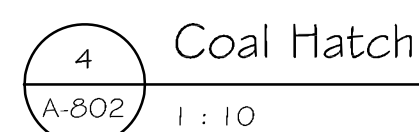
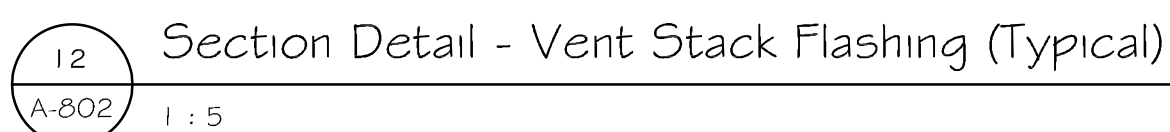


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A-802



3
A-802

GENERAL NOTES

1. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.
2. DO NOT IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOAD.
3. DO NOT CUT HOLES IN BEARING WALLS WITHOUT CONSULTANT APPROVAL..
4. COMPLY WITH NATIONAL BUILDING CODES, LOCAL BY-LAWS, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
5. PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT THIS CONTRACT.
6. MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION.
7. TRUCKS, CRANES, HOISTS, OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY INDICATED ON STRUCTURAL DRAWINGS.
8. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACING, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
9. THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHODS OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.
10. SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL WORK AND ANY WORK AFFECTING THE STRUCTURE TO CONSULTANT. OBTAIN CONSULTANT APPROVAL BEFORE PROCEEDING WITH FABRICATION.
11. EACH OF THE FOLLOWING SHOP DRAWINGS MUST BEAR THE SIGNATURE AND STAMP OF QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF PROJECT LOCATION.
 - DRAWINGS FOR ANY TEMPORARY WORK.
 - DRAWINGS FOR ANY STRUCTURAL PARTS DESIGNED BY THE CONTRACTOR.
12. THESE DESIGN DOCUMENTS ARE PREPARED FOR SOLELY FOR USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.
13. THE USE OF THIS DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISION COLUMN OF THE TITLEBLOCK. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS DRAWINGS ARE MARKED 'ISSUED FOR CONSTRUCTION' BY DBA.
14. DBA WILL PROVIDE GENERAL REVIEW OF CONSTRUCTION IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF PEGNBL BY MEANS OF A RATIONAL SAMPLING PROCEDURE TO DETERMINE WHETHER THE CONSTRUCTION OF THAT WORK SHOWN ON THE DBA DRAWINGS IS IN GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DBA SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR OR ANY OTHER PERSON PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
15. IT IS THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR TO NOTIFY THE ENGINEER OF THE CONSTRUCTION PROGRESS SO THE ENGINEER MAY COMPLETE GENERAL COMPLIANCE INSPECTIONS. THE CONTRACTOR SHOULD PROVIDE THE ENGINEER WITH AN ACCURATE CONSTRUCTION SCHEDULE PRIOR TO THE START OF WORK. IN GENERAL THE FOLLOWING INSPECTIONS ARE REQUIRED: REVIEW OF REBAR PRIOR TO PLACEMENT OF CONCRETE, REVIEW OF FOOTINGS AND FOUNDATIONS PRIOR TO BACKFILL AND REVIEW OF STRUCTURAL STEEL PRIOR TO PLACEMENT OF FINISHES.

