214 provide a duplex receptacle on the east wall centered in the opening between the end of the counter that backs Room 213 and the end wall of Room 217. Mount receptacle up 450mm and provide a separate 15 amp circuit fed from a new 15 amp single pole breaker in Panel 2A2.
- .2 In Room 203 the receptacle c/w circuit 2F2-8 and two data outlet shown at the back of the desk at Gridline 13 shall be located on the north wall at Gridline B and fed through the VR vertical raceway.

**A-2-34 REF. DRAWING E6.2 SECOND FLOOR PLAN EAST POWER & SYSTEMS PLAN**

- .1 In Room 234 provide a duplex receptacle c/w 15 amp 120 volt circuit and TV outlet c/w Belden RG6 coax cable centered on the south wall. Mount outlets behind TV out of site. Coordinate with architectural details for mounting heights. Run wiring through Room 231 accessible ceiling. Run coax cable to Room 003 and terminate at the telephone plywood. Provide an additional 3 meters of coax cable coiled in Room 003.

**A-2-35 REF. DRAWING E8.2 SECOND FLOOR PLAN EAST LIGHTING PLAN**

- .1 In Corridor 201 atrium the contractor shall disconnect (6) six existing ceiling fans and retain the existing circuitry for new fans provided by mechanical. Connect new fans to existing circuits and control switching.
- .2 In Corridor 228 delete (4) Type AA8 fixtures and provide (6) Type CC fixtures suitable for metal linear ceiling. Revise the public address speakers from Type PA1 to be Type PA2.
- .3 In Corridor 228 revise Note #4 to read Contractor shall provide a new exit sign and connect to the new exit sign circuit.
- .4 Revise circuitry and control for new Type 'D' fixtures in the Atrium as follows:
- a. Remove existing receptacles adjacent to each Type 'D' fixtures and feed circuitry directly into fixtures. Remove connection of fixtures to the existing low voltage lighting control system original to the building (prior to the Phase 1 renovation).
  - b. New Type 'D' fixtures shall be fed from Panel 6W2 and connected into the existing Leviton Low Voltage Panel (provided in Phase 1 but is not shown on drawings) in Room 218. The eleven (11) fixtures between grid lines 1 and 8 shall be fed from 347 Volt circuit 6W2-10, and the remaining ten (10) fixtures north of grid line 8 shall be fed from 347 Volt circuit 6W2-12. Provide new branch circuit conductors and new conduits / junction boxes. Existing Atrium lighting is to remain as long as possible until new Type 'D' fixtures are installed.
  - c. The two (2) 347 Volt circuits noted above shall be connected into the two spare 0-10 Volt dimming relays in the Low Voltage Panel in Room 218. Run circuitry within conduit between Panel 6W2 and the Low Voltage Panel.
  - d. Provide new 0-10 Volt control wiring from each relay to each new type 'D' fixture.
  - e. Provide a new photocell within the Atrium to monitor the daylight levels and connect into the Low Voltage Panel. Final location shall be coordinated with consultant. The type 'D' fixtures shall be controlled by the Low Voltage Panel relays and photocell to provide on/off control through the timeclock and continuous dimming of the fixtures based on the level of daylight in the Atrium.



**A-2-36 REF. DRAWING C1.1 SURFACE GRADING (REVISION 1 – Attached to this Addendum)**

- .1 Add: Note 8 to read as follows: “Prior to construction the City of Regina will be installing a manhole within the asphalt surface for access to a deep sanitary sewer trunk. The location and rim elevation of the proposed manhole is unknown. When pricing, assume no additional manhole material is required.”
- .2 Revise: Notes related to “Proposed Berm” to read as “Berm”.

**A-2-37 REF. DRAWING C1.2 SIDEWALK, CURB AND GUTTER**

- .1 Revise: Notes related to “Proposed Sidewalk” to read as “Sidewalk”.

**A-2-38 REF. DRAWING C1.3 TYPICAL DETAILS**

- .1 Clarification: Refer to Detail 6/C1.3, 75mm-100mm rock is expected to be semi-exposed by means of embedding in concrete.

**A-2-39 REF. DRAWING L1.4 DETAILS**

- .1 Revise: Details 1 and 3 referencing ‘Sawcut’ are to be revised to read as ‘Tooled’.

**A-2-40 ADDITIONAL ELECTRICAL ITEMS**

- .1 Add General Note: Where outlets are located on walls with acoustic panels the contractor shall mount the outlets between the panels or adjacent to the panels. No holes are to be cut in acoustic panels. Refer to architectural drawings for wall types and locations of acoustic panels.
- .2 Add General Note: Where new conduits recessed in walls stub out at the top of the wall into the accessible ceiling, the stub-outs shall be above the bottom elevation of the ceiling or suspended panels so that they are not visible from below.
- .3 Add: Electrical note to Drawing AR-7 (Attached to this Addendum) to read as follows: “The electrical contractor shall revise one existing 5-15R standard duplex receptacle to a 5-15R ground fault circuit interrupter duplex receptacle on the north wall of Room 221. Receptacle is located approximately 700mm south of the relocated sink in architectural sketch AR-7.”
- .4 Add: Electrical note to Drawing L.SK1 Parking Lot Planting Revisions (Attached to this Addendum) to read as follows: “Conduit to stub up in center of pad and to coordinate underground conduit runs with Landscape Consultant.”

**QUESTIONS AND ANSWERS:**

Q1: For the outdoor concrete sidewalks to be installed with Phase 2 of the RCMP Forensics Lab Renovations, are the contraction joints in the sidewalks to be tooled at 1.5 m spacing as per specification 32 16 15 and drawing C1.3, or are the joints to be saw cut at varying distances as per drawing L1.4?

A1: *Saw cuts for the patio and portion of the walk that goes through the patio should be per drawing 1/L1.4. These saw cuts are expected to be 1500mm or less, except where the diagonal walkway goes through the patio; these are expected to be approximately 1800mm by 1125mm. The remaining concrete walks can be cut to the 1500mm O.C. standards.*

Q2: Is there a little more info available regarding Note 15 on E5.3? Or perhaps someone could provide pictures of the conduits to be relocated as per this note? During the walkthrough, taking pictures was very limited and was unable to get the information require to do a proper take off of this item.

A2: *A response to this question will be addressed in a following Addendum.*

Q3: In regards to fire alarm speaker/strobe circuit wiring, are we required to pull these circuits as A class or is B class acceptable for the wiring of field devices?

A3: *B class is acceptable.*

Q4: In regards to Type FF8 lighting fixtures shown on 2<sup>nd</sup> floor lighting drawings. These fixtures do not have specifications available in 26 50 00. Please provide specification requirements.

A4: *The specifications for FF8 can be found on pages 8 and 9 of Section 26 50 00 Lighting.*

Q5: Is the Nexus Emergency lighting monitoring system already in place? Or are we required to provide and install all monitoring equipment, controllers and components?

A5: *The Nexus System has been installed under a separate contract as a part of Phase 1 Construction.*

Q6: If the Nexus system is already in place, please provide information on the location of monitoring panel.

A6: *The Nexus System has been installed in Room 003.*

Q7: Can BX be used for drops to electrical devices in walls?

A7: *BX drops will only be accepted in existing walls where conduit cannot be installed. No horizontal runs of BX will be acceptable in walls.*

Q8: Please confirm that all fire alarm speaker/strobe circuits are required to be ran in separate conduit from initiating circuits as per Sections 28 31 01.

