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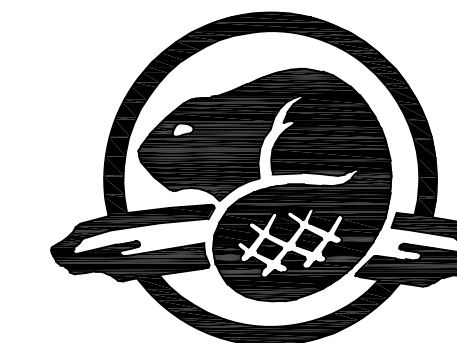
Gestion des biens et
réalisation de projets

Région du
Terre-Neuve Est

Parks Canada

Asset Management
and Project Delivery

Newfoundland East
Region



HAWTHORNE COTTAGE RESTORATION

BRIGUS, NL.

PROJECT NO. 16-1475 - ISSUED FOR TENDER - 2018/01/31

DRAWING LIST

ARCHITECTURAL:

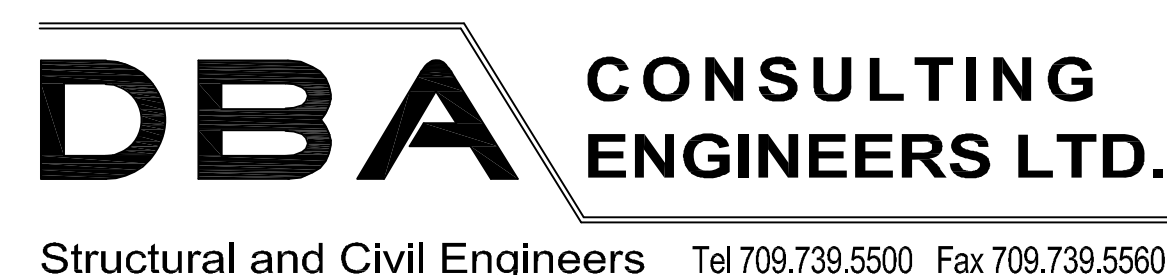
A-101	SITE PLAN
A-201	BASEMENT FLOOR PLAN
A-202	LEVEL 1 FLOOR PLAN
A-203	LEVEL 2 FLOOR PLAN
A-204	ROOF PLAN
A-401	ELEVATIONS
A-401	ELEVATIONS
A-601	WALL SECTIONS & DETAILS
A-801	DETAILS
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STRUCTURAL:

S-101	NOTES AND SPECIFICATIONS
S-201	FOUNDATION PLAN & VERANDA DECK FRAMING PLAN
S-202	VERANDA ROOF FRAMING PLAN
S-601	SECTIONS & DETAILS
S-701	SECTIONS & DETAILS



