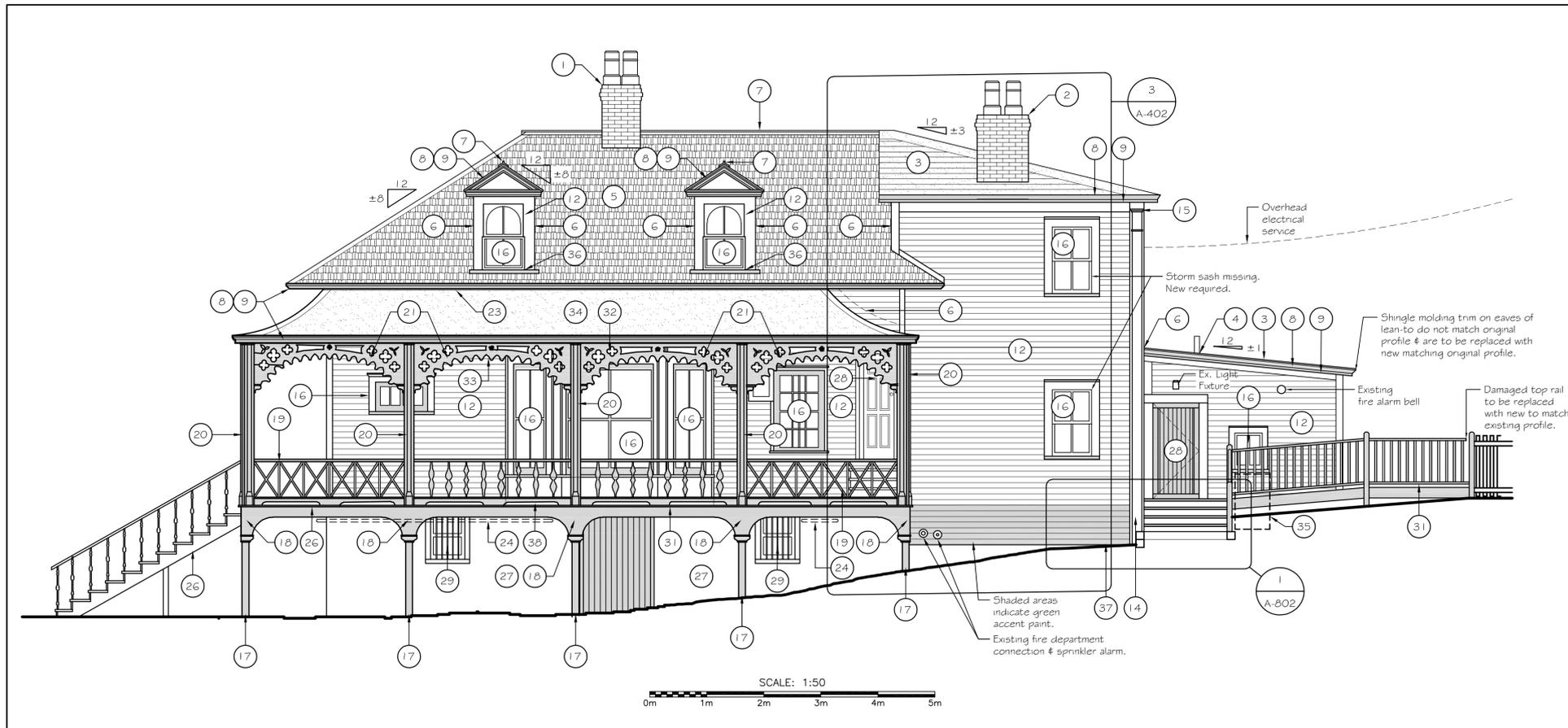


1 South Elevation
A-402 1:50



2 West Elevation
A-402 1:50



3 Exit Stair Demolition
A-402 1:50

- 1 Existing chimney to remain with mortar joints repointed. Replace all deteriorated bricks & mortar with new to match existing size & colour where required. Existing mortar at top around clay pot to be removed and redone. All flashings at roof to be removed and new installed.
- 2 Existing brick chimney at west side of low sloped roof to be removed down to 300mm below roof line. Rebuild with new bricks & mortar to match existing size, texture, and colour (See specifications). Maintain existing height and profile. Install new flashings as per detail. Reuse existing clay pots taking care to not damage during removal & reconstruction.
- 3 Existing built-up felt & bitumen roofing to be removed down to existing wood sheathing. Replace all deteriorated sheathing boards with new to match. Install new protection board, modified bitumen roofing and all required flashings.
- 4 Seal existing roof penetrations using pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant.
- 5 Existing wood roof shingles and associated sheet membranes to be removed down to roof sheathing. Replace all deteriorated boards with new to match. Install new wood shingles and membranes.
- 6 Carefully remove wood siding and trims from walls as required to accommodate new roof-wall flashings. Reinstall after flashing install avoiding any fasteners within 100mm of roof line where possible. Replace all deteriorated siding or trim with new to match as required.
- 7 Existing ridge boards to be removed and new installed to match existing profile. Clad with new lead ridge roll as per detail.
- 8 Existing fascia trim (shingle molding) to be scraped and repainted where condition warrants. Where deteriorated it shall be replaced with new to match. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal from fascia. Some trim installed along south side of two-storey section as part of last roofing replacement does not match original profile. These sections are to be removed and replaced with new.
- 9 All existing fascia and soffit boards to be scraped, cleaned and repainted. Replace deteriorated sections as required. Remove all deteriorated caulking from fascia and recaulk all fascia joints.
- 10 Existing wood siding at south side of lean-to is deteriorated and will need to be replaced with new boards to match existing size and profile (± 16mm thick x 140 wide w/ 100mm exposure. Confirm on-site). All deteriorated sheathing and framing to be replaced.
- 11 Former coal hatch remains as an interpretative feature on face of building however the opening is sheathed on inside with no direct access to inside. The door itself has deteriorated beyond repair and the contractor shall replace with new replica ensuring weathertight seal after install.
- 12 All existing siding and trims to be scraped, cleaned and repainted. See specification for lead content and treatment. Deteriorated and damaged elements are to be replaced with new matching size and profile (± 16mm thick x 140 wide w/ 100mm exposure. Confirm on-site).
- 13 Existing finished grade in this area is above the bottom edge of the wood siding. Adjust grade to be flush with bottom of wood wall. Remove all deteriorated siding and replace with new to match. Base course to be replaced with 25x140mm pressure treated board painted to match siding.
- 14 Deteriorated corner boards in contact with ground to have new pieces of matching size spliced in. New pieces to be scarf jointed with joints in various pieces staggered a minimum of 300mm from each other. Coat all new wood within 300mm of finished grade with wood preservative prior to finishing.
- 15 Existing decorative trim pieces at top of corner trims to be replaced with new to match. Missing sections added to finish. New pieces to be scarf jointed to existing.
- 16 All windows, except those under verandah roof, are to have storm sash removed and replaced with new to match existing. Remove, refinish, and reinstall storm sashes under verandah roof. Fabricate new to match and install new storm sashes where missing. For all windows, remaining wood window elements to be scraped, cleaned and repainted. Sashes to be removed from window as to ensure all surfaces can be refinished. Glazing to be cleaned and all putty/caulking removed and new installed. All deteriorated components to be replaced with new to match existing. Where indicated on floor plans, windows are to remain operational as to permit ventilation of the building. Storm sashes to be installed as to be easily removable.
- 17 Existing wooden posts supporting deck including any concrete base to be replaced with new. Coordinate with structural. Paint green as per specification.
- 18 Existing wooden trims at deck to be carefully removed as required to accommodate new wood post and deck installation. Scrape, clean, repaint and reinstall replacing all deteriorated with new to match.
- 19 Existing wooden railing & decorative pickets at perimeter of verandah to be scraped, cleaned and repainted green to match existing. All damaged sections to be replaced with new to match.
- 20 Existing wood columns to be replaced with new to match. Coordinate with structural.
- 21 Existing verandah filigree pieces to be removed, scraped, clean, painted and reinstalled. Care to be taken with removal as to not damage. It is also assumed that these pieces provide some lateral support to the verandah structure hence temporary bracing will be required. All deteriorated or damaged areas to be repaired, missing pieces to be added and blended into existing.
- 22 Existing sprinkler line drain termination penetrates roof here. Contractor to ensure watertight seal at new roofing membrane.
- 23 Existing wood trim at top of verandah roof under soffit above to be removed to accommodate roof membrane installation. Install new piece to match existing size after roof installation.
- 24 Existing sprinkler lines under wood deck and verandah roof to be cleaned and repainted.
- 25 Existing wooden trellis to be removed & disposed of off-site. Construct new cedar wood trellis for future planting to match existing. Install trellis after replacement of wood deck posts.
- 26 Existing deck at north side to be removed and new installed. Coordinate with structural. Temporarily remove stairs and all railings as to restate on new deck. Wooden stair and rail elements to be cleaned, scraped and repainted replacing all portions damaged or deteriorated. Metal railings on stair to be cleaned as to remove all loose flaking paint and rust with new paint finish applied. See 1/A-202 for extent of deck removal.
- 27 Existing stone foundation to be cleaned and repainted inside and out. Loose mortar to be removed and replaced. All cracks in mortar to be repaired.
- 28 Existing doors to remain. Scrape, clean and repaint door and sidelights. Replace all deteriorated components with new to match. Glazing to be cleaned and all putty/caulking removed and new installed. New hardware supplied by owner to be installed by contractor. Wood threshold at south entrance door to be replaced with new to match.
- 29 Steel bars in front of basement windows to be cleaned as to remove all loose/flaking paint and rust. Repaint white to match existing.
- 30 Existing electrical conduit leaving building here and running underground to site lighting. Contractor to confirm all locations prior to any excavation on site.
- 31 Existing wooden deck to remain. Scrape, clean and repaint replacing all deteriorated or damaged elements.
- 32 Existing roofing at bay windows to remain. Scrape, clean and repaint fascia and associated trim. It is possible that roofing may contain asbestos. Contractor to provide separate price to accommodate abatement of existing roofing, installation of new modified bitumen roof, and removal and reinstallation of roof above as required to access roof of bay windows.
- 33 The underside of existing verandah roof structure is to be scraped, cleaned and repainted gray to match existing. Cracked & damaged curved roof joists members to be replaced with new to match shape Allow 3. Coordinate with replacement of roofing.
- 34 Existing modified bitumen membrane roof was tested to contain asbestos and is to be removed as per appropriate specification section. Replace all deteriorated sheathing boards with new to match & install new 2-Ply modified bitumen roofing.
- 35 Existing wooden trash can enclosure to be scraped, cleaned and repainted white to match existing.
- 36 Existing flyscreen outside of dormer windows to be removed and disposed of off-site. Existing wooden window sill trim to be replaced with new to match. Reinstall as to raise slightly and allow water from roof to move under trim where extended beyond corner of dormer.
- 37 Adjust existing grade as required to lower below wood siding. Install new pressure treated landing as per detail.
- 38 Verandah decking was designed to slope from inside to out. Restructuring of verandah roof support is to result in leveling of the front edge of the deck all sides. Bay windows appear to be supported on deck hence will need to be adjusted as well to accommodate any height adjustments. Base trims and siding will need to be removed and adjusted to accommodate. Ensure weather tight seal of wall.



