

ADDENDUM NO. 01

Photographs, Drawings, Detail Sheets and Specification Sections issued with this Addendum:

Photographs Issued:

Photographs No. 1 to 9 dated 2017-08-09 attached showing existing conditions.

Drawings Issued:

A100R1, A101 R1 & A102 R1 dated 2017-08-14

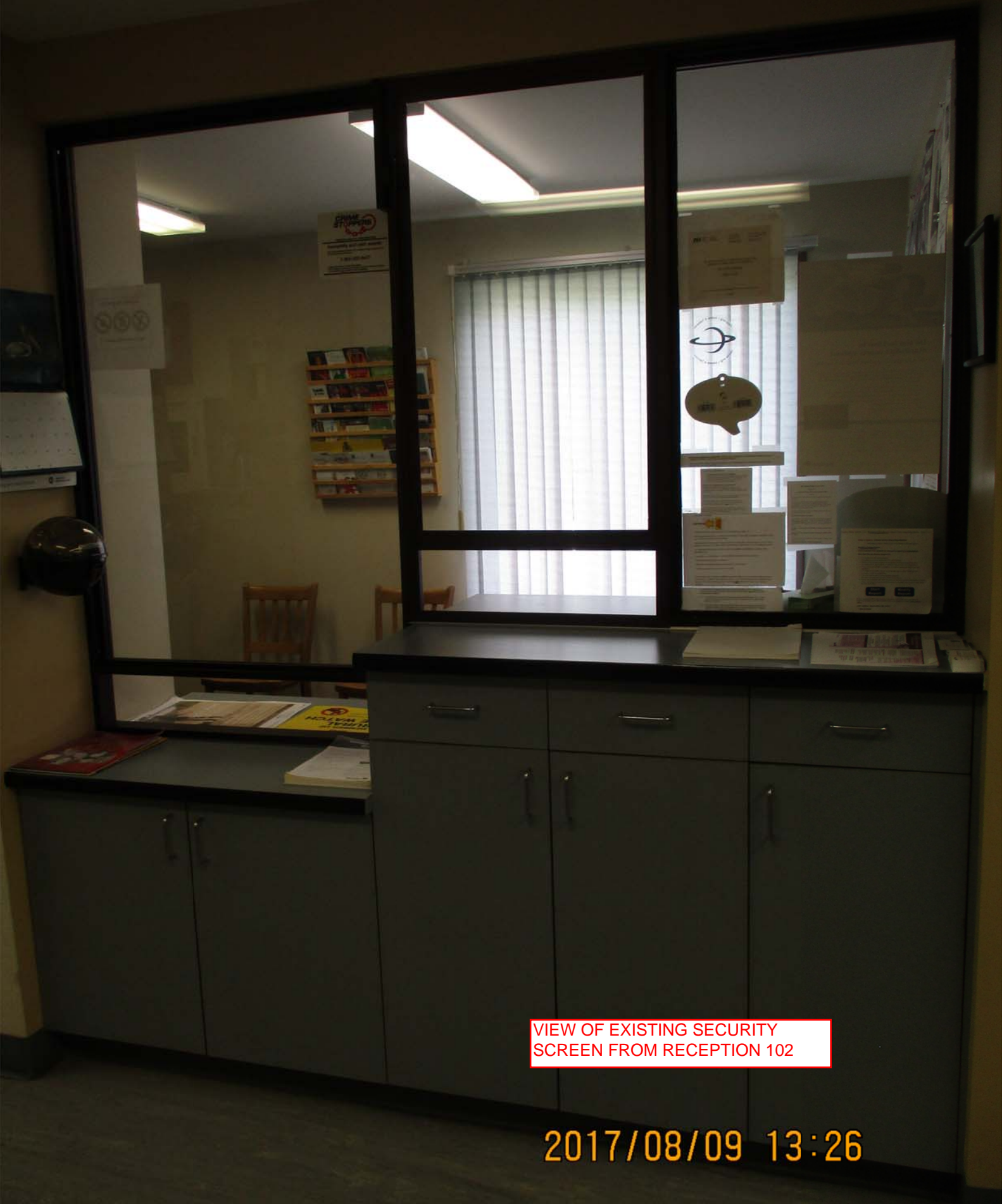
Specification Revisions:

- 1.1 Section 06 41 00 Architectural Wood Casework Refer to paragraph 2.2.4.1 Revise to read as follows:
 - .1 Colours: Allow for two colours selected by Departmental Representative from full range of manufacturer's lines.
- 1.2 Section 07 27 10 Air/Vapour Barriers Refer to paragraph 2.2.2.1 Revise to read as follows:
 - .1 Acceptable Products: Bakor Blueskin SA, Carlisle CCW-705, IKO Aquabarrier AVB, Soprema Sopraseal Stick 1100T, W.R. Grace Perm-A-Barrier, W.R. Meadows Air-Shield.

Drawing Revisions

- 1.3 Drawing A100-R1:
 1. Corridor 104 added to Room Finish Schedule
- 1.4 Drawing A101-R1:
 1. Note added to remove existing flooring in corridor 104 at room 105.
 2. Existing walls on 2nd floor at Rms 201 and 202 noted as demolished.
- 1.5 Drawing A102-R1:
 1. Epoxy flooring added at corridor 104.
 2. Walls removed on 2nd floor as per drawing A101-R1.

