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Gestion des biens et
réalisation de projets

Asset Management
and Project Delivery

Région du
Terre-Neuve Est

Newfoundland East
Region



HAWTHORNE COTTAGE RESTORATION

BRIGUS, NL.

PROJECT NO. 16-1475 - ISSUED FOR TENDER - 2018/01/31

DRAWING LIST

ARCHITECTURAL:

A-101 SITE PLAN
A-201 BASEMENT FLOOR PLAN
A-202 LEVEL 1 FLOOR PLAN
A-203 LEVEL 2 FLOOR PLAN
A-204 ROOF PLAN
A-401 ELEVATIONS
A-401 ELEVATIONS
A-601 WALL SECTIONS & DETAILS
A-801 DETAILS
A-802 DETAILS

STRUCTURAL:

S-101 NOTES AND SPECIFICATIONS
S-201 FOUNDATION PLAN & VERANDA DECK FRAMING PLAN
S-202 VERANDA ROOF FRAMING PLAN
S-601 SECTIONS & DETAILS
S-701 SECTIONS & DETAILS

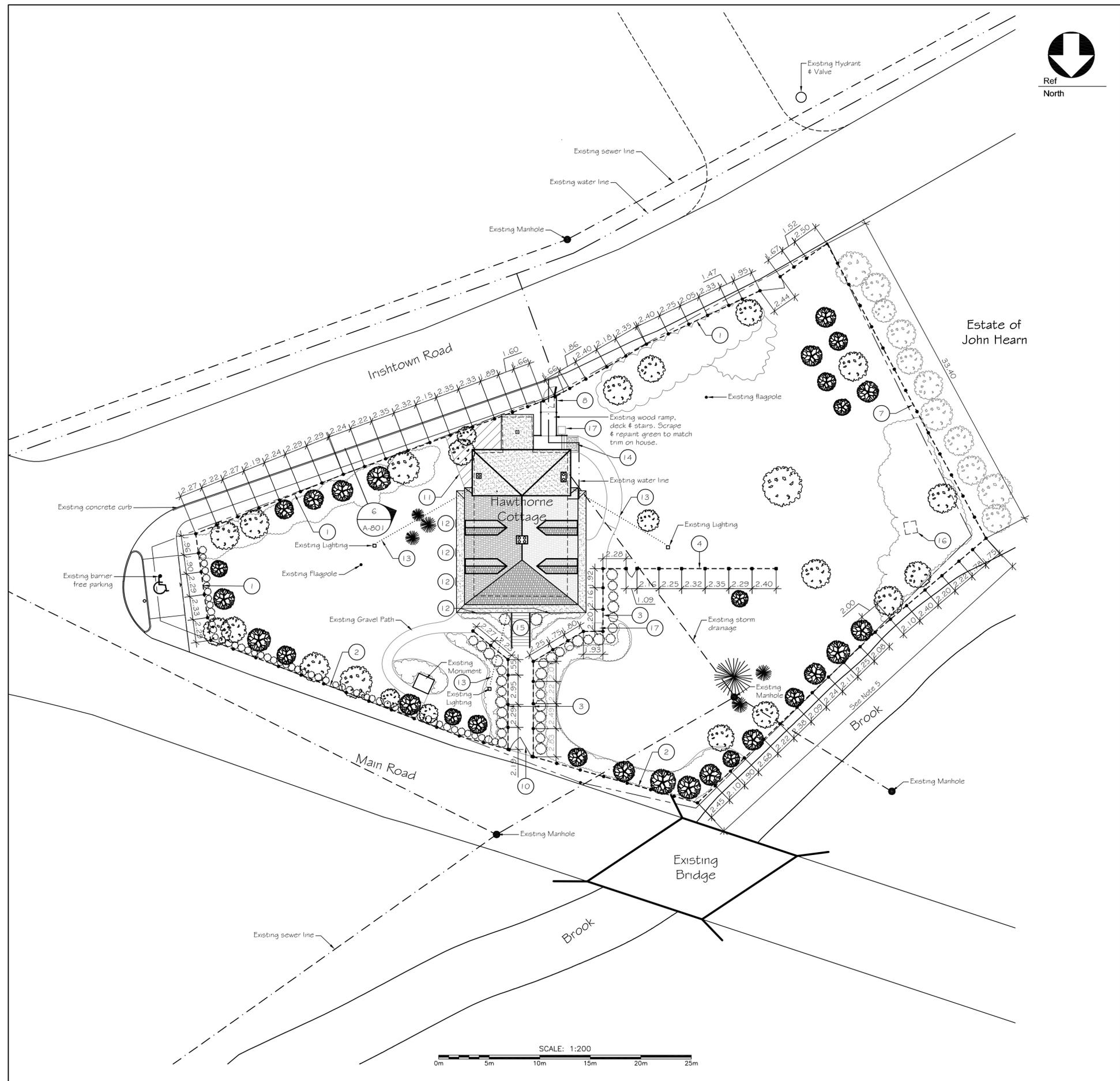


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- 1 All existing round fence posts to be replaced with new to match existing. Posts to be installed as per detail G/A-801. Fence sections to be scraped, painted, & reinstalled on new posts. Where required, replace all damaged or deteriorated fence components as noted in Fence Type F1 below.
- 2 All existing fence components to remain. Scrape & repaint all components. Where required, replace all damaged or deteriorated components as noted in Fence Type F2 below.
- 3 All existing fence components to remain. Scrape & repaint all components. Where required, replace all damaged or deteriorated components as noted in Fence Type F3 below.
- 4 All existing fence components to remain. Scrape & repaint all components. Where required, replace all damaged or deteriorated components as noted in Fence Type F4 below.
- 5 All existing fence components to remain. Remove all loose & flaking paint, and repaint all fence components white to match existing.