Stamp

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R0 Issued For Tender 2018/01/31

revisions	description	date
A	A no. du detail	A
C	B sur dessin no. location drawing no.	B C
	C drawing no. dessin no.	

Project

HAWTHORNE COTTAGE RESTORATION

Dessin Drawing

Elevations

Designed By R. Symonds

Date 2017/02/01

Drawn By G. Martin

Date 2017/02/01

Reviewed By D. Gill

Date yyyy/mm/dd

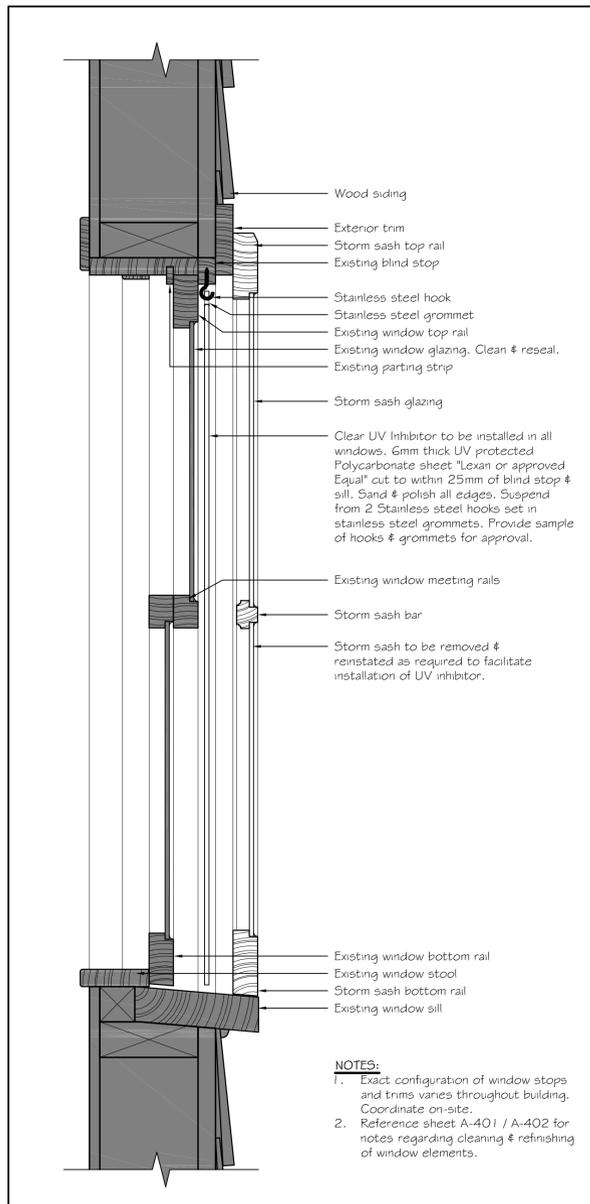
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Date yyyy/mm/dd

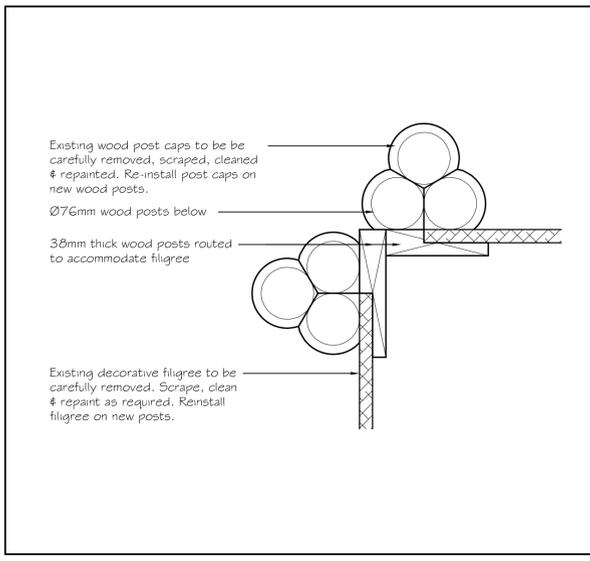
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APC PCA

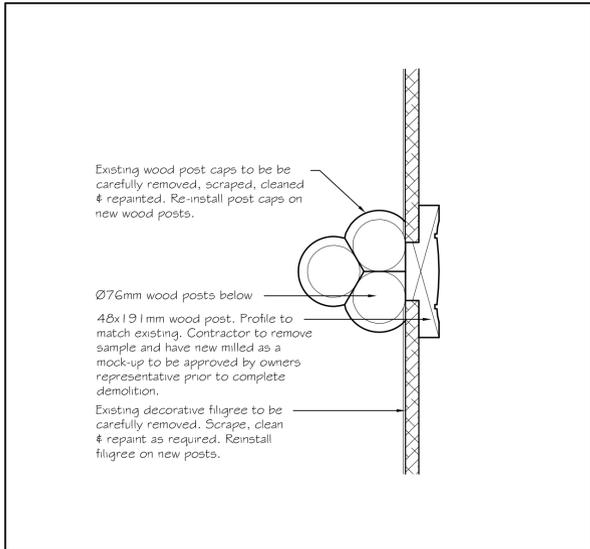
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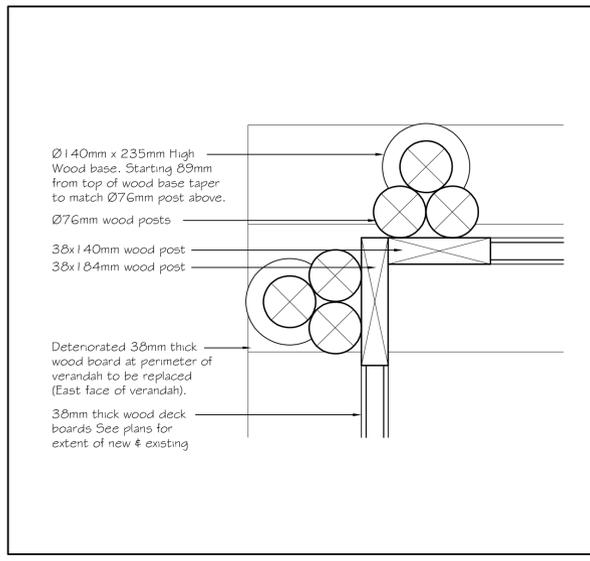
8 Typical Window Section w/ New UV Inhibitor
A-601 1:5



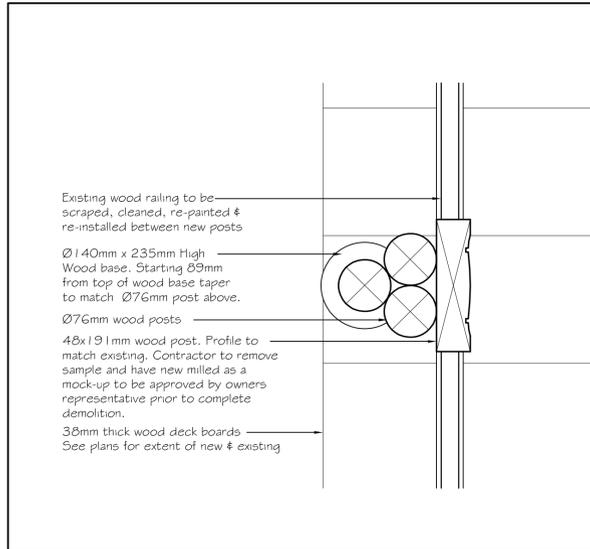
5 Plan Detail - Verandah Corner Post at Top (Typ.)
A-601 1:5