A8: *Speaker/strobe circuits and initiating circuits shall be run in separate conduits as specified.*

Q9: Regarding the Anti-Vault Window please advise the overall dimensions of the window required.

A9: *Overall dimensions of finished opening are 1350mm H x 1500mm W. To be coordinated with millwork.*

Q10: Item 1.1.2 found in 01 11 00 Summary of Work:

- a. Please clarify the GC's responsibilities for the relocation of staff. It appears to read that the GC will only have to move banker boxes, computer towers and monitors along with coordinating the moves.

- b. Please confirm the services performed by the moving company will be contracted directly with the Owner.

A10:

- a. *General Contractors are expected to move items such as boxed personal items, computers/monitors, workstation associated equipment and task chairs for the 52 staff as described in the Specifications. General Contractor will also be responsible for Addendum No.1 Item A-1-1.2.*
- b. *Specification Item 1.1.2.2 addresses existing systems furniture for Units that are currently located within areas of the building requiring renovation. The inventory, disassembly, storage and reassembly of this furniture will be completed under a separate contract.*

Q11: Item 1.2.1 found in 01 41 00 Regulatory Requirements and Item 1.4.1 found in 02 41 99 Demolition for Minor Works – please confirm the abatement of any hazardous materials will be dealt with as an extra to this contract (if any discovered).

A11: *Yes, if hazardous materials are found that require remediation the Work would be considered an extra.*

Q12: Please confirm the quantity of Room Number Signs (Type A) required. I've counted approximately (43) interior doors (excluding phase 1 areas and washrooms/locker rooms). Assuming types K, L, M, and CC are include in that (43), this leaves (27); please confirm.

A12: *Refer to Addendum No.2 item A-2-6.*

Q13: Please confirm the quantity and sizes of magnetic boards as there are a couple call up's for blocking but no elevations to show the quantity/size required.

A13: *Refer to AR-6 for additional elevations of magnetic glass boards required. Below is a complete schedule of magnetic glass boards.*

Room	Board Size (mm)	Quantity
105	915 x 1525	1
135	1100 x 1830	1
201	915 x 1525	1
203 – Shared Use Area	1100 x 1330	3
203 – Backing Room 204	760 x 1330	2
203 – Between Grid Lines 13 and 14	1100 x 1525	1
214	820 x 1100	1
214	820 x 1370	1

Q14: Please quantify the amount of additional millwork and equipment that is not shown on the demolition plans for rooms 105 and 246.

A14: *Refer to AR-2 and AR-3 attached to this addendum for updated demolition and salvage locations throughout the building.*

Q15: Please confirm if any of the existing partitions contain security mesh within (substantially increases labour required to remove).

A15: *No, existing partitions do not contain security mesh.*

Q16: Please provide existing topographical plan of the site in order for us to determine the required cut/fill quantities for the earthwork required. Alternatively, provide an assumed existing elevation to base calculations off of and to ensure all GC's are pricing the same scope.

A16: *Refer to the revised C1.1 dated 2017-06-02 attached to this Addendum.*

Q17: Please clarify the existing ceiling type in Room 238 as the hatching isn't shown on the legend. Please confirm the ceiling is to be demolished.

A17: *The existing ceiling is gypsum board and is to be demolished. Room 258 is the same.*

Q18: Drawing A3.2; Detail 10, Elevation 2, Room 135 - Please confirm the outlines are acoustic wall panels.

A18: *Yes, the outlines shown represent acoustic wall panels.*

Q19: Drawing A3.4; Detail 1, Elevation 1, Room 232 - Please confirm the outlines are acoustic wall panels.

A19: *Yes, the outlines shown represent acoustic wall panels.*

Q20: Cambria Quartz was referenced as the base in the specification. I have sent through a sample to the Consultant for their review along with the specification for an alternate product. Please advise if this is acceptable.

A20: *The submitted sample for review has been found acceptable. Product information is as follows: Silestone – Basiq Series in colorway 'Marengo'.*

Q21: At the site walk thru, it was noticed that there is millwork NOT shown on the drawings that will be required to be removed in the project. Will items like this become an extra to the contract? While every effort was made to ensure no details were missed, we were kind of rushed through the walk thru and I could not verify that everything was shown on the drawings. For example Room 136 does not show any millwork to be removed, yet there was upper and lower cabinets with a sink in that room.

A21: *Refer to AR-2 and AR-3 attached to this addendum for updated demolition and salvage locations throughout the building.*

Q22: In Phase 1, the building permit cost was credited back to the Owner due to City of Regina difficulties. Can we do the same thing for Phase 2?

A22: *A building permit will not be required. Refer to Addendum No.2 item A-2-3.*

Q23: Specification lists both 19mm and 25mm thickness for doors. Please confirm 19mm is acceptable.

A23: *Refer to Addendum No.2 item A-2-7.*

Q24: Specification notes both overhead-braced and floor-to-ceiling braced partitions. Please confirm requirements.

A24: *Refer to Addendum No.2 item A-2-7.*

Q25: Specification notes additional vent holes required in body top of locker, but also notes that lockers will have sloped top which will negate additional venting. Please confirm requirements.

A25: *Provide slope tops with no additional venting in body top of locker.*

Q26: Please advise requirements for glass boards in Area 203. Floor plan notes blocking for glass boards to be installed in 3 locations in Area 203, but elevations shown only one location.

A26: *Refer to AR-6 for additional elevations.*

### **REQUEST FOR ALTERNATIVE PRODUCTS AND/OR MATERIALS:**

Request 1 – ASI Group - Washroom Accessories

Response 1 – *The following products have been reviewed and found acceptable as equal the specified items:*

- *ASI 20030, ASI 20852, ASI 0811, ASI 8425, ASI 8215, ASI 1000 and ASI 1214*

Request 2 - RIEGER Architectural Products – Acoustical Panel Ceilings

Response 2 - *The following products have been reviewed and found acceptable as equals to the specified items:*

- *ACGI Perforated Flat Panel ceiling system: Suspension System 5 (SS5)*
- *ACGI Cube System: Modular Series 1 (CM1)*
- *Gordon Contura Perimeter Trim: height to match specified locations*
- *Sound Concepts Acoustic Cloud: vertical (baffle) installation*