- 6 Note Not Used
- 7 All existing fence components to be removed & disposed of off-site. New round posts to be installed as per detail G/A-801. Construct & install new fence sections on new posts. Fence components to be as noted in Fence Type F1.
- 8 Existing railing at top of barrier free entrance ramp is damaged. Top rail to be replaced & painted green to match adjacent deck & railing.
- 9 Note Not Used
- 10 Existing steel gate. Remove all loose / flaking paint, rust & debris from steel gate & repaint green to match existing colour.
- 11 Existing finished grade to be adjusted as to direct water away from building. Lower as required to be 200mm below all wood elements.
- 12 Existing wooden trellis to be removed & disposed of off-site. Construct new wooden trellis for future planting to match existing. Install trellis after replacement of wood deck posts.
- 13 Approximate location of existing underground conduit for exterior lighting. Confirm on-site prior to any excavation work.
- 14 New p.t. wood & crushed stone landing to be constructed as per detail 1/A-802 to lower finished grade in this area. Reinstall existing gravel path & landscaping after area is re-graded.
- 15 Existing wood stairs to be adjusted as required to accommodate replacement of the porch deck in this area. Scrape, clean & repaint all wood elements. Replace any discoloured or deteriorated material with new to match. Existing metal railing to have all loose / flaking paint, rust & debris removed. Clean & repaint. Bottom tread to be replaced with new to match existing. Railing to be re-secured at bottom tread using lag bolts.
- 16 Pallet of stone stored on-site to be used as required along side of brook. Quantity to be confirmed on-site.
- 17 Wood garbage can enclosure to be scraped and repainted white as per specifications. Approximate dimensions: 760mm x 760mm x 915mm high.

Existing Fence Construction :

Type F1:
 - 25x100mm wood pickets @ 190mm o.c.
 - 50x100mm wood rails
 - Round wood posts (Diameter varies 50mm to 125mm)
 (Spacing indicated on drawings)

Type F2:
 - 19x89mm wood pickets @ 190mm o.c.
 - 38x89mm wood rails
 - 89x89mm p.t. wood posts

Type F3:
 - 19x89mm wood pickets @ 190mm o.c.
 - 38x89mm wood rails
 - 38x64mm wood top cap d/w beveled edges
 - 89x89mm wood posts
 (Spacing indicated on drawings)

Type F4:
 - 19x89mm wood pickets @ 190mm o.c.
 - 50x100mm wood rails
 - 100x100mm wood posts
 (Spacing indicated on drawings)

NOTE:
 All fence components (new & existing) to be painted white, as per specifications.

- Legend:**
- - - - - Property Lines
 - · - · - - Approximate location of existing water lines
 - - - - - Approximate location of existing sewer lines
 - · · · · Approximate location of existing electrical conduit
 - Wooden fence. See notes 1 through 7 for extent of repair / replacement.

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Stamp

General Notes

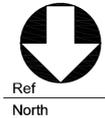
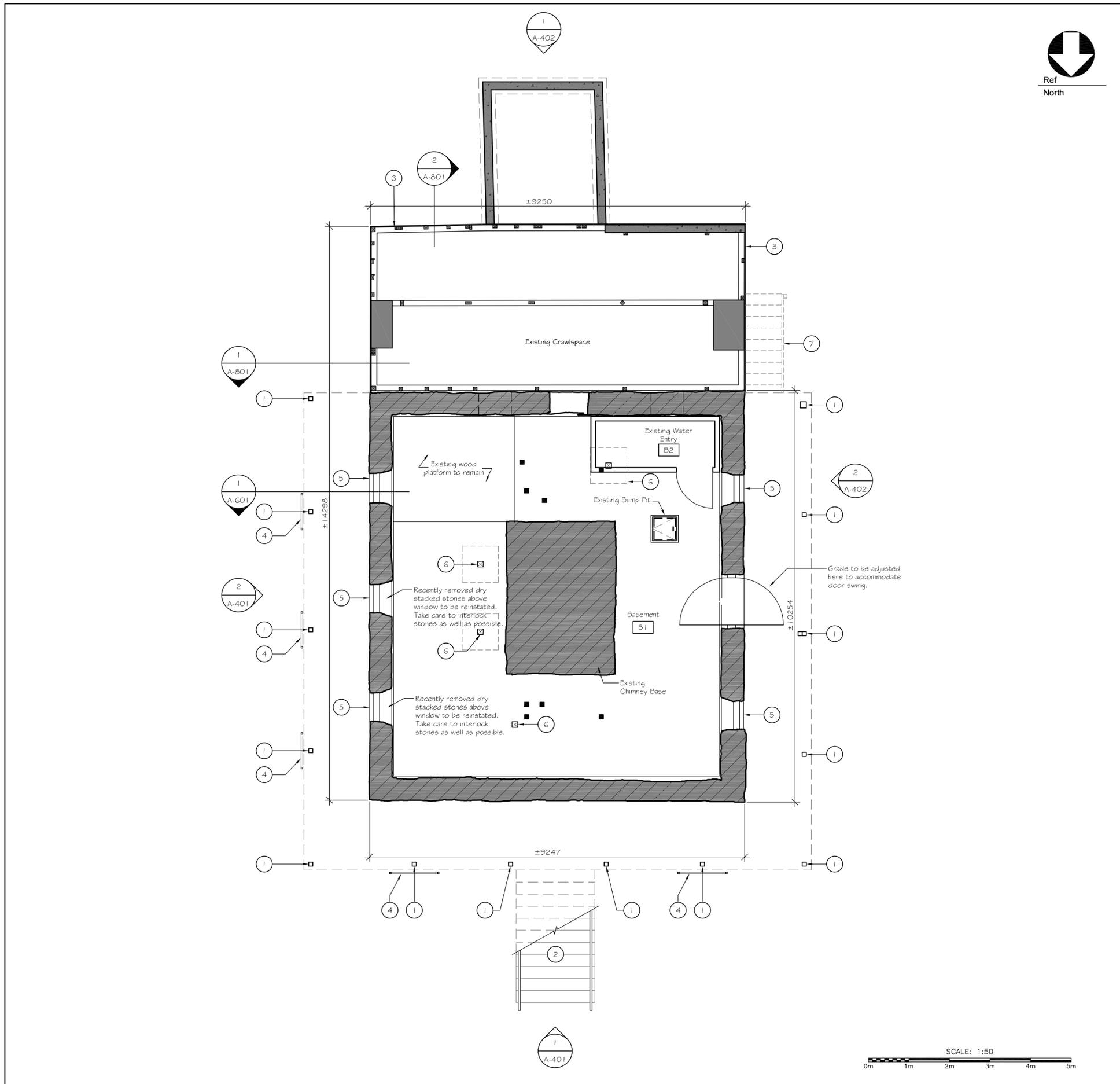
1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. Planting shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site as required to complete work.
3. Underground water & sewer shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site prior to any excavation work.