END OF ADDENDUM NO. 01



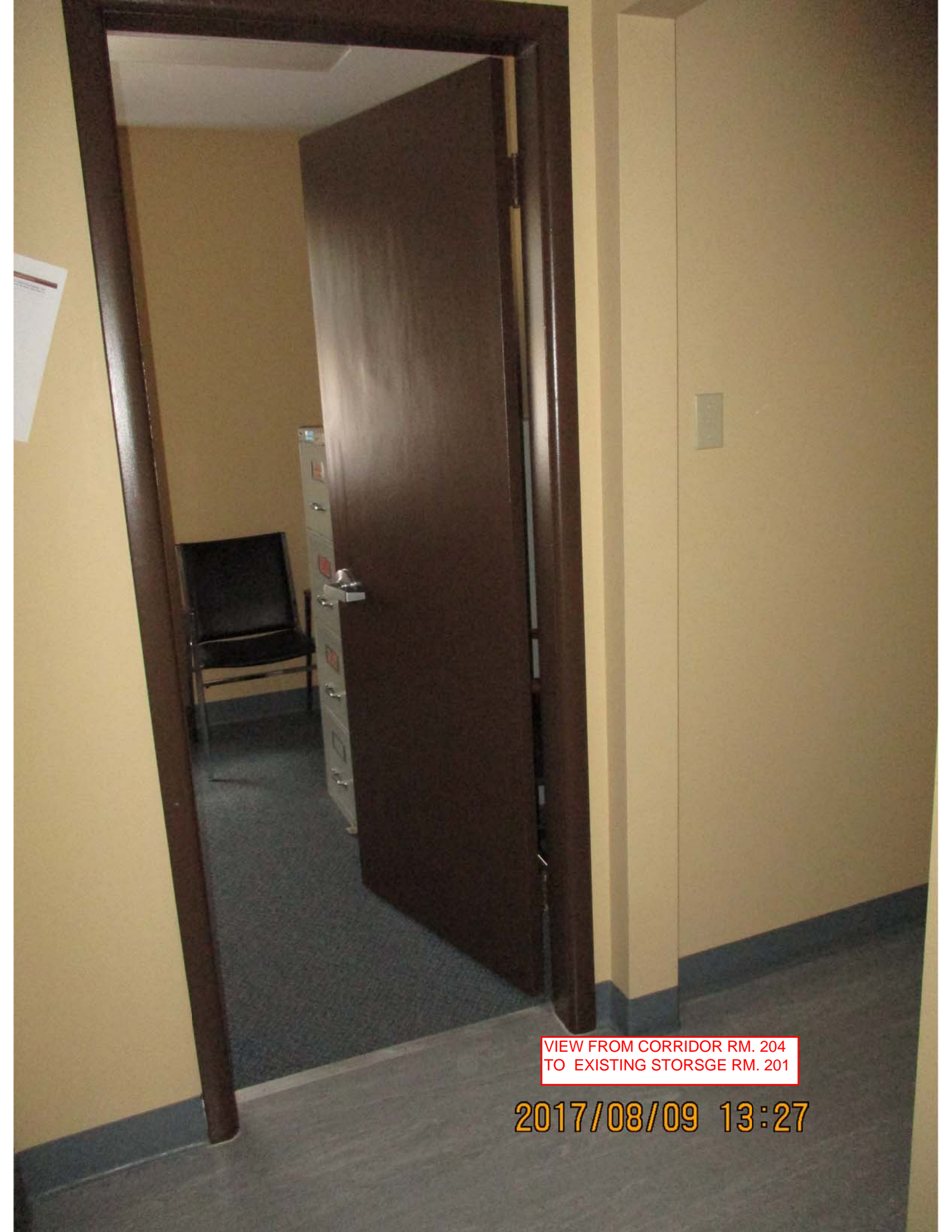
VIEW OF EXISTING SECURITY
SCREEN FROM RECEPTION 102

2017/08/09 13:26



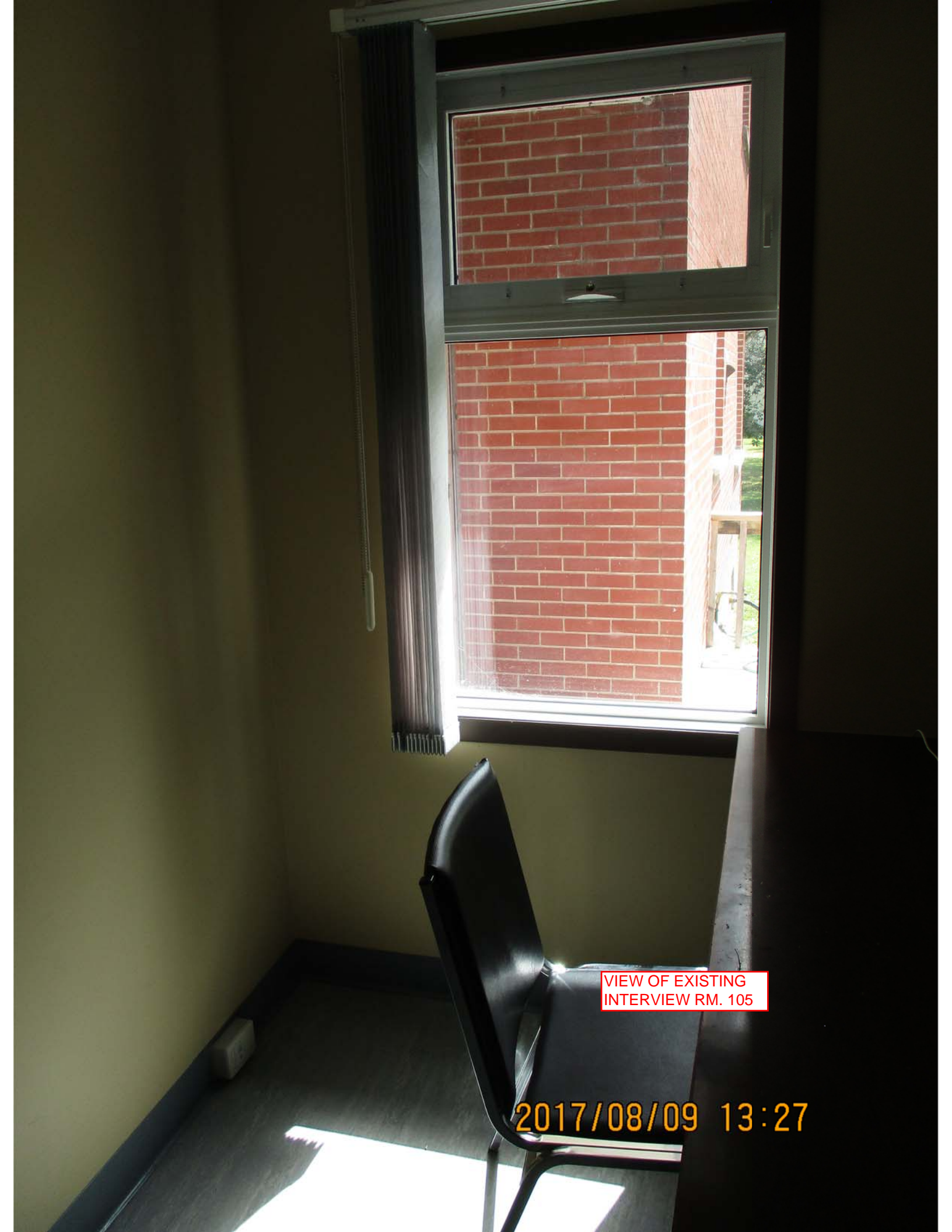
VIEW OF EXISTING
GYM RM. 202

2017/08/09 13:26



VIEW FROM CORRIDOR RM. 204
TO EXISTING STORSGE RM. 201

2017/08/09 13:27



VIEW OF EXISTING
INTERVIEW RM. 105

2017/08/09 13:27



VIEW OF INTERVIEW
RM 105 FLOORING

2017/08/09 13:27



VIEW OF REAR EXIT
DOOR FROM
KITCHEN RM 106

2017/08/09 13:28

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- UPHOLD the Canadian Charter of Rights and Freedoms.
- SERVE and PROTECT the community.
- WORK with the community and other agencies to prevent or resolve problems that affect the community's safety and quality of life.

Ashern Detachment

VIEW OF EXISTING SECURITY SCREEN FROM PUBLIC RECEPTION RM 101

2017/08/09 13:39



FLOORING IN
CORRIDOR RM. 104

2017/08/09 13:53

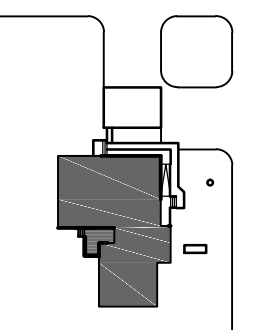
A photograph of a hallway floor with a red rectangular text box overlaid. The floor is made of large, light-colored tiles with a marbled pattern. The walls are a light beige color with dark wood trim. A door is visible on the right side of the frame, with a silver handle and a light switch. The text box contains the following text:

VIEW OF FLOOR IN
CORRIDOR RM 104

2017/08/09 13:53

CONSULTANT - SUB-CONSULTANT:

KEYPLAN:



SEAL:

CLIENT:

CLIENT REF. #:

PROJECT:

ASHERN RCMP DETACHMENT

ASHERN, MB

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ISSUED FOR - REVISION:

NO.	DATE	DESCRIPTION
3	14/08/2017	ISSUED FOR ADDENDUM #1
2	23/05/2017	ISSUED FOR TENDER
1	12/05/2017	ISSUED FOR REVIEW

IS	RV	DATE	DESCRIPTION

PROJECT NO. 149-12549-13 DATE: --

ORIGINAL SCALE: SEE NOTED

DESIGNED BY: --

DRAWN BY: MJ

CHECKED BY: JC

DISCIPLINE: ARCHITECTURE

TITLE: TITLE PAGE, DRAWING LIST, GENERAL NOTES, LEGENDS & SCHEDULES

SHEET NUMBER: A100R1

ISSUE: ISSUED FOR TENDER

DATE OF: 0

DRAWING LIST:

- A101 DEMOLITION PLAN
- A102 CONSTRUCTION PLAN
- A103 INTERIOR ELEVATIONS, SECTIONS & DETAILS

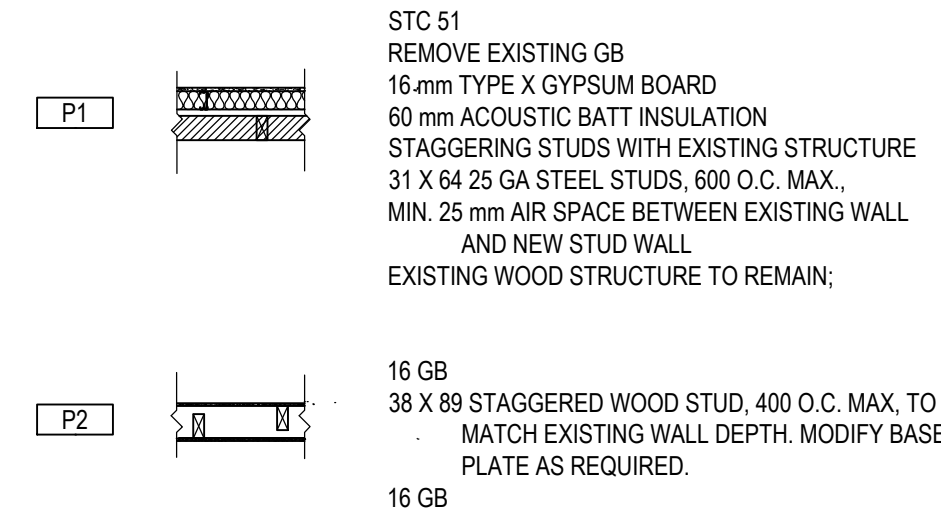
- E0.1 ELECTRICAL SYMBOLS AND ABBREVIATIONS
- ED2.1 MAIN FLOOR - DEMOLITION PLAN
- ED2.2 SECOND FLOOR - DEMOLITION PLAN
- EL2.1 MAIN FLOOR - LIGHTING PLAN
- EL2.2 SECOND FLOOR - LIGHTING PLAN
- EP2.1 MAIN FLOOR - POWER PLAN
- EP2.2 SECOND FLOOR - POWER PLAN
- E6.1 ELECTRICAL SCHEDULES