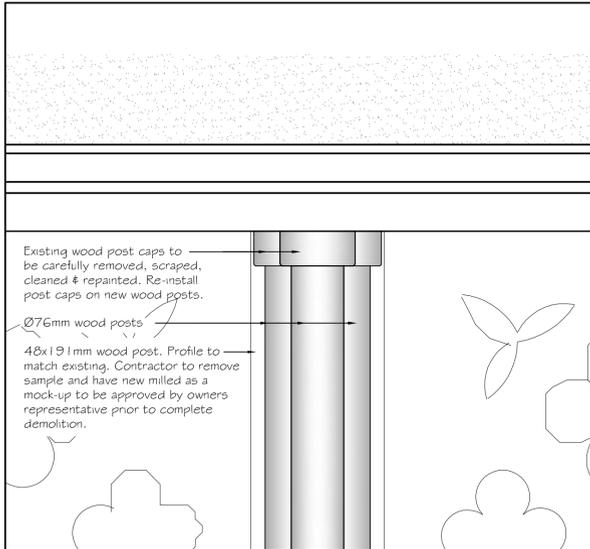
6 Plan Detail - Verandah Post at Top (Typ.)
A-601 1:5



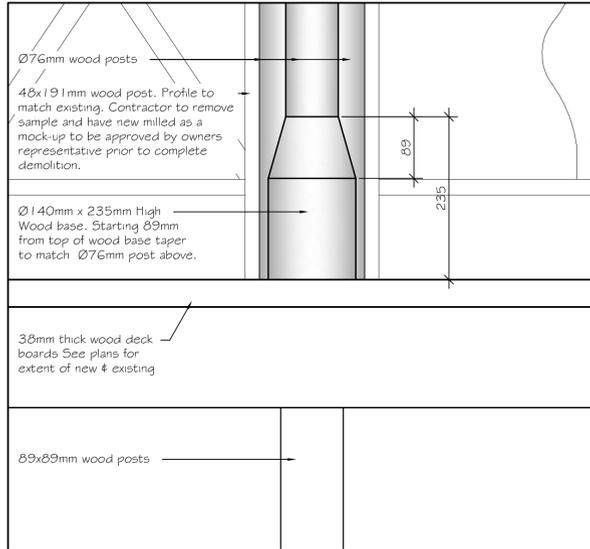
2 Plan Detail - Verandah Corner Post at Base (Typ.)
A-601 1:5



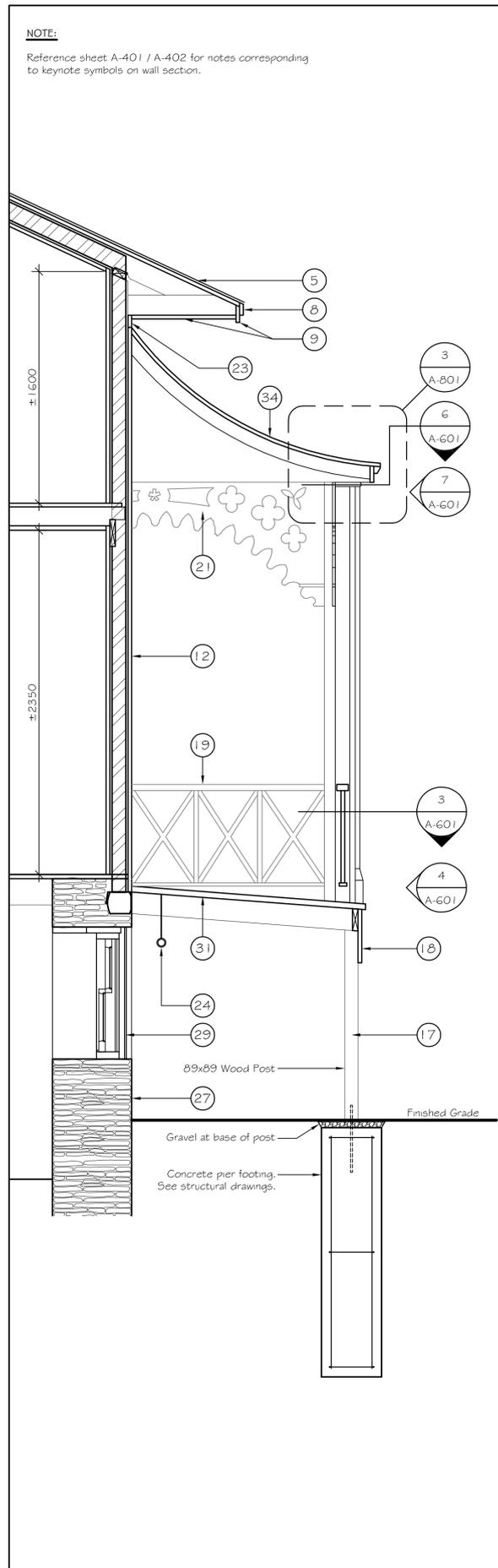
3 Plan Detail - Verandah Post at Base (Typ.)
A-601 1:5



7 Elevation Detail - Verandah Post Cap (Typ.)
A-601 1:5



4 Elevation Detail - Verandah Post Base (Typ.)
A-601 1:5



1 Wall Section
A-601 1:20

Canada

Parcs Canada / Parks Canada
Gestion des biens et réalisation de projets / Asset Management and Project Delivery
Région du Terre-Neuve Est / Newfoundland East Region

Stamp

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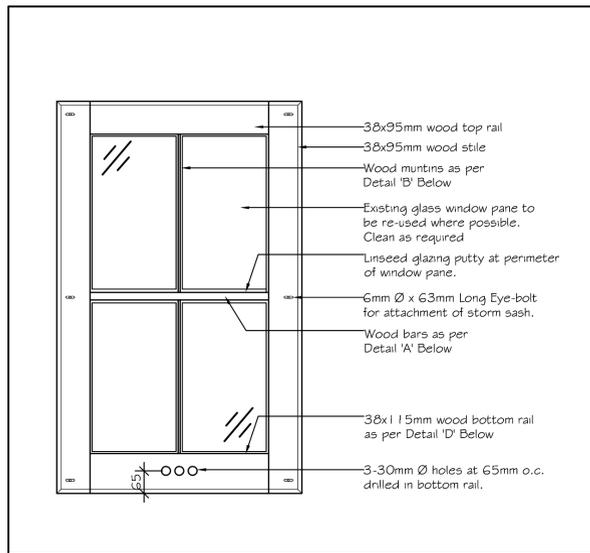
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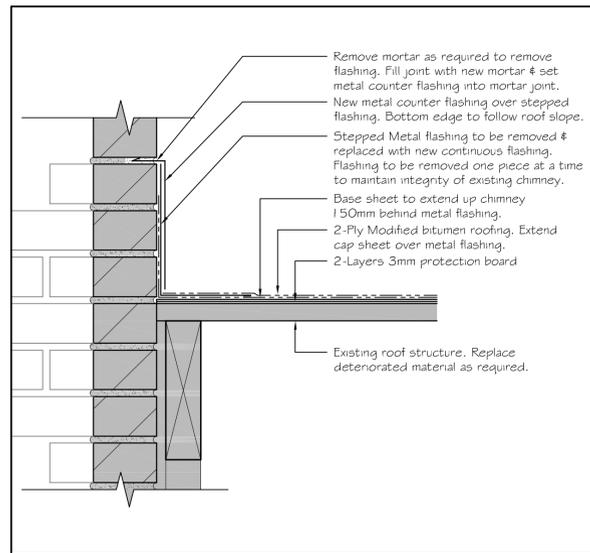
Project: **HAWTHORNE COTTAGE RESTORATION**

Dessin: **Wall Sections & Details**

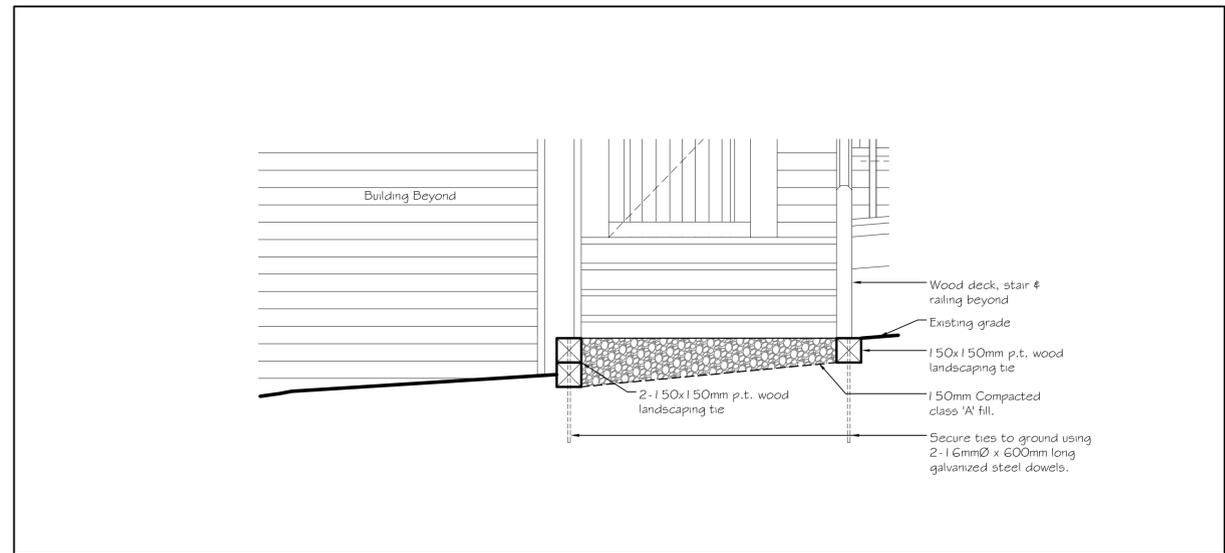
Designed By	R. Symonds
Date	2017/02/01
Drawn By	G. Martin
Date	2017/02/01
Reviewed By	D. Gill
Date	yyyy/mm/dd
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	16-1475
APC	PCA
No. du dessin	A-601