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	R0	Issued For Tender	2018/01/31
revisions	description	date	
A	A no. du detail	A	
C	B sur dessin no. location drawing no.	B C	
Project		Project	
HAWTHORNE COTTAGE RESTORATION			
Site Plan			
Designed By		R. Symonds	
Date		2017/02/01	
Drawn By		G. Martin	
Date		2017/02/01	
Reviewed By		D. Gill	
Date		yyyy/mm/dd	
Approved By		Approver	
Date		yyyy/mm/dd	
No. du projet		Project no.	
16-1475			
APC		PCA	
No. du dessin		Drawing no.	
A-101			



- 1 Wood deck posts to be replaced with new wood posts c/w concrete pier footing (See structural). New wood posts to be painted green to match existing.
- 2 Existing wood stairs to be adjusted as required to accommodate the replacement of the porch deck in this area. Scrape, clean & repair all wood elements. Replace all discoloured or deteriorated material with new to match. Existing metal railing to have all loose / flaking paint, rust & debris removed. Clean & repaint entire railing.
- 3 Deteriorated wood cladding in contact with ground to be replaced with new to match existing. Where possible, existing grade to be lowered to prevent future damage.
- 4 Existing wooden trellis to be removed & disposed of off-site. Construct new wooden trellis for future planting to match existing. Install trellis after replacement of wood deck posts.
- 5 Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Remove all loose / flaking paint, rust & debris from metal bars at exterior & repaint white to match existing.
- 6 New columns and / or footings. See structural drawings.
- 7 Existing wood exit stairs above to be removed & disposed of off-site. Make good all adjacent construction damaged as result of stair demolition.

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Région du Terre-Neuve Est Newfoundland East Region

Stamp

General Notes

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C

A no. du detail
detail no.

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B
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location drawing no.

C drawing no.
dessin no.

Project Project

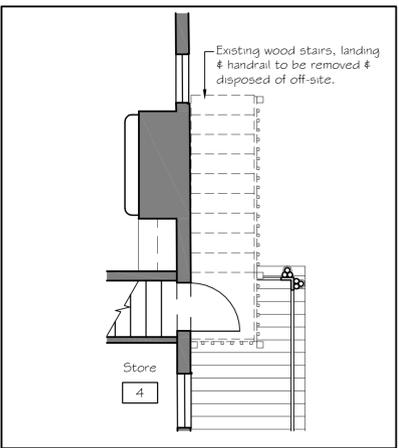
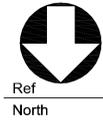
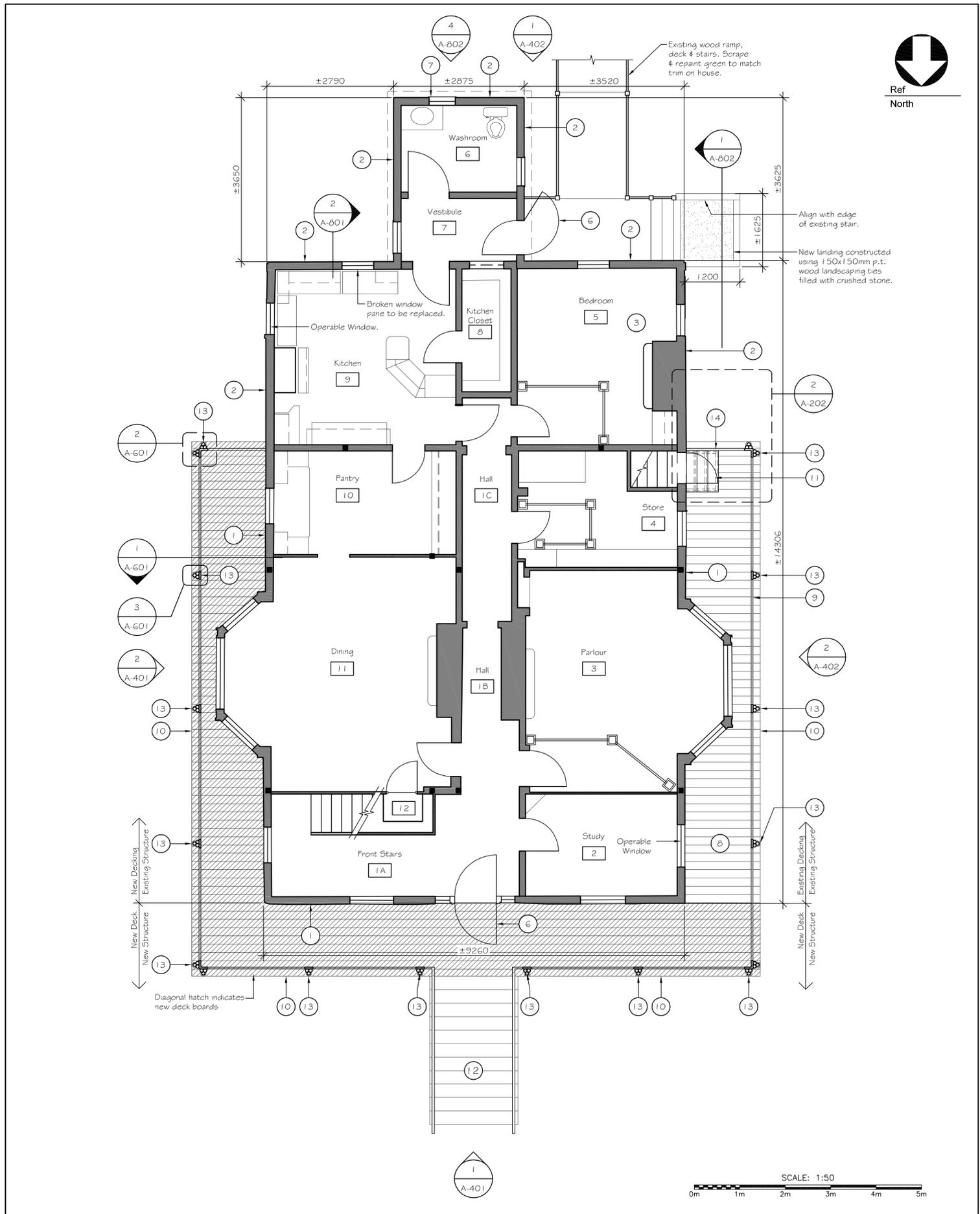
HAWTHORNE COTTAGE RESTORATION