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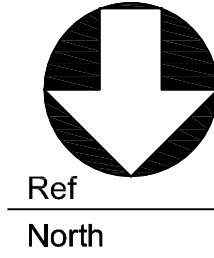
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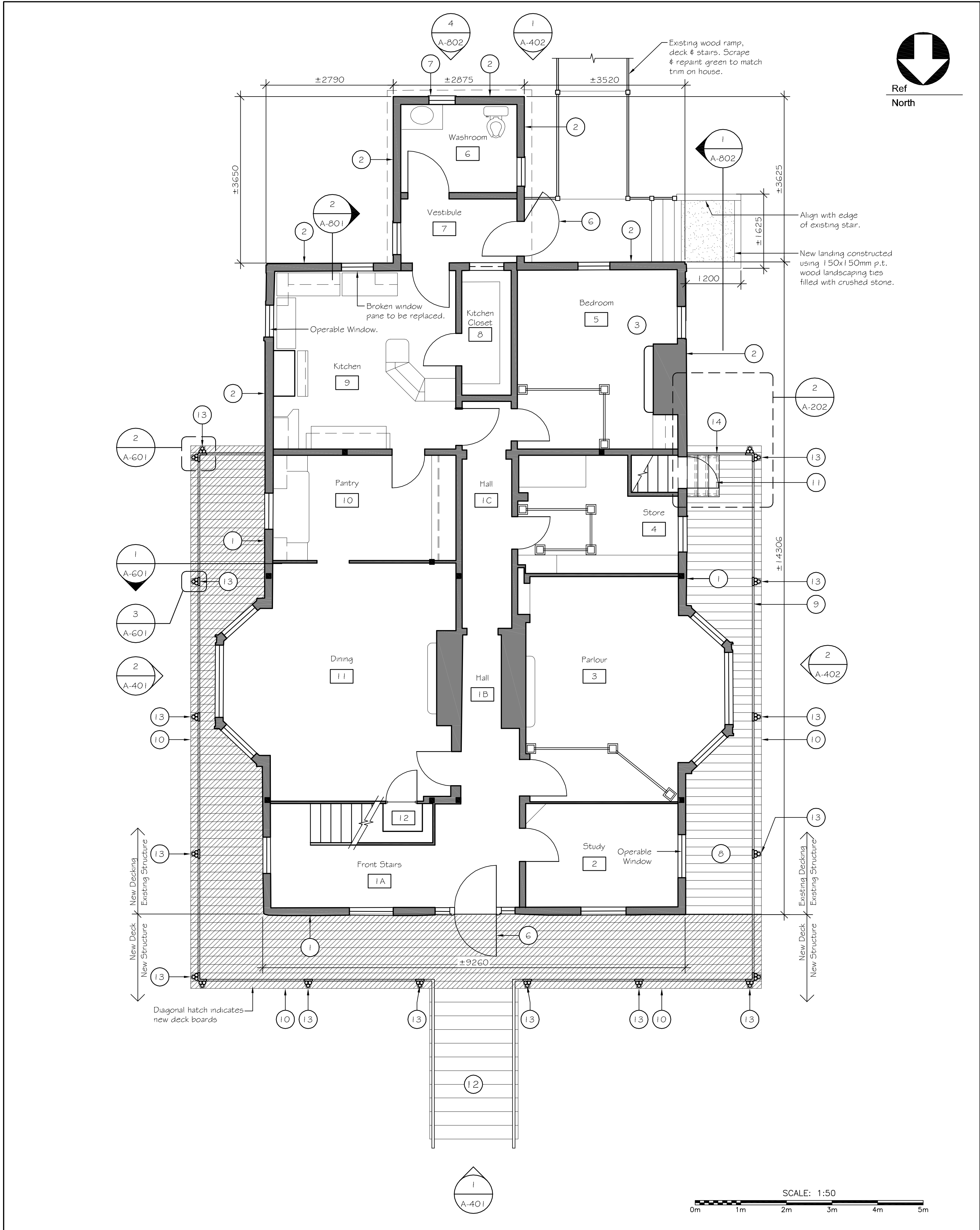
- Existing Fence Construction :**
- Type F1:
- 25x100mm wood pickets @ 190mm o.c.
 - 50x100mm wood rails
 - Round wood posts (Diameter varies 50mm to 125mm)
(Spacing indicated on drawings)
- Type F2:
- 19x89mm wood pickets @ 190mm o.c.
 - 38x89mm wood rails
 - 89x89mm p.t. wood posts
- Type F3:
- 19x89mm wood pickets @ 190mm o.c.
 - 38x89mm wood rails
 - 38x64mm wood top cap c/w beveled edges
 - 89x89mm wood posts
(Spacing indicated on drawings)
- Type F4:
- 19x89mm wood pickets @ 190mm o.c.
 - 50x100mm wood rails
 - 100x100mm wood posts
(Spacing indicated on drawings)
- NOTE:**
- All fence components (new & existing) to be painted white, as per specifications.

- | | | |
|--|---------------|-------------|
| | APC | PCA |
| | No. du dessin | Drawing no. |
| | A-101 | |

