



TENDER AMENDMENT

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Parks Canada Agency
635 – 8 Avenue S.W., Suite 1300
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The referenced document is hereby amended: unless otherwise indicated, all other terms and conditions of the contract remain the same.

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MODIFICATION D'APPEL D'OFFRES

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Agence Parcs Canada
635 – 8 Avenue S.O., pièce 1300,
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Ce document est par la présente révisé; sauf indication contraire, les modalités de l'invitation demeurent les mêmes.

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Title: Townsite Campground Infrastructure, Waterton Lakes National Park		
Solicitation No.: / N° de l'invitation : 5P420-17-5226/A	Amendment No.: / N° de modification de l'invitation : 001	Date: July 28, 2017 Date : 28 juillet 2017
GETS Reference No.: / N° de référence de SEAG : PW-17-00786661		
Solicitation Closes: / L'invitation prend fin :		
At: 02:00 PM	On: August 8, 2017	Time Zone: Mountain Daylight Time (MDT)
À : 14h00	Le : 8 août 2017	Fuseau horaire : Heure avancée des Rocheuses (HAR)
Address Inquiries to: / Adresser toute demande de renseignements à : Nicole Levesque-Welch		
Telephone No.: / N° de téléphone : (403) 292-4691	Fax No.: / N° de télécopieur : (403) 292-4475	Email Address: / Courriel : nicole.levesque-welch@pc.gc.ca
TO BE COMPLETED BY THE BIDDER (type or print) À ÊTRE COMPLÉTER PAR LE SOUMISSIONNAIRE (taper ou écrire en caractères d'imprimerie)		
Vendor/Firm Name – Nom du fournisseur/de l'entrepreneur		
Address - Adresse		
Name of person authorized to sign on behalf of the Vendor/Firm Nom de la personne autorisée à signer au nom du fournisseur/de l'entrepreneur		
Title - Titre		
Signature		Date



AMENDMENT 001

This amendment is being raised to respond to questions submitted in writing and post the questions and answers submitted during the mandatory site visit for solicitation 5P420-17-5226/A:

A. MANDATORY SITE VISIT – QUESTIONS AND ANSWERS

Townsite Campground Rehabilitation

July 20, 2017, 1:30PM MDT

Waterton Lakes National Park, 1 Compound Road

Sandy Cummings – Senior Project Manager – PCA (filling in for Project Manager Chris Mariotti)

Kurt Gibb – Project Engineering Consultant – AECOM

Nicole Levesque-Welch – Contracting Advisor, PCA

Infrastructure Project

- Rehab and improvement of campground
- Phased job = Fall/Spring construction only (no work during the summer)
- Loop B – Fall 2017 and Spring 2018, with minor noted works in Loop A
- Loops A/C/D/E/F/G – Fall 2018 and Spring 2019

Consultant: Kurt Gibb - AECOM

- Site access is limited to just the boundaries of the campground. Construction boundaries as noted in drawings.
- General description of work includes:
 - New water, sewer, electrical, roads and grading Loops A&B
 - New electrical to kitchen shelters
 - Existing chip seal / asphalt roads to be milled out and salvaged for re-use
 - Bridge repairs including post concrete work repair and bridge surfacing removal and replacement
 - Gas line on bridge – remove and replace after work completed
 - Relocation of two kitchen buildings East side to West side (in phase 1)
 - Tree planting (375) = advance test planting on loop A side in first phase, with the bulk of planting in Phase 2.
 - Contractor is responsible for engaging Fortis service calls for transformers and upstream improvements for electrical primary service and upgrades. The previous service call for the west side (loop B) was 90% set-up and supported by AECOM before being cancelled by PCA. The contractor will need to initiate new service calls for both the West side and the East side (loop A *et al.*). Work to be completed for primary Fortis electrical work must be completed by a Fortis approved subcontractor.

Refer to the attached Fortis application drawings for the previous Loop B Service Application. It is recommended to reference the indicated Fortis application number to expedite the approval of a Fortis Service Contract and to schedule the Fortis activities. Fortis Approved Drawings must be submitted by the Contractor prior to completing the work. It is recommended that the Contractor engage immediately upon award with Fortis to allow completion of the work in time for construction of Loop B. See DSP 2 – 17-5226 folder for documents.

- Recover asphalt and as much topsoil as possible from the site to allow re-use.
- Muster/stock pile for top soil, riprap, and asphalt at the Red Rock SMS site, must be reset to original levels. Red Rock site is an old quarry and PCA to eventually proceed with reclamation work at this site therefore the Contractor can use the site to deposit material during project but must remove after.
- PCA best management practices (BMP) document – Contractor must adhere to this document (included in specs). Species at risk considerations.
- The buildings to be demolished have had environmental hazard assessments done - some lead paint and some asbestos shingles found – mitigation needed.