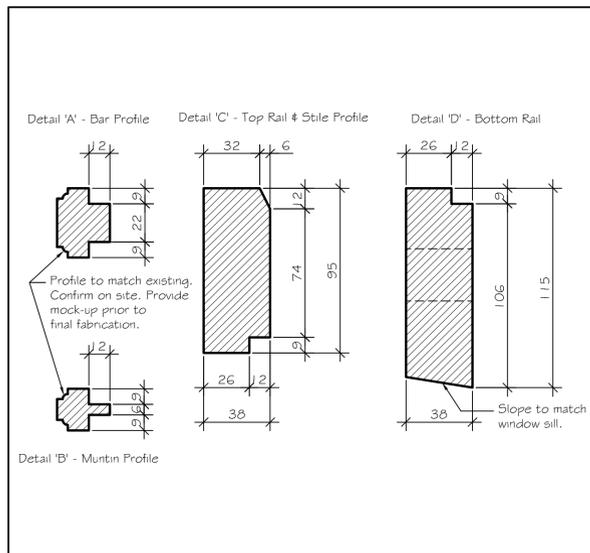
10 Elevation - New Storm Sash (Typical)
 A-802 1 : 10



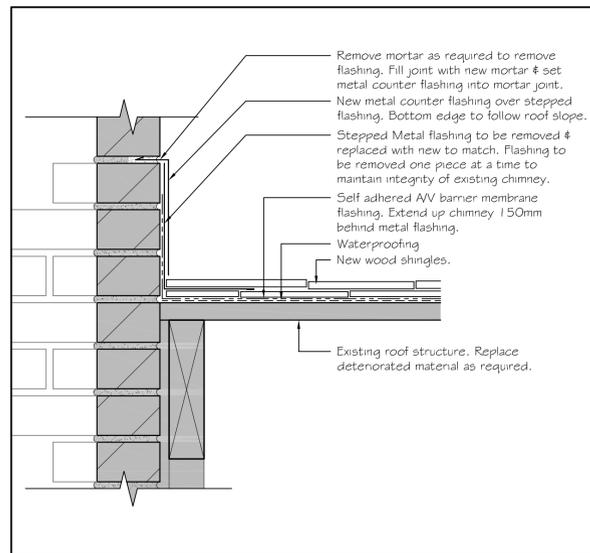
7 Section Detail - Chimney Flashing (Mod-Bit Roof)
 A-802 1 : 10



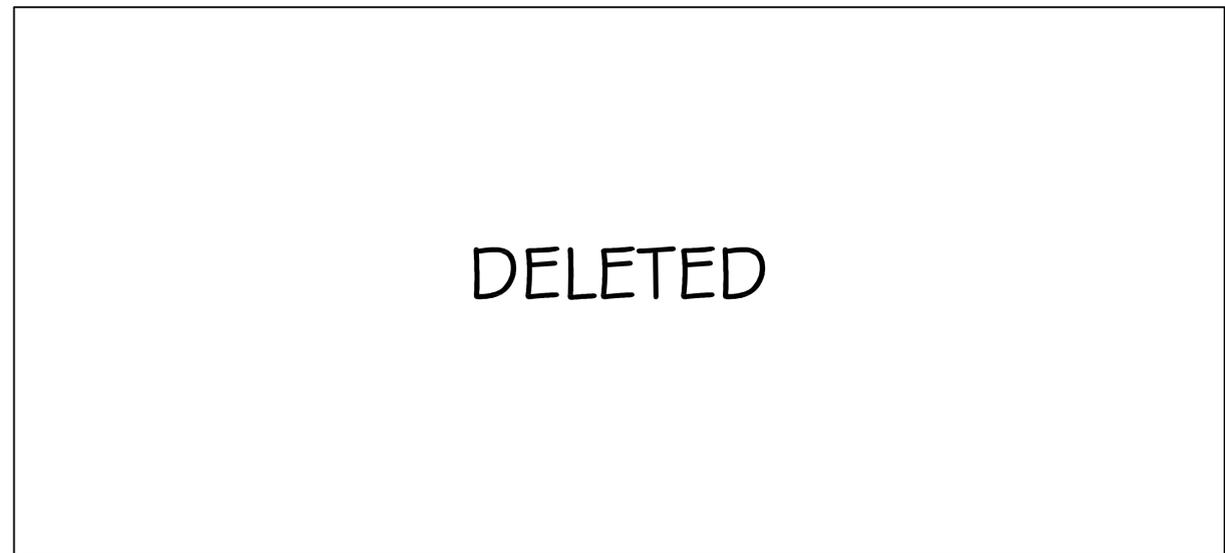
1 Section Detail - Wood & Crushed Stone Steps
 A-802 1 : 20



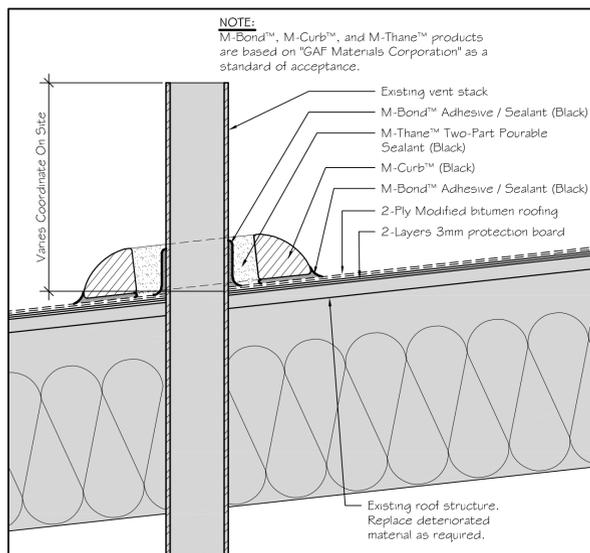
11 Storm Sash Profiles (Confirm On-Site)
 A-802 1 : 10



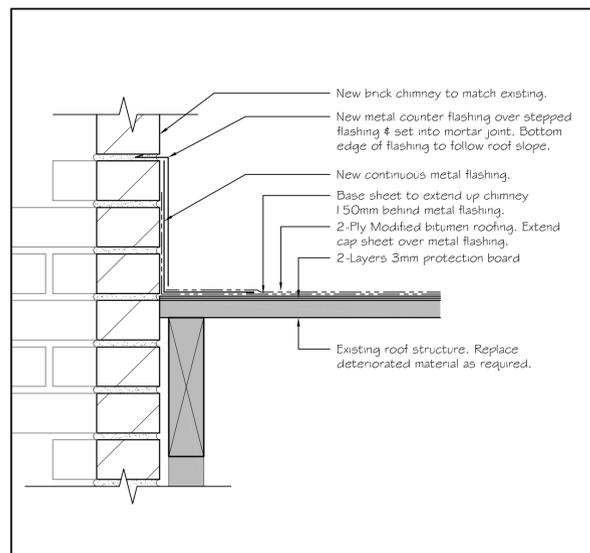
8 Section Detail - Chimney Flashing (Shingle Roof)
 A-802 1 : 10



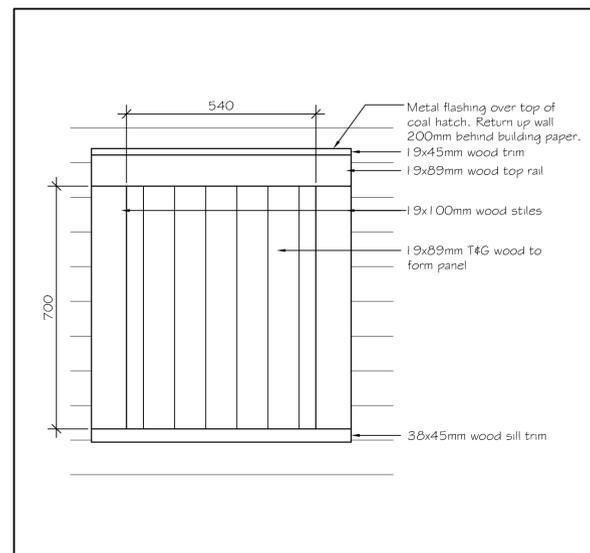
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 A-802