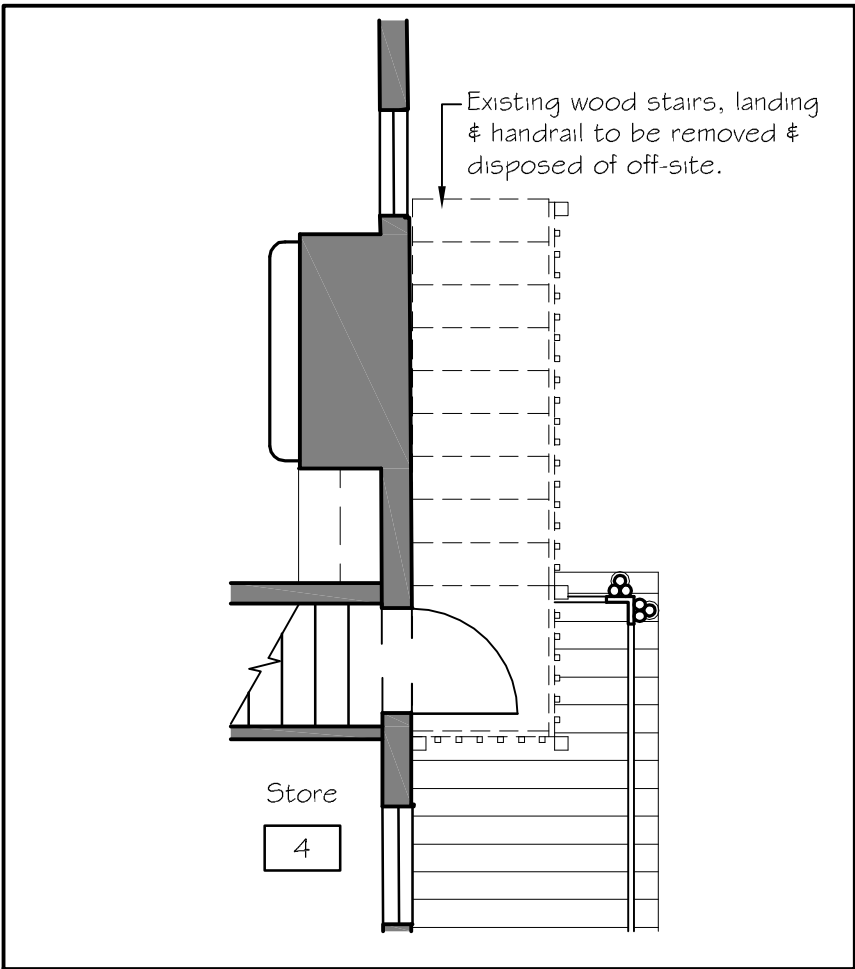


- 1) Wood deck posts to be replaced with new wood posts *c/w* concrete pier footing (See structural). New wood posts to be painted green to match existing.
- 2) Existing wood stairs to be adjusted as required to accommodate the replacement of the porch deck in this area. Scrape, clean & repair all wood elements. Replace all discoloured or deteriorated material with new to match. Existing metal railing to have all loose / flaking paint, rust & debris removed. Clean & repaint entire railing.
- 3) Deteriorated wood cladding in contact with ground to be replaced with new to match existing. Where possible, existing grade to be lowered to prevent future damage.
- 4) Existing wooden trellis to be removed & disposed of off-site. Construct new wooden trellis for future planting to match existing. Install trellis after replacement of wood deck posts.
- 5) Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Remove all loose / flaking paint, rust & debris from metal bars at exterior & repaint white to match existing.
- 6) New columns and / or footings. See structural drawings.
- 7) Existing wood eave stairs above to be removed & disposed of off-site. Make good all adjacent construction damaged as result of stair demolition.