Questions and answers

Q1: Material balance – will there be extra material to be removed?

A1: Quantity estimates on material is that all will be used up in the project but some may be required to be taken out.

Q2: Geotechnical details of the soil composition?



A2: The soil has a consistent pit run of gravel, silt and sand (no clay). The campground is located on an alluvial fan so silt constitutes most of the soil makeup.

Q3: Is the cut and fill consistent?

A3: There is not a significant amount. In the NE corner of Loop A there is some that will be spread (1-1.5 m difference) into Loop F (taken out) fill slightly and some taken out. Approximately 2000 cubic feet (?) spread out. In general, Loop A and Loop B are tipped towards the lake in terms of drainage. No storm drainage systems, over land drainage only

Q4: Is it the Contractor's responsibility for common excavation original ground (O.G.) and cut to verify the quantity?

A4: Yes.

Q5: Will there be a pre-assigned tester or quality control (QC)?

A5: QC is the responsibility of the Contractor. The Quality Assurance will be done by AECOM.

Q6: Is the construction layout the contractor responsibility?

A6: Yes.

Q7: Who will the Consultant (AECOM) have to complete any periodic QA testing

A7: AECOM self performs material testing with their own lab in Calgary

Loop B will be completed first and then Loop A. Once work is completed at Loop B site access will be restricted to A There are some items in Loop A that will be constructed during phase 1 i.e kitchen shelters relocation and advanced tree planting. Phasing is marked by red and blue hashing in the drawings. During the kitchen move and tree planting Contractor will need to manage public access.

Q8: What is the Cameron Creek bridge load limit to access the sites (smaller campsite bridge)? Site access?

A8: Please refer to the attached Bridge Load Evaluation report (see DSP 2 folder for document) excerpt detailing the evaluated dimensions and load ratings of the Cameron Creek bridge. A standard CL1-625 truck as shown in the report is evaluated as acceptable for use across the bridge.

It is recommended that the Contractor access the West Loop B via Cameron Falls Drive / Evergreen Avenue utilizing the larger bridge over Cameron Creek. Any temporary access constructed must be fully restored. Temporary access locations will need to be confirmed with PCA. The suggested access for Loop B is **along the west side of the campground off of Evergreen Avenue near washroom #12 at the location of the specified new road access shown on drawing C-1003**

Q9: What are the hose bibs like around water stand pipes?

A9: Nothing specialized. There are sewer hatches and some hatches and aprons will need to be created.

Q10: Are any of the trees able to be removed? If any removed, is the wood to be removed from the Park?

A10: No tree removal. Trees are hard to grow on the site and to keep alive. If a tree has been marked for removal, PCA approval must be sought before removal via Project Manager and removal then coordinated with PCA. If a tree is approved to be removed, there is no disposal area currently identified so the wood would need to be removed from the park.

Out at sites (starting at Loop B):

Q11: When does the warranty period begin?

A11: Once all work is completed in Loop B the warranty on that section will begin. If a new tree needs to go into this section, the warranty on that tree will begin when it is in the ground.

Q12: Tree maintenance is that a lump or monthly maintenance?

A12: Incidental to cost of new tree, must be part of the warranty (?) once year from planting.

Q13: Is the asphalt to be milled and salvaged or ground?

A13: Asphalt must be milled or ground/crumbled up as necessary to be used as a reclaimed asphalt pavement (RAP) product in both the layered road construction detail and campsite surfacing detail illustrated on Drawing C-1008.



The gas line needs to be shut off and removed for bridge rehabilitation work – concrete replacement on the post fix up. No instream work is required under bridge.

Q14: Is there a waterproof membrane under the bridge/road?

A14: Unknown but doesn't appear to be one.

Q15: What type of asphalt mix is to be used? H1/H2 mix? Type 3? Lethbridge 1 mix? S831?

A15: Requirements laid out in the drawings and specifications (Dwg c-1008 and specification 32 00 03). Typical City of Lethbridge and City of Calgary mixes are expected to be acceptable. Mix designs need to be approved prior to use

Landscaping – hazard prevention – wood railings need to go around road so children don't ride their bikes through.

Loop A will see substantial geometry and layout changes with some buildings requiring to be demolished (storage building, electrical building and washroom) and some grading will need to be changed. All existing trees are to be protected as best possible during construction.

Q16: Where is Loop A to be accessed from?