Request 3 – Shanahans – Interior Horizontal Mailboxes

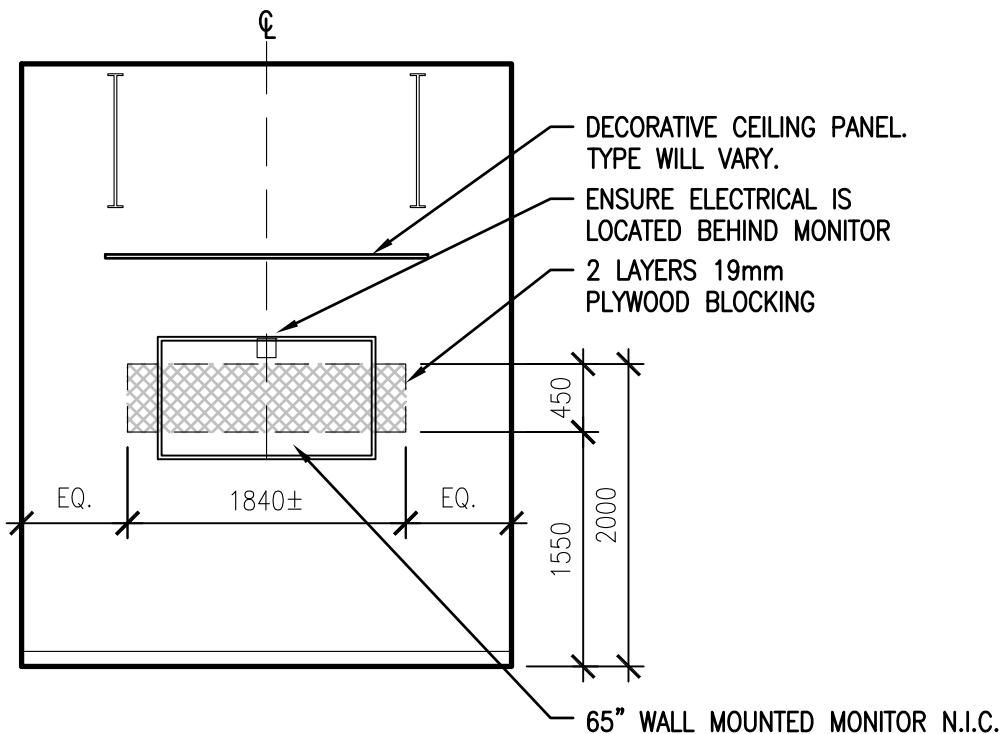
Response 3 – *The following products have been reviewed and found acceptable as equals to the specified item provided they are mounted with the use of concealed brackets and/or fasteners suitable for concrete block:*

- *Riopel Model 6150 Surface Mount*
- *CMC Model 1200 Surface Mount*

Response 4 – Hubbell Canada

Response 4 – *Per Owner requirements, only the specified products will be accepted for these items.*

**END OF ADDENDUM NO. 2**



## WALL MOUNTED MONITOR

1:50

(TYPICAL)

2017/06/05 X:\SEPW PROJECT FILES\2015\30-2015 FORENSIC LAB REMAINDER\ACAD\WORKING DRAWINGS\AR SHEETS\PLOT FILES\AR1 TYPICAL WALL MONITOR LAYOUT



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 ■ website: www.sepwa.ca

PROJECT TITLE  
**INTERIOR FIT-UP PHASE 2  
 REGINA, SASKATCHEWAN**

DRAWING TITLE  
**TYPICAL WALL MOUNTED MONITOR**

DATE  
**2017-06-02**

SCALE  
**AS SHOWN**

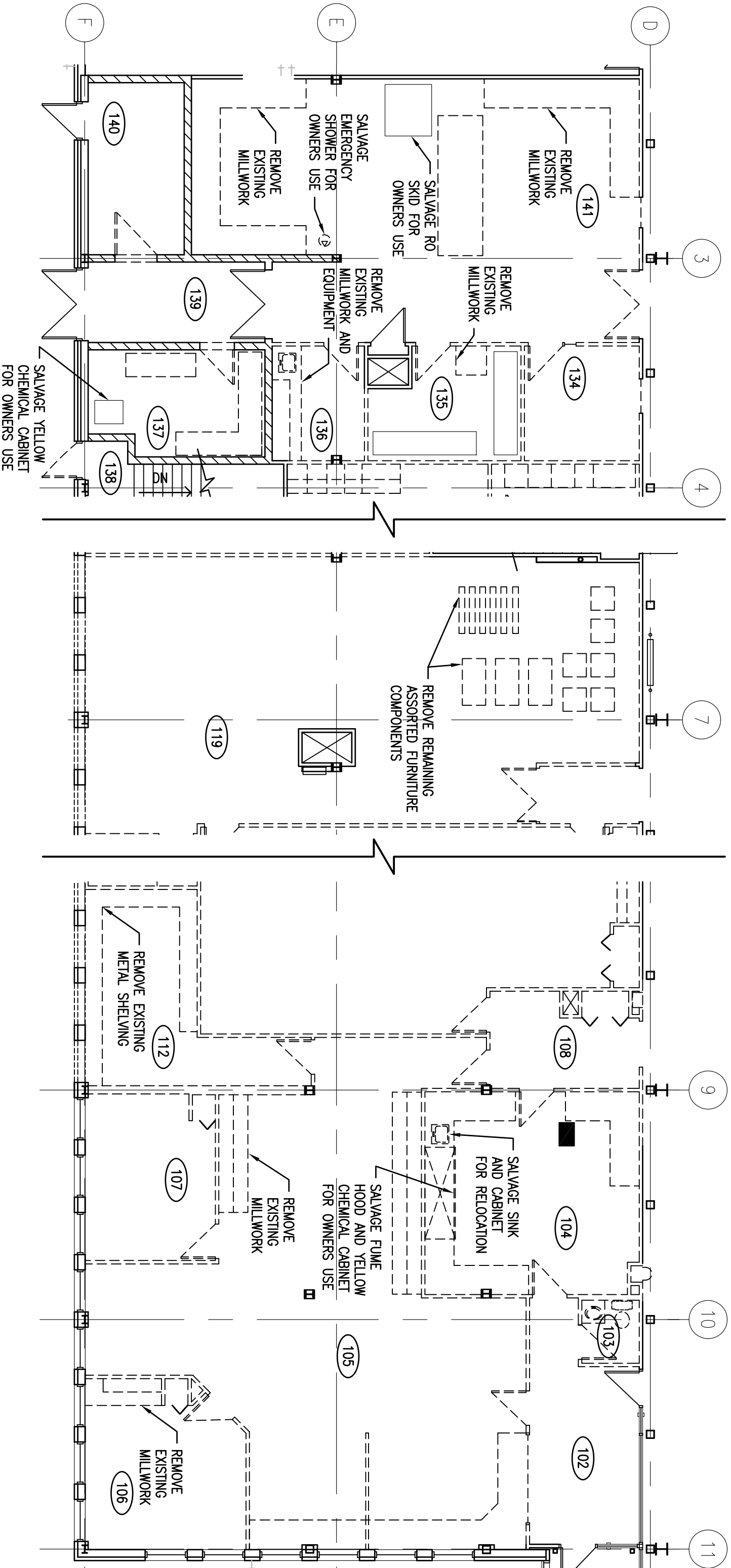
DRAWN  
**VL**

CHECKED  
**RP**

PROJECT NO.  
**30/15**

DRAWING NO.