Dessin Drawing

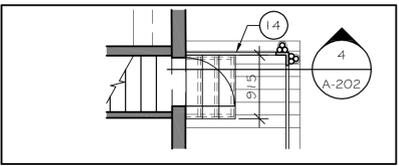
Basement Floor Plan

Designed By	R. Symonds
Date	2017/02/01
Drawn By	G. Martin
Date	2017/02/01
Reviewed By	D. Gill
Date	yyyy/mm/dd
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-201	

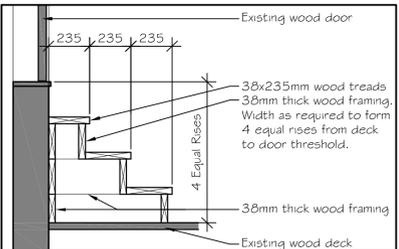
1 Floor Plan - Basement Level
 A-201 1 : 50



2 Exit Stair Demolition
A-202 1:50



3 New Exit Stair
A-202 1:50



4 New Exit Stair - Section A
A-202 1:20

- 1 Existing siding below verandah roof to be cleaned as to remove surface staining. All areas of peeling / flaking paint to be scraped as to remove all loose flakes. Repaint all siding as per specifications.
- 2 All wood siding and trim outside of verandah roof (2 storey section and Lean-to) to be scraped as to remove all loose and flaking paint. Replace deteriorated wood siding and trim work with new to match. All areas to be replaced are to be coordinated with architect prior to commencing any restoration work.
- 3 Water damage to ceiling in this area. All damaged ceiling components to be removed & disposed of off-site. Repair all deteriorated ceiling framing & install new ceiling finish to match existing.
- 4 All existing wood storm sashes to be replaced with new. See Detail 10/A-802 and specifications.
- 5 Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Install new clear ultraviolet light barrier piece as per typical detail.
- 6 Existing wood storm doors to be scraped and cleaned as to remove all loose / flaking paint and debris. Caulk all gaps and voids, and repaint.
- 7 Existing coal hatch in exterior wall remains for interpretation reasons only and does not provide an opening to the inside. Currently this hatch is deteriorated beyond repair and is to be replaced with new to match. Wood siding, sheathing and possibly framing members are to be replaced in this general area as to replace deteriorated elements. Contractor to remove elements as to expose problem area, and extent of repair to be coordinated with architect on-site. Assume 25% of siding, sheathing and framing associated with this wall are to be replaced.
- 8 Existing verandah decking to remain. Scrape, clean, and repaint. Replace deteriorated boards as noted with new to match size and wood species.
- 9 Verandah railing damaged. Railing components to be removed and replaced with new to match existing.
- 10 Deteriorated deck boards at perimeter of verandah to be removed and replaced with new to match. Assume 20% of perimeter decking.
- 11 New wood steps. See details 3 & 4 on A-202.
- 12 Existing wood stairs to be adjusted as required to accommodate the replacement of the porch deck in this area. Scrape, clean & repair all wood elements. Replace any discoloured or deteriorated material with new to match. Existing metal railing to have all loose / flaking paint, rust & debris removed. Clean & repaint.
- 13 Existing wood posts supporting verandah roof to be removed & replaced with new to match existing. See details on A-601.
- 14 New wood railing to match existing railing at South East end of verandah.

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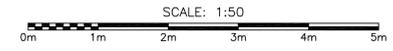
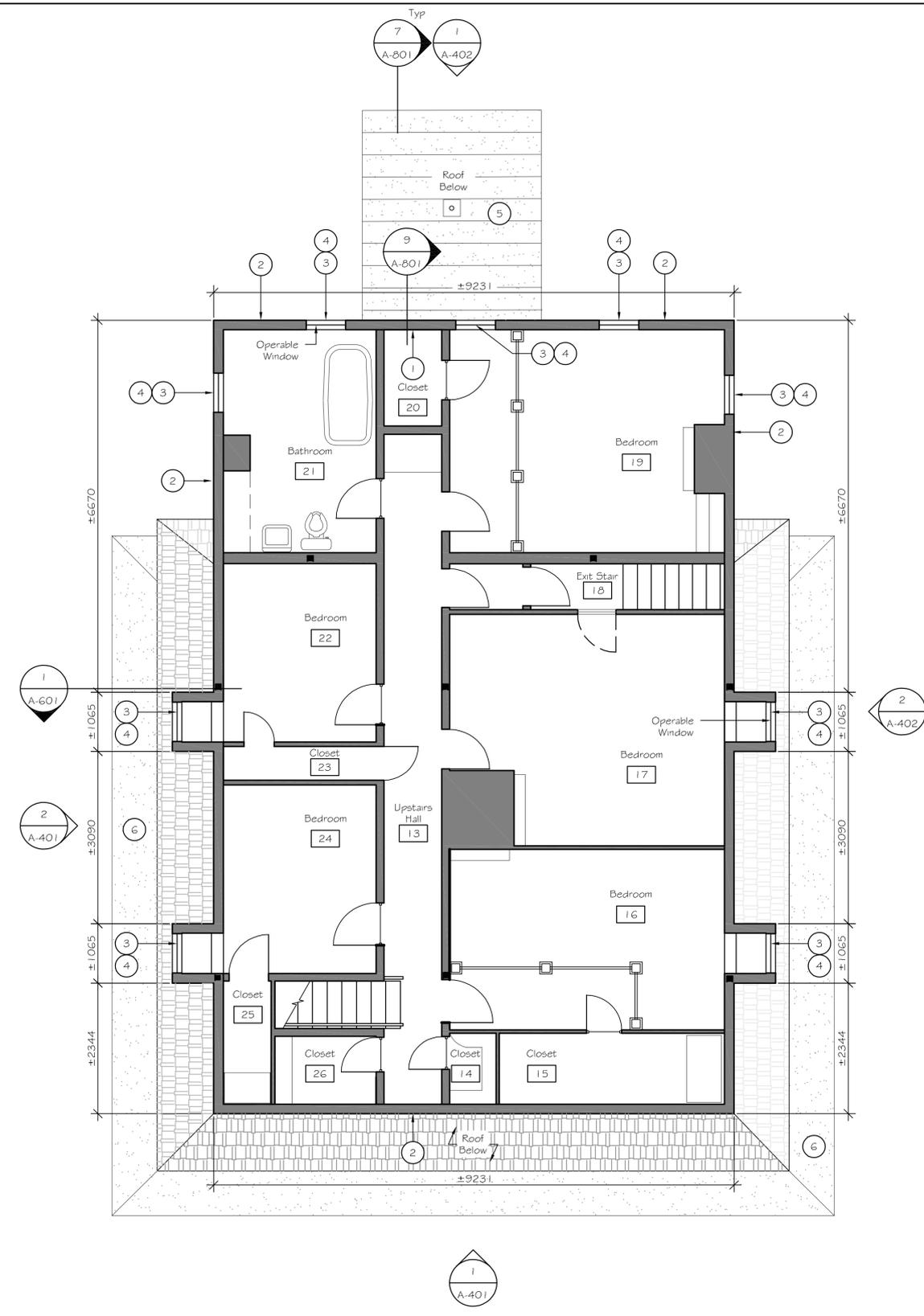
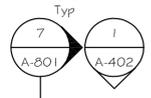
R0	Issued For Tender	2018/01/31
revisions	description	date

