

Renovations

RCMP Detachment, Breton

Requirement:

Renovations at the Breton RCMP Detachment includes replacement of the front counter, interior renovations of: visitor area, kitchen, file room and admin area and exterior: ramps, step and accessibility.

Scope of Work:

Front Counter Front counter replacement. Remove and dispose of existing counter and glass. Drawing #1 A3-B3: Supply and Install antivault glass at new location Drawing #3 C4-D2, replace complete counter and laminate top. (product and color to be approved by Asset Management).

Drawing # 2 Construct operational side as specified. Provide millwork will all measurements for review before construction.

1. **Antivault Glass:**

Remove existing counter barrier glass; supply and install new antivault barrier at new location with the following specifications:

- a. Counter Barrier Design: Aluminium frame window assembly consisting of three window panels
- b. Provide open port on all fixed panels (2 openings for Handicap counter) – maximum four inch opening. Supply metal inserts for ports (do not install)
- c. Counter Barrier Window frame : Aluminium extrusions minimum 3 mm wall thickness, 100 x 45 mm nominal size mullions, designed as channel or stop glazing for single pane interior glazing
- d. Counter Barrier Glazing: Two sheets of 6 mm (1/4") laminated tempered glass, with bonded .75 mm (.03 inches) PVB interlayer
- e. Caulking: Seal joints between window frame and other building components with clear silicone caulking
- f. Allow 3" space between glass and counter top to be used as a pass through for documents

Aluminium Finishes

- Finish exposed surfaces of aluminium components with a clear anodized finish

Window Installation

- install windows in accordance with manufacturer's instructions
- Set frames plumb, square, level at correct elevation in alignment with adjacent work
- Anchor securely

Caulking

-Seal joints between window frame and other building components with clear silicone caulking

2. Front Counter - Operational Side

See Drawing #4 for operational side layout, replace all counter laminate (product and color to be approved by Asset Management), build bulkhead to house new lighting (supply and install lighting), build part wall to accommodate depth of counter on operational side, move existing lighting switches to door side of part wall.

- a. Operational side redesign and finishing: Include 2 regular and one accessible workstation. One removable counter top (accessibility workstation) beside NW wall.
- b. Drawing #3 C4-D4: Construct part wall parallel to front window to accommodate length of new counter on operational side. Leave existing door in place. Electrical individual switches to operate lobby lights and operational lights in main admin area to be located on door side of new wall.
- c. Lower Drawers (Drawing #4) Millwork required for approval
 - Sizes to be accommodated in the space with 3 work areas
 - Supply & install lock on cash drawer
 - Accessibility counter to have removable counter top
 - New hardware to be installed for all drawers
- d. Lower cabinets Operational side
 - Shelves with doors except at handicap station
 - Include shelving brackets under all lower sections & provide 2 adjustable shelves & hardware per section
 - Include toe kick area finished with rubber base to match
 - Supply and install keyboard tray
- e. Handicap station - electrical and data drop below handicap counter to plug in CPU unit. Hole in handicap counter and top counter to access plugs. All measurements to accommodate accessibility requirements.
- f. Electrical and data connection on workstation #1 and accessibility counter #3
- g. Varnish cabinets & drawers (color to be approved by Asset Management)
- h. Add rolled counter edging on the face of the cabinet at the top edge of the counter both operational and visitor side. Maple - verethane to match (Photo #1)
- i. Replace rubber baseboards on operational side to match existing where required throughout construction area.

Visitor Side (Drawing #5, Photo #2)

- a. Install Maple wood veneer panel on the visitor side of the front counter (product and finish to be approved by Asset Management)
- b. Construct and install on counter top - two frosted plexi-glass privacy dividers (Picture #1)
- c. Add rolled Maple edging on the front face of the cabinet at the top edge of the counter. (product and finish to be approved by Asset Management)
- d. Supply and install security mirror to ensure there are no blind spots in vestibule area. (Mirror to be approved by Asset Management)
- e. Supply and install built in bench in visitor area (closet) verethane to match counter trim. See picture #4
- f. Supply and install safety mirrors across from the counter to ensure there are no blind spots in vestibule area or air lock entry. (Mirrors to be approved by Asset Management)
- g. Supply and install locking thermostat cover in vestibule
- h. Flooring – supply and install ceramic tiles. Product and color to be approved by Asset Management
- i. Supply and install tile baseboard to match visitor vestibule
- j. Make good all areas affected. Patch and paint lobby, vestibule, kitchen and operational side affected by project. Color to match existing

Counter Tops

- a. Counter tops to be Wilsonart laminate or better (Product and color to be approved by Asset Management)
- b. Maple rolled edging on counter on both operational and visitor sides. Example attached (product and finish to be approved by Asset Management)

3. Electrical & Data

- a. Supply & install ballast, diffuser & bulbs (similar to existing)
Light switch to be located at end of front counter beside door (Drawing # D4)
- b. Supply and install exhaust fan in janitor closet ceiling. Fan to accommodate room. Independent switch with pilot light for exhaust fan to be located outside of room in hallway, beside the janitor room light switch with pilot light for the janitor room.

- c. Supply and install light with electric eye in new hallway off back entry. Switch off back entry. Stairwell wall.
- d. Main floor - bottom of stairs - relocate light switches if required due to wall reconfiguration.