ABBREVIATIONS

ANGLE	LG	LONG
(E) EXISTING	LLH	LONG LEG HORIZONTAL
⊙ SPACED AT	LLV	LONG LEG VERTICAL
A.B. ANCHOR BOLT	lv	METER
ALT. ALTERNATE	MAX	MAXIMUM
APPROX. APPROXIMATELY	Mc	MOMENT CONNECTION
ARCH. ARCHITECTURAL	MECH	MECHANICAL
A.P. BASEPLATES	MIN.	MINIMUM
B/F BOTTOM FACE	MISC	MISCELLANEOUS
BLK BLOCK	mm	MILLIMETERS
BM BEAM	MPa	MEGA PASCAL
BOTT. BOTTOM	NIC	NOT IN CONTRACT
BP. BASEPLATE	NTS	NOT TO SCALE
C.J. CONTROL JOINT	O.H.	OVERHEAD DOOR
C/W COMPLETE WITH	o.c.	ON CENTER
cf FACTORED COMPRESSION FORCE	OWSJ	OPEN WEB STEEL JOIST
COL. COLUMN	P#	PIER DETAIL NUMBER (SEE DET)
CONC. CONCRETE	PL	PLATE
CONN. CONNECTION	RB	ROOF BEAM
CONT. CONTINUOUS	RC	REINFORCED CONCRETE
DEMO. DEMOLITION	D	ROOF DRAIN
DET. DETAIL	REF	REFERENCE
DIA. DIAMETER	REINF	REINFORCEMENT
DIM. DIMENSION	REQ'D	REQUIRED
DP. DEEP	SC	SAWCUT
DWGS. DRAWINGS	SCH	SCHEDULE
DWL. DOWEL	SECT	SECTION
EA. EACH	SLS	SERVICEABILITY LIMIT STATE
EF. EACH FACE	SOG	SLAB ON GRADE
EJ. EXPANSION JOINT	SPEC	SPECIFICATION
ELEV. ELEVATION	SS	STAINLESS STEEL
EOD. EDGE OF DECK	STIFF	STIFFENER
EQ. EQUAL	STL	STEEL
ES. EACH SIDE	STRUCT	STRUCTURAL
EW. EACH WAY	T.O.	TOP OF
F# FOOTING DETAIL NUMBER (SEE SCH)	T.F.	FACTORED TENSIONS FORCE
FB. FLOOR BEAM	TOP	TOP
FF. FACE TO FACE	TOP	TYPICAL
Fin. FINISHED	U/S	UNDERSIDE
FLR. FLOOR	ULS	ULTIMATE LIMIT STATE
FND. FOUNDATION	VEF	VERTICAL EACH FACE
FTG. FOOTING	VERT	VERTICAL
GA. GAUGE	VIF	VERTICAL INSIDE FACE
Galv. GALVANIZED	VOF	VERTICAL OUTSIDE FACE
GC. GENERAL CONTRACTOR	W/	WITH
HSS. HOLLOW STRUCTURAL SECTION	W/I	WITHIN
kN. KILO NEWTON	W/O	WITHOUT
kPa. KILOPASCAL	WWW	WELDED WIRE MESH