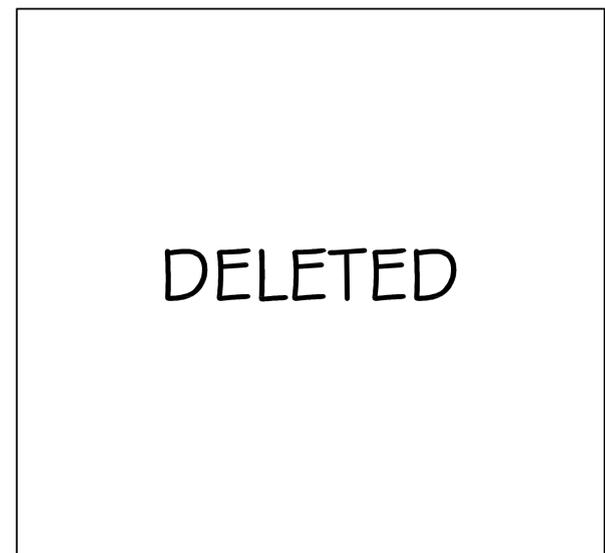
12 Section Detail - Vent Stack Flashing (Typical)
 A-802 1 : 5



9 Section Detail - Chimney flashing (New Chimney)
 A-802 1 : 10



4 Coal Hatch
 A-802 1 : 10



3
 A-802

Canada
 Parcs Canada Parks Canada
 Gestion des biens et réalisation de projets Asset Management and Project Delivery
 Région du Terre-Neuve Est Newfoundland East Region

Stamp

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A no. du detail
 B sur dessin no.
 C drawing no.

Project
HAWTHORNE COTTAGE RESTORATION

Dessin
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Designed By R. Symonds
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 APC PCA
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GENERAL NOTES

1. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.
2. DO NOT IMPOSE CONSTRUCTION LOADS ON THE STRUCTURE IN EXCESS OF THE DESIGN LOAD.
3. DO NOT CUT HOLES IN BEARING WALLS WITHOUT CONSULTANT APPROVAL.
4. COMPLY WITH NATIONAL BUILDING CODES, LOCAL BY-LAWS, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
5. PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT THIS CONTRACT.
6. MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURE PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF WORK UNTIL COMPLETION.
7. TRUCKS, CRANES, HOISTS, OR ANY HEAVY EQUIPMENT OR MATERIALS ARE NOT ALLOWED TO ENTER ANY STRUCTURAL FLOOR OR ROOF AREA UNLESS SPECIFICALLY INDICATED ON STRUCTURAL DRAWINGS.
8. THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACING, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
9. THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHODS OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.
10. SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL WORK AND ANY WORK AFFECTING THE STRUCTURE TO CONSULTANT. OBTAIN CONSULTANT APPROVAL BEFORE PROCEEDING WITH FABRICATION.
11. EACH OF THE FOLLOWING SHOP DRAWINGS MUST BEAR THE SIGNATURE AND STAMP OF QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF PROJECT LOCATION.
 - DRAWINGS FOR ANY TEMPORARY WORK.
 - DRAWINGS FOR ANY STRUCTURAL PARTS DESIGNED BY THE CONTRACTOR.
12. THESE DESIGN DOCUMENTS ARE PREPARED FOR SOLELY FOR USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.
13. THE USE OF THIS DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISION COLUMN OF THE TITLEBLOCK. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS DRAWINGS ARE MARKED 'ISSUED FOR CONSTRUCTION' BY DBA.
14. DBA WILL PROVIDE GENERAL REVIEW OF CONSTRUCTION IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF PEGNL BY MEANS OF A RATIONAL SAMPLING PROCEDURE TO DETERMINE WHETHER THE CONSTRUCTION OF THAT WORK SHOWN ON THE DBA DRAWINGS IS IN GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DBA SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR OR ANY OTHER PERSON PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
15. IT IS THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR TO NOTIFY THE ENGINEER OF THE CONSTRUCTION PROGRESS SO THE ENGINEER MAY COMPLETE GENERAL COMPLIANCE INSPECTIONS. THE CONTRACTOR SHOULD PROVIDE THE ENGINEER WITH AN ACCURATE CONSTRUCTION SCHEDULE PRIOR TO THE START OF WORK. IN GENERAL THE FOLLOWING INSPECTIONS ARE REQUIRED: REVIEW OF REBAR PRIOR TO PLACEMENT OF CONCRETE, REVIEW OF FOOTINGS AND FOUNDATIONS PRIOR TO BACKFILL AND REVIEW OF STRUCTURAL STEEL PRIOR TO PLACEMENT OF FINISHES.

ABBREVIATIONS

∠	ANGLE	LG	LONG
(E)	EXISTING	LLH	LONG LEG HORIZONTAL
⊙	SPACED AT	LLV	LONG LEG VERTICAL
A.B.	ANCHOR BOLT	m	METER
ALT	ALTERNATE	MAX	MAXIMUM
APPROX	APPROXIMATELY	Mc	MOMENT CONNECTION
ARCH	ARCHITECTURAL	MECH	MECHANICAL
A.P.	BASEPLATES	MIN.	MINIMUM
B/F	BOTTOM FACE	MISC	MISCELLANEOUS
BLK	BLOCK	mm	MILLIMETERS
BM	BEAM	MPa	MEGA PASCAL
BOTT	BOTTOM	N/C	NOT IN CONTRACT
BP	BASEPLATE	NTS	NOT TO SCALE
C.J.	CONTROL JOINT	O.H.	OVERHEAD DOOR
C/W	COMPLETE WITH	o.c.	ON CENTER
cf	FACTORED COMPRESSION FORCE	OWSJ	OPEN WEB STEEL JOIST
COL	COLUMN	P#	PIER DETAIL NUMBER (SEE DET)
CONC	CONCRETE	PL	PLATE
CONN	CONNECTION	RB	ROOF BEAM
CONT	CONTINUOUS	RC	REINFORCED CONCRETE
DEMO	DEMOLITION	D	ROOF DRAIN
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCEMENT
DIM	DIMENSION	REQ'D	REQUIRED
DP	DEEP	SC	SAWCUT
DWGS	DRAWINGS	SCH	SCHEDULE
DWL	DOWEL	SECT	SECTION
EA	EACH	SLS	SERVICEABILITY LIMIT STATE
EF	EACH FACE	SOG	SLAB ON GRADE
EJ	EXPANSION JOINT	SPEC	SPECIFICATION
ELEV	ELEVATION	SS	STAINLESS STEEL
EOD	EDGE OF DECK	STIFF	STIFFENER
EQ	EQUAL	STL	STEEL
ES	EACH SIDE	STRUCT	STRUCTURAL
EW	EACH WAY	T.O.	TOP OF
F#	FOOTING DETAIL NUMBER (SEE SCH)	Tf	FACTORED TENSIONS FORCE
FB	FLOOR BEAM	TOP	TOP
FF	FACE TO FACE	TYP	TYPICAL
Fin	FINISHED	U/S	UNDERSIDE
FLR	FLOOR	ULS	ULTIMATE LIMIT STATE
FND	FOUNDATION	VEF	VERTICAL EACH FACE
FTG	FOOTING	VERT	VERTICAL
GA	GAUGE	VIF	VERTICAL INSIDE FACE
Galv	GALVANIZED	VOF	VERTICAL OUTSIDE FACE
GC	GENERAL CONTRACTOR	W/	WITH
HSS	HOLLOW STRUCTURAL SECTION	W/I	WITHIN
kN	KILO NEWTON	W/O	WITHOUT
kPa	KILOPASCAL	WWM	WELDED WIRE MESH

CONCRETE AND FOUNDATION NOTES

1. ALL CONCRETE WORK TO CONFORM TO THE LATEST EDITION OF CSA STANDARDS A23.1, A23.2 AND A23.3.
2. CONCRETE REQUIREMENTS:

LOCATION	STRENGTH	CLASS	SLUMP	AIR CONTENT	W/C RATIO	MAX AGGREGATE
WALLS/PIERS	25 MPa	F2	75mm	4 - 7%	.55	20
FOOTINGS	25 MPa	F2	100mm	4 - 7%	.55	20
COVERED SLAB ON GRADE	25 MPa	N	75mm	-	FOR DESIGN	20
3. CONCRETE COVER TO REINFORCING:

.1 FOOTINGS	-	75mm
.2 PIERS	-	50mm
4. NO CONCRETE SHALL BE POURED WITHOUT PRIOR APPROVAL OF REINFORCING BY THE OWNERS REPRESENTATIVE/ENGINEER.
5. FORM WORK MUST NOT BE REMOVED UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUSTAIN ALL LOADINGS.
6. ALL REINFORCING SHALL HAVE A MINIMUM YIELD OF 400 MPa.
7. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, PLACED AND SUPPORTED IN ACCORDANCE WITH ACI 315 (LATEST EDITION).
8. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST EDITION OF CSA STANDARD A23.3 AND ALL BARS SPLICES SHALL BE CLASS 'B' TENSION SPLICES, UNLESS NOTED OTHERWISE.
 - A.) NO BAR SPICE SHALL BE LESS THAN LISTED IN TABLE BELOW
 - B.) INCREASE HORIZONTAL SPLICE LENGTHS IN THE TABLE BY 1.3 WHERE MORE THAN 300mm OF FRESH CONCRETE IS CAST BELOW THE SPLICE