4. Janitor Room

- a. Remove walls and door in existing janitor room and shelves.
- b. Construct new janitor room in SW corner of current lunchroom. See wall construction under File Room (New).
- c. Reuse door from existing janitor room in new janitor room
- d. Relocate 24"x24" janitor sink to corner of new janitor room under the window
- e. In existing janitor room cap water/drain lines and relocate janitor sink with water/drain to new location.
- f. Supply and install security bars on window inside janitor room leaving room in bars to operation opening function of window.
- g. Add 3 finished shelves to new janitors room for supplies

5. File Room (New)

- a. Drawing #1:A-A2, A2-B2, B0-B1, Construct Secure Room 3 (SR-3) walls:
 - 35 mm x 92 mm x 0.5 mm thick non load bearing steel studs @ 400 mm o.c.
 - 16 mm type "X" gypsum wallboard
 - walls extend slab-to-slab, from slab to structural ceiling above
- b. Replace or relocate metal door and frame from wall Drawing #1:E 2 to file room Drawing #3:A. **Do not** include side lite at new location. Door to swing into file room as per drawing. Provide door stop. Grout in area of the strike bucket to prevent spreading.
- c. Add light switch with electric eye in new wall for file room
- d. Finish bulkhead and ceiling to match existing
- e. Patch flooring where required
- f. Supply and install Schlage F15 mortise lock in both file room doors

6. Upstairs – Board room

- a. Remove closet doors and walls that create the closet
- b. Relocate some of the existing kitchen cabinets into the closet area in the upstairs boardroom. Incorporate shelf for microwave
- c. Supply and install new counter top (color to be approved by Asset Management).
- d. Supply and install one stainless steel sink with new working faucet and hot/cold plumbing into cabinets near West/outside wall
- e. Add 2 duplex outlets on separate circuits for kitchen appliances & microwave above lower cabinets.
- f. Supply and install backsplash from upper to lower cabinets (product to be approved by Asset Management)
- g. Relocate fridge from downstairs kitchen to NE corner of boardroom

7. Other Interior Construction

- a. Drawing #3 E2: construct ½ wall approximately 42” high and 22” long (to cover flooring gap) tie into existing wall Drawing #3:2 Include metal edging and varnished maple top to match new counter (see picture #5)
- b. Remove insulation and boarding on the current file room window and ensure good condition to return to functional window.
- c. Shorten legs of current metal shelving in file room to fit under bulkhead in new file room. Relocate shelves (set up in place) to new location when construction is complete
- d. Patch and paint all areas disturbed by construction

8. Exterior

- a. Remove existing front steps and side ramp, dispose refuse off site.
- b. Construct rail and steps as per attached amramp details both locations.
* amramp is available for subcontracting.
- c. Repair concrete steps near sidewalk and resurface pad under flagpole
- d. replace painted back board and lower exterior phone for accessibility reach.

9. Automatic Swing operators for exterior front door

Supply and install all accessory components as required to provide complete and functional installation of automatic swing operators on front exterior door.

Acceptable product: Stanley Magic Forces for exterior doors: Stanley Magic Access for special needs area.

- a. Shop drawings:
 - i. Submit shop drawings to Asset Management for review
 - ii. Clearly indicate, by large scale details, all perimeter conditions of construction, mullion/muntin details, all components of assembly, anchorage, elevations, all materials, hardware and finishes.
- b. Products Automatic Swing Operators:

Coordinate the work of all trades, including glass and glazing, masonry and electrical requirements covered under manufacturer’s details

 - 1.. The electrical contractor shall provide 120 volts, 60 cycle, single phase 15 ampere service for 1-2 operators, 30 ampere service for 3-4 operators, and as follows:
 - a. Coordinate with electrical contractor for provision of service to each operator from uncton box for multiple operators
 - b. Coordinate with electrical contractor to provide electrical conduit and wiring from specified controls to operators as outlined on manufacturer's drawings
 - c. Finish hardware supplier shall furnish and install surface mounted electro-mechanical swing door operator, consisting of electro-mechanical swinging door operator and electronic control, aluminum header, connecting hardware, actuating switches, and power on/off switch as follows:
 - i. Automatic entrance equipment: comply with ANSI A156.10 or A156.19
 - ii. Aluminum header extrusions: minimum nominal 4 mm (0.156”) wall thickness with finish anodized AA-*M12-C22-A31 clear

- iii Actuator switches for exterior and vestibule doors shall be infra-red type switch complete with Lexan cover and activation zone adjustable up to 230 mm. Equipment must operate between -35°C (-30°F) and +55°C (130°F) in all climate conditions
 - iv On/off switch to be frame mounted, concealed conduit and box installation, and configured to accept mortis cylinder matching door hardware. Delete and blank off operator mounted on/off switch
 - v. Operator: Electro-mechanical system installed in a header to resist dust, dirt and corrosion; entire operator shall be removed from the header as a unit.
 - vi. Bearings: fully lubricated and sealed to minimize wear and friction
2. Operator shall open the door with 1/8 HP motor through reduction gears, door arm and linkage assembly, and as follows:
 - a. Low energy operator, door opening time: not be less than 4 seconds
 - b. The drive train shall have a positive, constant engagement. The operator shall stop the door in the open position by electrically reducing the motor voltage and stalling against a 90° stop
 - c. Close the door by spring energy: controlled by employing the motor as a dynamic brake
 - d. Door closing time shall not be less than 4.5 seconds
 - e. Pre-load closing spring for positive closing action at a low material stress level for long spring life
 - f. The operator shall function as a manual door closer in the direction of swing with or without electrical power
 3. The door forces and speeds generated during power opening, and manual opening in both direction of swing, and spring closing in both directions of swing shall conform to the requirements of ANSI A156.10 or A156.19
 4. Verify that no defects or errors are present in completed phases of the work that would result in poor application or installation, or cause latent defects of the automatic door equipment
 5. Provide all accessory components as required to provide a complete and functional installation. Accessory components include, ut are not limited to: wiring; fasteners; pacers; relays; switches; plates; closures; power supplies to suite services provided by others; trim kits
 6. **Installation and warranty** adjustments shall be performed by authorized distributors factory trained technician

