

PROJECT ADDRESS

2ND FLOOR, 740 SIOUX AVENUE  
FORT QU'APPELLE SASKATCHEWAN

CONSULTANTS:

ARCHITECTURAL

REPUBLIC ARCHITECTURE INC.  
374 DONALD STREET, FIRST FLOOR  
WINNIPEG, MANITOBA R3B 2J2

## MECHANICAL AND ELECTRICAL

SMITH AND ANDERSEN  
2031 PORTAGE AVENUE, SUITE 200  
WINNIPEG, MANITOBA R3J 0K6

SCOPE OF WORK:

DEMOLITION OF EXISTING INTERIOR PARTITIONS, CONSTRUCTION OF NEW INTERIOR PARTITIONS, NEW SINK, NEW MILLWORK, NEW INTERIOR FINISHES; ELECTRICAL AND MECHANICAL MODIFICATIONS TO SUIT NEW LAYOUT.

### GENERAL NOTES

1. THE DRAWINGS SHALL NOT BE SCALED FOR INFORMATION.
2. THE CONTRACTOR SHALL VISIT THE SITE AND BE SATISFIED THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT.
3. THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.
4. THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS THRU FLOORS, WALLS AND CEILINGS INCLUDING BUT NOT LIMITED TO DUCT, PIPING AND ELECTRICAL RISERS.
5. PRODUCTS AND MATERIALS ARE TO BE USED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. DIMENSIONAL PROPERTIES OF THE MATERIALS ARE NOTED IN MILLIMETERS UNLESS INDICATED OTHERWISE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING SURFACES ADJACENT NEW CONSTRUCTION AND ALL EXISTING FINISHES AFFECTED BY THE CONSTRUCTION.

## LIST OF DRAWINGS

ARCHITECTURAL	
A0.0	COVER
A1.0	LIST OF DRAWINGS, SITE PLAN, LEGENDS, GENERAL NOTES, BUILDING CODE REVIEW
A1.1	DEMOLITION PLAN
A2.0	CONSTRUCTION PLAN - SECOND LEVEL
A3.0	CEILING DEMOLITION PLAN - SECOND LEVEL
A3.1	REFLECTED CEILING PLAN
A5.0	FINISH PLAN - SECOND LEVEL
ID1.0	FURNITURE AND EQUIPMENT PLAN (FOR REFERENCE ONLY)

MECHANICAL	
M0.0	DRAWING LIST AND LEGENDS
M0.1	STANDARD DETAILS
M0.2	STANDARD DETAILS
M1.0	PLUMBING AND FIRE PROTECTION DEMOLITION PLAN
M1.1	H.V.A.C. DEMOLITION PLAN
M2.0	PLUMBING AND FIRE PROTECTION PLAN
M3.0	H.V.A.C. PLAN

ELECTRICAL	
E0.0	DRAWING LIST AND LEGENDS
E0.1	STANDARD DETAILS
E0.2	DETAILS
E1.0	PARTIAL 2nd FLOOR PLAN LIGHTING DEMOLITION
E1.1	PARTIAL 2nd FLOOR PLAN POWER AND SYSTEMS DEMOLITION
E2.0	PARTIAL 2nd FLOOR PLAN POWER AND SYSTEMS
E3.0	PARTIAL 2nd FLOOR PLAN LIGHTING
E4.0	PARTIAL 2nd FLOOR PLAN FIRE ALARM, SECURITY AND SOUND MASKING

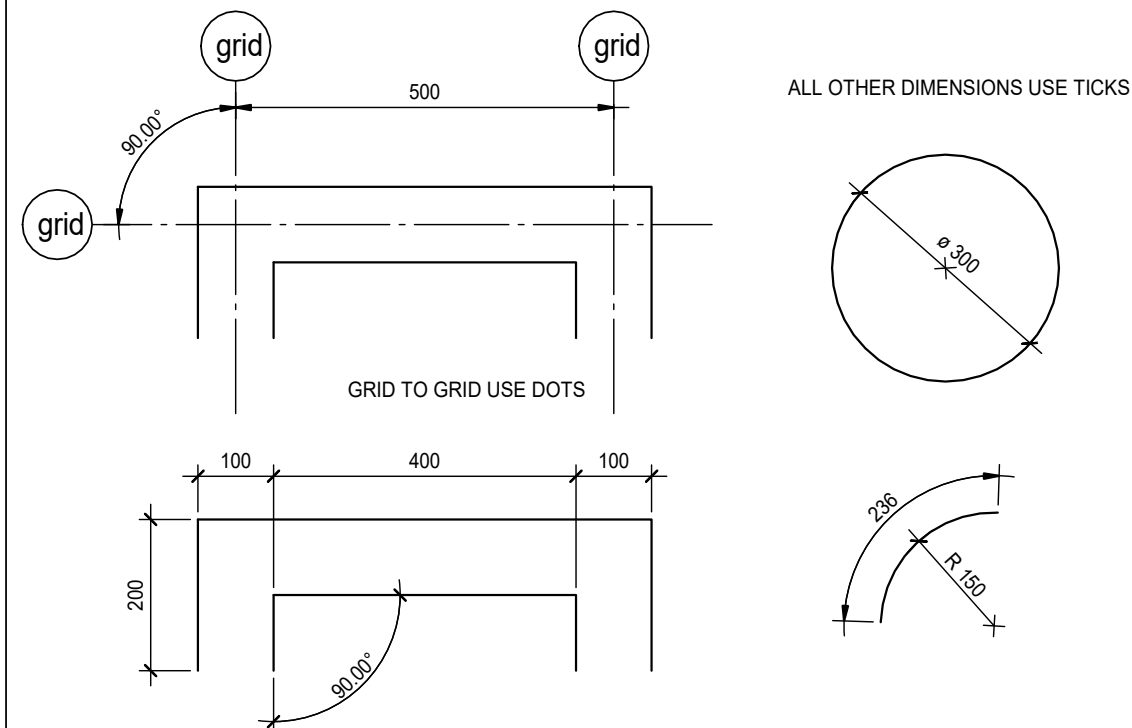