	TENSION SPLICE	COMPRESSION SPLICE
CONCRETE STRENGTH	25MPa 30MPa 35MPa	F2
REBAR SIZE		F2
10M	400 400 400	450
15M	600 600 600	450
20M	800 800 800	600
25M	1200 1100 1000	750
30M	1400 1300 1200	900
35M	1650 1500 1400	1050
- NOTE: ALL DIMS IN TABLE ARE IN mm
9. PIER FOOTING DOWELS SIZE AND ARRANGEMENT TO MATCH VERTICAL IN PIER DETAILS. LAP SPLICE ALL FOOTING DOWELS TO VERTICAL BARS AS TENSION SPLICE NOTED IN TABLE ABOVE.
10. CENTRE FOOTINGS UNDER CENTRE OF COLUMNS UNLESS OTHERWISE NOTED.
11. ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL OR COMPACTED ROCK FILL HAVING A MINIMUM BEARING CAPACITY OF 150 KPA - UNLESS NOTED OTHERWISE.
12. FOR SUBSURFACE INVESTIGATION AND RECOMMENDATIONS SEE SOILS REPORT BY SOILS CONSULTANT.
13. PROTECT FOUNDATIONS INCLUDING ANY SLAB ON GRADE FROM FROST ACTION DURING CONSTRUCTION.
14. ALL FOOTING ELEVATIONS ARE TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER BEFORE POURING.
15. DO NOT PLACE FOOTINGS ON FROZEN GROUND.
16. THE UNDERSIDE OF ALL EXTERIOR WALL AND COLUMN FOOTING TO BE A MINIMUM OF 1200mm BELOW THE FINISHED EXTERIOR GRADE, UNLESS OTHERWISE NOTED.
17. FOR COMPRESSIVE STRENGTH TESTING OF CONCRETE A MINIMUM OF 3 CYLINDERS ARE REQUIRED FOR EACH OF THE FOLLOWING:
 - .1 EACH DAYS POUR
 - .2 EACH TYPE OR GRADE OF CONCRETE
 - .3 EACH CHANGE IN SUPPLIER OF CONCRETE
 - .4 EACH 50M3 OR FRACTION THEREOF OF FOOTINGS, FOUNDATION WALLS AND SLABS
 - .5 OR ADDITIONAL TEST SPECIMENS SHALL BE TAKEN WHENEVER REQUESTED BY THE ENGINEER OR THE SUPERVISOR TO VERIFY THE CONCRETE QUALITY.

STRUCTURAL WOOD NOTES

1. CONFORM TO THE STANDARD GRADING RULES OF THE NATIONAL LUMBER GRADES AUTHORITY (NLGA) AND TO CSA STANDARD CAN-086.
2. ALL LUMBER: NO. 2 OR BETTER GRADE SPRUCE (SPF). GRADE STAMPED IN ACCORDANCE WITH THE NLGA AND NBCC. PROVIDE KILN-DRIED, SURFACED FOUR SIDES.
3. NAILS TO CONFORM TO CSA STANDARD B111, GALVANIZED.
4. CONFORM TO THE REQUIREMENTS OF TABLES 9.23.4 AND 9.23.5 OF THE LATEST NBCC, U.N.O.
5. TREAT ALL LUMBER FOR GROUND CONTACT USING OIL-BORNE PRESERVATIVE (PENTACHLOROPHENOL) OR WATER-BORNE PRESERVATIVE (ACA, CCA, ETC.) TO THE REQUIREMENTS OF CSA 080-M.



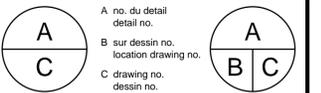
General Notes
 1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
 2. All components of building that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size & arrangement of various elements to be noted as to ensure they can be reinstated to match existing as accurately as possible.



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0	ISSUED FOR TENDER	2018-02-02
B	ISSUED FOR 100% REVIEW	2017-09-15
A	ISSUED FOR 99% REVIEW	2017-07-12
revisions	description	date



Project Project
 Dessin Drawing

HAWTHORNE COTTAGE RESTORATION

NOTES AND SPECIFICATIONS

Designed By	M.M.
Date	2017/06/10
Drawn By	C.R.
Date	2017/06/10
Reviewed By	M.M.
Date	2017/06/10
Approved By	M.M.
Date	2017/06/10
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
S-101	



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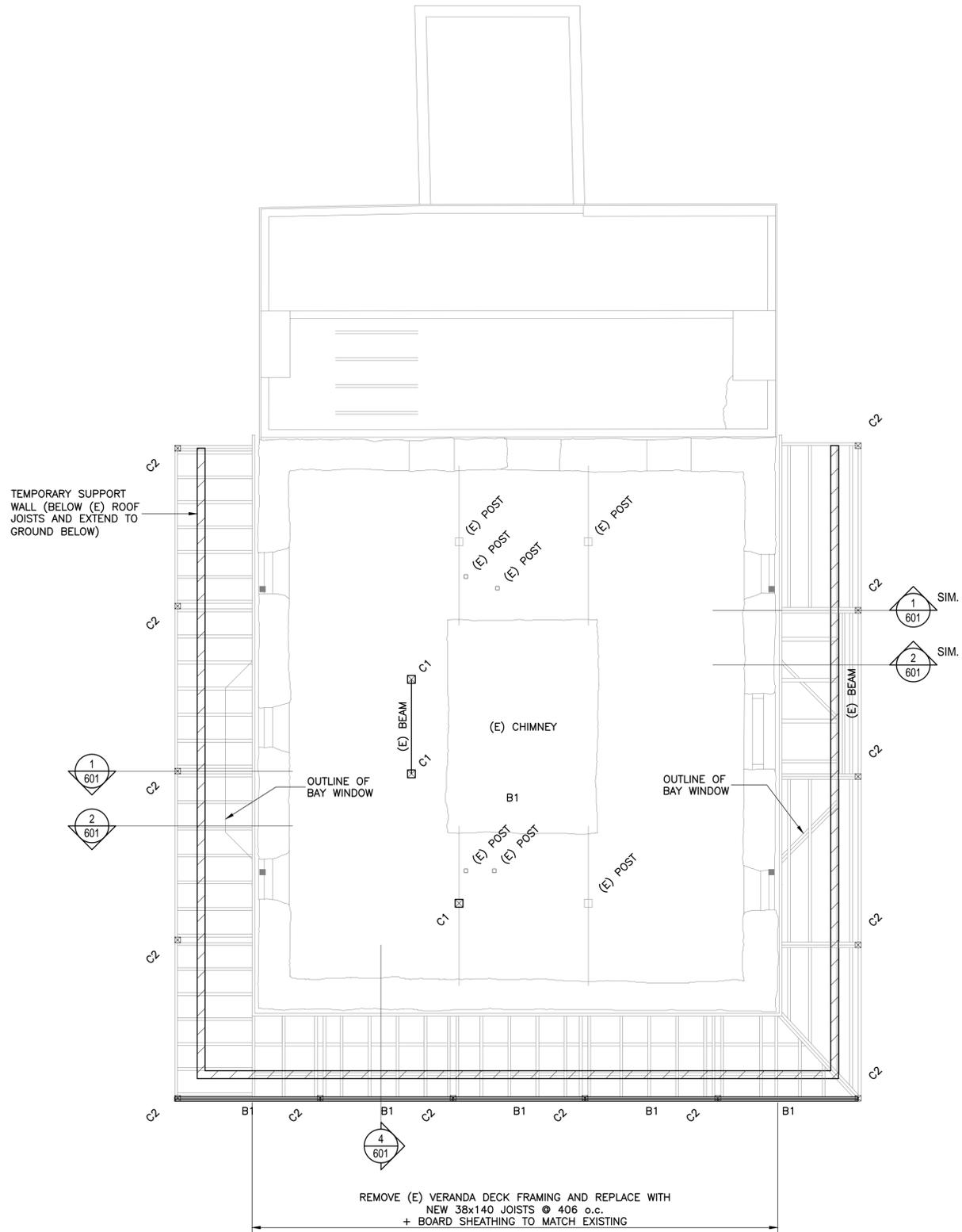
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B	ISSUED FOR 100% REVIEW	2017-09-15
A	ISSUED FOR 99% REVIEW	2017-07-12

revisions	description	date
A	A no. du detail detail no.	A
B	B sur dessin no. location drawing no.	B C
C	C drawing no. dessin no.	