Project: **HAWTHORNE COTTAGE RESTORATION**

Level 1 Floor Plan

Designed By: R. Symonds
Date: 2017/02/01
Drawn By: G. Martin
Date: 2017/02/01
Reviewed By: D. Gill
Date: yyyy/mm/dd
Approved By: Approver
Date: yyyy/mm/dd
No. du projet: 16-1475
APC: PCA
No. du dessin: A-202

1 Floor Plan - Level 1
A-202 1:50



- 1 Holes through wall in this location to be filled. All holes smaller than Ø15mm to receive wood filler. All holes larger than Ø15mm to have dutchman style plug. Species & orientation of wood grain to match existing. Sand and paint with remainder of siding. Repair or replace interior sheathing as required to conceal holes.
- 2 All wood siding and trim outside of verandah roof (2 storey section and Lean-to) to be scraped as to remove all loose and flaking paint. Replace deteriorated wood siding and trim work with new to match. All areas to be replaced are to be coordinate with architect prior to commencing any restoration work.
- 3 Existing window storm to be removed and restored for re-use. Scrape as to remove all loose / flaking paint. Remove all caulking and glazing putty. Clean storm including glazing. Install new insect glazing putty. Paint wood elements as per specifications.
- 4 Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Install new ultraviolet light barrier piece as per typical detail.
- 5 Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- 6 Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & install new 2-Fly modified bitumen roofing.

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revisions	description	date
A	A no. du detail detail no.	A
B	B sur dessin no. location drawing no.	B
C	C drawing no. dessin no.	C

Projet Project

HAWTHORNE COTTAGE RESTORATION

Dessin Drawing

Level 2 Floor Plan

Designed By R. Symonds

Date 2017/02/01

Drawn By G. Martin

Date 2017/02/01

Reviewed By D. Gill

Date yyyy/mm/dd

Approved By Approver

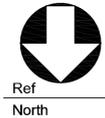
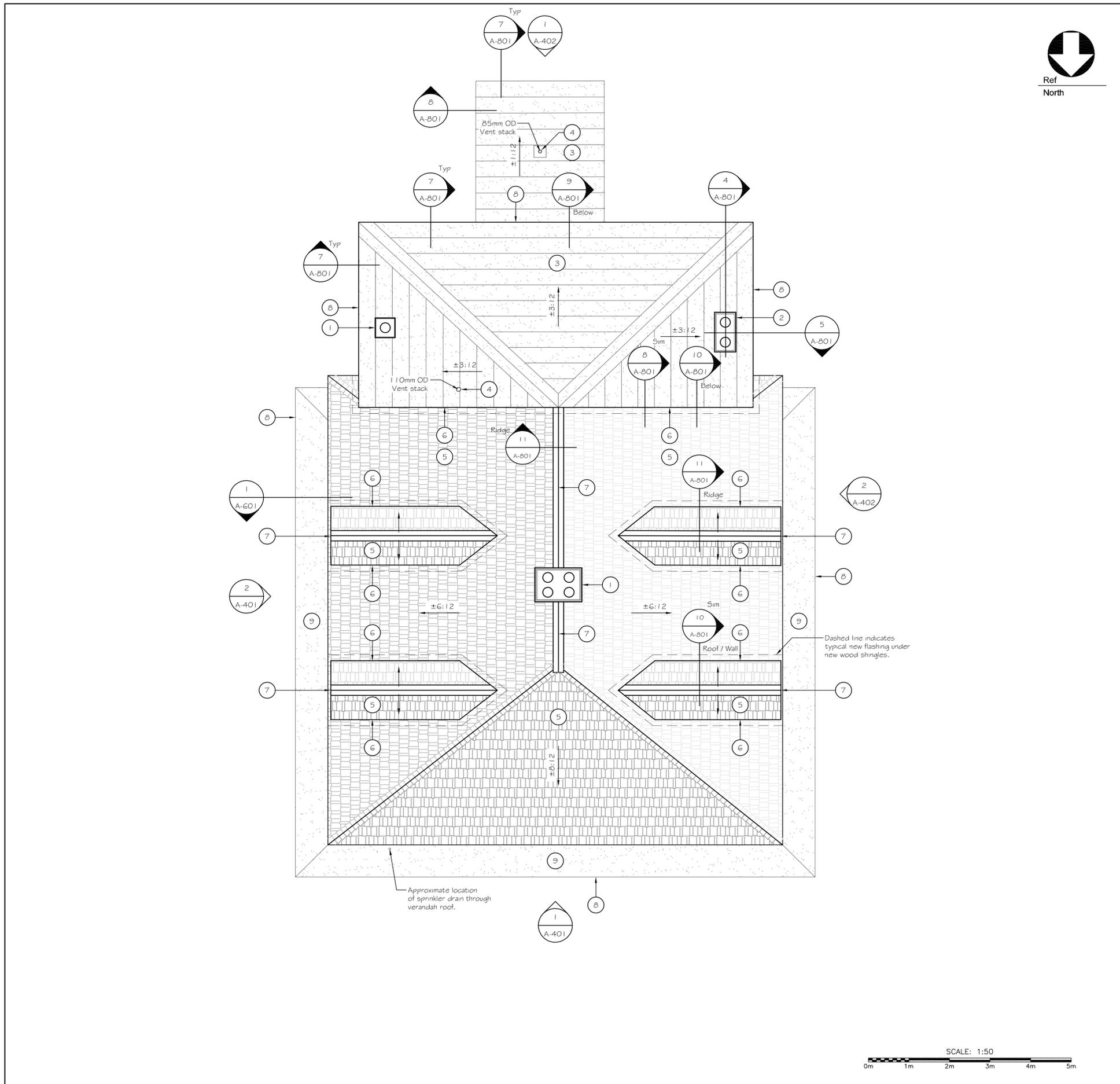
Date yyyy/mm/dd