A16: Access will be from main road for Loop A. This will need traffic accommodation. Temporary access may be granted directly from Vimy Ave at a previously disturbed location where a new water main connection was recently installed. Temporary access to be requested from Parks Canada.

Loops C & D will have new electrical installation work

Loop H is a tenting area with no expected work required

Loop G has had recent new electrical installation that will be preserved.

Q17: What is to be done with the old concrete slab currently located under the kitchens after the kitchen shelters have been moved to the new locations?

A17: The slabs are to be demolished and removed.

Q18: For the new electrical lines going in for the kitchen shelters in Loop E, are they to follow the existing lines?

A18: Yes, the lines are to follow the existing lines where possible, the estimated locations are mapped on the drawings. It is the responsibility of the Contractor to verify all existing utility locations.

Q19: Can the Contractors stay on site during construction? Office trailers allowed?

A19: No, no camping or onsite overnight accommodations. Office trailers are permitted.

Q20: At the Red Rock Canyon storage site, will original ground be leveled first?

A20: Will look at creating a level location before construction to begin, but not guaranteed. Contractor is required to perform original ground survey before stockpiling. Contractor is responsible for pile maintenance during stockpiling.

B. SITE VISIT ATTENDANCE SHEET

See DSP 2 folder for document.

C. ADDITIONAL QUESTIONS AND ANSWERS

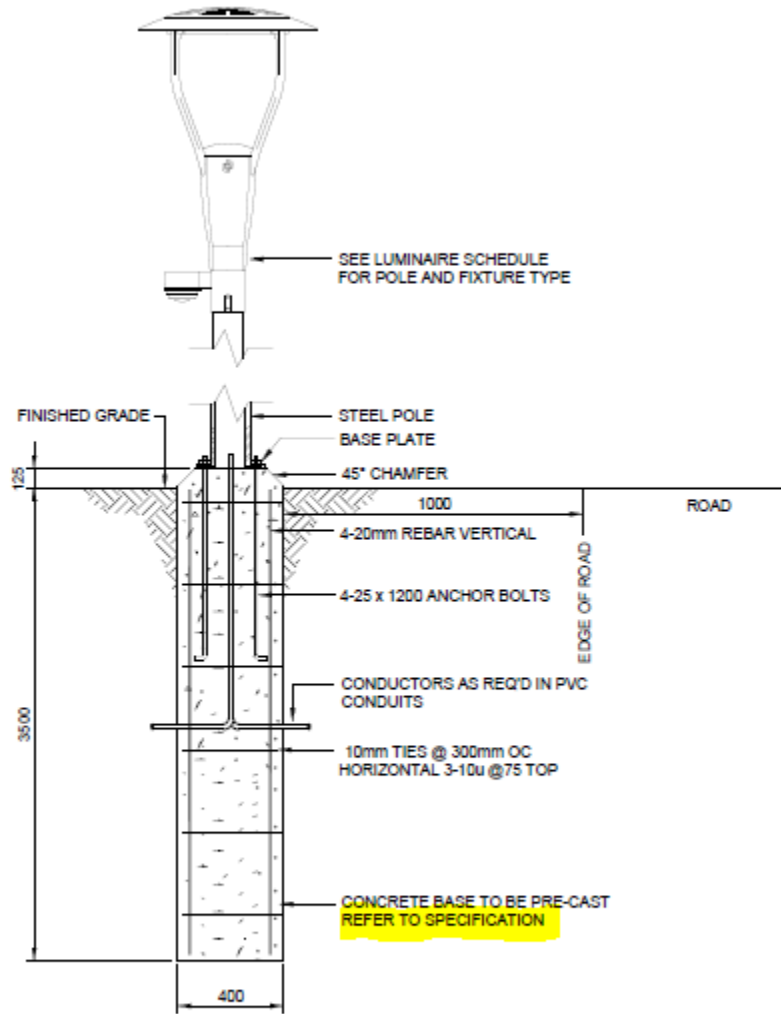
Q21: Is the contractor responsible for the design of the Fortis Alberta Pre-Cast Base, Grounding and Ducting scope of work for the campground or does Fortis provide this design?

A21: The contractor is not responsible for the design. They are to engage Fortis and Fortis will either use the current design they have or come up with a revised one.

Q22: Could you provide the specification on the light base as per Plan E-1006, Detail 8 – concrete precast base?



A22: Plan E-1006, Detail 8 – concrete precast base: “refer to specification” shall be replaced with “as per manufacturer’s specifications. Shop drawings to be submitted to Departmental Representative for approval prior to ordering”.



LIGHT BASE STANDARD

SCALE: NTS
TYPICAL



All other terms and conditions remain the same.