**AR-1**



1  
AR-2

MAIN FLOOR PLAN EAST  
1:100

**SEPW** Architecture Inc.

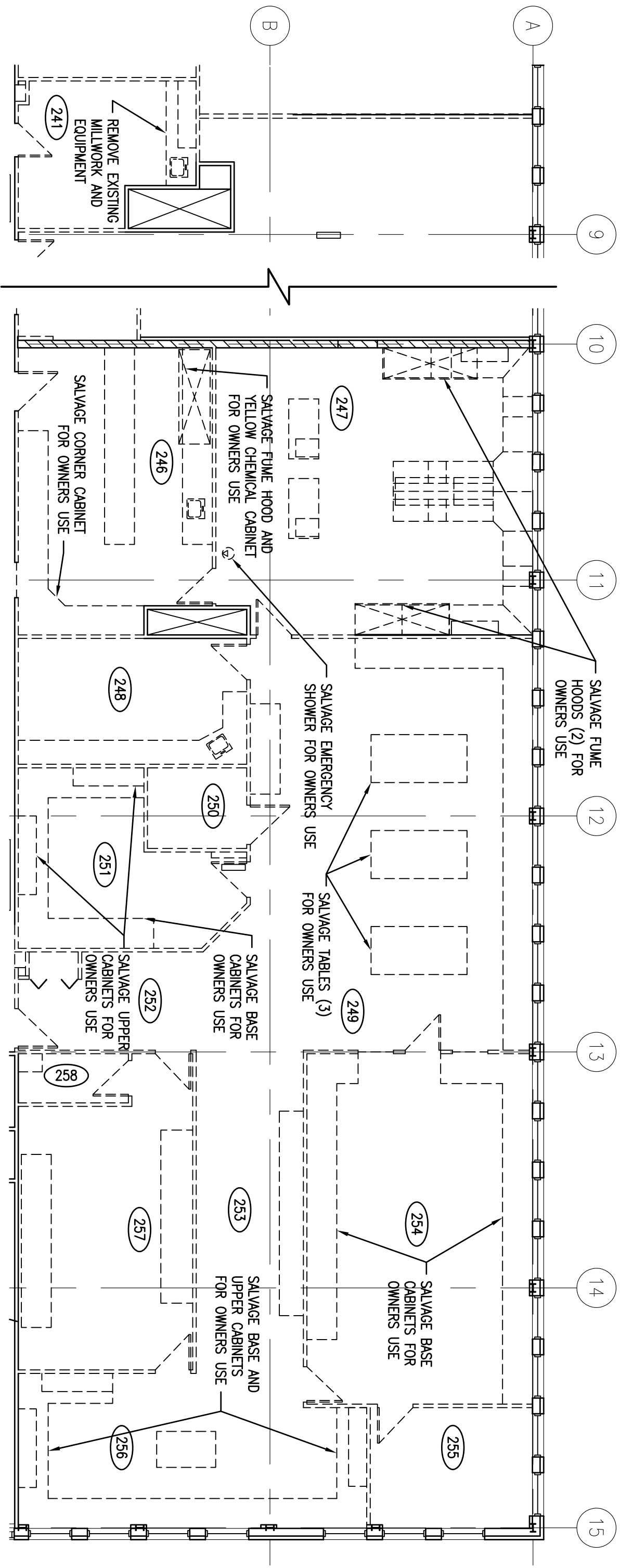
109 - 3725 Pasqua Street, Regina, SK, S4S 0A8, ph: (306) 589-2255  
102 - 3718 Kinross Place, Saskatoon SK, S7N 0A6, ph: (306) 652-6457  
website: www.sepw.ca

PROJECT TITLE  
INTERIOR FIT-UP PHASE 2  
REGINA, SASKATCHEWAN

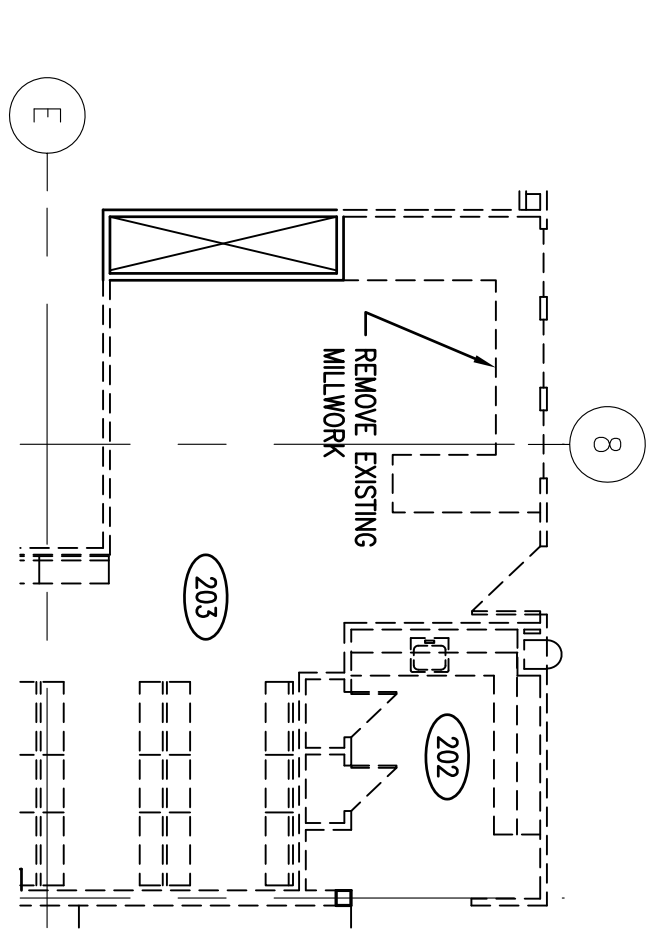
DRAWING TITLE  
ADDITIONAL DEMOLITION AND SALVAGE EQUIPMENT  
MAIN FLOOR EAST PARTIAL PLAN

DATE 2017-06-02	PROJECT NO. 30/15
SCALE AS SHOWN	DRAWING NO.
DRAWN VL	
CHECKED RP	

AR-2



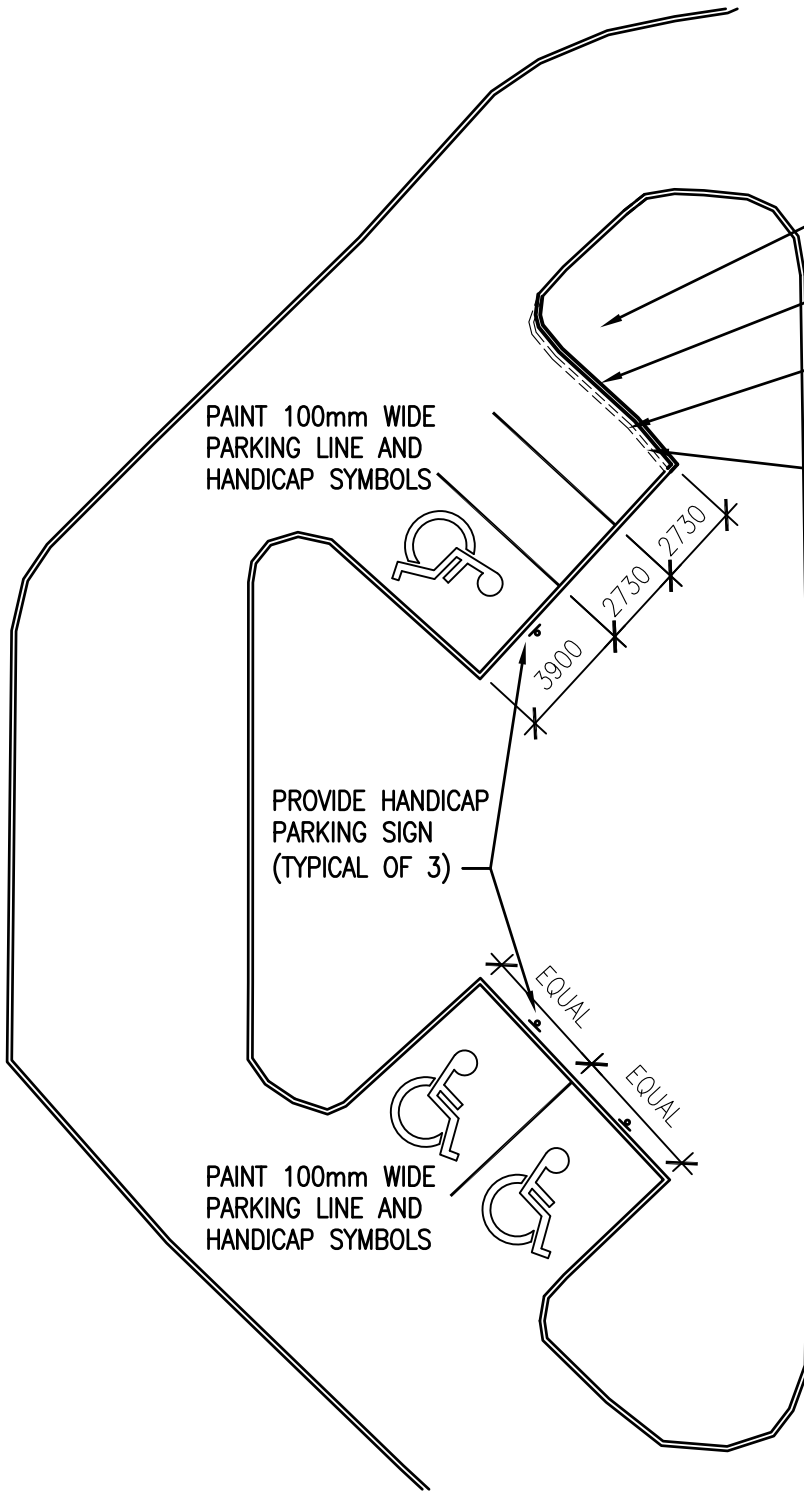
**1**  
AR-3  
1:100  
SECOND FLOOR PLAN WEST