No. du projet Project no.

APC PCA

No. du dessin Drawing no.

A-203



- 1 Existing chimney to remain with mortar joints repointed. Replace all deteriorated bricks & mortar with new to match existing size & colour where required. Existing mortar at top around clay pot to be removed and redone. All flashings at roof to be removed and new installed as required.
- 2 Existing brick chimney at west side of flat roof to be removed down to 300mm below roof line. Rebuild with new bricks & mortar to match existing size, texture & colour (See specifications). Maintain existing height and profile. Install new flashings as per details. Reuse existing clay pots.
- 3 Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- 4 Seal existing roof penetrations using pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant.
- 5 Existing wood roof shingles and associated sheet membranes to be removed down to roof sheathing. Replace all deteriorated boards with new to match. Install new wood shingles and membranes.
- 6 Carefully remove wood siding and trims from walls as required to accommodate new roof-wall flashings. Reinstall after flashing install avoiding any fasteners within 100mm of roof line where possible. Replace all deteriorated siding or trim with new to match as required.
- 7 Existing ridge boards to be removed and new installed to match existing species and profile. Clad with new lead ridge roll as per detail.
- 8 Existing fascia trim (feltmould) to be scraped and repainted where condition warrants. Where deteriorated it shall be replaced with new to match. New sections to be scarf jointed to existing. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal from fascia. Some trim installed along south side of two-storey section as part of last roofing replacement does not match original profile. These sections are to be removed and replaced with new.
- 9 Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & install new 2-Ply modified bitumen roofing.



Stamp

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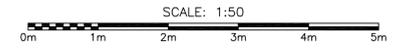
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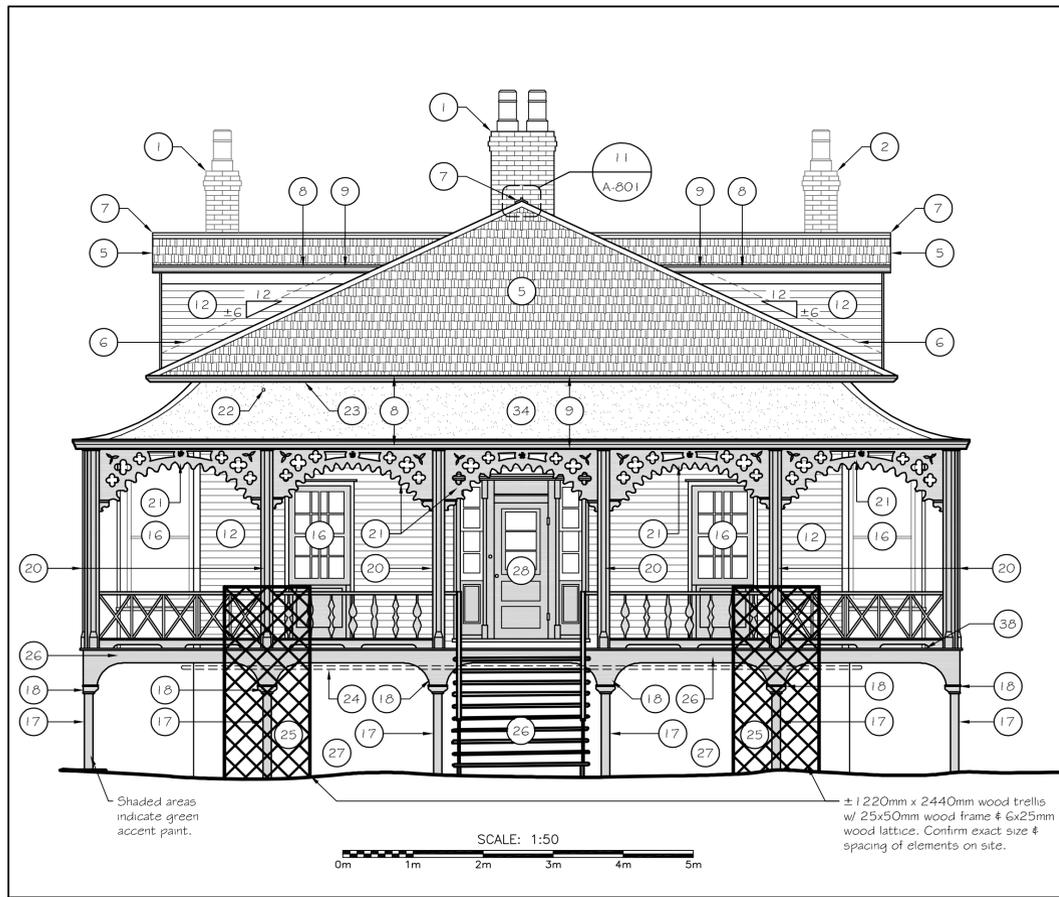
revisions	description	date
A	A no. du detail detail no.	A
B	B sur dessin no. location drawing no.	B
C	C drawing no. dessin no.	C