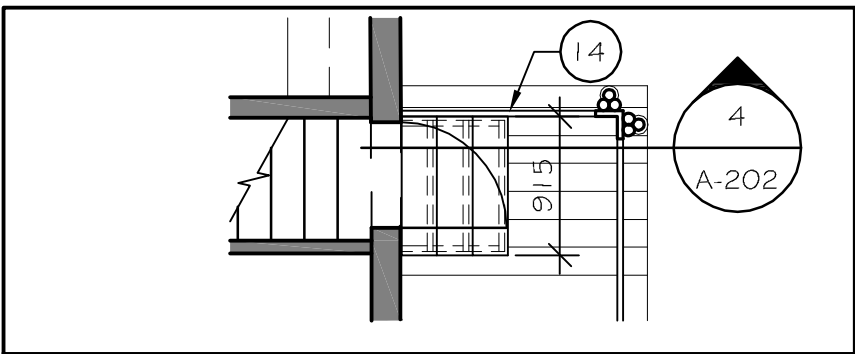

 Floor Plan - Basement Level
 I : 50



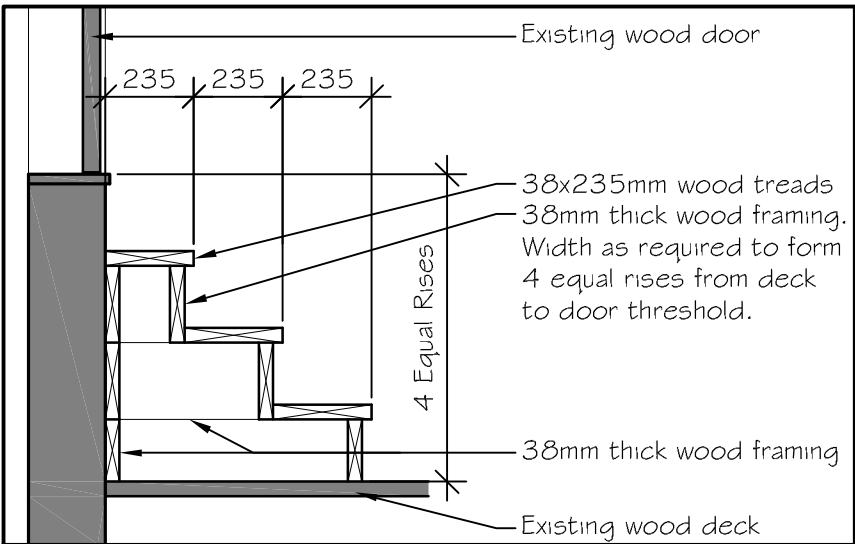
1 Floor Plan - Level 1
A-202 1 : 50



2 Exit Stair Demolition
A-202 1 : 50



3 New Exit Stair
A-202 1 : 50



4 New Exit Stair - Section A
A-202 1 : 20

- Existing siding below verandah roof to be cleaned as to remove surface staining. All areas of peeling / flaking paint to be scraped as to remove all loose flakes. Repaint all siding as per specifications.
- All wood siding and trim outside of verandah roof (2 storey section and Lean-to) to be scraped as to remove all loose and flaking paint. Replace deteriorated wood siding and trim work with new to match. All areas to be replaced are to be coordinate with architect prior to commencing any restoration work.
- Water damage to ceiling in this area. All damaged ceiling components to be removed & disposed of off-site. Repair all deteriorated ceiling framing & install new ceiling finish to match existing.
- All existing wood storm sashes to be replaced with new. See Detail 10/A-802 and specifications.
- Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Install new clear ultraviolet light barrier piece as per typical detail.
- Existing wood storm doors to be scraped and cleaned as to remove all loose / flaking paint and debris. Caulk all gaps and voids, and repaint.
- Existing coal hatch in exterior wall remains for interpretation reasons only and does not provide an opening to the inside. Currently this hatch is deteriorated beyond repair and is to be replaced with new to match. Wood siding, sheathing and possibly framing members are to be replaced in this general area as to replace deteriorated elements. Contractor to remove elements as to expose problem area, and extent of repair to be coordinated with architect on-site. Assume 25% of siding, sheathing and framing associated with this wall are to be replaced.
- Existing verandah decking to remain. Scrape, clean, and repaint. Replace deteriorated boards as noted with new to match size and wood species.
- Verandah railing damaged. Railing components to be removed and replaced with new to match existing.
- Deteriorated deck boards at perimeter of verandah to be removed and replaced with new to match. Assume 20 % of perimeter decking.
- New wood steps. See details 3 & 4 on A-202.
- Existing wood stairs to be adjusted as required to accommodate the replacement of the porch deck in this area. Scrape, clean & repair all wood elements. Replace any discoloured or deteriorated material with new to match. Existing metal railing to have all loose / flaking paint, rust & debris removed. Clean & repaint.
- Existing wood posts supporting verandah roof to be removed & replaced with new to match existing. See details on A-601.
- New wood railing to match existing railing at South East end of verandah.

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Newfoundland East Region

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General Notes

- Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
- All components of building that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size & arrangement of various elements to be noted as to ensure they can be reinstated to match existing as accurately as possible.