**2**  
AR-3  
1:100  
SECOND FLOOR PLAN EAST

		<b>PROJECT TITLE</b> INTERIOR FIT-UP PHASE 2 REGINA, SASKATCHEWAN	
<b>DRAWING TITLE</b> ADDITIONAL DEMOLITION AND SALVAGE EQUIPMENT SECOND FLOOR WEST PARTIAL PLAN		<b>DATE</b> 2017-06-02	
109 - 3725 Pasqua Street, Regina, SK, S4S 0W8 102 - 3718 Kimerer Place, Saskatoon SK, S7P 0A6 Website: www.sepw.ca		<b>SCALE</b> AS SHOWN	
SJS 0W8 S7P 0A6 pr: (306) 589-2255 ph: (306) 652-6457		<b>PROJECT NO.</b> 30/15	
DRAWN VL		<b>DRAWING NO.</b> AR-3	
CHECKED RP			





REINSTATE LANDSCAPING TO EXISTING CONDITION

NEW CURB TO MATCH EXISTING. MATCH EXISTING RADIUS.

DEMOLISH EXISTING CURB (SHOWN DASHED) AS REQUIRED TO CREATE 3 PARKING STALLS AS DIMENSIONED

PATCH ASPHALT AS REQUIRED FROM REMOVALS

PAINT 100mm WIDE PARKING LINE AND HANDICAP SYMBOLS

PROVIDE HANDICAP PARKING SIGN (TYPICAL OF 3)

PAINT 100mm WIDE PARKING LINE AND HANDICAP SYMBOLS



NORTH

1  
A1.1

# PARTIAL SITE PLAN

1:250

2017/06/05 X:\SEPW PROJECT FILES\2015\30-2015 FORENSIC LAB REMAINDER\ACAD\WORKING DRAWINGS\AR SHEETS\PLOT FILES\AR4 PARTIAL SITE PLAN



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 website: www.sepwa.ca

PROJECT TITLE  
**INTERIOR FIT-UP PHASE 2  
 REGINA, SASKATCHEWAN**

DRAWING TITLE  
**PARTIAL SITE PLAN**

DATE  
**2017-06-02**

SCALE  
**AS SHOWN**

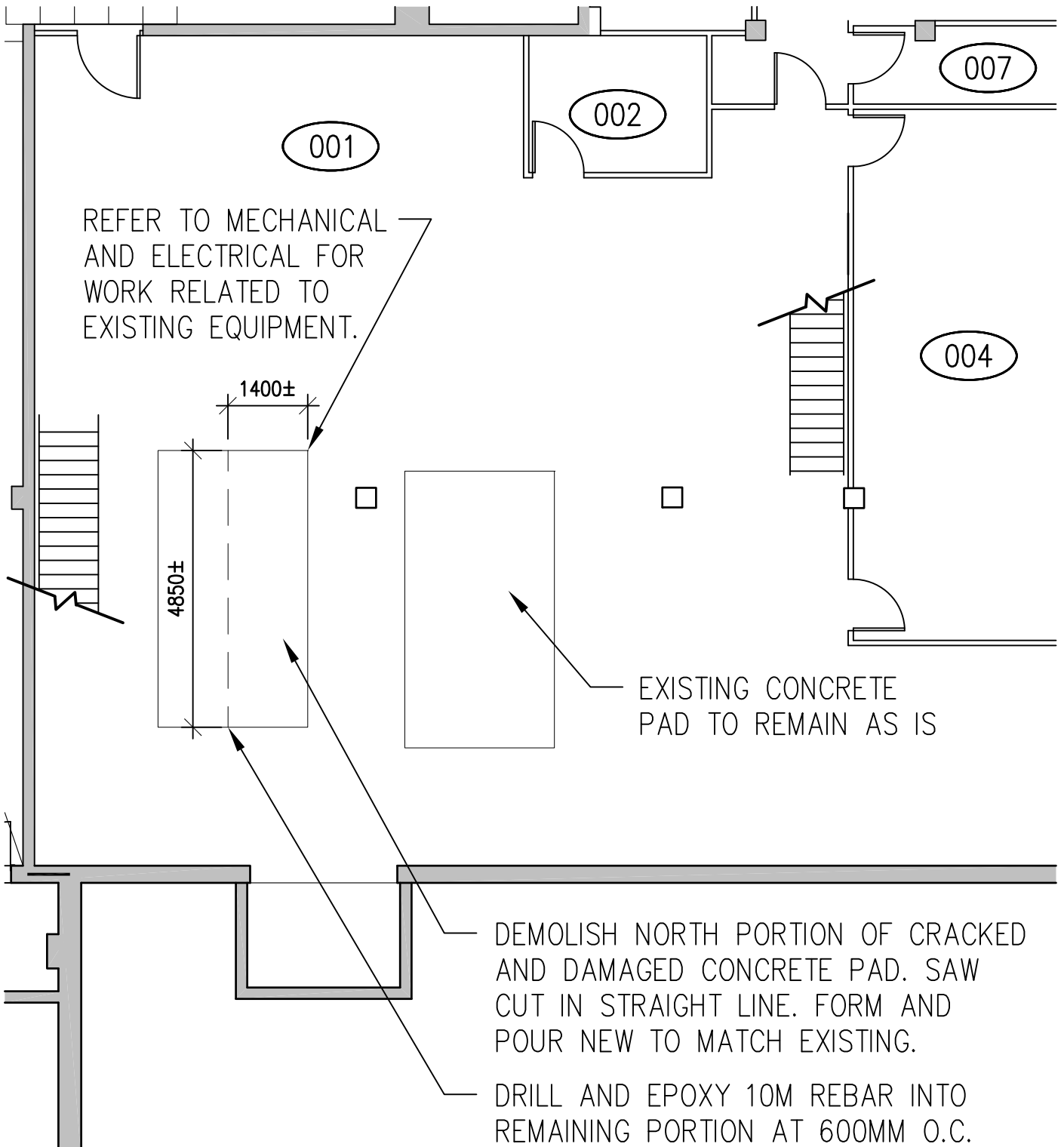
DRAWN  
**VL**

CHECKED  
**RP**

PROJECT NO.  
**30/15**

DRAWING NO.