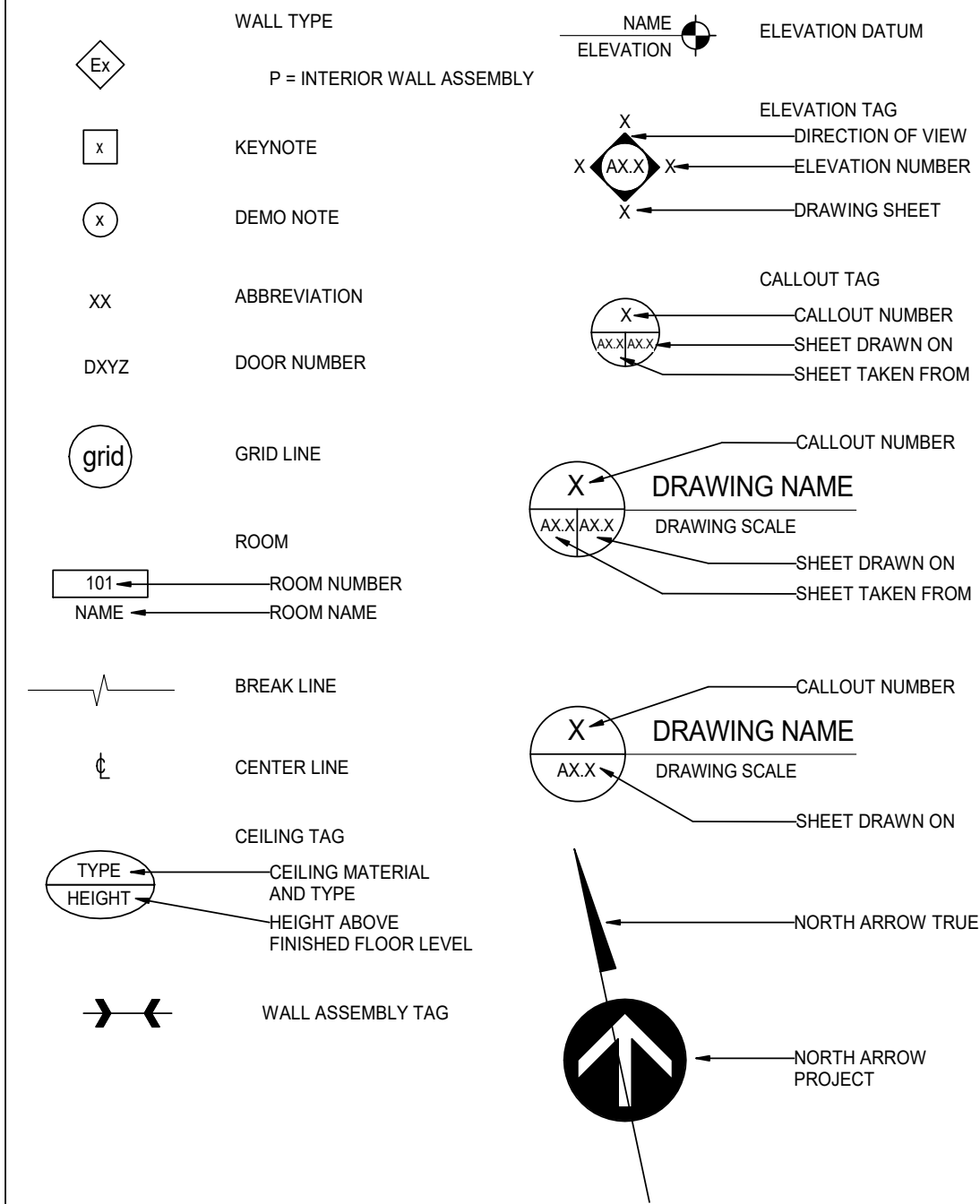
## LANDLORD RESPONSIBILITIES

1. SPECIFIED DEMISING WALL SEPARATING THE SPACES, REQUIREMENTS AS PER LEASE DOCUMENTS
2. CEILING GRID TO BE MADE GOOD
3. CEILING TIE TO MEET THE LEASE DOCUMENT
4. REFRESH PAINT ON ALL PERIMETER WALLS
5. MAKE GOOD ON THE FLOORING WHERE OFFICE WALLS ARE REMOVED
6. INSTALL SECURITY ACCESS AND EGRESS DOORS, AS PER THE LEASE DOCUMENT
7. HVAC TO BE MADE OPERABLE FOR OPEN SPACE, PRIOR TO TENANT IMPROVEMENT
8. LIFE SAFETY SYSTEMS TO BE IN PLACE FOR OPEN SPACE
9. EXTERIOR WINDOW COVERINGS TO BE IN GOOD REPAIR
10. CABLE TRAY TO BE INSTALLED IN CEILING SPACE TO MEET TENANT REQUIREMENTS
11. CONDUIT, AS PER LEASE, TO BE INSTALLED FROM BUILDING DEMARCATION ROOM TO THE CLIENT TELECOMMUNICATION ROOM
12. POWER GRID TO BE INSTALLED IN CEILING SPACE

NATIONAL BUILDING CODE OF CANADA 2015

ITEM	DESCRIPTION	REFERENCE																																																																																
1	<div>PROJECT INFORMATION</div> <div>NAME OF PROJECT:INAC FIT-UP PROJECT FORT QU'APPELLE</div> <div>LOCATION:2ND FLOOR, 740 SIOUX AVENUE FORT QU'APPELLE, SASKATCHEWAN</div> <div>LEGAL DESCRIPTION:</div>																																																																																	
2	<div>PROJECT DESCRIPTION</div> <div>NEWADDITION✓ ALTERATIONCHANGE OF USE</div>	1.3.3 / 1.4.1																																																																																
3	<div>MAJOR OCCUPANCIES</div> <div><div>D- - - - -</div><div>MULTIPLE MAJOR OCCUPANCIES- - - - -</div><div>FIRE SEPARTION REQUIRED (HRS)- - - - -</div></div>	3.1.2.1 / 3.2.2.8 / A-3.1.2.1																																																																																
4	<div>BUILDING AREA</div> <div>EXISTING (M2):2,236 NEW (M2):TOTAL (M2):2,236</div> <div>FIREWALL:REQUIRED✓ NOT REQUIRED</div> <div>RATING AND GRID LOCATION:EXISTING TO REMAIN AS IS</div>	1.4.1 / 3.1.10																																																																																
5	<div>GROSS FLOOR AREA</div> <div>EXISTING (M2):2,236 NEW (M2):TOTAL (M2):2,236</div>	1.4.1																																																																																
6	<div>NUMBER OF STOREYS</div> <div>ABOVE GRADE:2BELOW GRADE:0</div>	1.4.1 / 3.2.1.1																																																																																
7	<div>NUMBER OF STREETS</div> <div>FACING:✓ 1 STREET2 STREETS3 STREETS✓ FIREFIGHTER ACCESS</div>	3.2.2.10 / 3.2.5																																																																																
8	<div>BUILDING CLASSIFICATION</div> <div>3.2.2.83DESCRIPTION: GROUP D, ANY HEIGHT, SPRINKLERED</div> <div>SPRINKLER SYSTEM:✓ REQUIREDNOT REQUIRED✓ EXISTING TO REMAIN</div> <div>PERMITTED CONSTRUCTION:COMBUSTIBLE✓ NON-COMBUSTIBLE</div> <div>REQUIRED FIRE RESISTANCE RATINGS (HRS):ROOF: EXISTINGFLOOR: 2 HR.MEZZANINE: N/A</div>	3.2.2.36																																																																																
9	<div>STANDPIPE SYSTEM</div> <div>REQUIRED✓ NOT REQUIREDEXISTING TO REMAIN</div>	3.2.5.8																																																																																
10	<div>EXIT SIGNAGE</div> <div>✓ REQUIREDNOT REQUIREDEXISTING TO REMAIN</div>	3.4.5																																																																																
11	<div>FIRE ALARM SYSTEM</div> <div>✓ REQUIREDNOT REQUIRED✓ EXISTING TO REMAIN</div>	3.2.4																																																																																
12	<div>EXIT DIMENSIONS</div> <div>CORRIDORS MAX TRAVEL DISTANCE (M):45CORRIDOR CLEAR WIDTH (mm):1100MAX DEAD END CORRIDOR LENGTH (M):6</div> <div>MEZZANINE DISTANCE TO EGRESS (M):-DISTANCE TO T.O. STAIR IF &gt; 1 EGRESS (M):-</div> <div>STAIRS STAIR CLEAR WIDTH (mm):-LANDING CLEAR WIDTH (mm):-LANDING TO LANDING MAX. RISE (M):-</div> <div>DOORS DOOR CLEAR WIDTH (mm):800</div>	3.4.2.2 / 3.4.2.5 / 3.4.3.2																																																																																