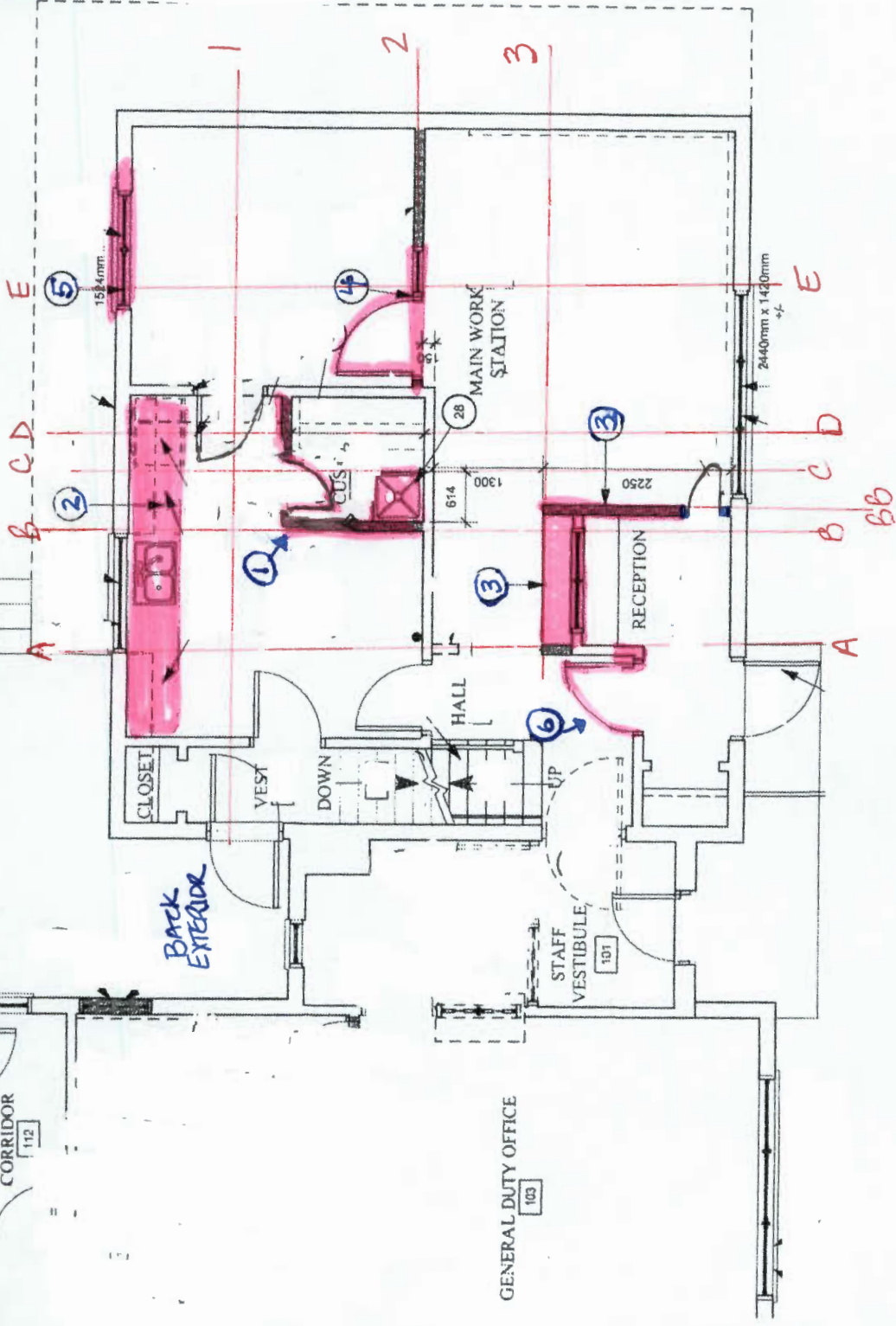
Inclusive:

- Contractor to confirm all dimensions and scope of work
- Provide millwork for all work for Asset Management approval
- Restore all areas disturbed by construction
- Paint colors to be confirmed by Asset Management, paint to be Sherwin Williams High kitchen and bath semi gloss for trim (or better)
- Attached Drawings 1, 2, 3, 4, 5
- Attached Pictures