- M2.0 MECHANICAL DEMOLITION & RENOVATION PLAN - ASHERN

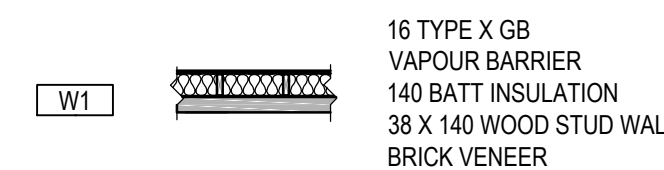
GENERAL SHEET NOTES:

1. THESE NOTES APPLY TO ALL PROJECT DRAWINGS
2. DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED.
3. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
4. DIMENSIONS ON PLANS ARE TO FACE OF WALL STUDS, CONCRETE, CMU OR TO THE 4 OF STRUCTURAL GRIDS, UNLESS OTHERWISE NOTED.
5. DIMENSIONS FOR EXISTING ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION OR CONSTRUCTION.
6. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED BY GC PRIOR TO CONSTRUCTION COMMENCEMENT.
7. WHERE NEW DOUBLE WALLS ARE CONSTRUCTED, PATCH ALL HOLES IN EXISTING GYPSUM BOARD AND MAKE FLUSH WITH EXISTING, SEALING JOINTS WITH ACOUSTIC SEALANT.
8. ALL INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF FINISH, GRID LINES, OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
9. SEAL ALL PENETRATIONS THROUGH FULL HEIGHT PARTITIONS. FIRE STOP ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS. PROVIDE FIRE DAMPERS AS REQUIRED FOR ALL PENETRATIONS.
10. PATCH AND MAKE GOOD ALL FLOORS, WALLS AND CEILINGS AFFECTED BY SELECTIVE DEMOLITION.
11. RETURN ALL REMOVED DOORS, LUMINAIRES, EQUIPMENT & CLADDING TO OWNER.
12. CONTRACTOR MAY CHOOSE TO USE EITHER WOOD OR STEEL STUDS FOR INTERIOR PARTITIONS.
13. INFILL ANY PENETRATIONS LEFT BY THE REMOVAL OF MECHANICAL EQUIPMENT.

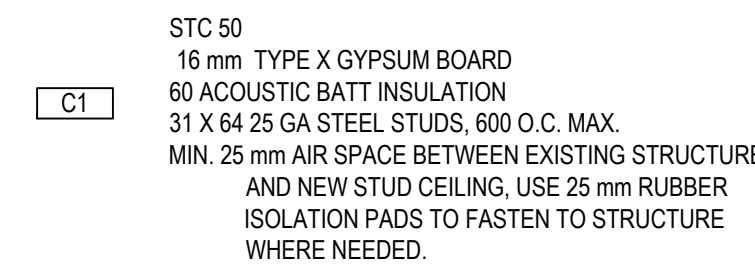
PARTITION TYPES:



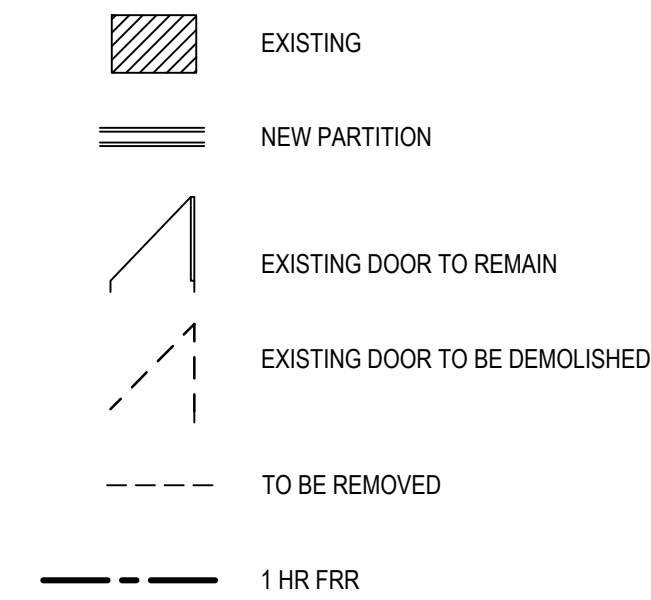
WALL TYPES:



CEILING TYPES:

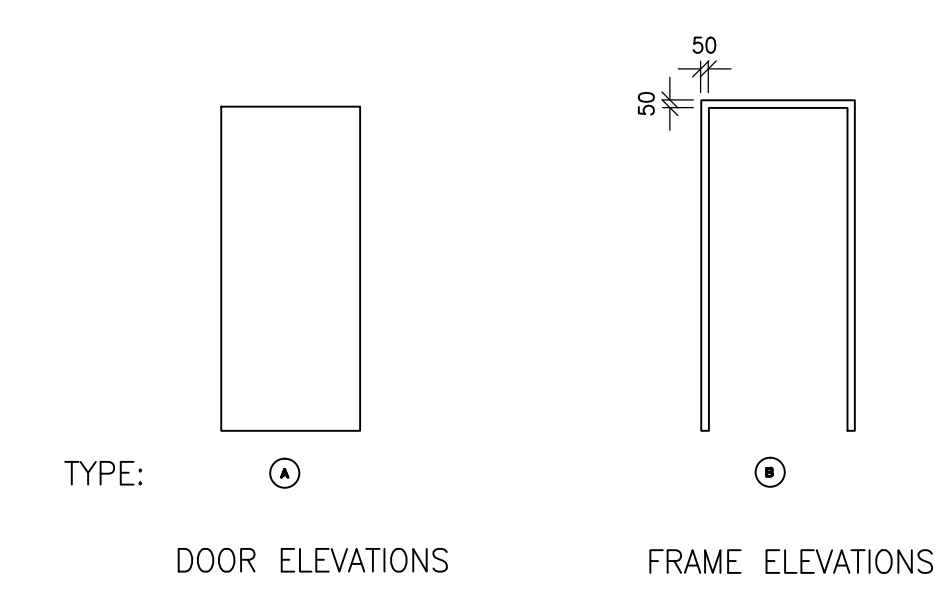


LEGEND:



DOOR NO.	MAT	TYPE	FIN	C	SIZE (W x H x T)	FRAME					HDWE CODE	LABEL	NOTES
						MAT	PRO	ELEV	FIN	C			
105A	HM	A	P		915 X 2135 X 45	HM		A	P		1		STC 51
106A	HMI	A	P		915 X 2135 X 45	HMI		A	P		2		

ROOM NO.	NAME	FLOOR			WALLS NORTH			EAST			SOUTH			WEST			CEILING			NOTES
		MAT	C	BASE	MAT	FIN	C	MAT	FIN	C	MAT	FIN	C	MAT	FIN	C	MAT	FIN	C	
101	PUBLIC RECEPTION	-		RB	-	-	-	-	-	-	EXIST.	P	-	-	-	-	-	-	-	1, 4
102	RECEPTION	-		RB	-	P	-	-	-	GWB	P	-	-	-	-	-	-	-	-	1, 4
103	GENERAL OFFICE	-		-	-	GWB	P	-	-	-	-	-	-	-	-	-	-	-	-	
104	CORRIDOR	EP		CB	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
105	INTERVIEW ROOM	EP		CB	GWB	P	GWB	P	GWB	P	GWB	P	GWB	P	GWB	P	GWB	P		
201	STORAGE	-		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
202	GYM	-		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
203	KITCHEN	-		RB	GWB	P	GWB	P	-	-	GWB	P	GWB	P	GWB	P	GWB	P	5	
204	CORRIDOR	-		RB	-	-	-	-	-	-	-	-	GWB	P	-	-	-	-	2, 3	



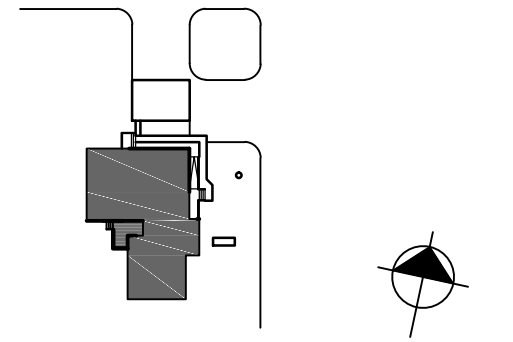
- FLOOR**
- RSF - RESILIENT SHEET FLOORING
 - EP - EPOXY
- BASE**
- RB - RUBBER BASE
 - CB - COVED EPOXY BASE
- EXIST. - EXISTING
- DOORS**
- HMI - HOLLOW METAL INSULATED
 - HM - HOLLOW METAL
- WALLS**
- GWB - GYPSUM WALL BOARD
- FINISHES**
- P - PAINTED

- NOTES:**
1. MAKE GOOD WALL AS REQUIRED DUE TO REMOVAL OF SECURITY BARRIER.
 2. PROVIDE NEW BASE ON WEST WALL TO MATCH EXISTING.
 3. PAINT ENTIRE WEST WALL.
 4. PAINT FULL LENGTH OF WALLS.
 5. CUT BACK EXISTING FLOOR AS REQUIRED FOR KITCHEN CABINETS. PROVIDE NEW RUBBER BASE AT KITCHEN COUNTER TO MATCH EXISTING.

CONSULTANT - SUB-CONSULTANT:



KEYPLAN:



SEAL:

CLIENT:



Canada

CLIENT REF. #:

PROJECT:

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1		12/05/2017	ISSUED FOR REVIEW

PROJECT NO: 149-12549-13	DATE:
ORIGINAL SCALE: SEE NOTED	IF THIS BAR IS NOT 1" LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: --	
DRAWN BY: MJ	
CHECKED BY: JC	

DISCIPLINE: **ARCHITECTURE**

TITLE:

DEMOLITION PLAN

SHEET NUMBER: **A101R1**

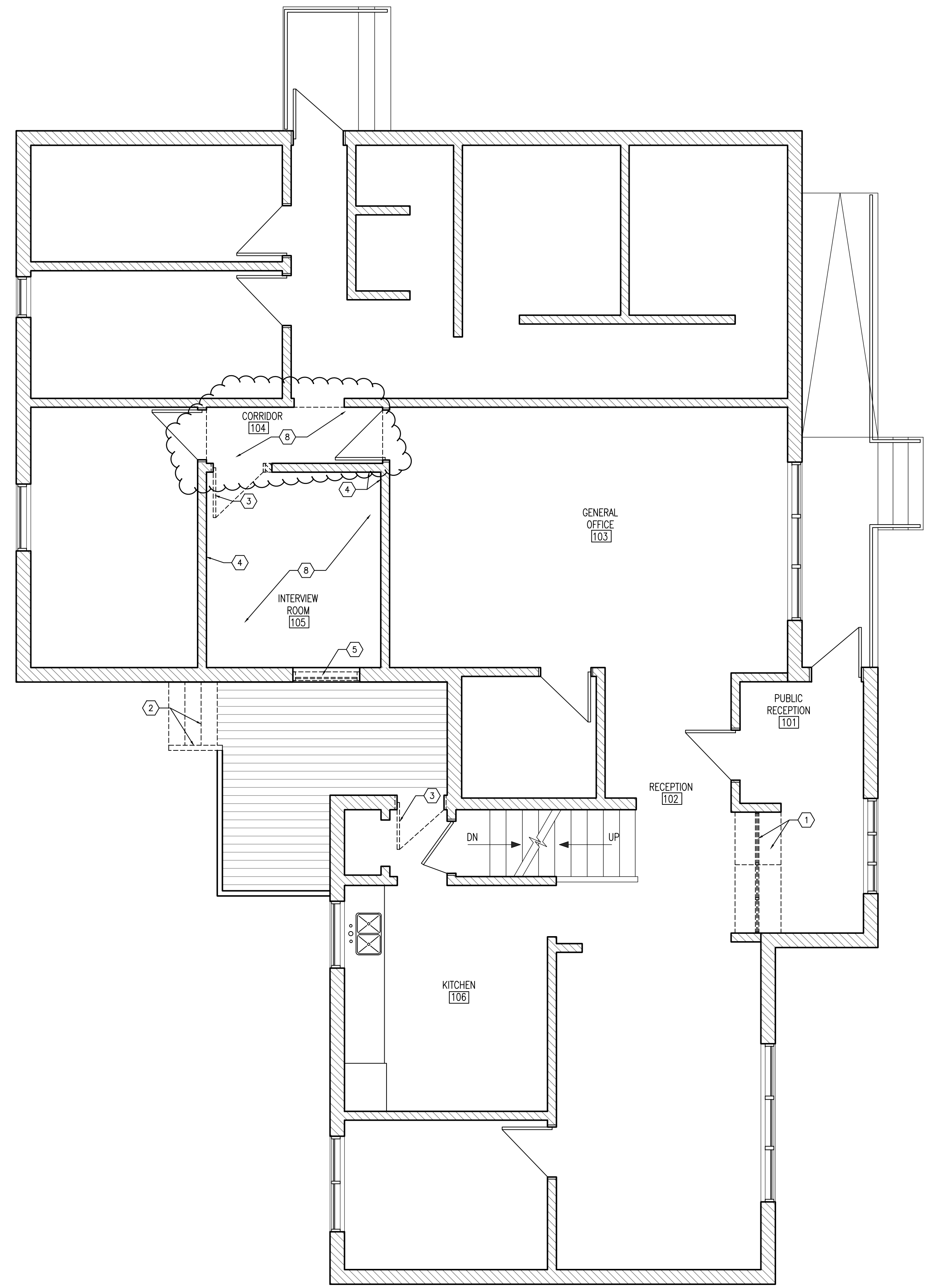
SHEET #: 1 OF --

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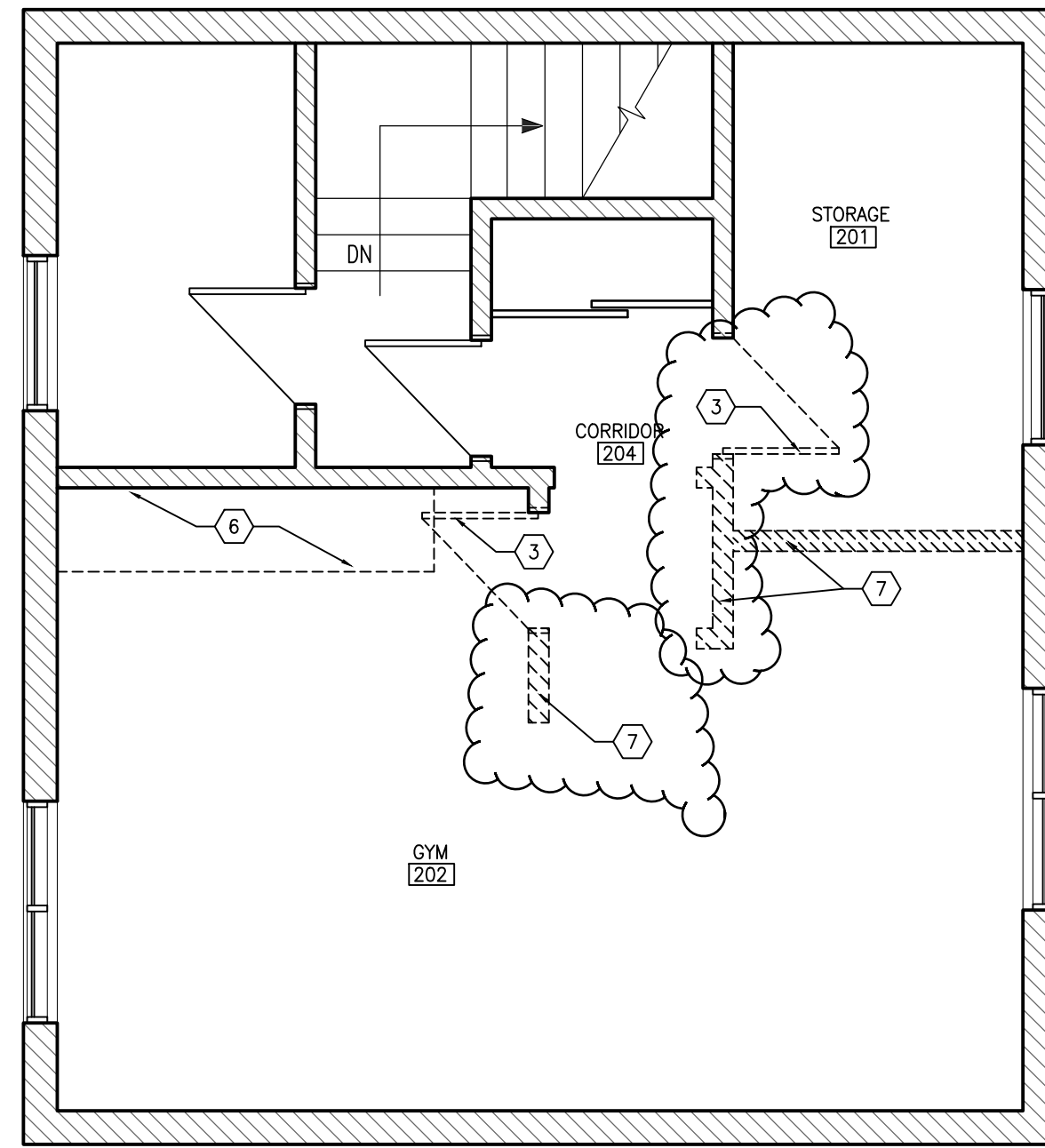
DATE OF: --

DEMO KEYNOTES:

1. REMOVE EXISTING COUNTER BARRIER INCLUDING ALL GLAZING, COUNTERS & CABINETS. EXISTING BULKHEAD TO REMAIN.
2. REMOVE BACK STEPS AND HAND RAIL. DECK HANDRAIL TO REMAIN.
3. REMOVE EXISTING DOOR & FRAME
4. REMOVE EXISTING GB ON INTERIOR WALLS AND CEILING STUD WALL AND CEILING STRUCTURE TO REMAIN.
5. REMOVE EXISTING WINDOW AND FRAME, INCLUDING METAL SILL.
6. CUT BACK EXISTING FLOOR FINISH AND WALL BASE WHERE KITCHEN CABINETS ARE TO BE INSTALLED
7. REMOVE EXISTING WALL. PATCH AND MAKE GOOD GB ON REMAINING WALLS & CEILING.
8. REMOVE EXISTING FLOORING AND WALL BASE.



1 FIRST FLOOR DEMOLITION PLAN
A101 | A101 1:50



2 SECOND FLOOR DEMOLITION PLAN
A101 | A101 1:50

CONSTRUCTION KEYNOTES:

1. SECURITY BARRIER, COUNTER & CABINETS. C/W LAMINATE FINISH ON COUNTER & CABINETS
2. WOOD STUD WALL EXTENSION. TIE IN GB AND RUBBER WALL BASE TO EXISTING WALL FINISHES.
3. PROVIDE DOOR & FRAME.
4. PUSH BUTTON DOOR OPENER.
5. SWIPE CARD ACCESS.
6. STEPS UP TO BACK DECK.
7. INFILL WINDOW OPENING.
8. PROVIDE GB CEILING, C1.
9. METAL HANDRAIL.
10. KITCHEN CLIPBOARDS AND COUNTERTOP.
11. RELOCATED REFRIGERATOR FROM RM 106.
12. SINK.
13. PROVIDE EPOXY FLOORING C/W COVE EPOXY BASE.
14. INFILL DOOR OPENING. TIE INTO EXISTING FINISH.
15. ELECTRO MECHANICAL HOLD OPEN DEVICE ON PROVOST DOOR.
16. MAKE GOOD WALL SURFACES WHERE DAMAGED BY REMOVAL OF EXISTING SECURITY BARRIER.
17. RATED FIRE SEPARATION, 1 HR.

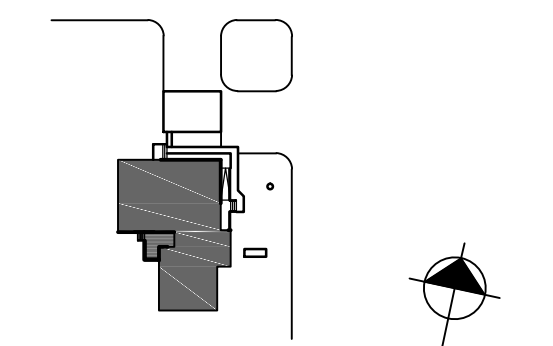
ARCHITECTURE | 49

100 BUFFALO PLACE
WINNIPEG, MANITOBA R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6346 | architecture49.com

CONSULTANT - SUB-CONSULTANT:



KEYPLAN:



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1		05/12/2017	ISSUED FOR REVIEW

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DRAWN BY: MJ	
CHECKED BY: JC	

DISCIPLINE: **ARCHITECTURE**

TITLE:

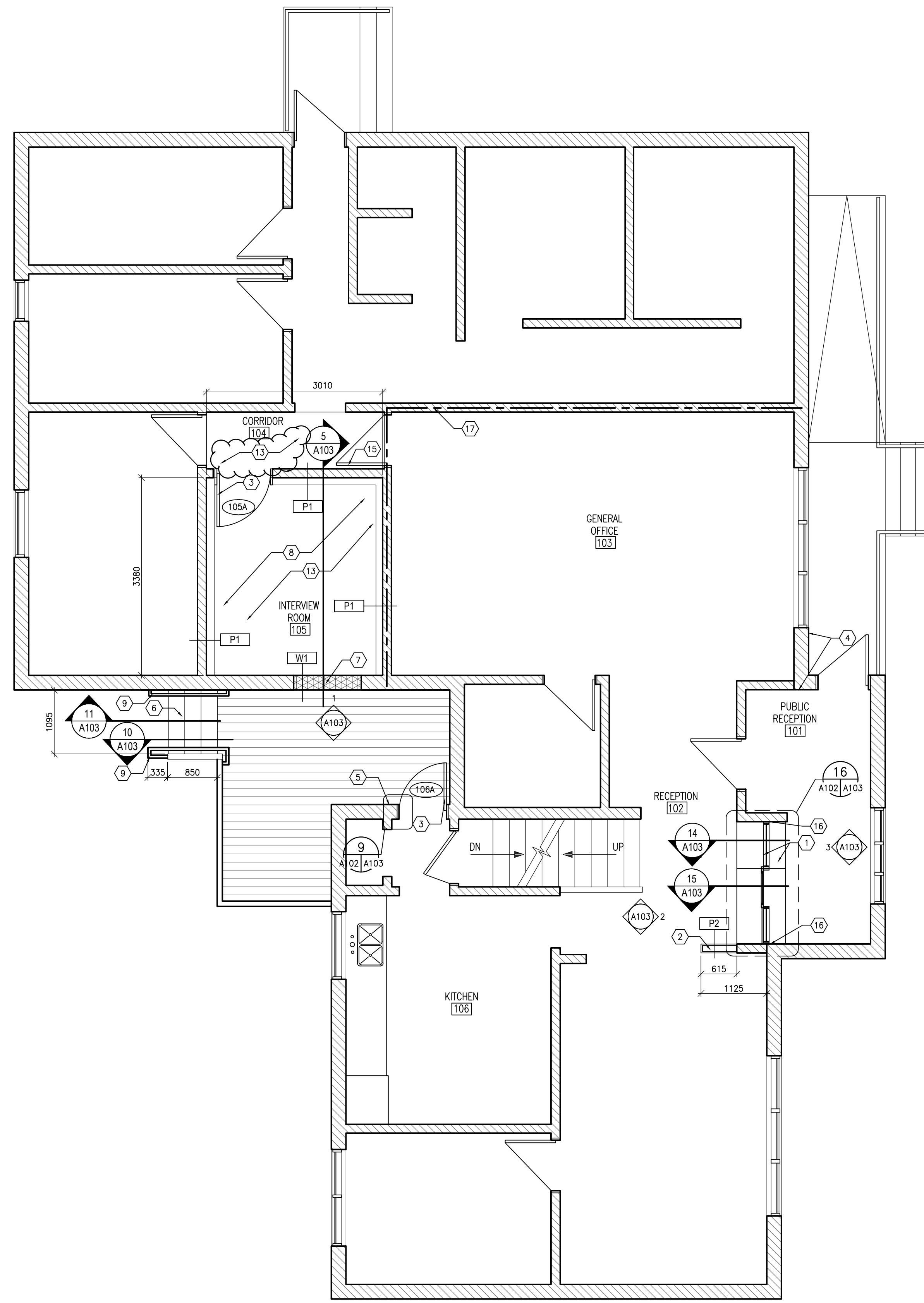
CONSTRUCTION PLANS

SHEET NUMBER: **A102R1**

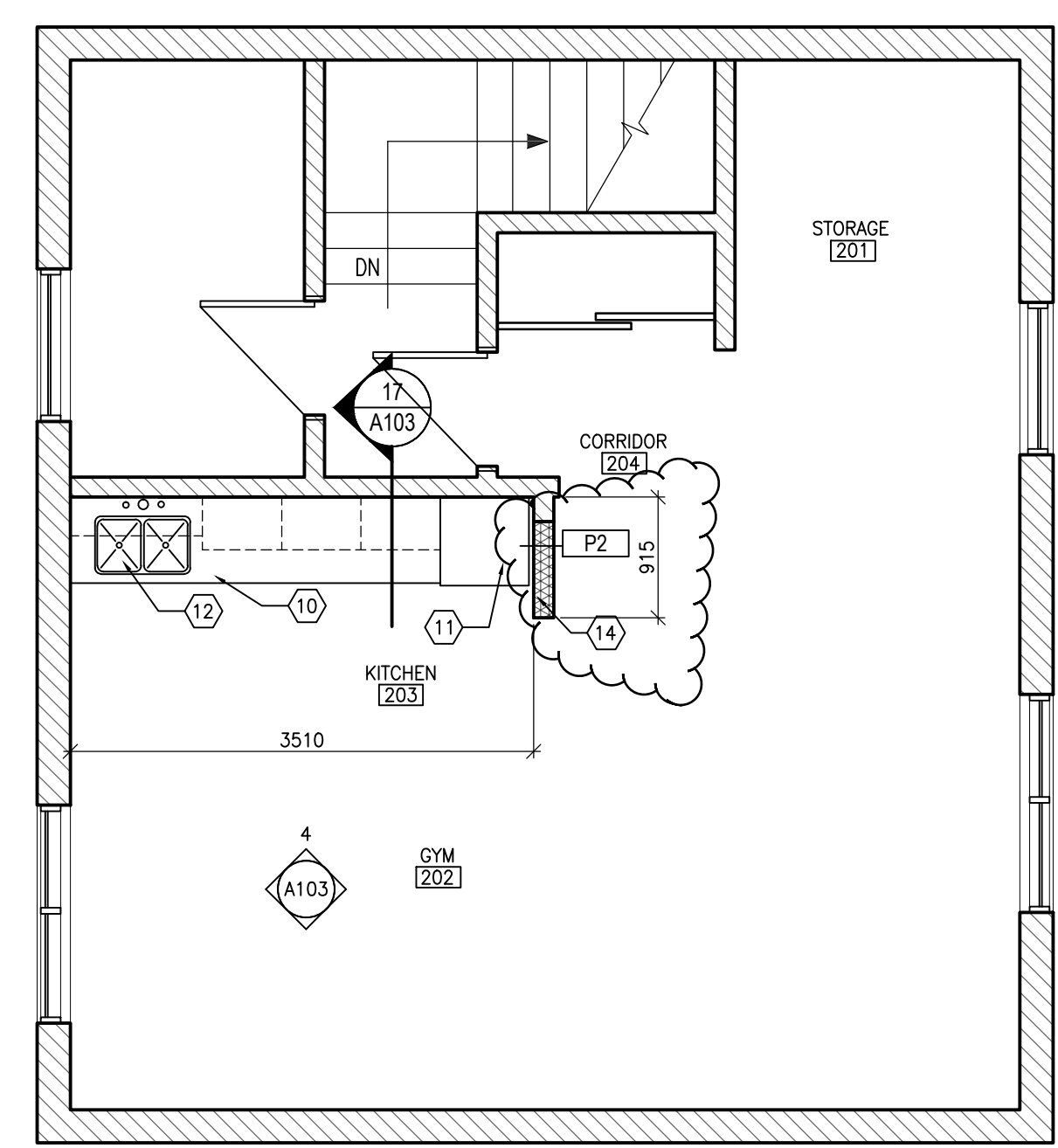
SHEET # **2** OF **--**

ISSUE: ISSUED FOR TENDER

DATE OF: -



1 FIRST FLOOR CONSTRUCTION PLAN
A102/A102 1:50



2 SECOND FLOOR PLAN
A102/A102 1:50