**AR-4**



NORTH

1  
AR5

# PARTIAL BASEMENT PLAN

1:100

2017/06/05 X:\SEPW PROJECT FILES\2015\30-2015 FORENSIC LAB REMAINDER\ACAD\WORKING DRAWINGS\AR SHEETS\PLOT FILES\AR5 PARTIAL BASEMENT PLAN



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 ■ website: www.sepwa.ca

PROJECT TITLE  
**INTERIOR FIT-UP PHASE 2  
 REGINA, SASKATCHEWAN**

DRAWING TITLE  
**PARTIAL BASEMENT PLAN**

DATE  
**2017-06-02**

SCALE  
**AS SHOWN**

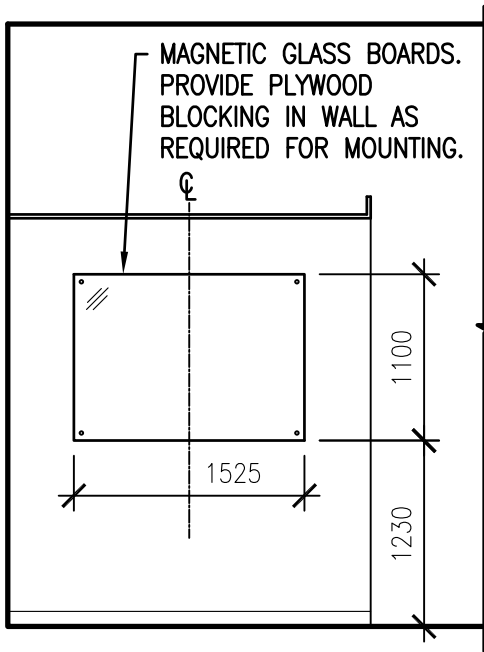
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**VL**

CHECKED  
**RP**

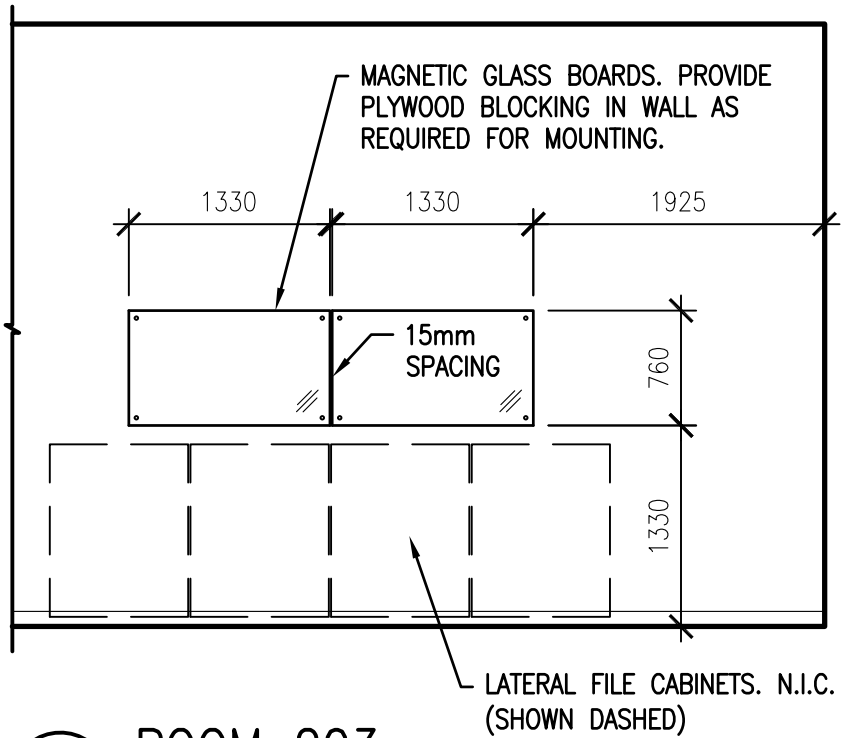
PROJECT NO.  
**30/15**

DRAWING NO.

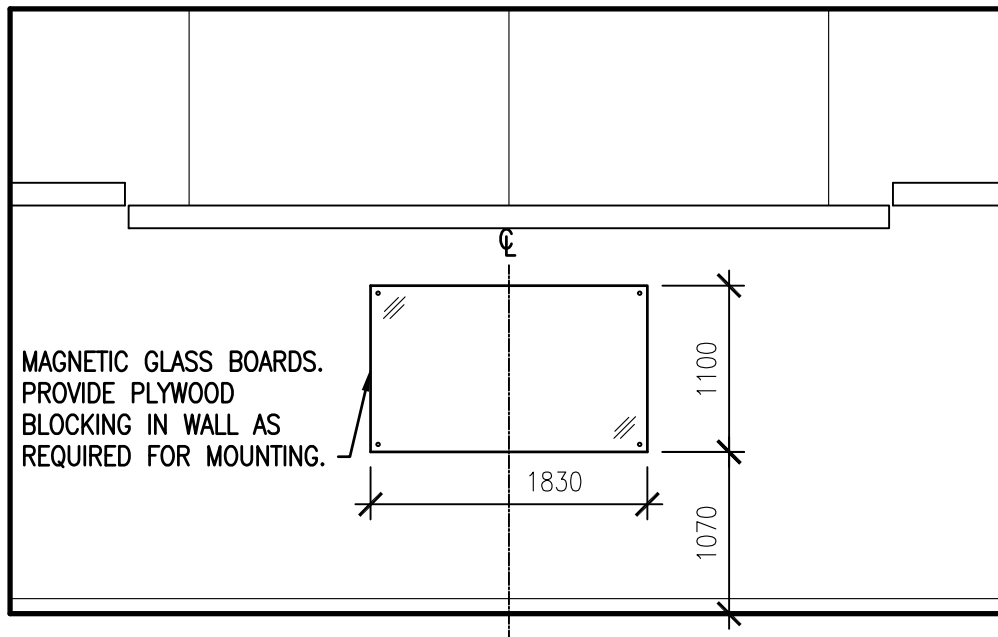
**AR-5**



1 ROOM 203  
AR6 1:50 (B/W GRID 13 & 14)



2 ROOM 203  
AR6 1:50 (BACKING ROOM 204)



3 ROOM 135 EAST WALL  
AR6 1:50

2017/06/05 X:\SEPW PROJECT FILES\2015\30-2015 FORENSIC LAB REMAINDER\ACAD\WORKING DRAWINGS\AR SHEETS\PLOT FILES\AR6 ADDITIONAL GLASS BOARD ELEVATIONS