Projet Project
HAWTHORNE COTTAGE RESTORATION

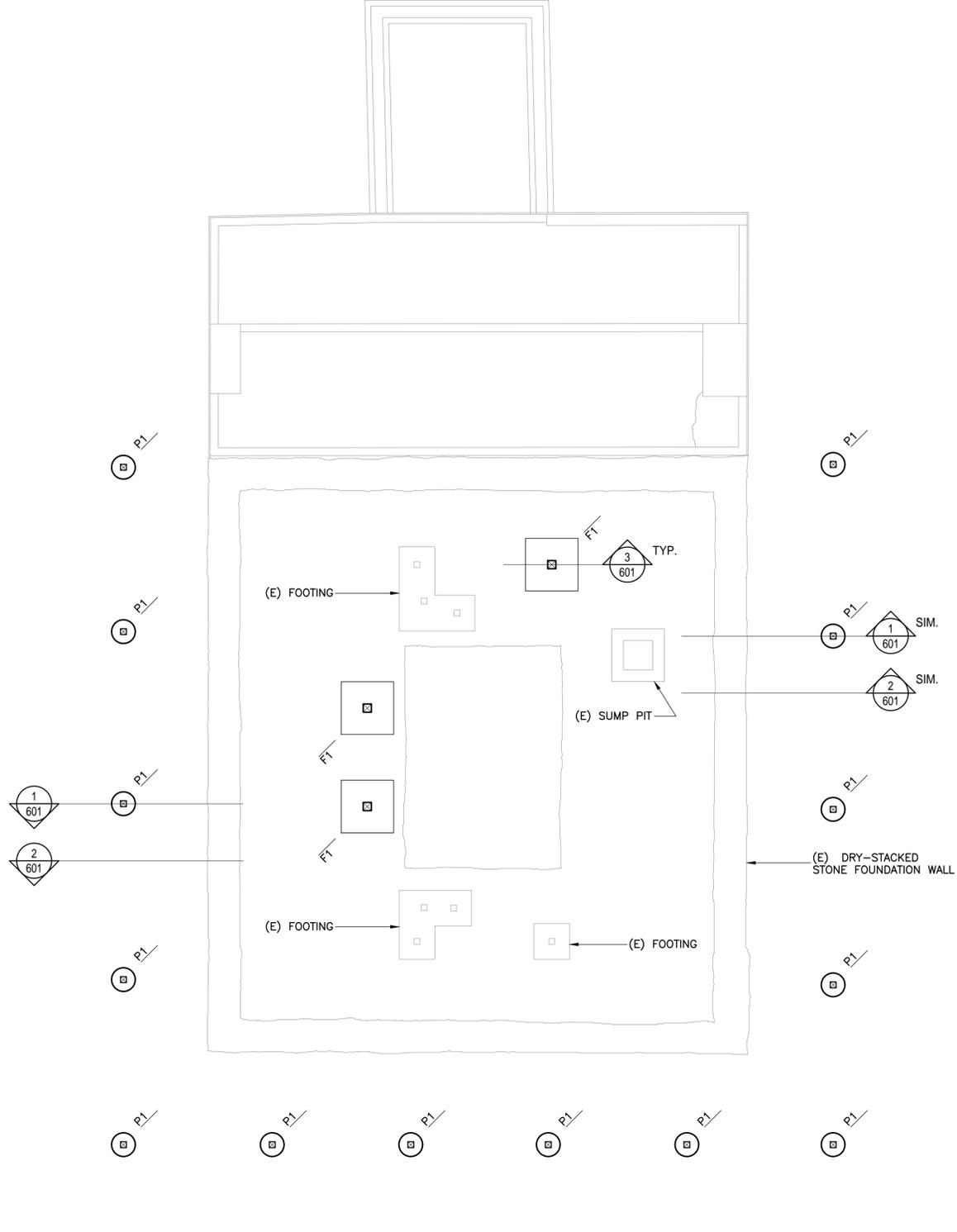
Dessin Drawing
FOUNDATION PLAN & VERANDA DECK FRAMING PLAN

Designed By M.M.
 Date 2017/06/10
 Drawn By C.R.
 Date 2017/06/10
 Reviewed By M.M.
 Date 2017/06/10
 Approved By M.M.
 Date 2017/06/10
 No. du projet Project no. 16-1475
 APC PCA
 No. du dessin Drawing no. S-201



- NOTES:**
- C1 - 140x140 SPF. NO. 1/2 GRADE WOOD POST
 - C2 - 102x102 DOUGLAS FIR - L NO. 1 GRADE ROUGH CUT POSTS TO REPLACE (E) POSTS
 - B1 - 2-38x140 BUILT-UP SPF. NO. 1/2 GRADE BEAM

VERANDA DECK FRAMING PLAN
 SCALE - 1 : 50



- NOTES:**
- P1 - SEE 1/601 FOR DETAILS

FOOTING MARK	FOOTING		
	SIZE	DEPTH	REINFORCING
F1	900x900	300	15M @ 150 o.c. BOT.

FOUNDATION PLAN
 SCALE - 1 : 50



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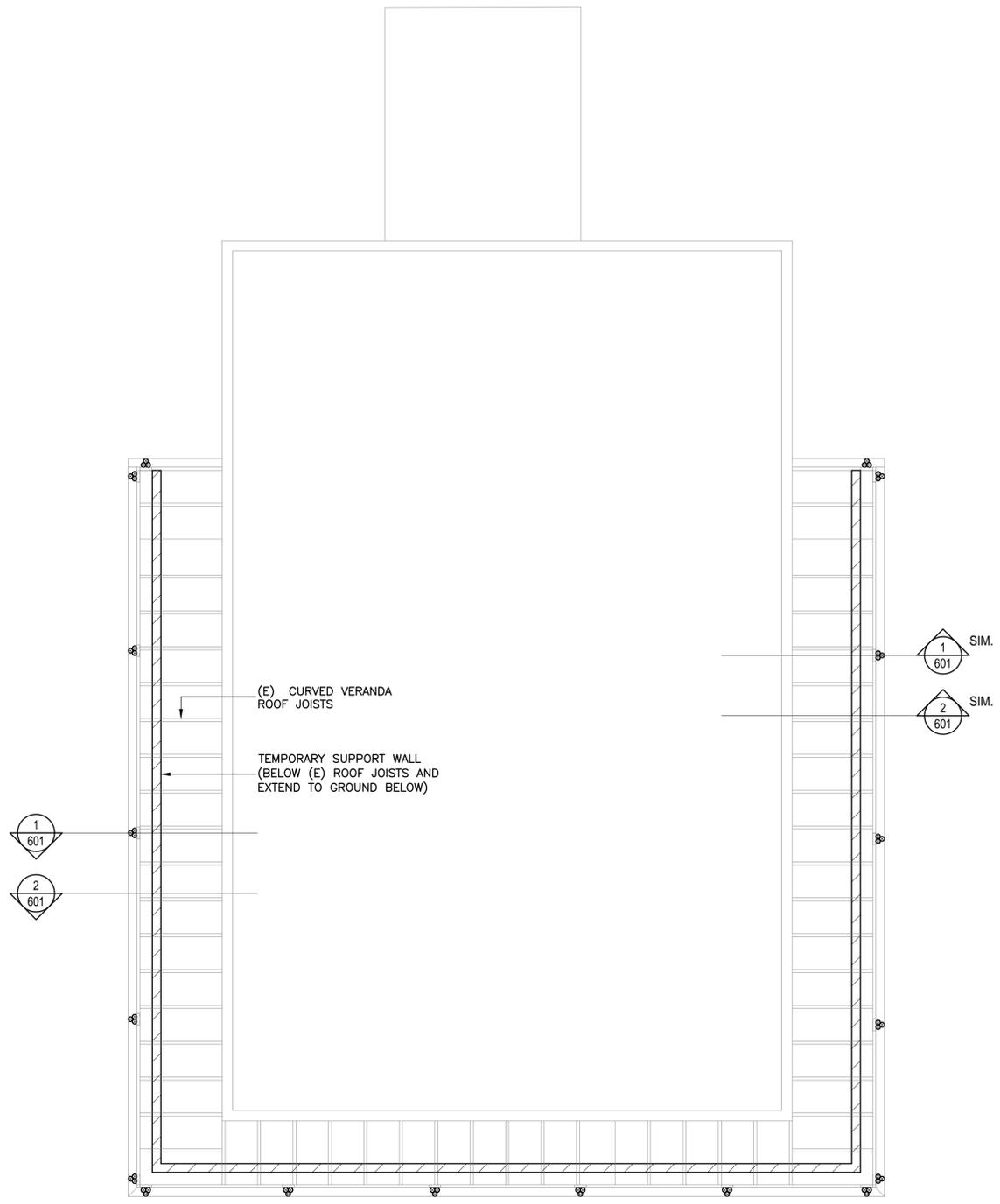
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A	ISSUED FOR 99% REVIEW	2017-07-12

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	C drawing no. dessin no.	