Dated: June 23, 2017

DRAWING #1

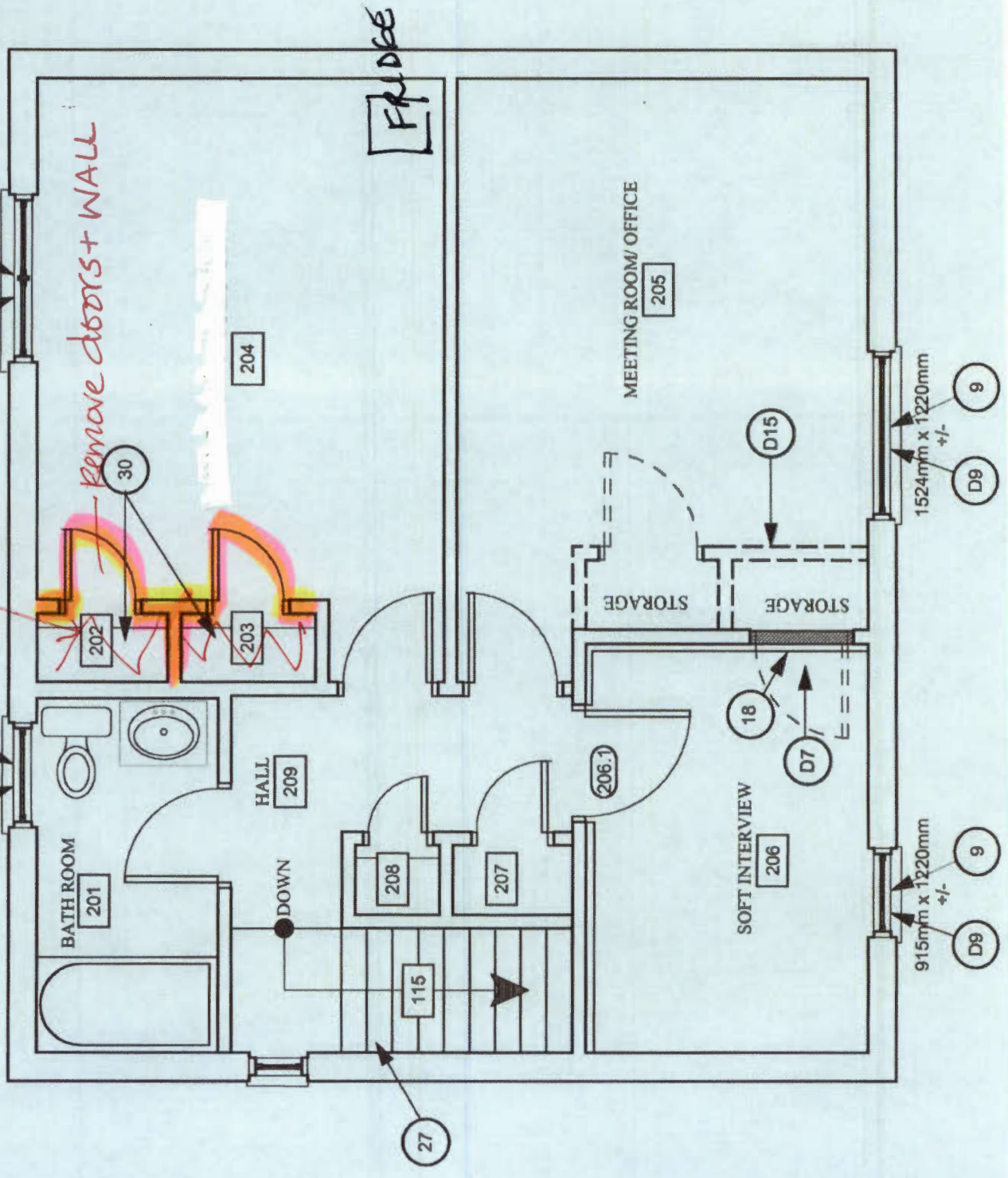
BRETON REMOVAL



1. REMOVE CUSTODIAL ROOM - 2 walls; door - relocate; washbasin-relocate (28)
2. REMOVE UPPER/LOWER KITCHEN CUPBOARDS, relocate upstairs
3. REMOVE FRONT COUNTER + WALL (NOT DOOR)