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revisions	description	date
R0	Issued For Tender	2018/01/31

A

C

A no. du detail
detail no.
B sur dessin no.
location drawing no.
C drawing no.
dessin no.

A

B

C

Project

HAWTHORNE COTTAGE
RESTORATION

Drawing

Dessin

Level 1 Floor Plan

Drawing no.

Designed By

R. Symonds

Date

2017/02/01

Drawn By

G. Martin

Date

2017/02/01

Reviewed By

D. Gill

Date

yyyy/mm/dd

Approved By

Approver

Date

yyyy/mm/dd

No. du projet

16-1475

Project no.

APC

PCA

No. du dessin

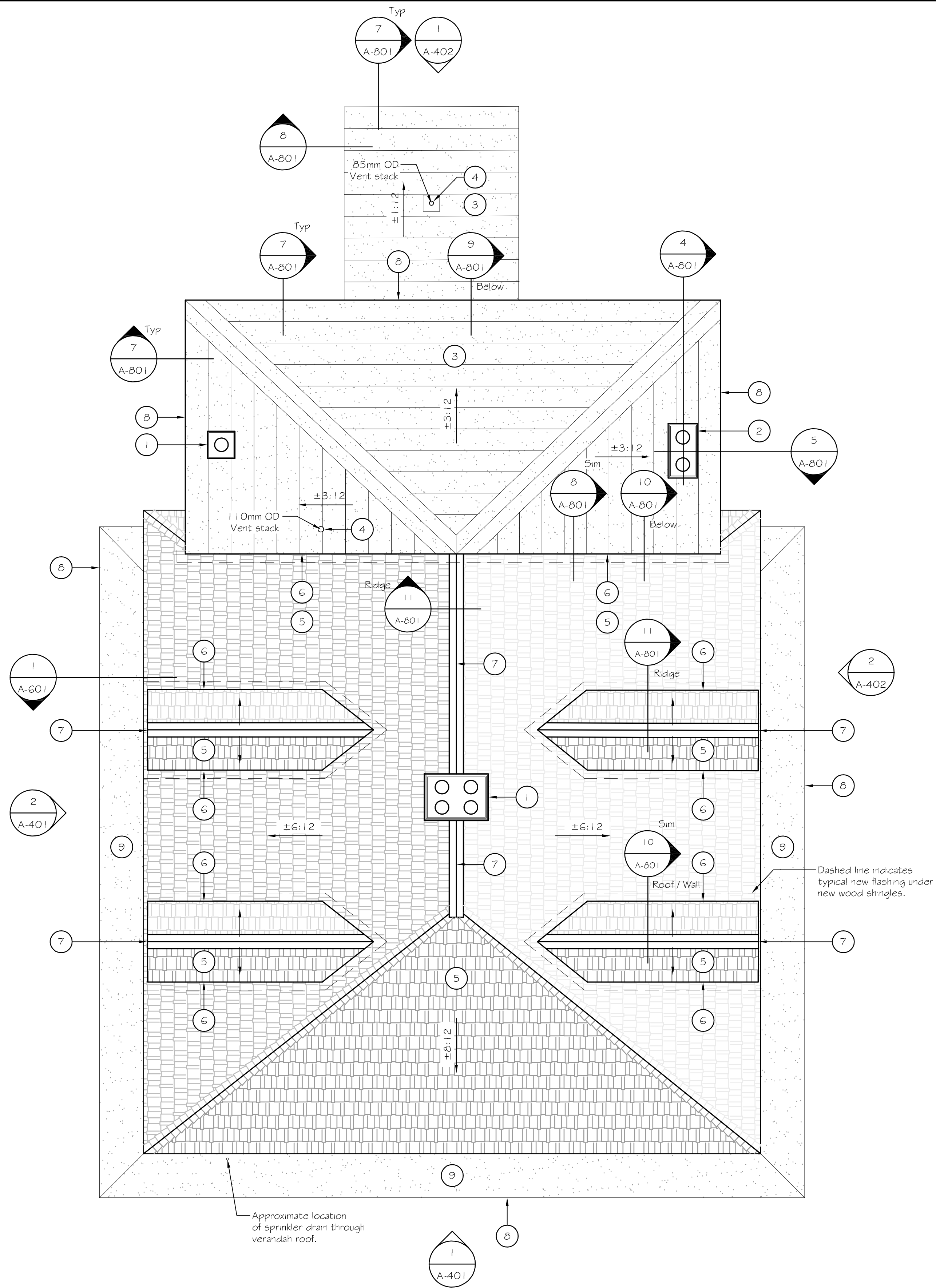
A-202

Drawing no.