Projet Project
HAWTHORNE COTTAGE RESTORATION

Dessin Drawing
VERANDA ROOF FRAMING PLAN

Designed By	M.M.
Date	2017/06/10
Drawn By	C.R.
Date	2017/06/10
Reviewed By	M.M.
Date	2017/06/10
Approved By	M.M.
Date	2017/06/10
No. du projet	16-1475
APC	PCA
No. du dessin	S-202



VERANDA ROOF FRAMING PLAN

SCALE - 1 : 50





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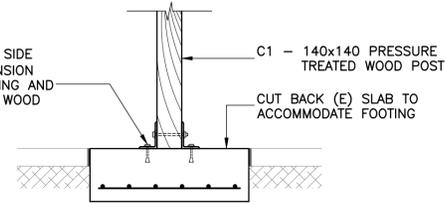
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B	sur dessin no. location drawing no.	B
C	drawing no. dessin no.	C

Projet **HAWTHORNE COTTAGE RESTORATION** Project

Dessin **SECTIONS & DETAILS** Drawing

Designed By	M.M.
Date	2017/06/10
Drawn By	C.R.
Date	2017/06/10
Reviewed By	M.M.
Date	2017/06/10
Approved By	M.M.
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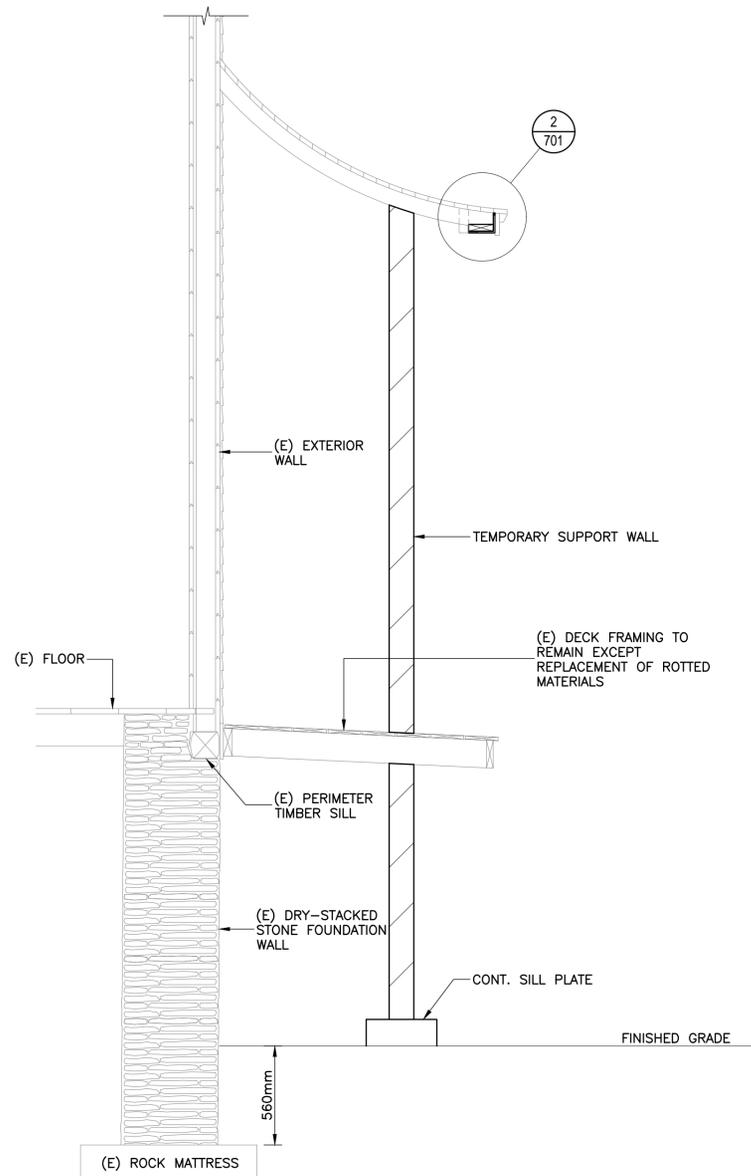
L150x100x6.0 EACH SIDE
 C/W 13mm Ø EXPANSION
 ANCHORS INTO FOOTING AND
 M13 BOLT THROUGH WOOD
 POST AS SHOWN



SECTION

SCALE - 1 : 20

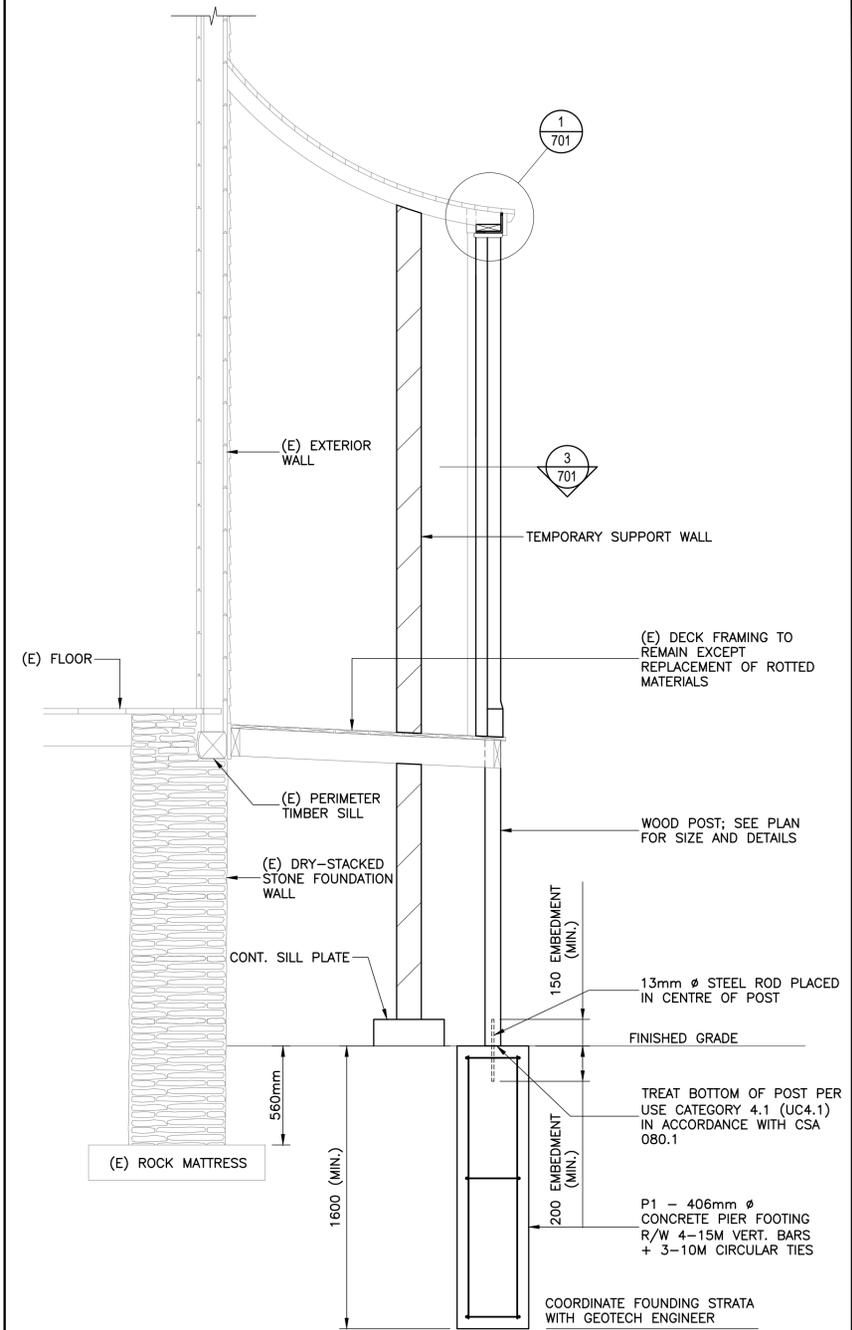
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601



SECTION

SCALE - 1 : 20

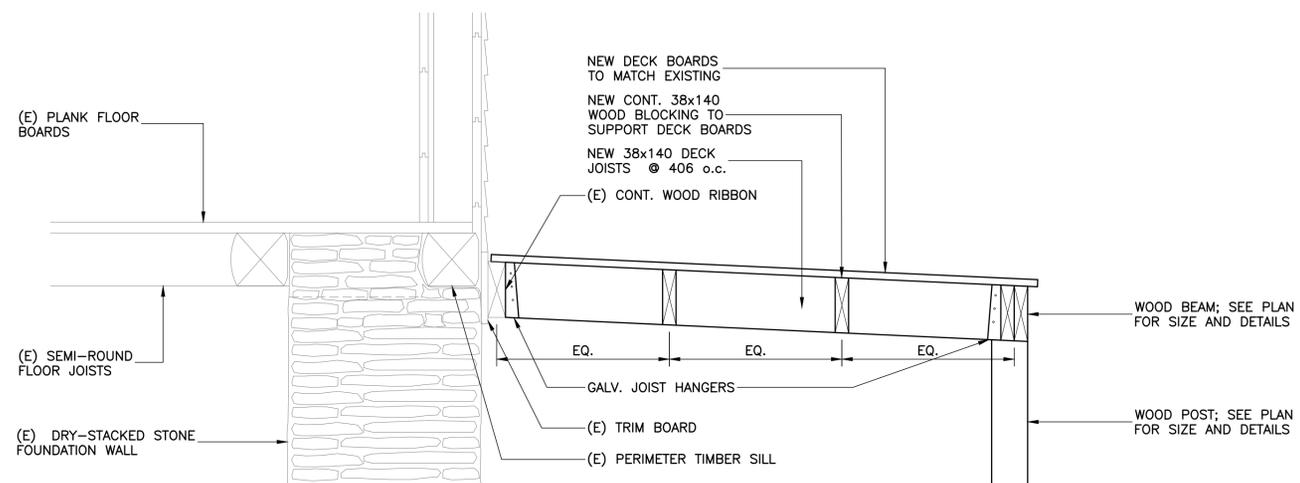
2
601



SECTION

SCALE - 1 : 20

1
601



DETAIL

SCALE - 1 : 10

4
601



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Projet _____ Project _____

HAWTHORNE COTTAGE RESTORATION

Dessin _____ Drawing _____

SECTIONS & DETAILS

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APC	PCA
No. du dessin	S-701