4. REMOVE DOOR/FRAME + SIDE LIGHT
5. REMOVE BOARDS + INSULATION WINDOW to make good.
6. REMOVE DOOR AND CORNER OF WALL (to open reception area access)

BRETTON
UPSTAIRS
Boardroom
N

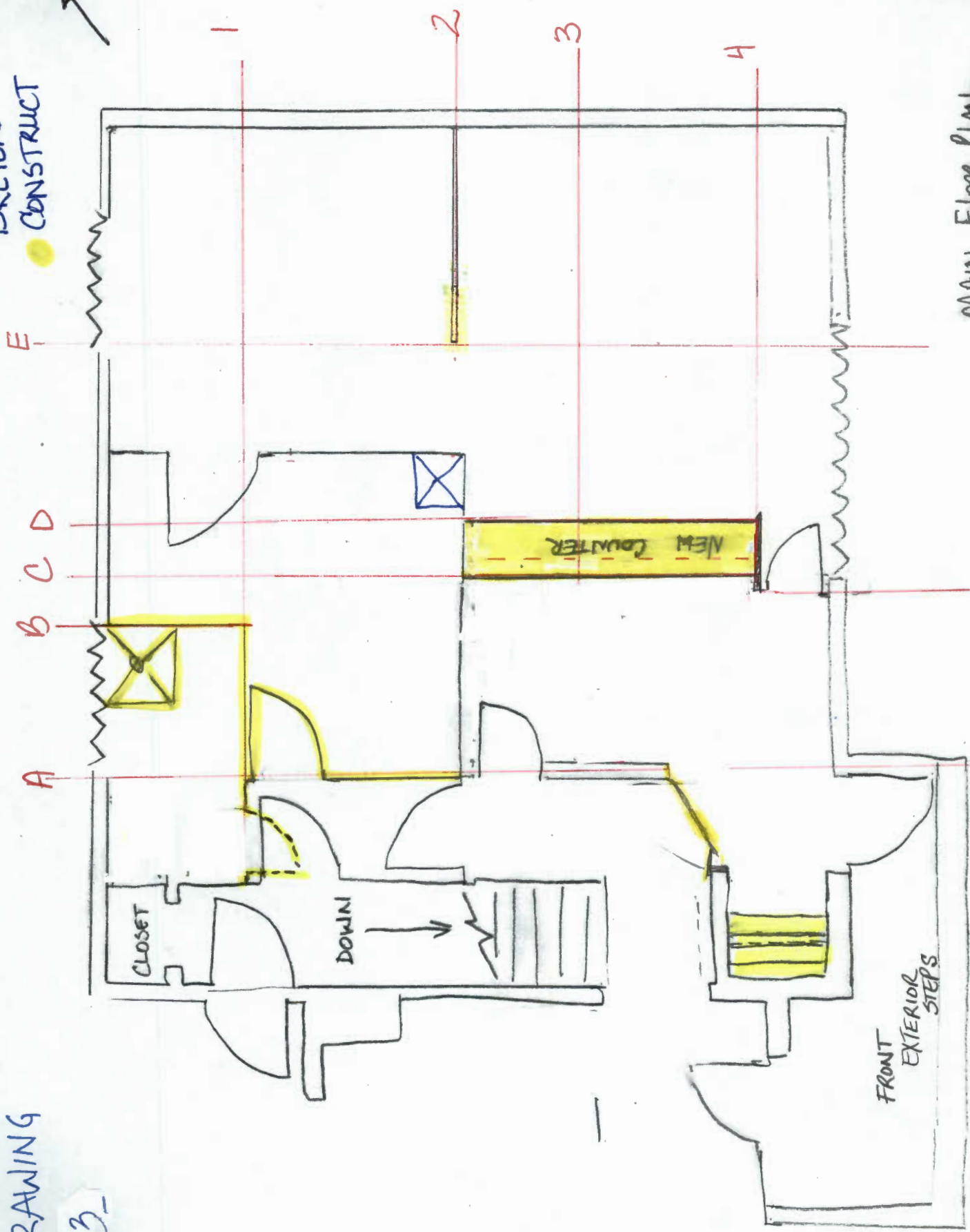
Relocate cupboards (paint or reface)
SINK + electrical
MICRO