CONCRETE AND FOUNDATION NOTES

1. ALL CONCRETE WORK TO CONFORM TO THE LATEST EDITION OF CSA STANDARDS A23.1, A23.2 AND A23.3.
2. CONCRETE REQUIREMENTS:
- | LOCATION | STRENGTH | CLASS | SLUMP | AIR CONTENT | W/C RATIO | MAX AGGREGATE |
|-----------------------|----------|-------|-------|-------------|------------|---------------|
| WALLS/PIERS | 25 MPa | F2 | 75mm | 4 – 7% | .55 | 20 |
| FOOTINGS | 25 MPa | F2 | 100mm | 4 – 7% | .55 | 20 |
| COVERED SLAB ON GRADE | 25 MPa | N | 75mm | – | FOR DESIGN | 20 |
3. CONCRETE COVER TO REINFORCING:
- | | | |
|-------------|---|------|
| .1 FOOTINGS | – | 75mm |
| .2 PIERS | – | 50mm |
4. NO CONCRETE SHALL BE POURED WITHOUT PRIOR APPROVAL OF REINFORCING BY THE OWNERS REPRESENTATIVE/ENGINEER.
5. FORM WORK MUST NOT BE REMOVED UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUSTAIN ALL LOADINGS.
6. ALL REINFORCING SHALL HAVE A MINIMUM YIELD OF 400 MPa.
7. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, PLACED AND SUPPORTED IN ACCORDANCE WITH ACI 315 (LATEST EDITION).
8. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST EDITION OF CSA STANDARD A23.3 AND ALL BARS SPLICES SHALL BE CLASS 'B' TENSION SPLICES, UNLESS NOTED OTHERWISE.
- A.) NO BAR SPLICE SHALL BE LESS THAN LISTED IN TABLE BELOW
- B.) INCREASE HORIZONTAL SPLICE LENGTHS IN THE TABLE BY 1.3 WHERE MORE THAN 300mm OF FRESH CONCRETE IS CAST BELOW THE SPLICE
- | CONCRETE STRENGTH | TENSION SPLICE | | | COMPRESSION SPLICE |
|-------------------|----------------|-------|-------|--------------------|
| | 25MPa | 30MPa | 35MPa | |
| REBAR SIZE | | | | F2 |
| 10M | 400 | 400 | 400 | F2 |
| 15M | 600 | 600 | 600 | 450 |
| 20M | 800 | 800 | 800 | 600 |
| 25M | 1200 | 1100 | 1000 | 750 |
| 30M | 1400 | 1300 | 1200 | 900 |
| 35M | 1650 | 1500 | 1400 | 1050 |
- NOTE: ALL DIMS IN TABLE ARE IN mm
9. PIER FOOTING DOWELS SIZE AND ARRANGEMENT TO MATCH VERTICAL IN PIER DETAILS. LAP SPLICE ALL FOOTING DOWELS TO VERTICAL BARS AS TENSION SPLICE NOTED IN TABLE ABOVE.
10. CENTRE FOOTINGS UNDER CENTRE OF COLUMNS UNLESS OTHERWISE NOTED.
11. ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL OR COMPACTED ROCK FILL HAVING A MINIMUM BEARING CAPACITY OF 150 KPA – UNLESS NOTED OTHERWISE.
12. FOR SUBSURFACE INVESTIGATION AND RECOMMENDATIONS SEE SOILS REPORT BY SOILS CONSULTANT.
13. PROTECT FOUNDATIONS INCLUDING ANY SLAB ON GRADE FROM FROST ACTION DURING CONSTRUCTION.
14. ALL FOOTING ELEVATIONS ARE TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER BEFORE POURING.
15. DO NOT PLACE FOOTINGS ON FROZEN GROUND.
16. THE UNDERSIDE OF ALL EXTERIOR WALL AND COLUMN FOOTING TO BE A MINIMUM OF 1200mm BELOW THE FINISHED EXTERIOR GRADE, UNLESS OTHERWISE NOTED.
17. FOR COMPRESSIVE STRENGTH TESTING OF CONCRETE A MINIMUM OF 3 CYLINDERS ARE REQUIRED FOR EACH OF THE FOLLOWING:
- .1 EACH DAYS POUR
 - .2 EACH TYPE OR GRADE OF CONCRETE
 - .3 EACH CHANGE IN SUPPLIER OF CONCRETE
 - .4 EACH 50M3 OR FRACTION THEREOF OF FOOTINGS, FOUNDATION WALLS AND SLABS
 - .5 OR ADDITIONAL TEST SPECIMENS SHALL BE TAKEN WHENEVER REQUESTED BY THE ENGINEER OR THE SUPERVISOR TO VERIFY THE CONCRETE QUALITY.