13	<div>EXIT CAPACITY</div> <table><tr><th>FLOOR</th><th>NUMBER OF DOORS</th><th>DOOR WIDTH (mm)</th><th>WIDTH PER PERSON (mm)</th><th>CAPACITY OF DOORS</th><th>NUMBER OF STAIRS</th><th>TREAD WIDTH (mm)</th><th>WIDTH PER PERSON (mm)</th><th>CAPACITY OF STAIRS</th><th>EXIT CAPACITY</th></tr><tr><td>2ND</td><td>2</td><td>1828</td><td>6.1</td><td>300</td><td>2</td><td>2400</td><td>8</td><td>300</td><td>300</td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td colspan="4">ADEQUATE EXIT CAPACITY</td><td>YES</td><td colspan="4">EXIT CAPACITY DISTRIBUTED AS REQUIRED</td><td>YES</td></tr><tr><td colspan="10">OTHER EXIT CONSIDERATIONS:</td></tr></table>	FLOOR	NUMBER OF DOORS	DOOR WIDTH (mm)	WIDTH PER PERSON (mm)	CAPACITY OF DOORS	NUMBER OF STAIRS	TREAD WIDTH (mm)	WIDTH PER PERSON (mm)	CAPACITY OF STAIRS	EXIT CAPACITY	2ND	2	1828	6.1	300	2	2400	8	300	300																																									ADEQUATE EXIT CAPACITY				YES	EXIT CAPACITY DISTRIBUTED AS REQUIRED				YES	OTHER EXIT CONSIDERATIONS:										3.4.3.2
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ADEQUATE EXIT CAPACITY				YES	EXIT CAPACITY DISTRIBUTED AS REQUIRED				YES																																																																									
OTHER EXIT CONSIDERATIONS:																																																																																		
14	<div>OCCUPANT LOAD</div> <div>BASED ON:✓ M2 / PERSONDESIGN OF BUILDING</div> <table><tr><th>FLOOR</th><th>OCCUPANCY TYPE</th><th>OCCUPANCY LOAD</th><th>NUMBER OF PERSONS</th></tr><tr><td>2ND</td><td>OFFICES</td><td>323 M2 / (8.3 M2 PER PERSON)</td><td>35</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td colspan="3">TOTAL:</td><td>35</td></tr></table>	FLOOR	OCCUPANCY TYPE	OCCUPANCY LOAD	NUMBER OF PERSONS	2ND	OFFICES	323 M2 / (8.3 M2 PER PERSON)	35													TOTAL:			35	3.1.17																																																								
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2ND	OFFICES	323 M2 / (8.3 M2 PER PERSON)	35																																																																															
TOTAL:			35																																																																															
15	<div>HEATH</div> <table><tr><th>OCCUPANCY</th><th>NUMBER OF PERSONS</th><th>WC'S REQUIRED</th><th>WOMENS WC'S PROVIDED</th><th>MENS WC'S PROVIDED</th><th>UNISEX WC'S PROVIDED</th></tr><tr><td>GROUP D</td><td>220</td><td>8</td><td>5 (WITH 1 BARRIER-FREE STALL)</td><td>3 WC/2 URINALS</td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>TOTAL:</td><td></td><td>8</td><td>5</td><td>3</td><td></td></tr></table>	OCCUPANCY	NUMBER OF PERSONS	WC'S REQUIRED	WOMENS WC'S PROVIDED	MENS WC'S PROVIDED	UNISEX WC'S PROVIDED	GROUP D	220	8	5 (WITH 1 BARRIER-FREE STALL)	3 WC/2 URINALS														TOTAL:		8	5	3		3.7																																																		
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TOTAL:		8	5	3																																																																														
16	<div>BARRIER FREE DESIGN</div> <div>BARRIER FREE ENTRANCES PROVIDED:EXISTING (≥ 50% PEDESTRIAN ENTRANCES REQUIRED)</div> <div>POWER ASSIST DOOR OPERATORS PROVIDED:EXISTING</div> <div>ELEVATOR REQUIRED/PROVIDED:EXISTING</div> <div>LEVELS REQUIRING BARRIER FREE ACCESS:0</div> <div>BARRIER FREE LIFT PROVIDED:NO</div> <div>EXCEPTIONS TO BARRIER FREE ACCESS:</div>	3.8																																																																																