DRAWING
#2

DRAWING
#3-

BRETON
CONSTRUCT



MAIN FLOOR PLAN
BRETON, AB

BB

A

FRONT
EXTERIOR
STEPS

* NOT TO SCALE MAY 2017

DRAWING #4

BULK HEAD LIGHTING

ANTIVAUULT GLASS

Rollled edging
3" opening

Grommets

Keyboard tray

Electrical
+ DATA

movable shelves

Removable top
on this station
ONLY

3" opening

ELECTRICAL
DATA

OPEN

40"

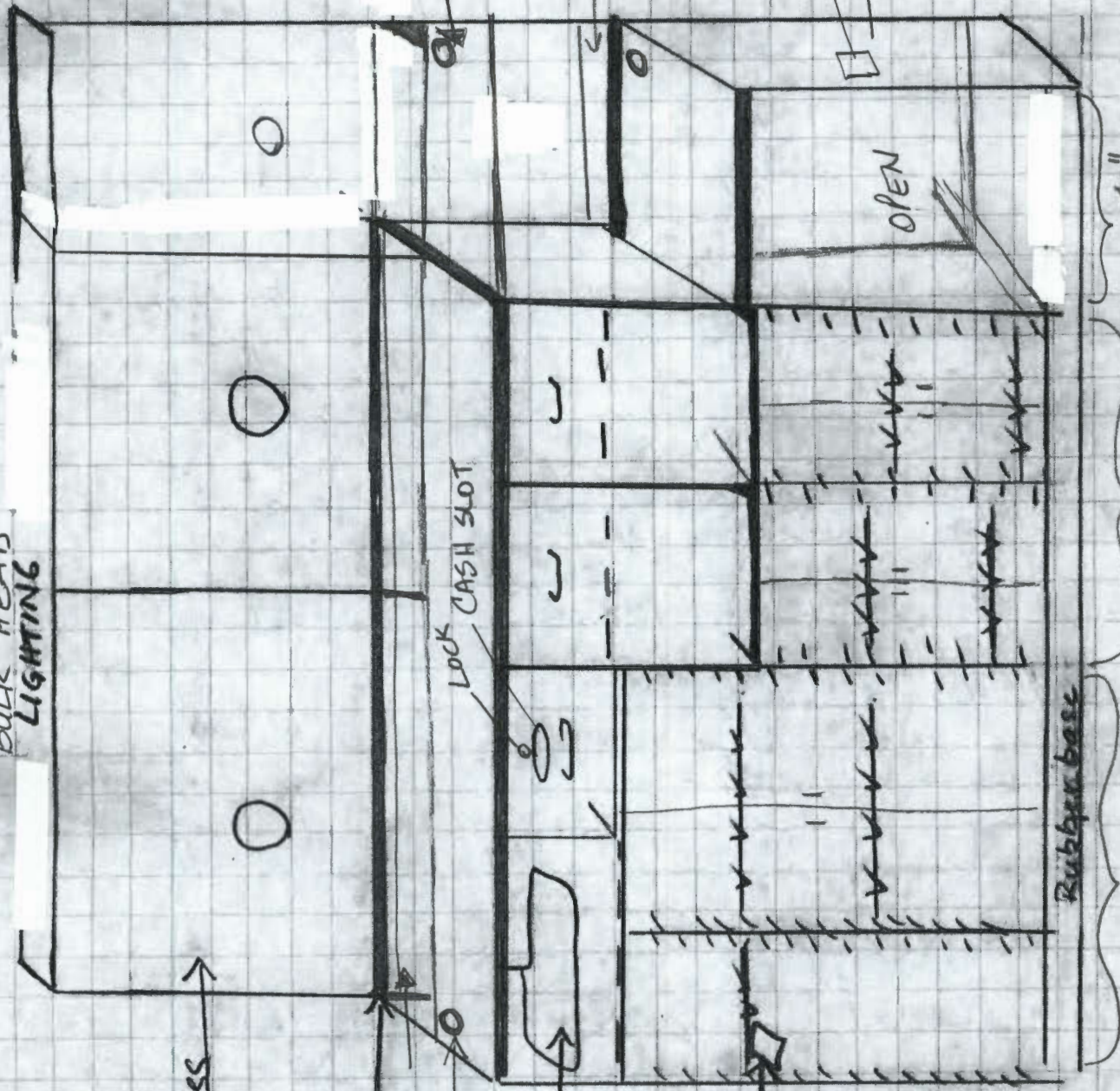
Rubber base