STRUCTURAL WOOD NOTES

1. CONFORM TO THE STANDARD GRADING RULES OF THE NATIONAL LUMBER GRADES AUTHORITY (NLGA) AND TO CSA STANDARD CAN-086.
2. ALL LUMBER: NO. 2 OR BETTER GRADE SPRUCE (SPF). GRADE STAMPED IN ACCORDANCE WITH THE NLGA AND NBCC. PROVIDE KILN-DRIED, SURFACED FOUR SIDES.
3. NAILS TO CONFORM TO CSA STANDARD B111, GALVANIZED.
4. CONFORM TO THE REQUIREMENTS OF TABLES 9.23.4 AND 9.23.5 OF THE LATEST NBCC, U.N.O.
5. TREAT ALL LUMBER FOR GROUND CONTACT USING OIL-BORNE PRESERVATIVE (PENTACHLOROPHENOL) OR WATER-BORNE PRESERVATIVE (ACA, CCA, ETC.) TO THE REQUIREMENTS OF CSA 080-M.



General Notes

1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. All components of building that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size & arrangement of various elements to be noted as to ensure they can be reinstated to match existing as accurately as possible.

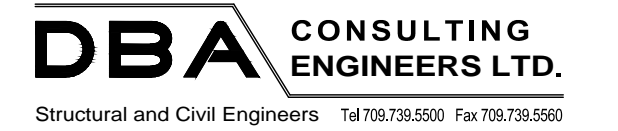


Consultants





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0	ISSUED FOR TENDER	2018-02-02
B	ISSUED FOR 100% REVIEW	2017-09-15
A	ISSUED FOR 99% REVIEW	2017-07-12

revisions revisions	description	date
	A no. du detail detail no.	
	B sur dessin no. location drawing no.	
	C drawing no. dessin no.	

Project	Project
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HAWTHORNE COTTAGE RESTORATION

Dessin	Drawing
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VERANDA ROOF FRAMING PLAN

Designed By M.M.

Date 2017/06/10

Drawn By C.R.

Date 2017/06/10

Reviewed By M.M.

Date 2017/06/10

Approved By _____ M.M.

Date 2017/06/10

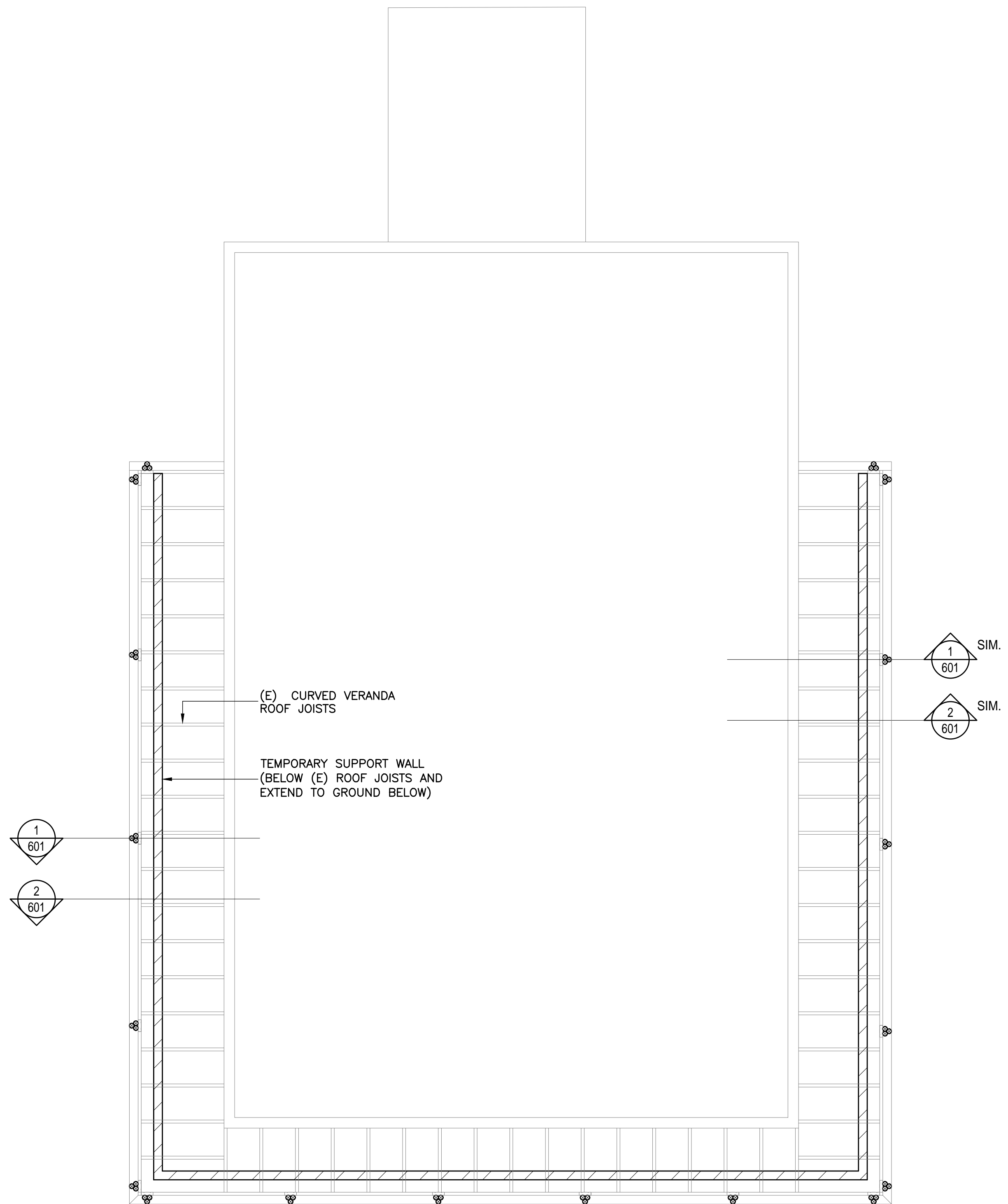
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16-1475

APC	PCA
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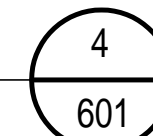
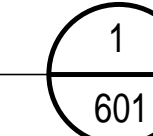
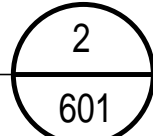
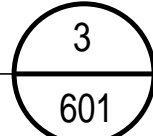
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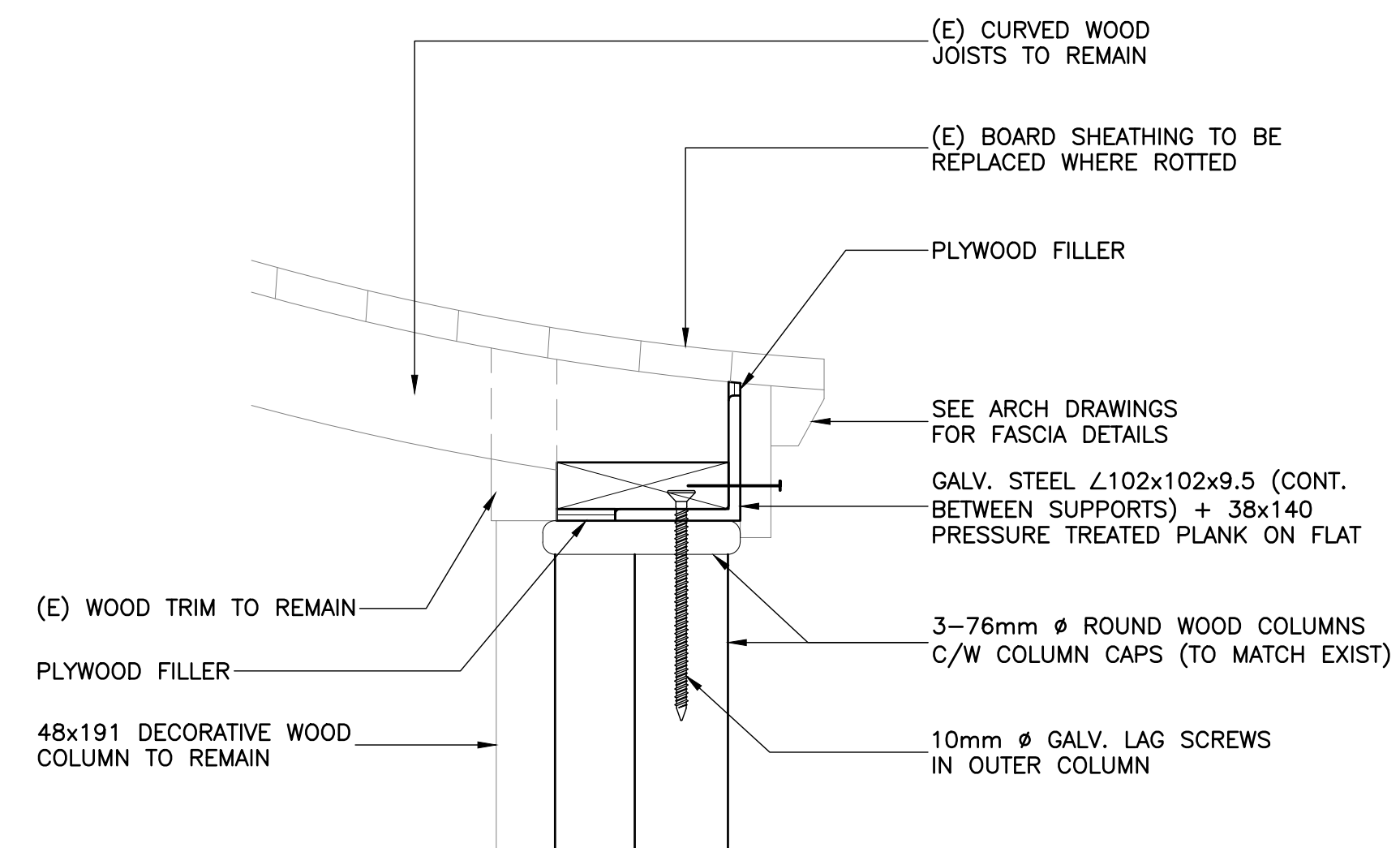