Project
HAWTHORNE COTTAGE RESTORATION

Dessin Drawing
Roof Plan

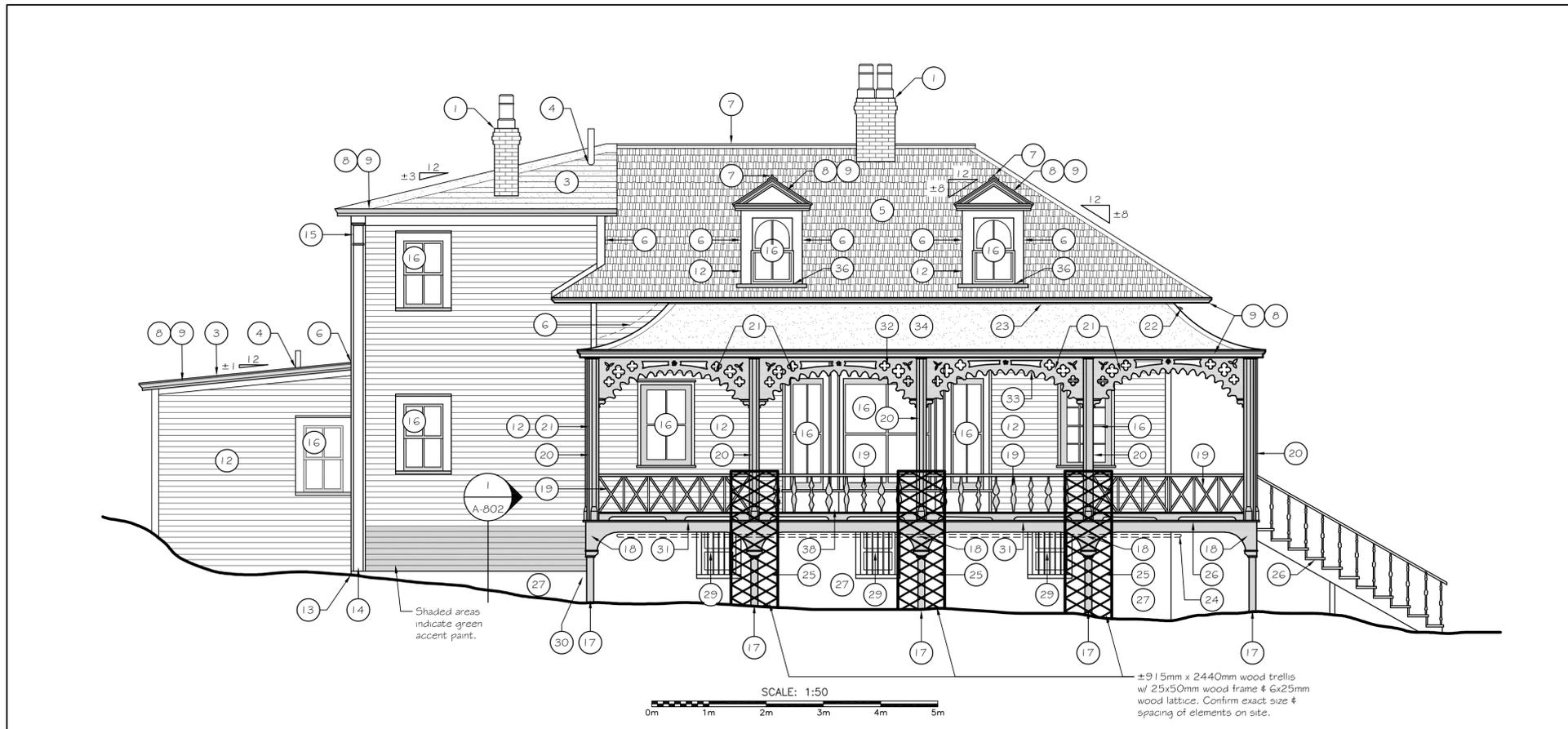
Designed By	R. Symonds
Date	2017/02/01
Drawn By	G. Martin
Date	2017/02/01
Reviewed By	D. Gill
Date	yyyy/mm/dd
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-204	