- 1 Holes smaller than 1/4 inch in this location to be filled. All holes larger than 1/4 inch to receive wood filler. All holes larger than 1/4 inch to have dutchman style plug. Species & orientation of wood grain to match existing. Sand and paint with remainder of siding. Repair or replace interior sheathing as required to conceal holes.
- 2 All wood siding and trim outside of verandah roof (2 storey section and Lean-to) to be scraped as to remove all loose and flaking paint. Replace deteriorated wood siding and trim work with new to match. All areas to be replaced are to be coordinate with architect prior to commencing any restoration work.
- 3 Existing window storm to be removed and restored for re-use. Scrape as to remove all loose / flaking paint. Remove all caulking and glazing putty. Clean storm including glazing. Install new lined glazing putty. Paint wood elements as per specifications.
- 4 Existing window framing and sashes to be scraped, cleaned, caulked, and repainted. Unless otherwise noted, sashes are to be sealed closed inside and out. Install new ultraviolet light barrier piece as per typical detail.
- 5 Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- 6 Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & install new 2-Ply modified bitumen roofing.

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Stamp		
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R0	Issued For Tender	2018/01/31
revisions revisions	description	date
	A no. du détail detail no. B sur dessin no. location drawing no. C drawing no. dessin no.	
Projet	Project	
HAWTHORNE COTTAGE RESTORATION		
Dessin	Drawing	
Level 2 Floor Plan		
Designed By	R. Symonds	
Date	2017/02/01	
Drawn By	G. Martin	
Date	2017/02/01	
Reviewed By	D. Gill	
Date	yyyy/mm/dd	
Approved By	Approver	
Date	yyyy/mm/dd	
No. du projet	Project no.	
APC	16-1475	PCA
No. du dessin	Drawing no.	
A-203		



- Existing chimney to remain with mortar joints repointed. Replace all deteriorated bricks & mortar with new to match existing size & colour where required. Existing mortar at top around clay pot to be removed and redone. All flashings at roof to be removed and new installed as required.
- Existing brick chimney at west side of flat roof to be removed down to 300mm below roof line. Rebuild with new bricks & mortar to match existing size, texture & colour (See specifications). Maintain existing height and profile. Install new flashings as per details. Reuse existing clay pots.
- Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- Seal existing roof penetrations using pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant.
- Existing wood roof shingles and associated sheet membranes to be removed down to roof sheathing. Replace all deteriorated boards with new to match. Install new wood shingles and membranes.
- Carefully remove wood siding and trims from walls as required to accommodate new roof-wall flashings. Restate after flashing install avoiding any fasteners within 100mm of roof line where possible. Replace all deteriorated siding or trim with new to match as required.
- Existing ridge boards to be removed and new installed to match existing species and profile. Clad with new lead ridge roll as per detail.
- Existing fascia trim (feltmould) to be scraped and repainted where condition warrants. Where deteriorated it shall be replaced with new to match. New sections to be scarf jointed to existing. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal from fascia. Some trim installed along south side of two-storey section as part of last roofing replacement does not match original profile. These sections are to be removed and replaced with new.
- Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & Install new 2-Ply modified bitumen roofing.

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Project Project

HAWTHORNE COTTAGE
RESTORATION

Dessin Drawing

Roof Plan

Designed By R. Symonds

Date 2017/02/01

Drawn By G. Martin

Date 2017/02/01

Reviewed By D. Gill

Date yyyy/mm/dd

Approved By Approver

Date yyyy/mm/dd

No. du projet Project no.

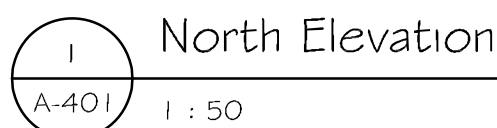
16-1475

APC PCA

No. du dessin Drawing no.

A-204

1 Roof Plan
A-204 1:50



- East Elevation