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website: www.sepwa.ca

PROJECT TITLE  
INTERIOR FIT-UP PHASE 2  
REGINA, SASKATCHEWAN

DRAWING TITLE  
ADDITIONAL MAGNETIC GLASS BOARD ELEVATIONS

DATE  
2017-06-02

SCALE  
AS SHOWN

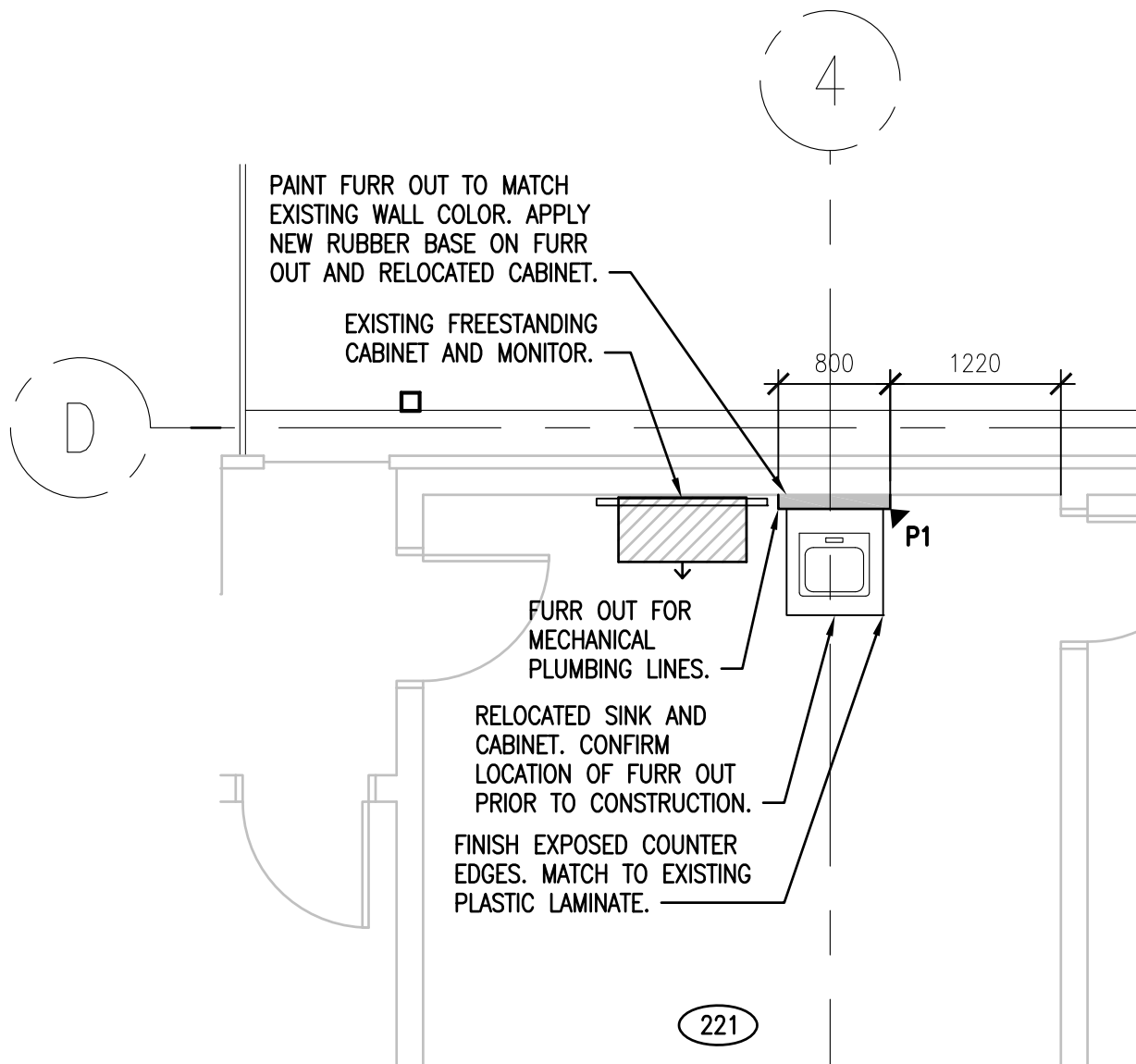
DRAWN  
VL

CHECKED  
RP

PROJECT NO.  
30/15

DRAWING NO.

**AR-6**



1  
AR-7

# PARTIAL SECOND FLOOR PLAN EAST

1:50

2017/06/05 X:\SEPW PROJECT FILES\2015\30-2015 FORENSIC LAB REMAINDER\ACAD\WORKING DRAWINGS\AR SHEETS\PLOT FILES\AR7 ROOM 221 ELEVATION



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 ■ website: www.sepwa.ca

PROJECT TITLE  
**INTERIOR FIT-UP PHASE 2  
 REGINA, SASKATCHEWAN**

DRAWING TITLE  
**PARTIAL SECOND FLOOR PLAN - EAST ROOM 221**

DATE  
**2017-06-02**

SCALE  
**AS SHOWN**

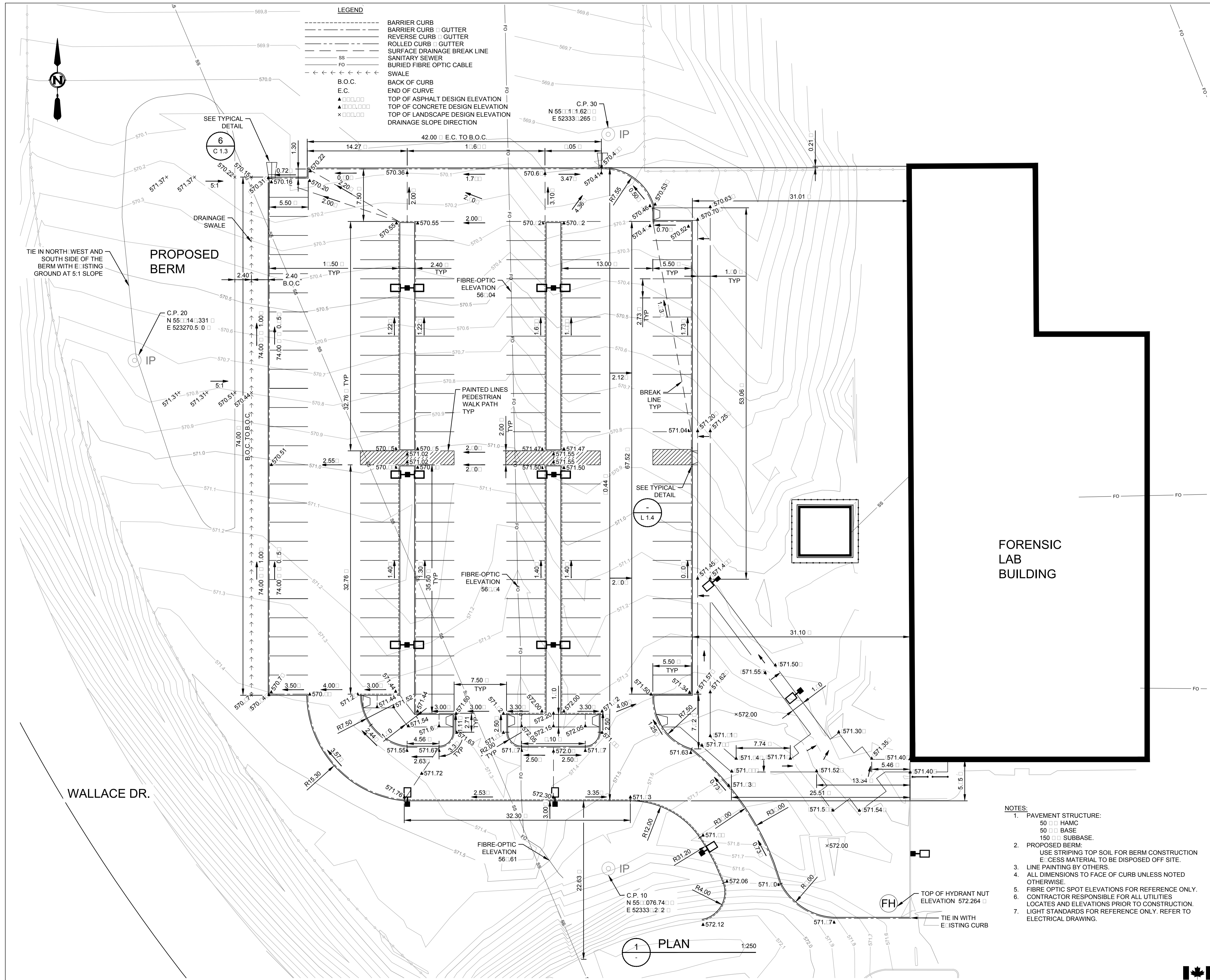
DRAWN  
**VL**

CHECKED  
**RP**

PROJECT NO.  
**30/15**

DRAWING NO.