VERANDA ROOF FRAMING PLAN

SCALE - 1 : 50

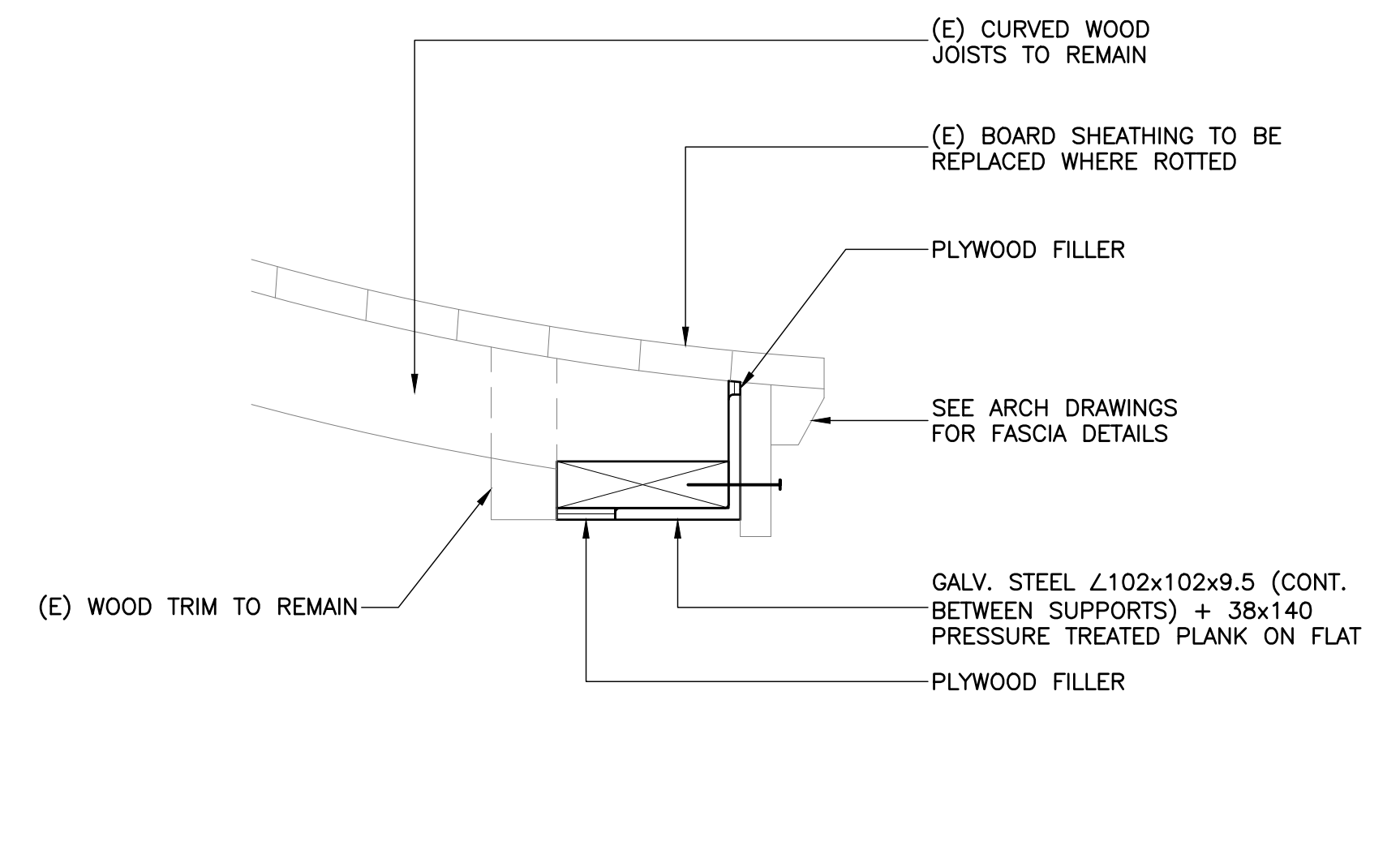


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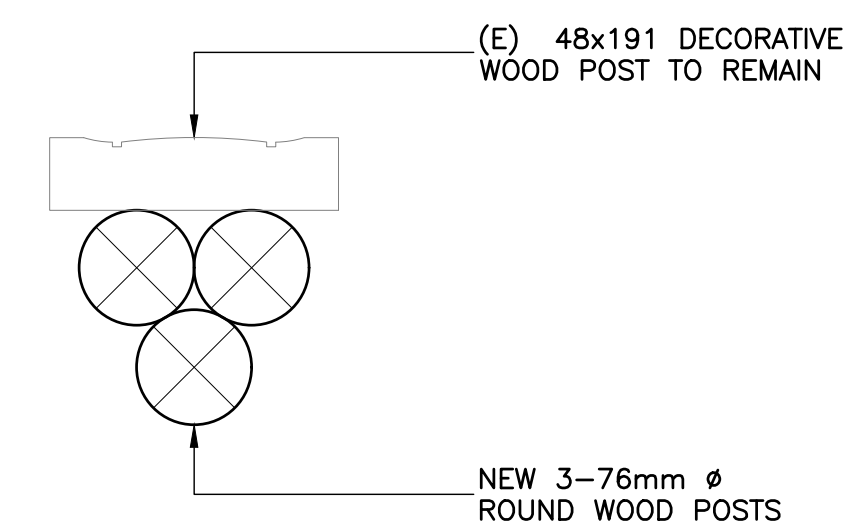
VERANDA EAVE DETAIL (@ COLUMNS)

SCALE - 1 : 5



VERANDA EAVE DETAIL (BETWEEN COLUMNS)

SCALE - 1 : 5



SECTION

SCALE - 1:5