1 North Elevation

A-401 1:50



2 East Elevation

A-401 1:50

- 1 Existing chimney to remain with mortar joints repointed. Replace all deteriorated bricks & mortar with new to match existing size & colour where required. Existing mortar at top around clay pot to be removed and redone. All flashings at roof to be removed and new installed.
- 2 Existing brick chimney at west side of low sloped roof to be removed down to 300mm below roof line. Rebuild with new bricks & mortar to match existing size, texture, and colour (See specifications). Maintain existing height and profile. Install new flashings as per detail. Reuse existing clay pots taking care to not damage during removal & reconstruction.
- 3 Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- 4 Seal existing roof penetrations using pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant.
- 5 Existing wood roof shingles and associated sheet membranes to be removed down to roof sheathing. Replace all deteriorated boards with new to match. Install new wood shingles and membranes.
- 6 Carefully remove wood siding and trims from walls as required to accommodate new roof-wall flashings. Reinstall after flashing install avoiding any fasteners within 100mm of roof line where possible. Replace all deteriorated siding or trim with new to match as required.
- 7 Existing ridge boards to be removed and new installed to match existing profile. Clad with new lead ridge roll as per detail.
- 8 Existing fascia trim (shingle molding) to be scraped and repainted where condition warrants. Where deteriorated it shall be replaced with new to match. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal from fascia. Some trim installed along south side of two-storey section as part of last roofing replacement does not match original profile. These sections are to be removed and replaced with new.
- 9 All existing fascia and soffit boards to be scraped, cleaned and repainted. Replace deteriorated sections as required. Remove all deteriorated caulking from fascia and recaulk all fascia joints.
- 10 Existing wood siding at south side of lean-to is deteriorated and will need to be replaced with new boards to match existing size and profile (± 16mm thick x 140 wide w/ 100mm exposure. Confirm on-site). All deteriorated sheathing and framing to be replaced.
- 11 Former coal hatch remains as an interpretative feature on face of building however the opening is sheathed on inside with no direct access to inside. The door itself has deteriorated beyond repair and the contractor shall replace with new replica ensuring watertight seal after install.
- 12 All existing siding and trims to be scraped, cleaned and repainted. See specification for lead content and treatment. Deteriorated and damaged elements are to be replaced with new matching size and profile (± 16mm thick x 140 wide w/ 100mm exposure. Confirm on-site).
- 13 Existing finished grade in this area is above the bottom edge of the wood siding. Adjust grade to be flush with bottom of wood wall. Remove all deteriorated siding and replace with new to match. Base course to be replaced with 25x140mm pressure treated board painted to match siding.
- 14 Deteriorated corner boards in contact with ground to have new pieces of matching size spliced in. New pieces to be scarf jointed with joints in various pieces staggered a minimum of 300mm from each other. Coat all new wood within 300mm of finished grade with wood preservative prior to finishing.
- 15 Existing decorative trim pieces at top of corner trims to be replaced with new to match. Missing sections added to finish. New pieces to be scarf jointed to existing.
- 16 All windows, except those under verandah roof, are to have storm sash removed and replaced with new to match existing. Remove, refinish, and reinstall storm sashes under verandah roof. Fabricate new to match and install new storm sashes where missing. For all windows, remaining wood window elements to be scraped, cleaned and repainted. Sashes to be removed from window as to ensure all surfaces can be refinished. Glazing to be cleaned and all putty/caulking removed and new installed. All deteriorated components to be replaced with new to match existing. Where indicated on floor plans, windows are to remain operational as to permit ventilation of the building. Storm sashes to be installed as to be easily removable.
- 17 Existing wooden posts supporting deck including any concrete base to be replaced with new. Coordinate with structural. Paint green as per specification.
- 18 Existing wooden trims at deck to be carefully removed as required to accommodate new wood post and deck installation. Scrape, clean, repaint and reinstall replacing all deteriorated with new to match.
- 19 Existing wooden railing & decorative pickets at perimeter of verandah to be scraped, cleaned and repainted green to match existing. All damaged sections to be replaced with new to match.
- 20 Existing wood columns to be replaced with new to match. Coordinate with structural.
- 21 Existing verandah filigree pieces to be removed, scraped, clean, painted and reinstalled. Care to be taken with removal as to not damage. It is also assumed that these pieces provide some lateral support to the verandah structure hence temporary bracing will be required. All deteriorated or damaged areas to be repaired, missing pieces to be added and blended into existing.
- 22 Existing sprinkler line drain termination penetrates roof here. Contractor to ensure watertight seal at new roofing membrane.
- 23 Existing wood trim at top of verandah roof under soffit above to be removed to accommodate roof membrane installation. Install new piece to match existing size after roof installation.
- 24 Existing sprinkler lines under wood deck and verandah roof to be cleaned and repainted.
- 25 Existing wooden trellis to be removed & disposed of off-site. Construct new cedar wood trellis for future planting to match existing. Install trellis after replacement of wood deck posts.
- 26 Existing deck at north side to be removed and new installed. Coordinate with structural. Temporarily remove stairs and all railings as to reinstatement on new deck. Wooden stair and rail elements to be cleaned, scraped and repainted replacing all portions damaged or deteriorated. Metal railings on stair to be cleaned as to remove all loose flaking paint and rust with new paint finish applied. See 1/A-202 for extent of deck removal.
- 27 Existing stone foundation to be cleaned and repainted inside and out. Loose mortar to be removed and replaced. All cracks in mortar to be repaired.
- 28 Existing doors to remain. Scrape, clean and repaint door and sidelights. Replace any deteriorated components with new to match. Glazing to be cleaned and all putty/caulking removed and new installed. New hardware supplied by owner to be installed by contractor. Wood threshold at south entrance door to be replaced with new to match.
- 29 Steel bars in front of basement windows to be cleaned as to remove all loose/flaking paint and rust. Repaint white to match existing.
- 30 Existing electrical conduit leaving building here and running underground to site lighting. Contractor to confirm all locations prior to any excavation on site.
- 31 Existing wooden deck to remain. Scrape, clean and repaint replacing all deteriorated or damaged elements.
- 32 Existing roofing at bay windows to remain. Scrape, clean and repaint fascia and associated trim. It is possible that roofing may contain asbestos. Contractor to provide separate price to accommodate abatement of existing roofing, installation of new modified bitumen roof, and removal and reinstallation of roof above as required to access roof of bay windows.
- 33 The underside of existing verandah roof structure is to be scraped, cleaned and repainted gray to match existing. Cracked & damaged curved roof joists members to be replaced with new to match shape Allow 3. Coordinate with replacement of roofing.
- 34 Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & install new 2-Ply modified bitumen roofing.
- 35 Existing wooden trash can enclosure to be scraped, cleaned and repainted white to match existing.
- 36 Existing flyscreen outside of dormer windows to be removed and disposed of off-site. Existing wooden window sill trim to be replaced with new to match. Reinstall as to raise slightly and allow water from roof to move under trim where extended beyond corner of dormer.
- 37 Adjust existing grade as required to lower below wood siding. Install new pressure treated landing as per detail.
- 38 Verandah decking was designed to slope from inside to out. Restructuring of verandah roof support is to result in leveling of the front edge of the deck all sides. Bay windows appear to be supported on deck hence will need to be adjusted as well to accommodate any height adjustments. Base trims and siding will need to be removed and adjusted to accommodate. Ensure weather tight seal of wall.

Canada

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Gestion des biens et réalisation de projets Asset Management and Project Delivery

Région du Terre-Neuve Est Newfoundland East Region

Stamp

General Notes

1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. All components of building that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size & arrangement of various elements to be noted as to ensure they can be reinstated to match existing as accurately as possible.

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R0	Issued For Tender	2018/01/31
revisions	description	date
A	A no. du detail detail no.	A
C	B sur dessin no. location drawing no.	B
	C drawing no. dessin no.	C
Project		
HAWTHORNE COTTAGE RESTORATION		
Dessin Drawing		
Elevations		
Designed By	R. Symonds	
Date	2017/02/01	
Drawn By	G. Martin	
Date	2017/02/01	
Reviewed By	D. Gill	
Date	yyyy/mm/dd	
Approved By	Approver	
Date	yyyy/mm/dd	
No. du projet	Project no.	
	16-1475	
APC	PCA	
No. du dessin	Drawing no.	
	A-401	