**AR-7**



**LEGEND**

---	BARRIER CURB
---	BARRIER CURB
---	REVERSE CURB
---	ROLLED CURB
---	SURFACE DRAINAGE BREAK LINE
SS	SANITARY SEWER
FO	BURIED FIBRE OPTIC CABLE
←←←←	SWALE
B.O.C.	BACK OF CURB
E.C.	END OF CURVE
▲	TOP OF ASPHALT DESIGN ELEVATION
△	TOP OF CONCRETE DESIGN ELEVATION
×	TOP OF LANDSCAPE DESIGN ELEVATION
→	DRAINAGE SLOPE DIRECTION

**SEPW Architecture Inc.**  
 109-3728 Princes Street, Regina, SK S4S 0A8  
 102-3718 Kenebec Place, Saskatoon, SK S7N 0A6  
 website: www.sepw.ca

**Associated Engineering**  
 1-22 Park Street, Regina, Saskatchewan S4N 7M4  
 Ph: 306 721 2466 Fax: 306 721 2474  
 www.ae.ca

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 Partner member

**DO NOT SCALE DRAWINGS**

5		
4		
3		
2		
1	ISSUED FOR ADDENDUM #2	2017-06-02
0	ISSUED FOR TENDER	2017-02-03
Revision/	Description/Description	Date/Date

Client/client  
 Project title/Titre du projet

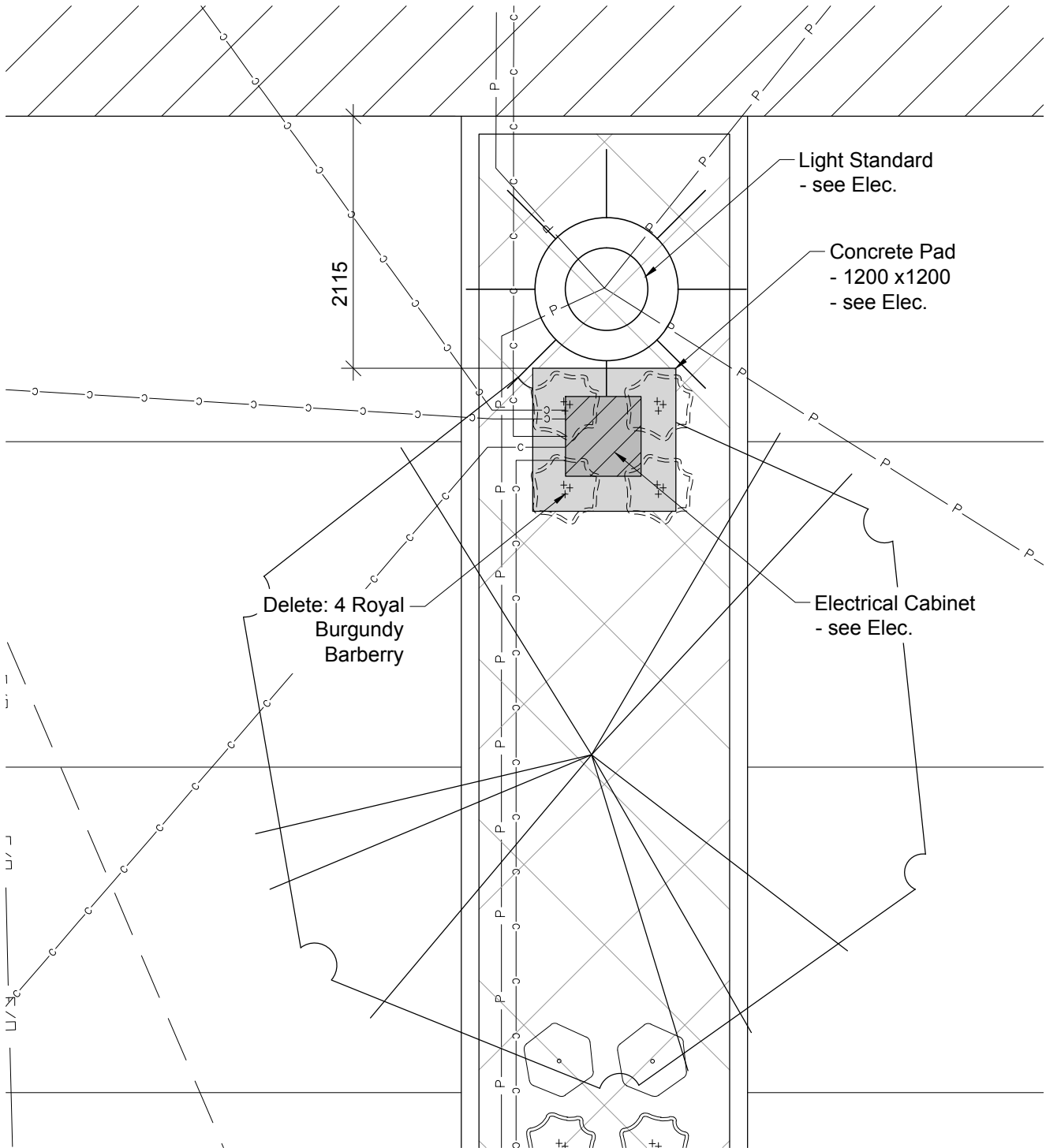
**INTERIOR FIT-UP PHASE II  
 REGINA, SASKATCHEWAN**

Approved by/Approve par  
 Designed by/Concept par  
 Drawn by/Dessine par  
 Project Manager/Administrateur de Projets  
**HM/KS**  
 Architectural and Engineering Resources Manager/  
 Ressources Architectural et de Directeur d'ingénierie

Drawing title/Titre du dessin  
**SURFACE GRADING**

Project No./No. du projet	Sheet/Feuille	Revision no./La Revision no.
30/2015	C1.1	1

- NOTES:**
- PAVEMENT STRUCTURE:  
 50 HAMC  
 50 BASE  
 150 SUBBASE.
  - PROPOSED BERM:  
 USE STRIPING TOP SOIL FOR BERM CONSTRUCTION  
 EXCESS MATERIAL TO BE DISPOSED OFF SITE.
  - LINE PAINTING BY OTHERS.
  - ALL DIMENSIONS TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - FIBRE OPTIC SPOT ELEVATIONS FOR REFERENCE ONLY.
  - CONTRACTOR RESPONSIBLE FOR ALL UTILITIES LOCATES AND ELEVATIONS PRIOR TO CONSTRUCTION.
  - LIGHT STANDARDS FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWING.



**NOTE:**  
 CONDUIT FOR ELECTRICAL AND SECURITY CABLING  
 MUST BE INSTALLED AT CURB OR UNDER ASPHALT. LINE  
 RUN DOWN CENTRE OF THE PARKING ISLANDS ARE NOT  
 ACCEPTABLE.