### DIMENSION LEGEND

SYMBOL

### DRAWING LEGEND

## LINETYPES

----	SMOKE
----	45 MIN RATED FIRE
----	1 HOUR FIRE
----	150mm <sup>2</sup> PERFORATED DRAIN TUBING
----	150mm <sup>2</sup> SOLID DRAIN TUBING
----	POLY VAPOUR BARRIER
----	BUILDING WRAP
----	AIR/WATER BARRIER
----	AIR/WATER/VAPOUR BARRIER
----	OBJECT OVERHEAD
----	ROOFLINE ABOVE
----	CENTER LINE
----	DEMOLINE
----	GRIDLINE
----	HIDDEN LINE

### EXISTING CONDITIONS

Diagram illustrating how to indicate door swing and door number on a floor plan:

- EXISTING WALL TO REMAIN
- EXISTING WINDOW TO REMAIN
- DIRECTION OF SWING
- DOOR NUMBER
- EXISTING DOOR TO REMAIN

### DEMO CONDITIONS

EXISTING WALL TO BE DEMOLISHED

EXISTING WINDOW TO BE DEMOLISHED

EXISTING DOOR TO BE DEMOLISHED

NEW CONDITIONS

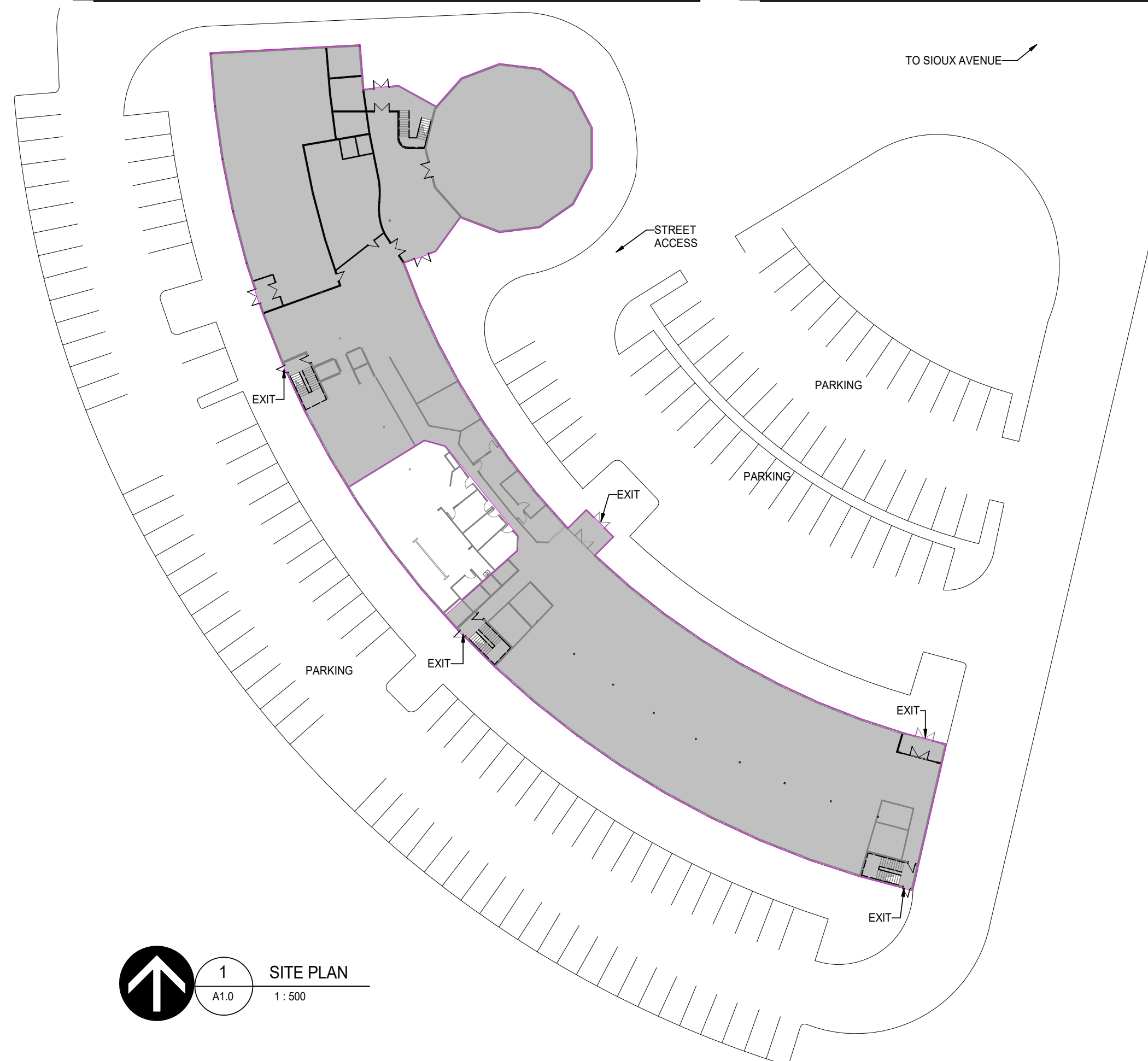
NEW WALL

NEW WINDOW IN NEW WALL

DIRECTION OF SWING

DOOR NUMBER

NEW DOOR & FRAME IN NEW WALL



**REAL PROPERTY SERVICES**  
Western Region  
**SERVICES IMMOBILIERS**  
Région de l'ouest

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4.	ISSUED FOR CONSTRUCTION	2017/05/18
3.	ISSUED FOR 99% CD	2017/05/01
2.	ISSUED FOR 50% CD	2017/04/03
1.	ISSUED FOR SD	2017/02/28
Revision Client	Description	Date client

PUBLIC WORKS AND GOVERNMENT  
SERVICES CANADA  
(PWGSC)

Project title	Project
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FORT QU'APPELLE, SASKATCHEWAN  
2ND FLOOR, 740 SIOUX AVENUE

INDIGENOUS AND NORTHERN  
AFFAIRS CANADA

Designed	Conçu
<b>HW/CB</b>	
Drawn	Dessiné
<b>HW</b>	
Approved	Approuvé
<b>SS</b>	
PWOSC Project	Administrateur de Projets
<b>Paul Adekogbe</b>	
Drawn	Titre du

LIST OF DRAWINGS, SITE PLAN,  
LEGENDS, GENERAL NOTES, BUILDING  
CODE REVIEW

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
R.060411.005	A1.0 OF 9	4