FIT TO SPACE

OPERATIONAL SIDE

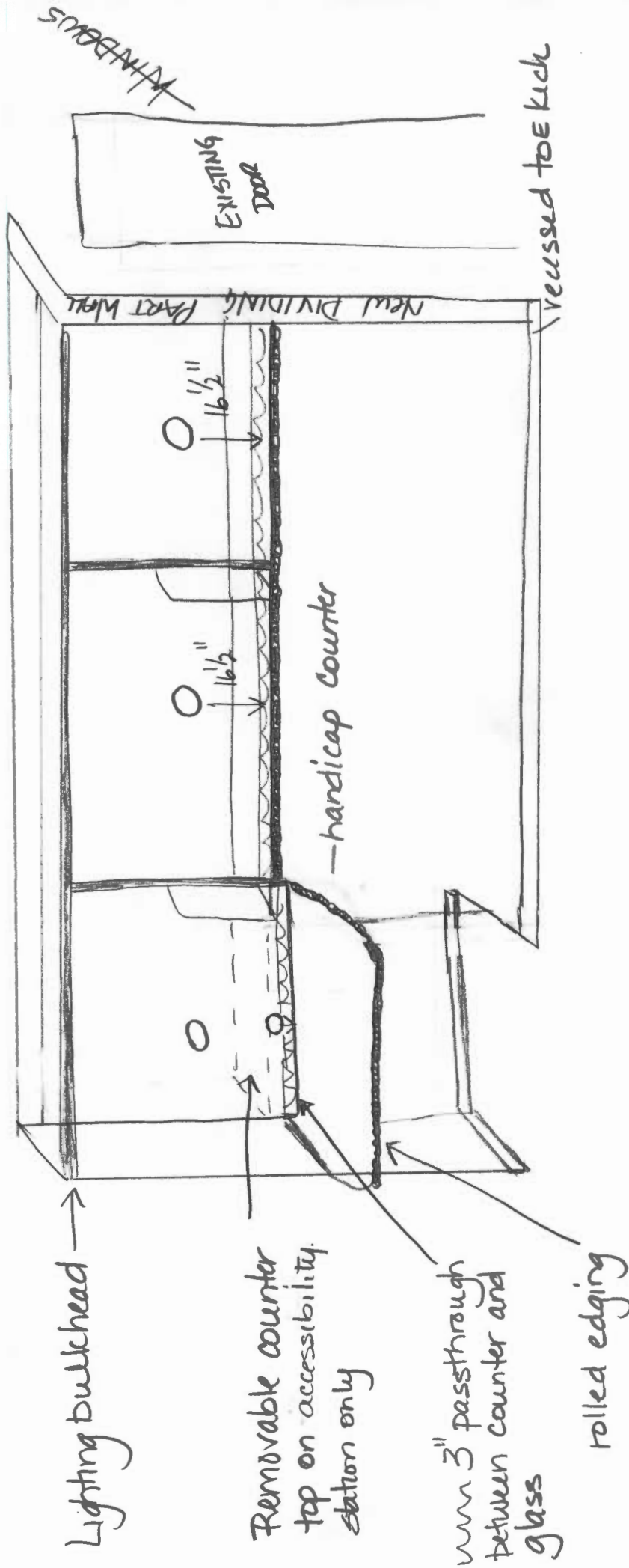
• INCLUDE DOORS ON BOTTOM CABINETS

*NOT TO SCALE



BRETON
VISITORS SIDE

DRAWING #5



Not To Scale

BRETON
PICTURE #1



1



BRETON PICTURE #2

BRETON PICTURE #4

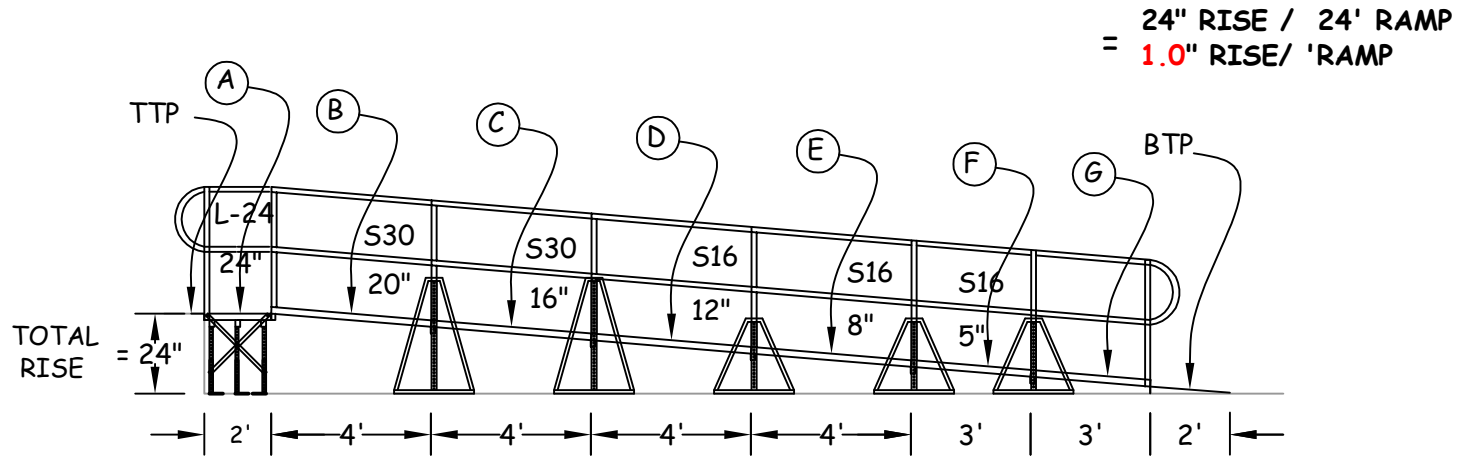


BRETON PICTURE #3

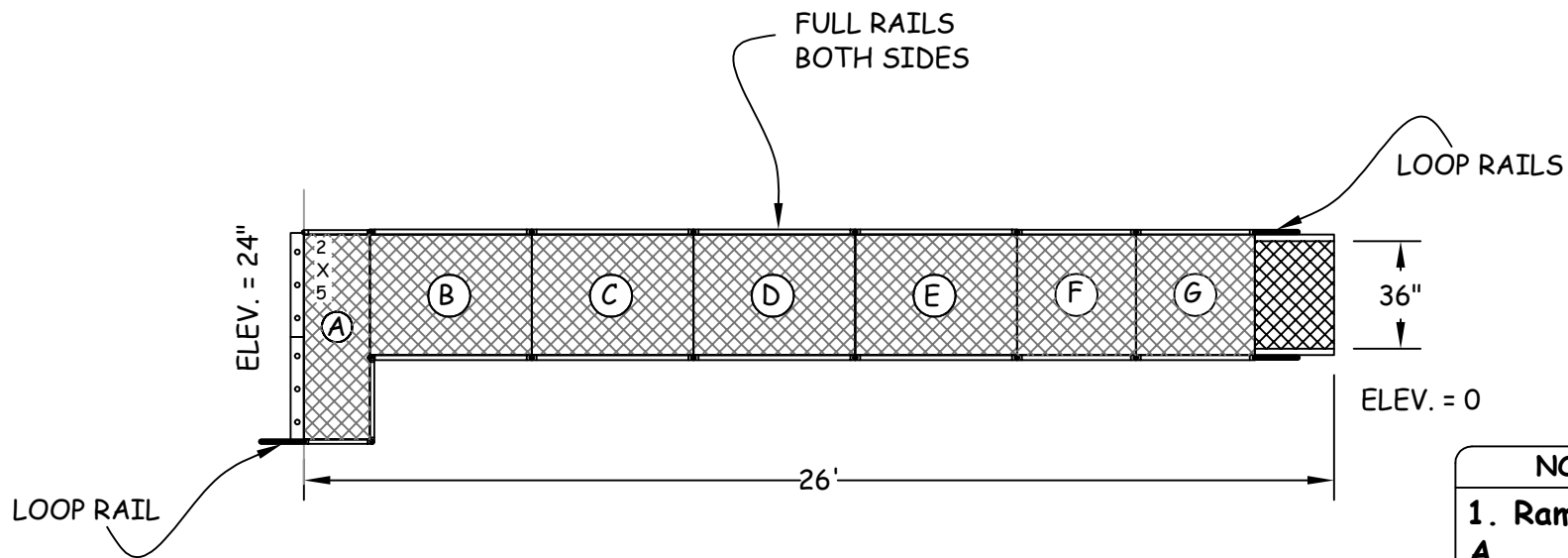


BRETON
PICTURE
#5

Side View:



Top View:

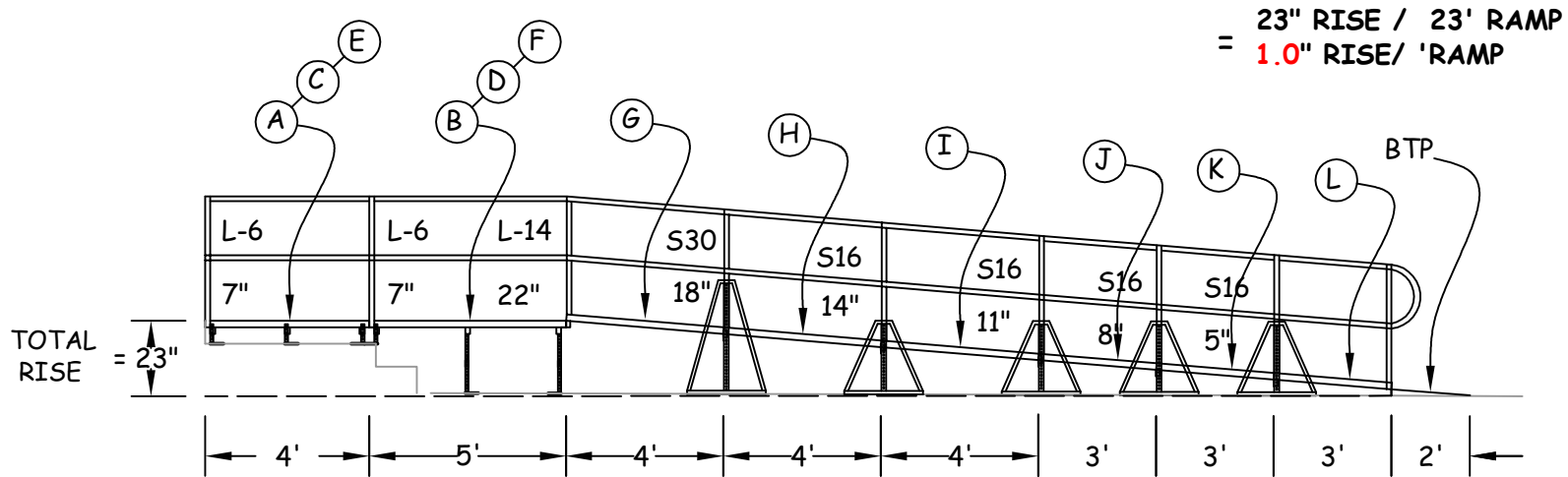


NOTES

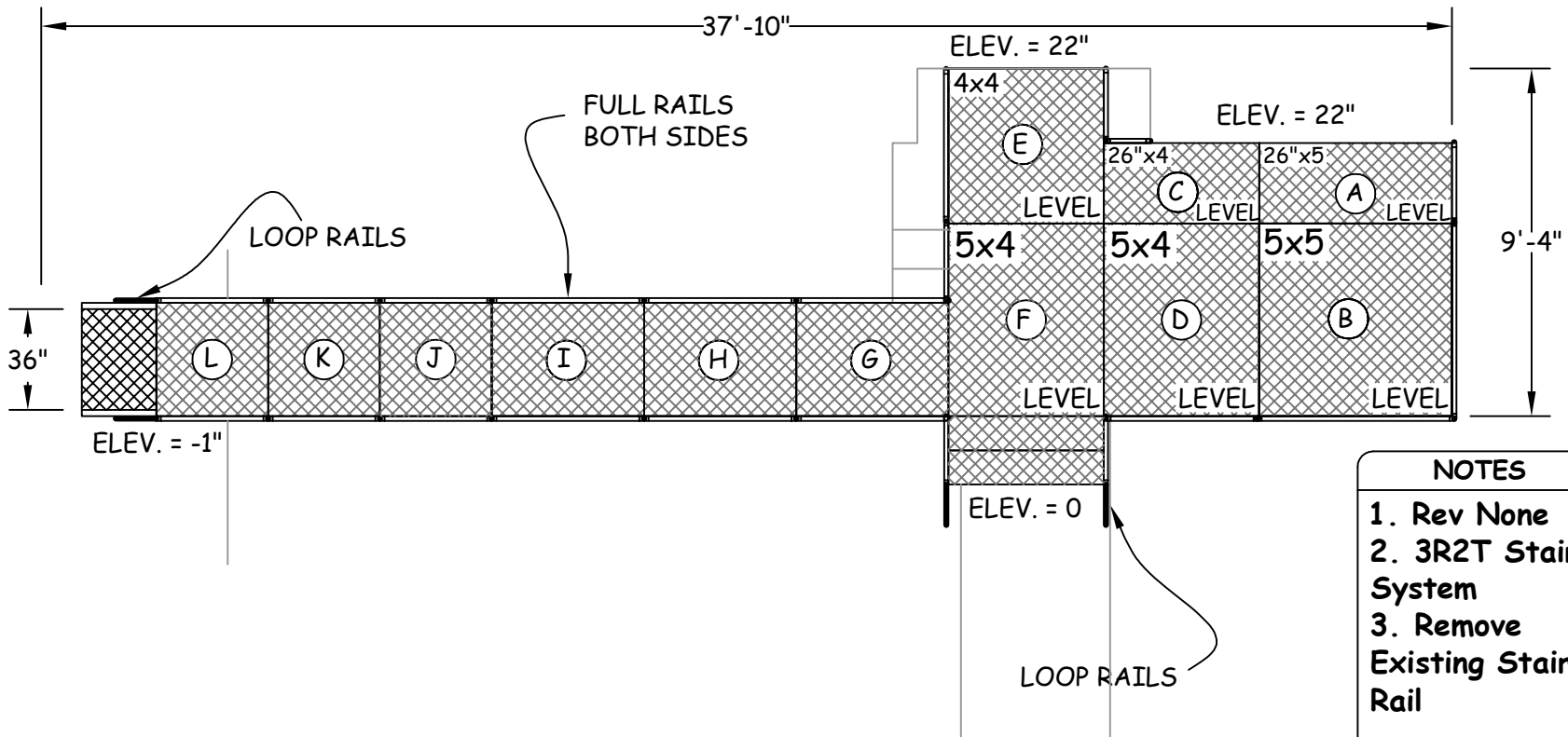
1. Ramp 2 Rev A

<p>Job Name:</p> <p>Breton RCMP/ Breton, AB</p>
<p>Location:</p> <p>Amramp Edmonton</p>
<p>Requested:</p> <p>Lorne W.</p>
<p>Phone:</p> <p>780-666-2606</p>
<p>Fax:</p> <p>780-666-2607</p>
<p>Date:</p> <p>6-6-17</p>
<p>Zip:</p> <p>T5M 3X4</p>
<p>Drawn By:</p> <p>Richard</p>
<p>Checked By:</p> <p>James</p>
<p>Job Number:</p>

Side View:



Top View:



- NOTES**
1. Rev None
 2. 3R2T Stair System
 3. Remove Existing Stair Rail

Job Name:
RCMP Breton/ Breton, AB

Location:
Amramp Edmonton

Requested:
Lorne W.

Phone:
780-666-2606

Fax:
780-666-2607

Date:
5-31-17

Zip:
T5M 3X4

Drawn By:
Richard

Checked By:
James

Job Number: