

LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS

SHEET INDEX

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PICNIC SHELTER

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| A13-110 | PICNIC SHELTER |
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| Consultant's Name Nom de l'expert-conseil |
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| ARCHITECTURE | 49 |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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|  Parks Canada | Parcs Canada |
| Strategic Asset Management, Western and Northern Region | Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

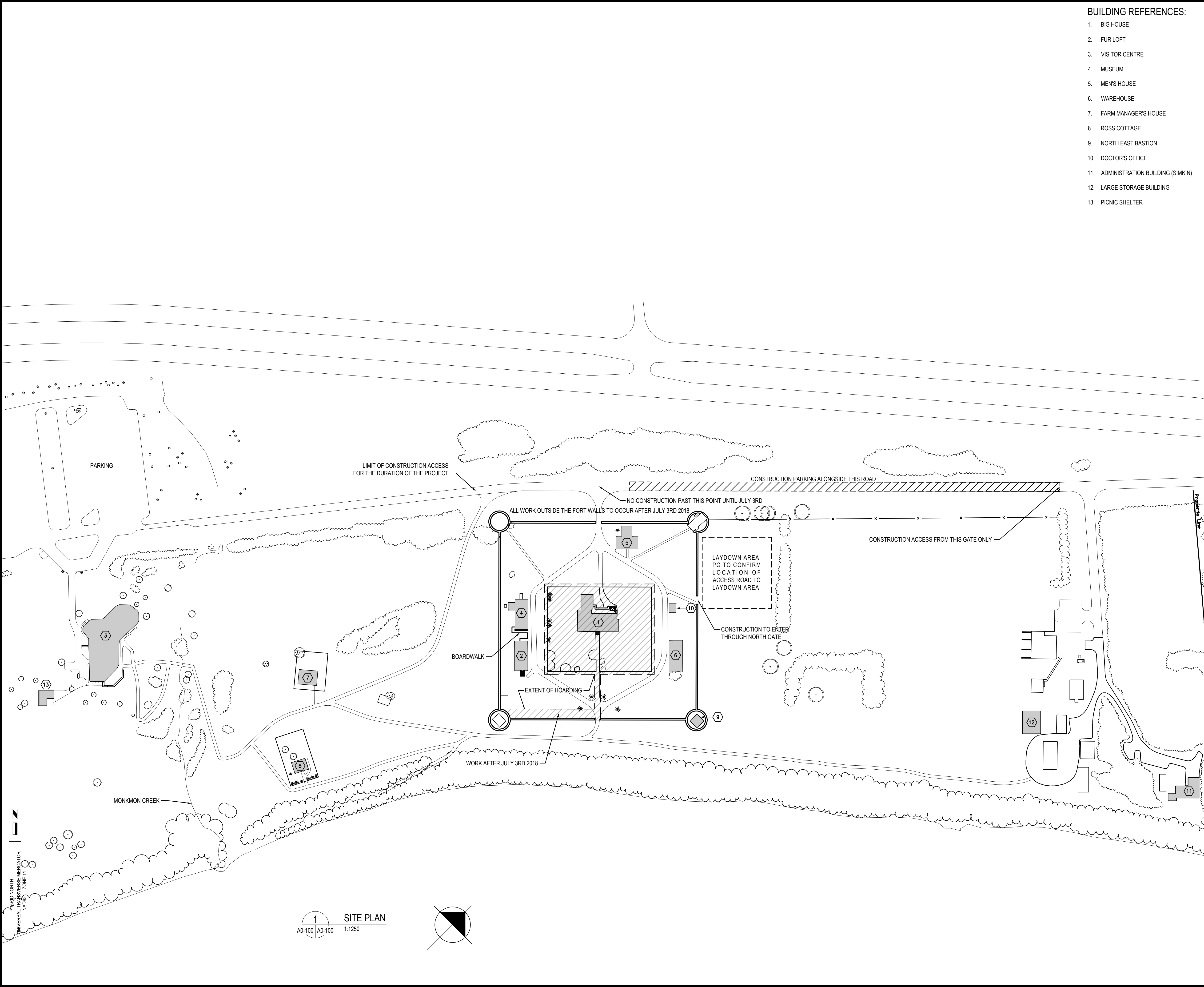
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| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
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| Drawing Set No./Nº de série du dessin | | |

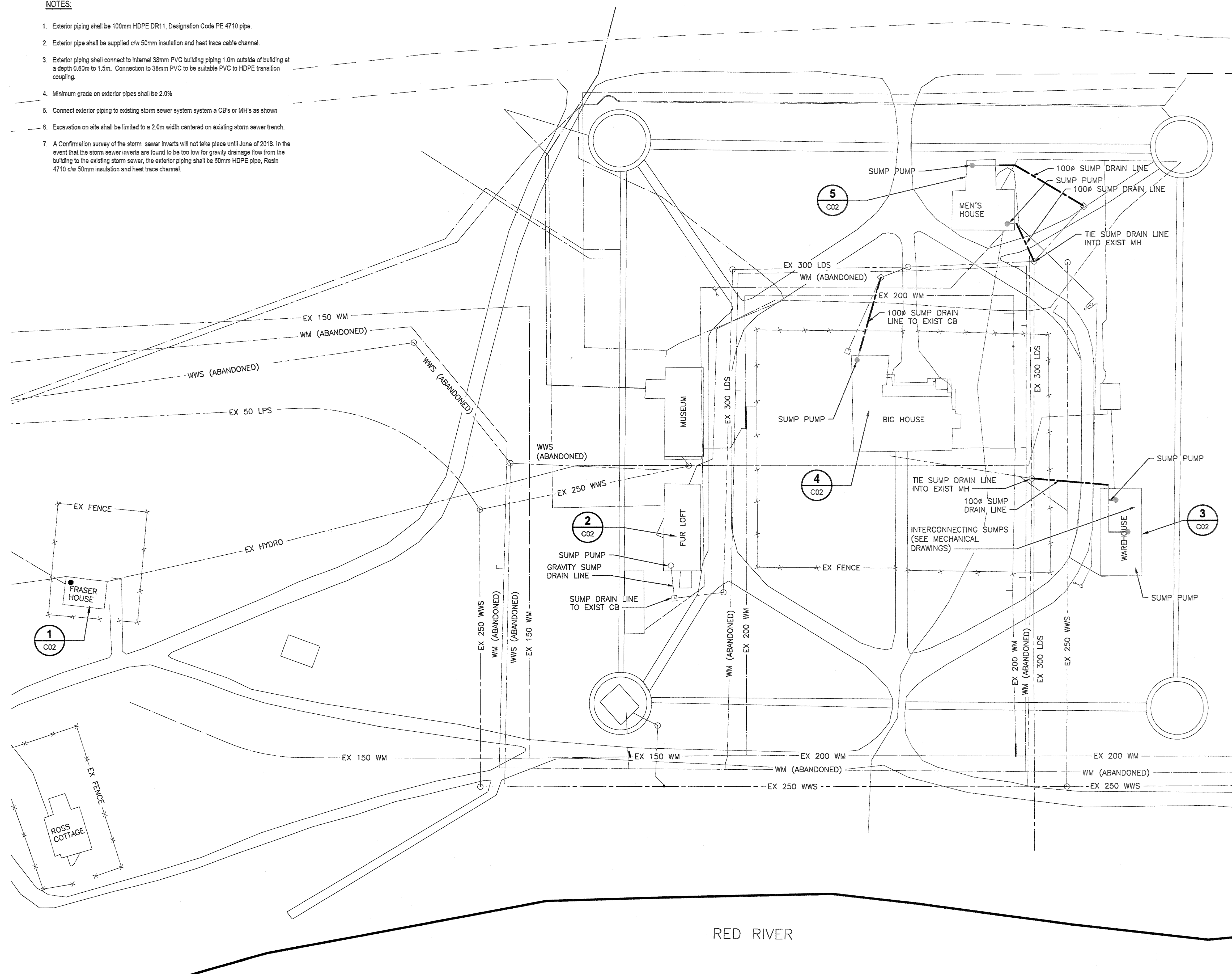


- BUILDING REFERENCES:**
1. BIG HOUSE
 2. FUR LOFT
 3. VISITOR CENTRE
 4. MUSEUM
 5. MEN'S HOUSE
 6. WAREHOUSE
 7. FARM MANAGER'S HOUSE
 8. ROSS COTTAGE
 9. NORTH EAST BASTION
 10. DOCTOR'S OFFICE
 11. ADMINISTRATION BUILDING (SIMKIN)
 12. LARGE STORAGE BUILDING
 13. PICNIC SHELTER

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| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
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| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | KGS GROUP CONSULTING ENGINEERS | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| ARCHITECTURAL SITE PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
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| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
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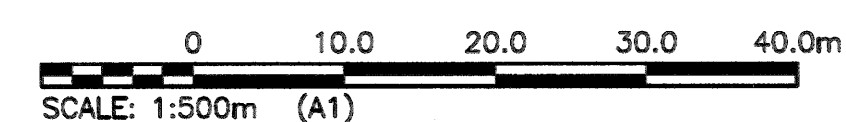



1. Exterior piping shall be 100mm HDPE DR11, Designation Code PE 4710 pipe.
2. Exterior pipe shall be supplied c/w 50mm insulation and heat trace cable channel.
3. Exterior piping shall connect to internal 38mm PVC building piping 1.0m outside of building at a depth 0.60m to 1.5m. Connection to 38mm PVC to be suitable PVC to HDPE transition coupling.
4. Minimum grade on exterior pipes shall be 2.0%
5. Connect exterior piping to existing storm sewer system system a CB's or MH's as shown
6. Excavation on site shall be limited to a 2.0m width centered on existing storm sewer trench.
7. A Confirmation survey of the storm sewer inverts will not take place until June of 2018. In the event that the storm sewer inverts are found to be too low for gravity drainage flow from the building to the existing storm sewer, the exterior piping shall be 50mm HDPE pipe, Resin 4710 c/w 50mm insulation and heat trace channel.



RED RIVER

METRIC
WHOLE NUMBERS INDICATE MILLIMETRES
DECIMALIZED NUMBERS INDICATE METRES

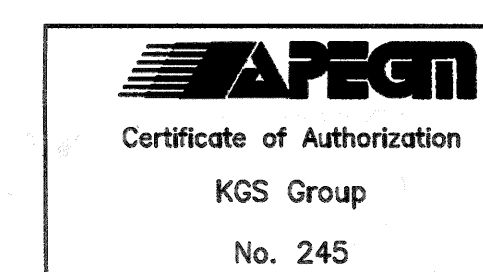


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Revision / Revision

| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Eng. Stamp
Sceau de l'ingénieur



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| Consultant's Name Nom de l'expert-conseil | |
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ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-8 | architecture49.com



Parks Canada

**Strategic Asset
Management,
Western and North
Region**



Parcs Canada

Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
189-00014-00

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| Sub Consultant Project No. | 18-0051-001 |
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Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

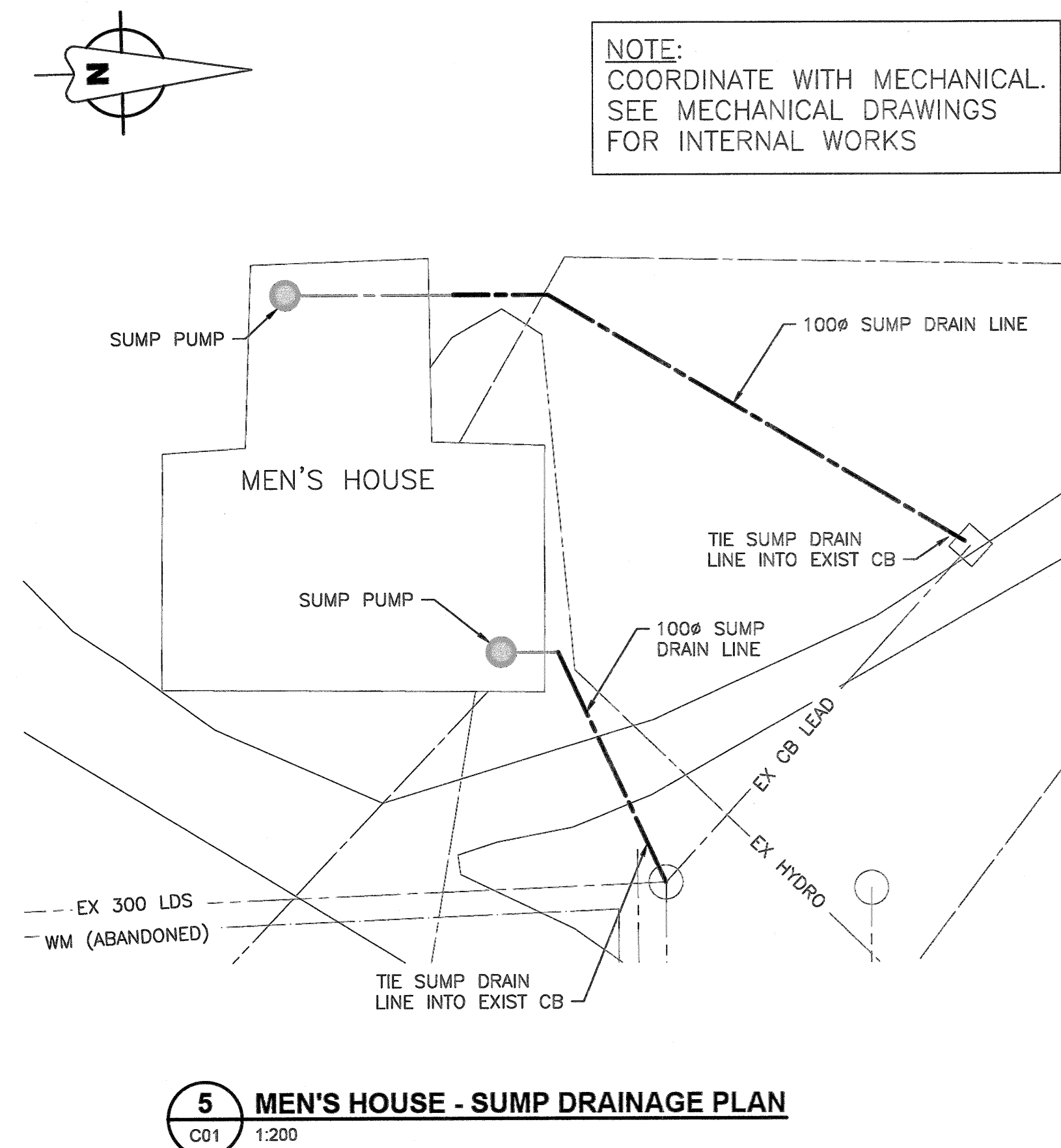
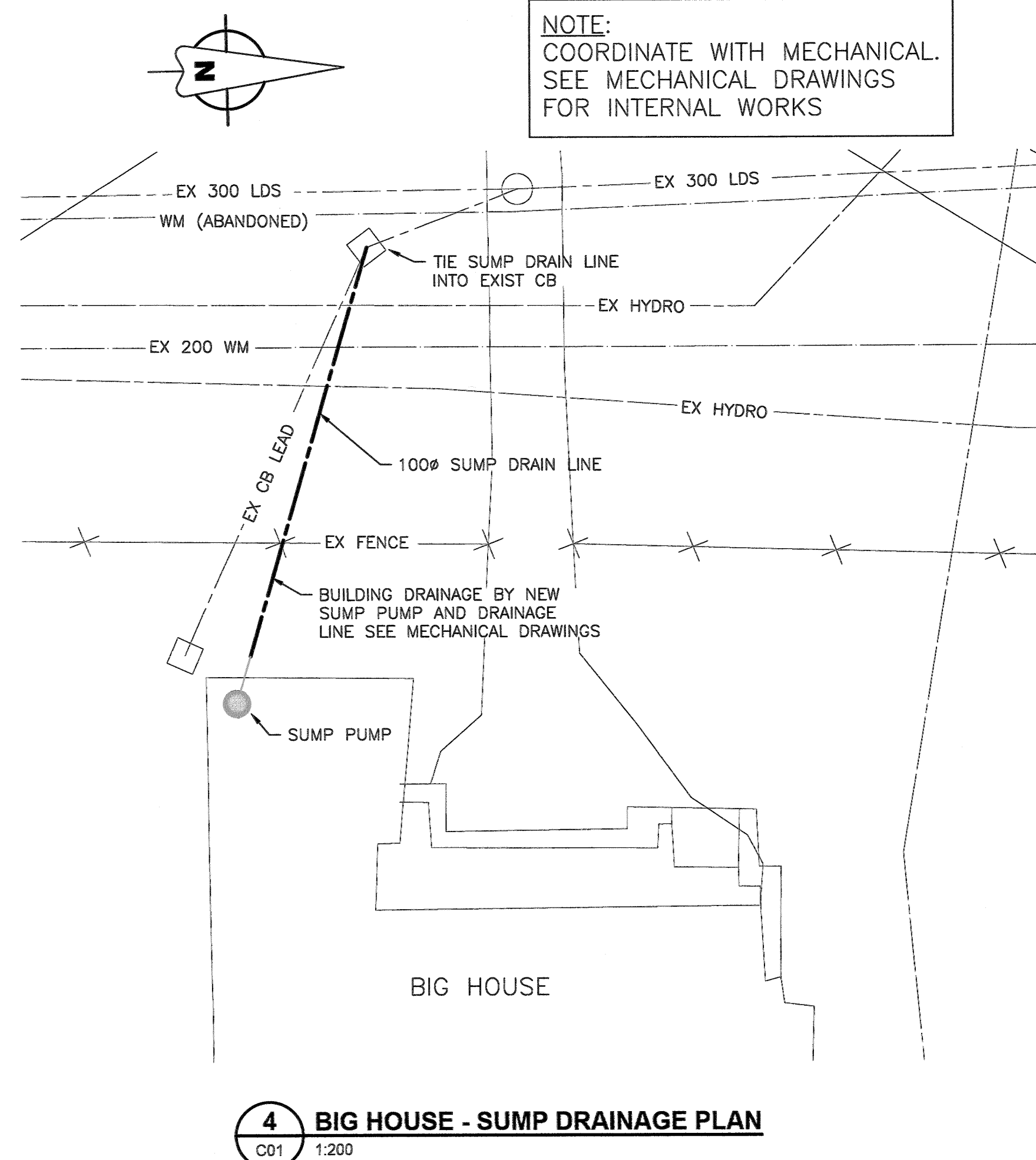
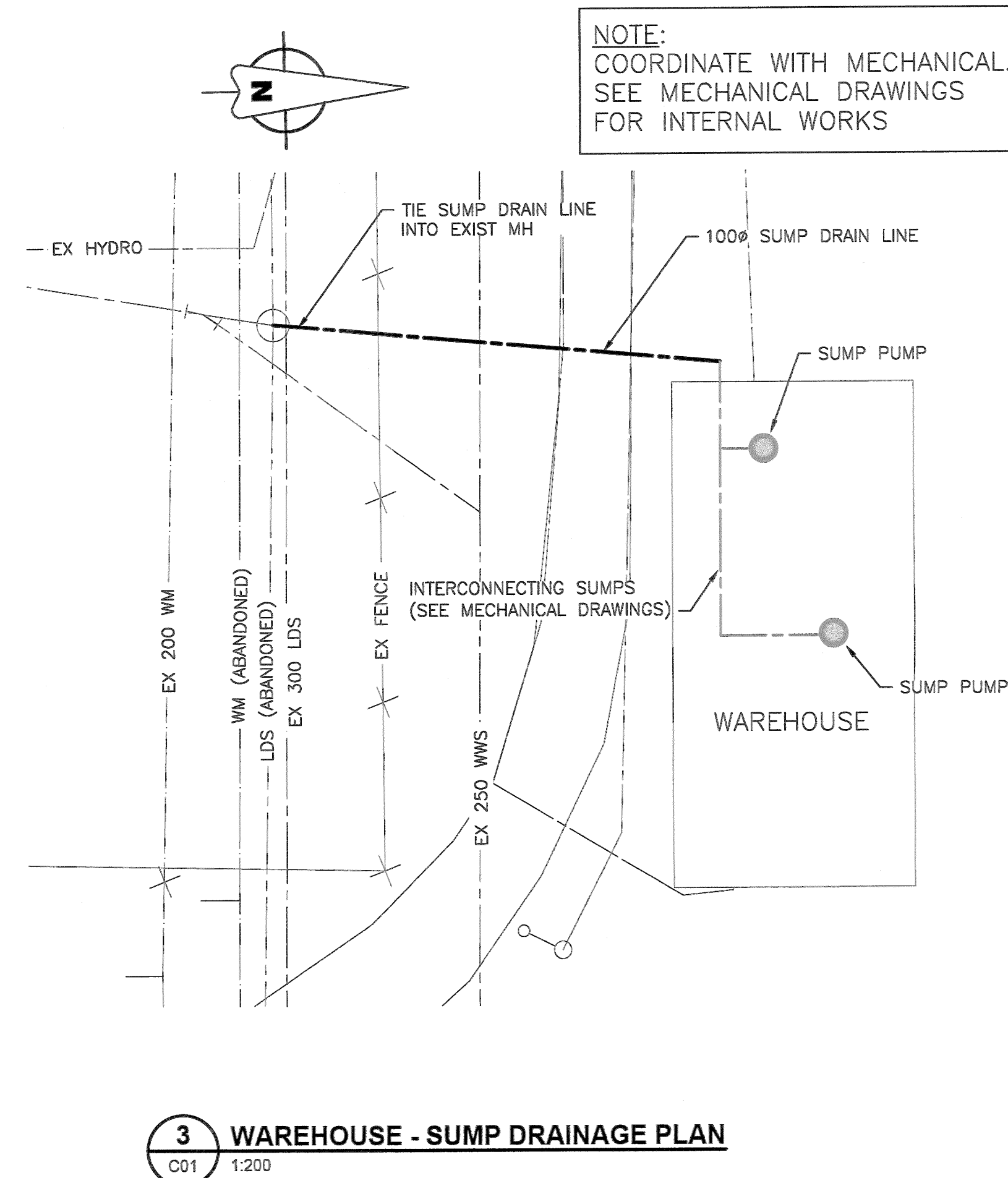
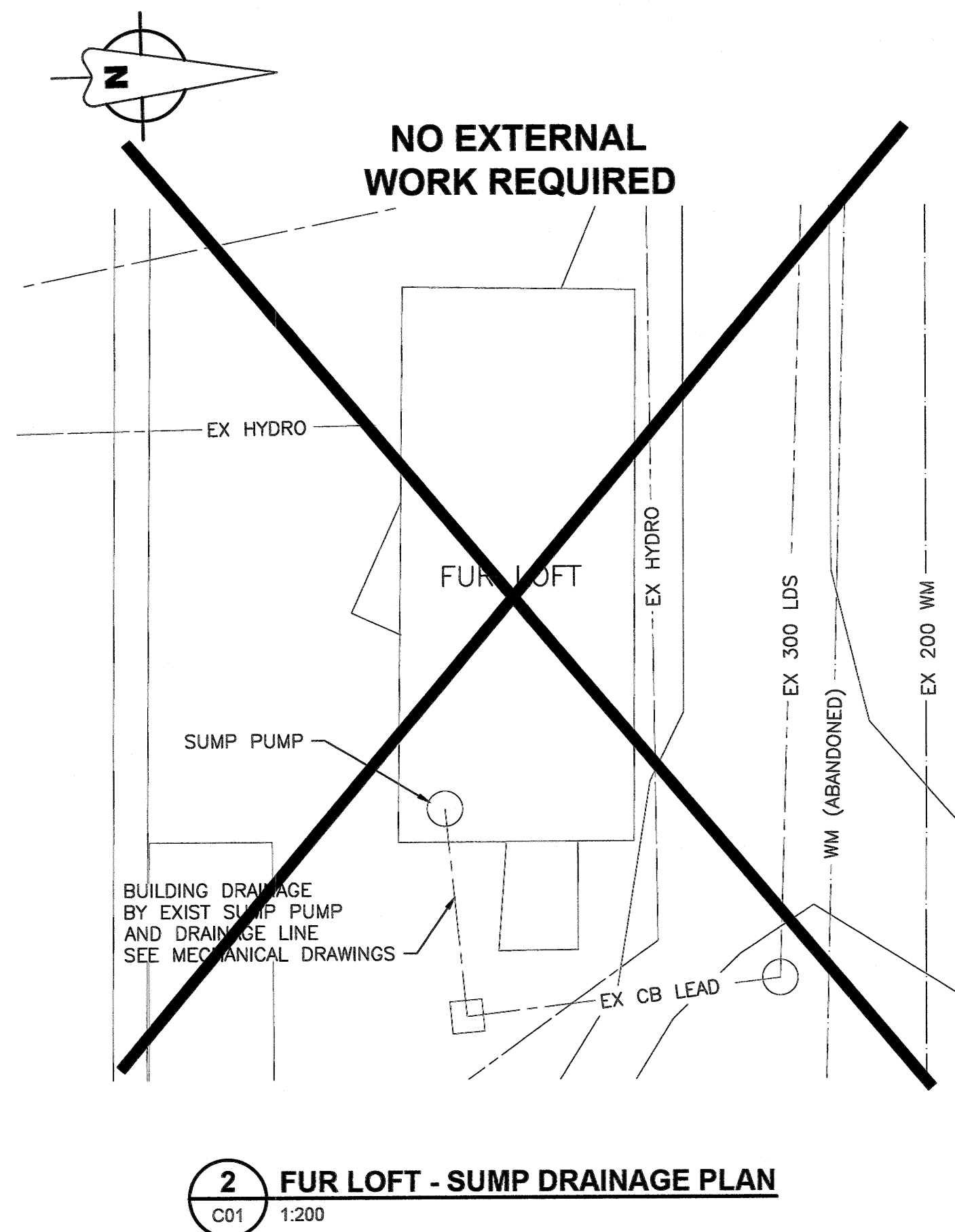
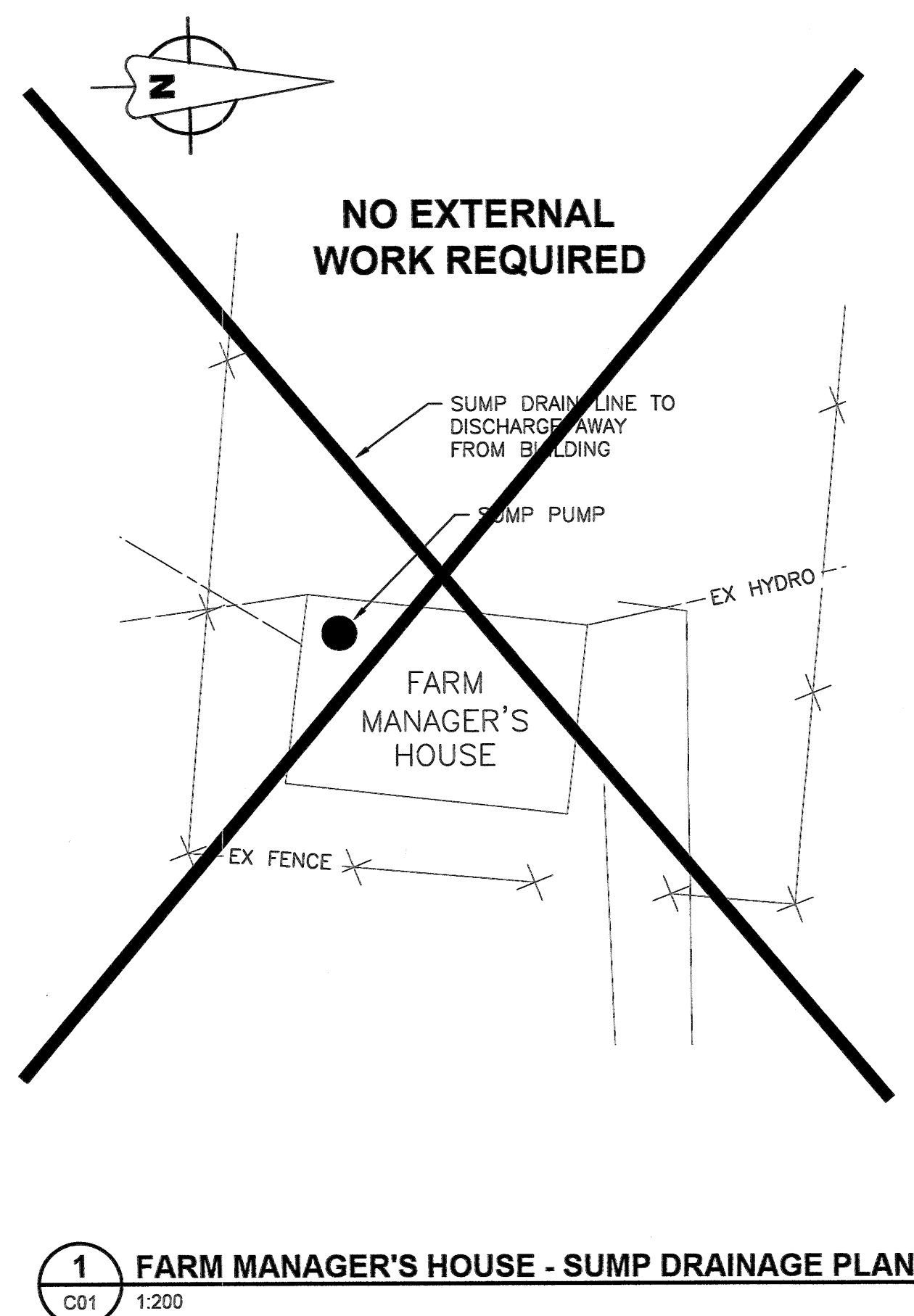
MUNICIPAL
SITE PLAN

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | DMW | 2018/02/21 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
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| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
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| Project No./N° du projet 1603 | Asset No./N° du bien | Sheet No./ N° de la feuille |
| Drawing Set No./N° de série du dessin 18-0051-001 | | C-001 |

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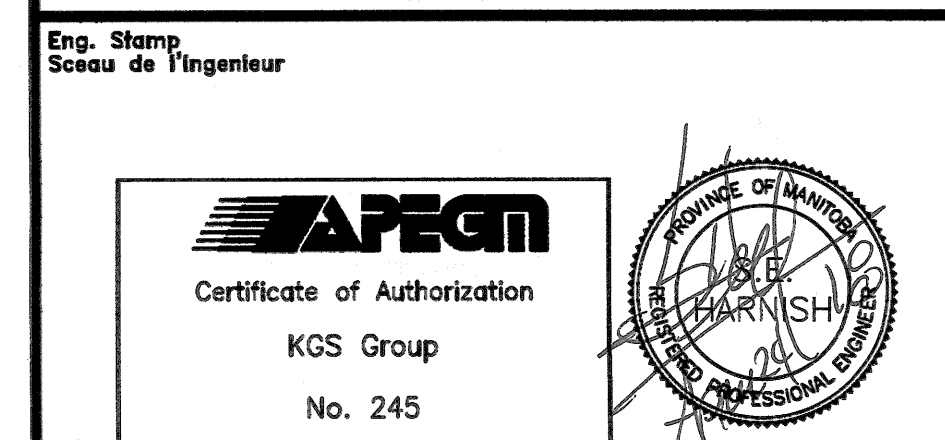


METRIC
WHOLE NUMBERS INDICATE MILLIMETRES
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| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-8 | architecture49.com

Canada
Strategic Asset
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des Biens,
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du Nord

Canada

Architecture49 Project No. 189-00014-00 Sub Consultant Project No. 18-0051-001

Sub Consultant

KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**MUNICIPAL
DETAILS**

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| Surveyed by/Arpenté par DMW | Drawn by/Dessiné par DMW | Date 2018/02/21 |
| Designed by/Concept par SH | Reviewed by/Revisé par SH | Scale/Echelle AS NOTED |
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Project No./N° du projet 1803 Asset No./N° du bien
Drawing Set No./N° de série du dessin 18-0051-001-C02

C-002

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GENERAL NOTES:

- SITE VERIFY ALL DIMENSIONS, ELEVATIONS, DETAILS, QUANTITIES AND CONDITIONS PRIOR TO START OF ANY DEMOLITION, CONSTRUCTION OR PREFABRICATION OF ANY STRUCTURAL COMPONENT.
- EXISTING STRUCTURAL SUPPORTS WHICH INTERFERE WITH NEW WORK SHALL BE RELOCATED UPON APPROVAL BY OWNER AND DESIGN ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT ALL BURIED SERVICES ARE LOCATED AND MARKED PRIOR TO EXCAVATION.
- SHIP, STORE, HANDLE, ERECT, INSTALL, ETC. ALL BUILDING MATERIALS, COMPONENTS, FIXTURES, EQUIPMENT, ETC. AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL DEMOLITION, FABRICATION, CONSTRUCTION, ETC. SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL PERTINENT BUILDING CODES, AND LOCAL BYLAWS AND ORDINANCES.
- EACH TRADE SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE PROTECTION FOR THE EXISTING FACILITY/PROPERTY TO PREVENT PHYSICAL DAMAGE AND LOSS OF VALUE OR USE OF ANY KIND, AS A RESULT OF DEMOLITION, CONSTRUCTION AND RELATED ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE OWNER AND THE DESIGN ENGINEER OF ANY PREVIOUSLY UNNOTICED PRE-EXISTING FLAW OR CONDITION THAT MIGHT INCREASE THE SCOPE OF WORK OR COMPROMISE NEW CONSTRUCTION, PRIOR TO THE START OF DEMOLITION AND CONSTRUCTION, OR AS SOON AS IT IS DISCOVERED.
- DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE PROJECT TECHNICAL SPECIFICATIONS.

DEMOLITION:

- ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL PERTINENT BUILDING CODES, THE MANITOBA DEPARTMENT OF LABOUR, AND ANY OTHER PROVINCIAL AND LOCAL BY-LAWS, REGULATIONS AND ORDINANCES.
- DEMOLITION SHALL INCLUDE THE SAFE REMOVAL, HAULING AND DUMPING OF ALL DEBRIS, ETC. TO AN APPROVED SITE. ALL COSTS ASSOCIATED WITH THIS OPERATION, INCLUDING TRANSPORT, LICENSES AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE THE MOVING AND STORAGE OF SALVAGED ITEMS, MATERIALS, EQUIPMENT, ETC. WITH THE OWNER.

EXCAVATION & BACKFILL:

- GRANULAR BASE TO BE PLACED ON GRADE SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY IN MAXIMUM 150mm LIFTS.
- DO NOT COMPACT FROZEN BACKFILL OR PLACE ON FROZEN SUBGRADE.
- SUB-GRADE, SUB-BASE AND BASE COURSE MATERIALS AND CONSTRUCTION METHODS SHALL BE AS PER CITY OF WINNIPEG SPECIFICATION CW3110, SPECIFICATION UNLESS NOTED.
- ANY EXCAVATED SOIL SHALL BE STOCKPILED AND NOT REMOVED FROM SITE WITHOUT AUTHORIZATION AND APPROVAL OF PARKS CANADA.

REINFORCING STEEL:

- REINFORCING STEEL TO BE NEW DEFORMED BILLET STEEL BARS CONFORMING TO CSA G30.18-09 (R2014). GRADE TO BE 400 MPa.
- REINFORCING STEEL SHALL BE CLEAN, FREE OF RUST, DIRT, LOOSE SCALE, OIL, GREASE OR ANY OTHER MATERIAL WHICH WOULD REDUCE BOND WITH THE CONCRETE.
- SUBMIT SHOP DRAWINGS WHICH CLEARLY INDICATE BAR SIZES, SPACINGS, LOCATIONS & QUANTITIES OF REINFORCING STEEL, BENDING & CUTTING SCHEDULES, SUPPORTING & SPACING DEVICES, ETC. FOR REVIEW PRIOR TO FABRICATION. DETAIL, FABRICATE AND PLACE REINFORCING IN ACCORDANCE WITH CSA A23.1-09 (R2014), CSA A23.3-14 AND ACI SP-66 (2004) UNLESS NOTED. LAP STEEL 36 BAR DIAMETERS (MINIMUM) UNLESS NOTED.
- LAP BEAM AND STRUCTURAL SLAB TOP REINFORCING AT CENTER SPAN, AND BOTTOM STEEL AT SUPPORTS.
- BEND ALL HORIZONTAL REINFORCING 305mm AROUND CORNERS OR PROVIDE ADDITIONAL 610mm X 610mm ANGLE BARS.
- PROVIDE AT EACH FACE, 2-15M EXTRA BARS ALONG ALL SIDES, AND 2-15M DIAGONAL BARS AT ALL CORNERS OF OPENINGS UNLESS NOTED. PROJECT ALL BARS 610mm PAST CORNERS.
- TIE, SUPPORT AND SPACE ALL REINFORCING STEEL WITH PROPER APPROVED DEVICES DESIGNED FOR USE IN REINFORCED CONCRETE, TO PREVENT DISPLACEMENT OF REINFORCING AND ENSURE SPECIFIED CONCRETE COVER.
- PROVIDE MINIMUM CONCRETE COVER FOR REINFORCING STEEL AS FOLLOWS:

| | |
|------------------------------|------|
| SLAB-ON-GRADE (TOP) | 50mm |
| FOOTINGS & PILES (ALL SIDES) | 75mm |

CONCRETE:

- CONCRETE MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CSA A23.1-09 (R2014). SEE BELOW FOR MIX REQUIREMENTS.
- ADMIXTURES SHALL NOT BE USED UNLESS SPECIFIED HEREIN OR APPROVED BY THE DESIGN ENGINEER. CALCIUM CHLORIDE SHALL NOT BE USED.
- MIX WATER SHALL BE POTABLE.
- DESIGN, FABRICATE AND ERECT FORM/WORK/SHORING IN ACCORDANCE WITH CAN/CSA-S269.3-M92 (R2013). ALLOW SUFFICIENT CONCRETE CURING TIME PRIOR TO REMOVAL.
- CONCRETE FINISHING SHALL MEET THE REQUIREMENTS OF CSA A23.1-09 (R2014).
- FORM RELEASE AGENT SHALL BE BIODEGRADABLE, NON-STAINING AND NON-VOLATILE.
- PROVIDE ADEQUATE COLD/HOT WEATHER PROTECTION AS REQUIRED DURING CURING PERIOD.
- PLACE AND SECURE ALL EMBEDDED ANCHORS, WELD PLATES, SLEEVES, BUCKS, DOWELS, INSERTS, WATERSTOPS, ETC., PRIOR TO PLACING CONCRETE. CO-ORDINATE WITH ALL TRADES FOR EMBEDDING OF ALL OTHER, CONDUIT, SERVICES, BLOCKING, ETC.
- LOCATE AND FABRICATE ALL CONSTRUCTION JOINTS, CONTROL JOINTS AND EXPANSION JOINTS AS DETAILED ON THE DRAWINGS. JOINTS NOT SHOWN SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE.
- ADHESIVE ANCHORS SHALL BE HILTI HIT-HY200 W/ HAS RODS (GALV.) OR APPROVED EQUAL, UNLESS NOTED. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- GROUT REINFORCING DOWELS WITH EPOXY GROUT HILTI HIT-HY200, OR APPROVED EQUAL. GROUT BASE PLATES WITH NON-SHRINK GROUT SIKA M-BED STANDARD, OR APPROVED EQUAL. PLACE AND CURE ALL GROUT WITHIN TEMPERATURE RANGE RECOMMENDED BY MANUFACTURER.
- BONDING AGENTS SHALL BE USED TO ADHERE NEW CONCRETE TO EXISTING CONCRETE OR STEEL. ACCEPTABLE PRODUCT: SIKA LATEX R (ACRYLIC, MIX INTO GROUT) OR APPROVED EQUAL.
- THE CONCRETE SUPPLIER SHALL BE CERTIFIED TO MEET THE REQUIREMENTS OF CSA A23.1-09 (R2014).
- THE CONCRETE SUPPLIER SHALL SUBMIT CONCRETE MIX DATA SUBMISSION FORMS FOR EACH TYPE OF CONCRETE SPECIFIED FOR REVIEW PRIOR TO BATCHING ANY CONCRETE.

CONCRETE MIX DESIGNS:

CONCRETE MIX DESIGN SHALL BE PROPORTIONED TO MEET THE FOLLOWING PERFORMANCE REQUIREMENTS:

INTERIOR CONCRETE, ALL SLABS, WALLS, BEAMS & COLUMNS:

| | |
|----------------------------|--------|
| EXPOSURE CLASS | N-CF |
| MIN. 28 DAY COMP. STRENGTH | 30 MPa |

FOUNDATION CONCRETE (UNDERPINNING) & PILES:

| | |
|----------------------------|--------|
| EXPOSURE CLASS | S-2 |
| MIN. 56 DAY COMP. STRENGTH | 32 MPa |
| AIR CONTENT | CAT. 1 |

HISTORIC MASONRY:

- REFER TO PROJECT SPECIFICATIONS.
- AREAS OF REPOINTING AND/OR STONE REPLACEMENTS SHALL BE VERIFIED AND APPROVED BY THE DEPARTMENTAL REPRESENTATIVE PRIOR TO COMMENCING WORK.

STRUCTURAL AND MISCELLANEOUS STEEL:

- STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH CAN/CSA S16 (2014).
- STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF CAN/CSA G40.20/G40.21 (2013).

| | |
|------------------------|-----------------|
| ROLLED W-SHAPES | CSA G40.21-350W |
| ROLLED SHAPES & PLATES | CSA G40.21-300W |
| HSS SECTIONS | CSA G40.21-350W |
| | CLASS C |
| STANDARD PIPE | ASTM A53-12 |
| COLD FORMED STEEL | CSA S136-12 |
| ANCHOR BOLTS (GALV.) | ASTM A307-14 |
| BOLTS, NUTS, & WASHERS | ASTM A325-14 |
| WELDING ELECTRODES | CSA W48-14 |
- WELDING SHALL BE IN ACCORDANCE WITH CSA W59 (2013), BY WELDERS CERTIFIED AND QUALIFIED IN ACCORDANCE WITH CSA W47.1-09 (R2014). ALL WELDS TO BE 6mm UNLESS NOTED OTHERWISE.
- FIELD CONNECTIONS SHALL BE BOLTED 19mm DIAMETER A325 BEARING TYPE UNLESS NOTED OTHERWISE. BOLTS SHALL BE TIGHTENED IN ACCORDANCE WITH CSA S16 (2014).
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE FINISHED AS INDICATED BELOW, UNLESS OTHERWISE NOTED, OR APPROVED EQUAL:

INTERIOR STEEL

- SURFACE PREP. TO SP6 (COMMERCIAL BLAST)
- ONE PRIME COAT INTERZINC 52 ZINC-RICH EPOXY (2.5 MIL DFT.)
- ONE FINISH COAT BAR RUST 235 HIGH BUILD EPOXY (8.0 MIL DFT.)

EXTERIOR STEEL

- SURFACE PREP. TO SP6 (COMMERCIAL BLAST)
- ONE PRIME COAT INTERZINC 52 ZINC-RICH EPOXY (2.5 MIL DFT.)
- ONE COAT BAR RUST 235 HIGH BUILD EPOXY (6.0 MIL DFT.)
- ONE FINISH COAT AMERCOAT 450 HSG POLYURETHANE (4 MIL DFT.)

- COLOUR OF STRUCTURAL AND MISCELLANEOUS STEEL SHALL BE AS FOLLOWS:
 - STRUCTURAL STEEL -SEMI-GLOSS BLACK

- FIELD TOUCH-UP PAINT TO CONNECTIONS, WELDS, BURNED OR DAMAGED SURFACES, AND UNFINISHED SURFACES AT COMPLETION OF ERECTION AND SHALL MATCH THICKNESS AS SPECIFIED.

- PAINTED SURFACES OF EXISTING STEEL SHALL BE GROUND SMOOTH TO BARE METAL PRIOR TO FIELD WELDING.

WOOD FRAMING:

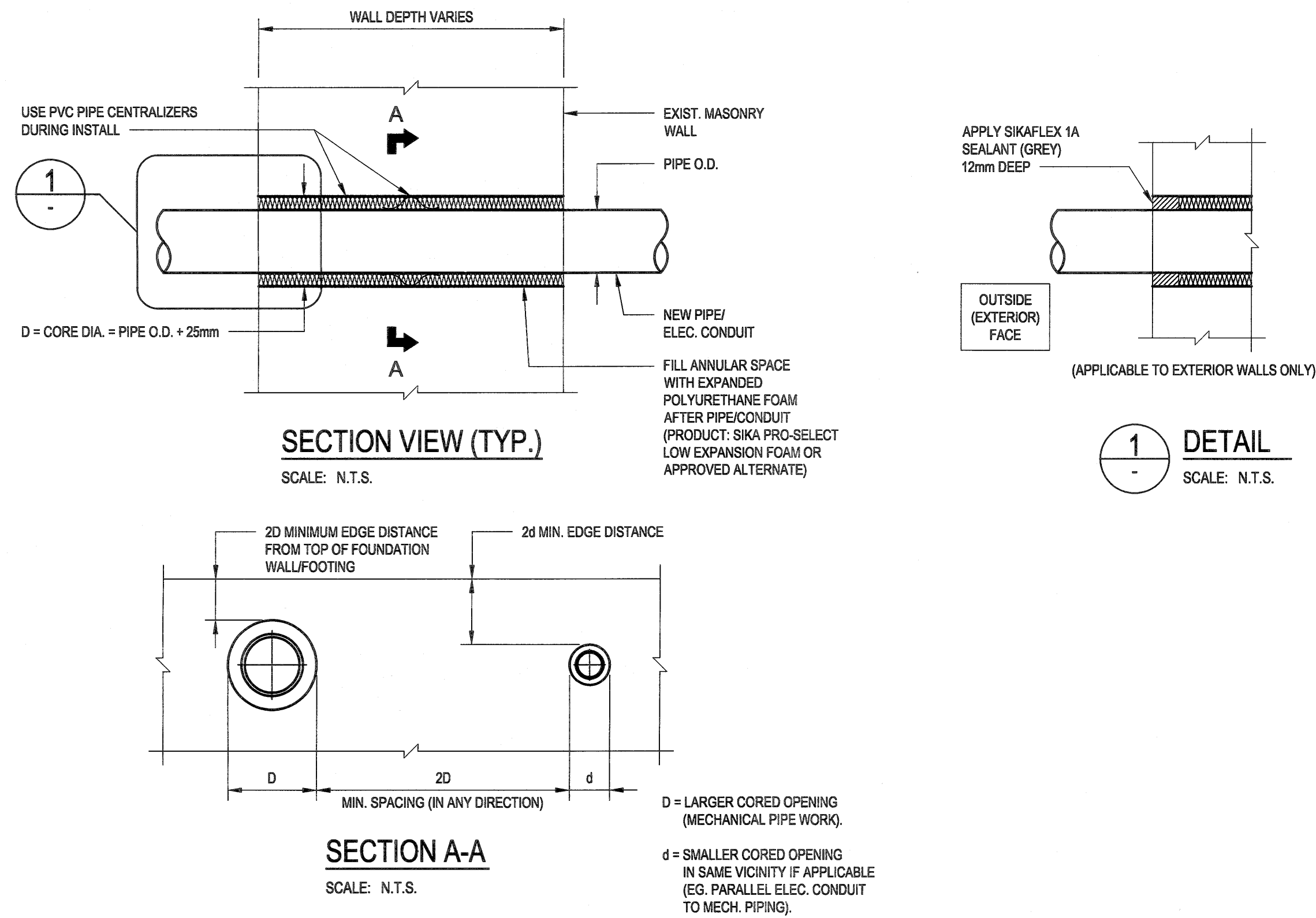
- FRAMING LUMBER SHALL BE GRADED IN ACCORDANCE WITH NATIONAL LUMBER GRADES AUTHORITY "STANDARD GRADING RULES FOR CANADIAN LUMBER-2014".
- MINIMUM GRADE TO BE S-P-F No. 2 UNLESS OTHERWISE NOTED.
- LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.
- CUT LUMBER NEAT AND SQUARE PROVIDING FULL SURFACE CONTACT WITH ADJOINING MEMBERS.
- CARPENTRY CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLY AND ERECTION OF TEMPORARY GUYING AND BRACING TO ENSURE STABILITY OF THE STRUCTURE AS A WHOLE. THESE SHALL REMAIN IN PLACE UNTIL ALL SHEATHING AND PERMANENT BRACING IS INSTALLED.

WOOD PLANK ROOF DECKING:

- WOOD PLANK DECKING MATCH EXISTING.





| | | | | |
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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | JAR | |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Révision | | | | |
| Linear dimensions In millimètres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| <div> Certificate of Authorization KGS Group No. 245</div> <div></div> | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1200 FAX: 204-477-6 architecture49.com | | | | |
| <div> Strategic Asset Management, Western and Northern Region</div> <div> Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div> | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| STRUCTURAL NOTES | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | FBV | | 2018/03/21 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| KRD | | | | AS NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| | | | | |
| Date | | | Date | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| 1603 | | | | SG-000 |
| Drawing Set No./N° de série du dessin | | | | |
| 18-0051-001 | | | | |

Filename: P:\Projects\2018\18-0051-001\Drawg\Struct\18-0051-001_SG-001 - Tab:SG-000 Plotted By: Dderoché 18/04/25 [Wed 2:15pm]



NOTES:

- CORING TO BE BY LOW VIBRATION, WET DIAMOND CORE DRILLING METHODS ONLY.
- CORING IS TO BE COMPLETED BY A CONTRACTOR WITH A MINIMUM 5 YEARS EXPERIENCE IN DRILLING THROUGH HISTORIC LIMESTONE MASONRY WALLS.
- CORING CONTRACTOR TO SUBMIT A CORING PLAN TO THE CONSULTANT FOR APPROVAL PRIOR TO PERFORMING ANY DRILLING ON SITE. THIS PLAN IS TO INCLUDE THE FOLLOWING:
 - TYPE OF EQUIPMENT BEING USED & METHODOLOGY.
 - DIAMETER AND PROPOSED LOCATION OF CORED HOLES.
 - PROPOSED ACCESS REQUIREMENTS AND/OR TEMPORARY STRUCTURES/EQUIPMENT TO FACILITATE THE REQUIRED ACCESS.
 - PROPOSED DATE OF CORING TO COORDINATE INSPECTIONS.

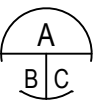
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Révision | | | | |
| Linear dimensions in millimètres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
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| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB (CANADA) R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| <div> Parks Canada Strategic Asset Management, Western and Northern Region</div> <div>Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div> | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
|  | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| STRUCTURAL TYPICAL CORING DETAIL | | | | |
| Surveyed by/Arpenté par FBV | Drawn by/Dessiné par FBV | Date 2018/03/21 | | |
| Designed by/Concept par KRD | Reviewed by/Revisé par | Scale/Echelle AS NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet 1603 | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| Drawing Set No./N° de série du dessin 18-0051-001 | | SG-001 | | |

GENERAL NOTES:

1. DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE INDICATED
2. DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
3. EXISTING CONDITIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION

REFERENCE SYMBOL LEGEND

DETAIL MARK

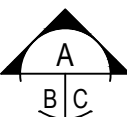


A INDICATES DETAIL NUMBER

B INDICATES SHEET FROM WHICH DETAIL IS TAKEN

C INDICATES SHEET ON WHICH DETAIL IS SHOWN

BUILDING ELEVATION / BUILDING SECTION

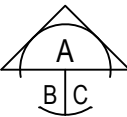


A INDICATES SECTION NUMBER

B INDICATES SHEET FROM WHICH SECTION IS TAKEN

C INDICATES SHEET ON WHICH SECTION IS SHOWN

WALL SECTION / PARTIAL BUILDING SECTION

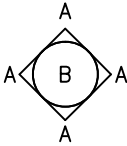


A INDICATES SECTION NUMBER

B INDICATES SHEET FROM WHICH SECTION IS TAKEN

C INDICATES SHEET ON WHICH SECTION IS SHOWN

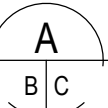
ELEVATION



A INDICATES DIRECTION OF ELEVATION AND NUMBER

B INDICATES SHEET ON WHICH ELEVATION IS SHOWN

DRAWING TITLE




A INDICATES DRAWING NUMBER

B INDICATES SHEET FROM WHICH DRAWING IS TAKEN


C INDICATES SHEET ON WHICH DRAWING IS SHOWN

DOOR NUMBER




DIGITS INDICATE CORRESPONDING DOOR ON BUILDING'S 650 SERIES SHEETS.

WINDOW NUMBER




DIGITS INDICATE CORRESPONDING WINDOW OR DORMER ON BUILDING'S 600 SERIES SHEETS.

KEYNOTE



DIGITS INDICATE GENERAL OR SHEET SPECIFIC KEY NOTES

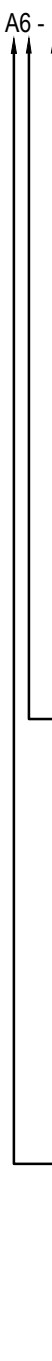
REVISION



DIGITS INDICATE REVISION NUMBER

SHEET DESIGNATOR:

A6 - 120



SEQUENCE IN SERIES

FLOOR LEVEL

- 0 - BASEMENT
- 1 - MAIN FLOOR
- 2 - SECOND FLOOR
- 3 - THIRD FLOOR
- 4 - ROOF

SHEET TYPE DESIGNATOR

- 0 - GENERAL
- 1 - PLANS
- 2 - ELEVATIONS
- 3 - SECTIONS
- 4 - LARGE SCALE VIEWS
- 5 - DETAILS
- 6 - SCHEDULES

BUILDING DESIGNATION

- 1. BIG HOUSE
- 2. FUR LOFT
- 3. VISITOR CENTRE
- 4. MUSEUM
- 5. MEN'S HOUSE
- 6. WAREHOUSE
- 7. FARM MANAGER'S HOUSE
- 8. ROSS COTTAGE
- 9. NORTH EAST BASTION
- 10. DOCTOR'S OFFICE
- 11. ADMINISTRATION BUILDING
- 12. LARGE STORAGE BUILDING

DISCIPLINE DESIGNATOR

- A - ARCHITECTURAL
- E - ELECTRICAL
- G - GENERAL
- M - MECHANICAL
- S - STRUCTURAL
- C - CIVIL


EXAMPLES:

A6-120 ARCHITECTURAL WAREHOUSE - SECOND FLOOR PLAN

A10-200 ARCHITECTURAL DOCTOR'S OFFICE - ELEVATIONS

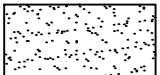
MATERIAL SYMBOL LEGEND:

DIVISION 03 CONCRETE



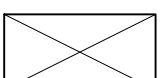
CAST IN PLACE CONCRETE (CIP)

DIVISION 04 MASONRY

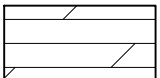


GROUT


DIVISION 06 WOOD, PLASTIC & COMPOSITES



WOOD BLOCKING/FRAMING




WOOD ROOF DECK




WOOD

DIVISION 07 THERMAL & MOISTURE PROTECTION




BATT INSULATION




RIGID INSULATION


DIVISION 31 EARTHWORK



CRUSHED ROCK/GRAVEL



EARTH




SAND


GRID NORTH
UNIVERSAL TRANSVERSE MERCATOR
NAD83 ZONE 11

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|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | KB | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | KB | GL |
| 0 | 2018-03-20 | ISSUED FOR 70% SUBMISSION | KB | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur






Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com




Parks Canada

Strategic Asset
Management,
Western and Northern
Region

Parcs Canada

Gestion Stratégique
des Biens,
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du Nord



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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil



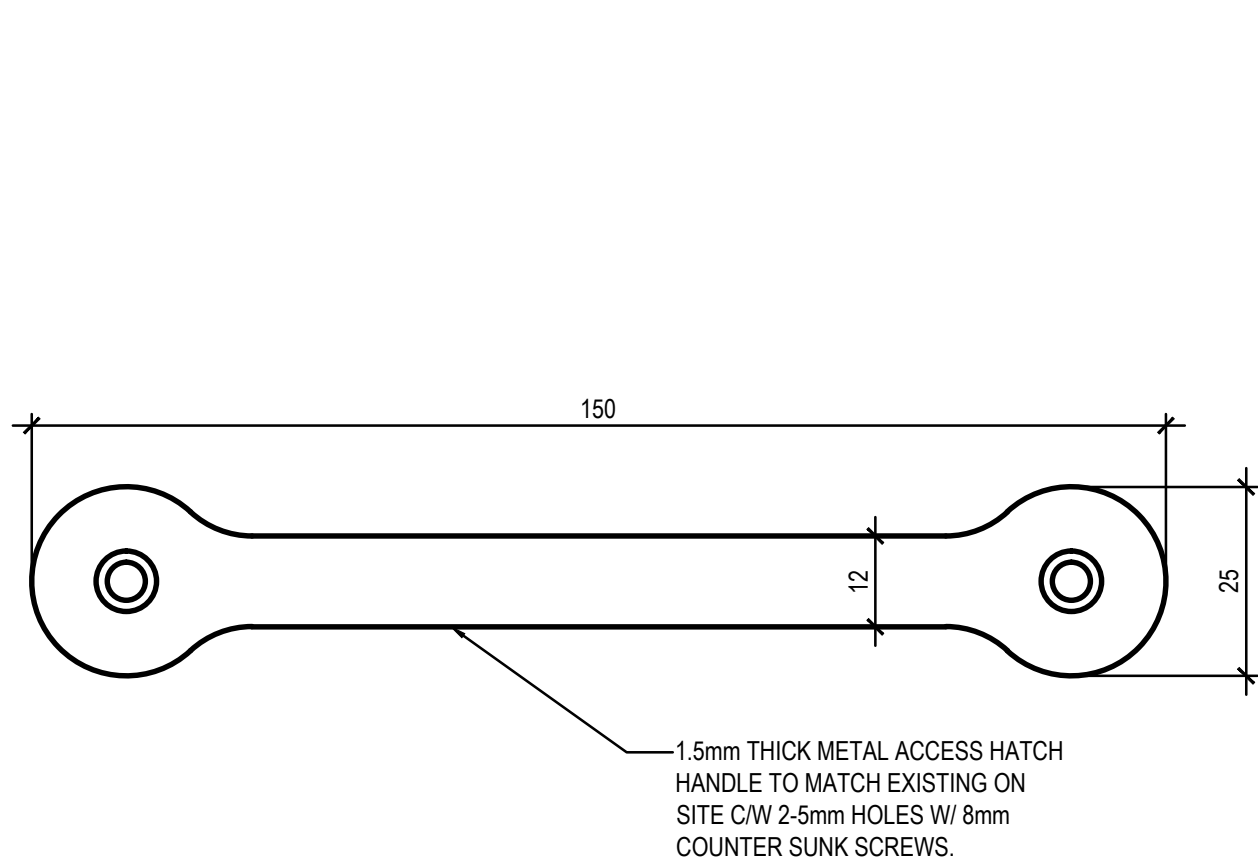
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

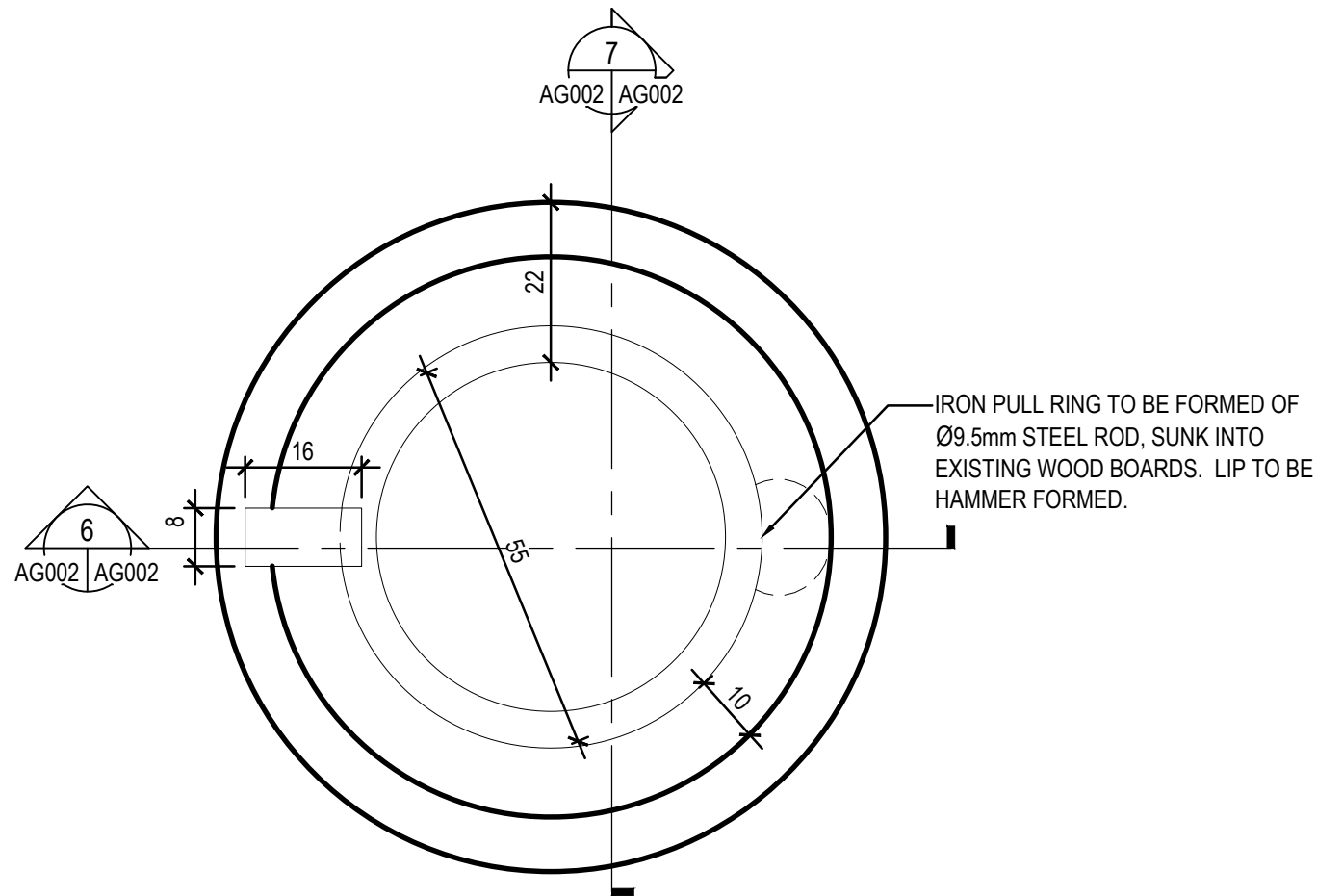
Drawing title/Titre du dessin

ARCHITECTURAL GENERAL
NOTES AND LEGENDS

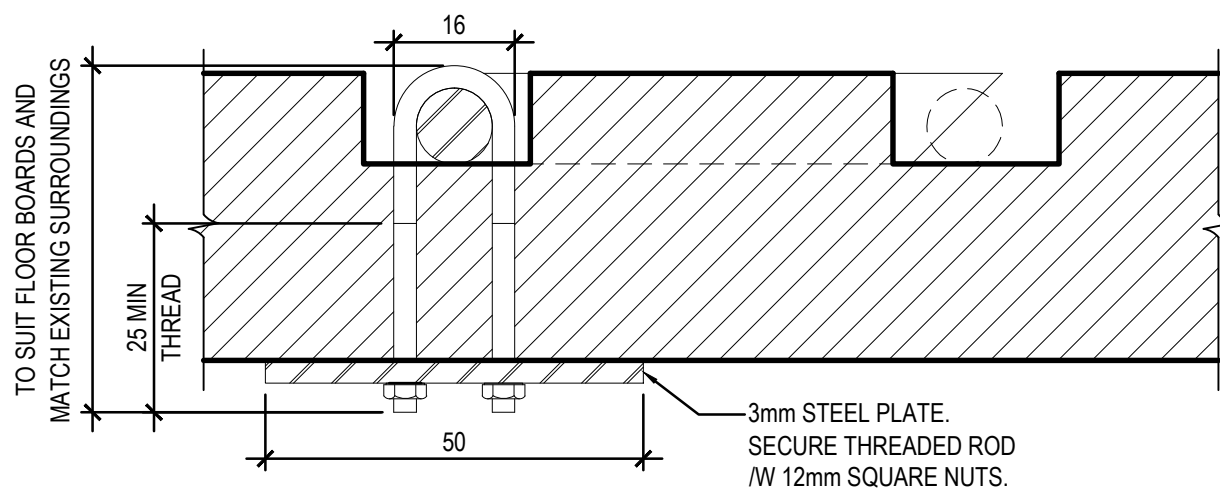
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| Drawing Set No./Nº de série du dessin | | AG-001 |



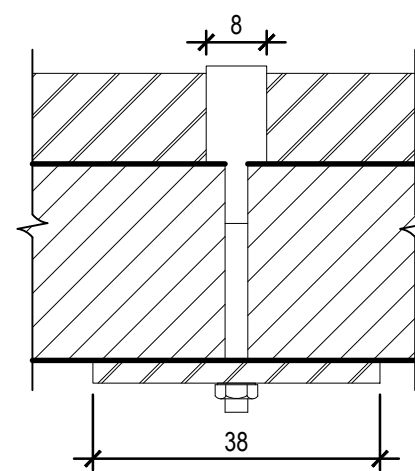
9
AG002 1:1
ACCESS HATCH
HANDLE- WAREHOUSE



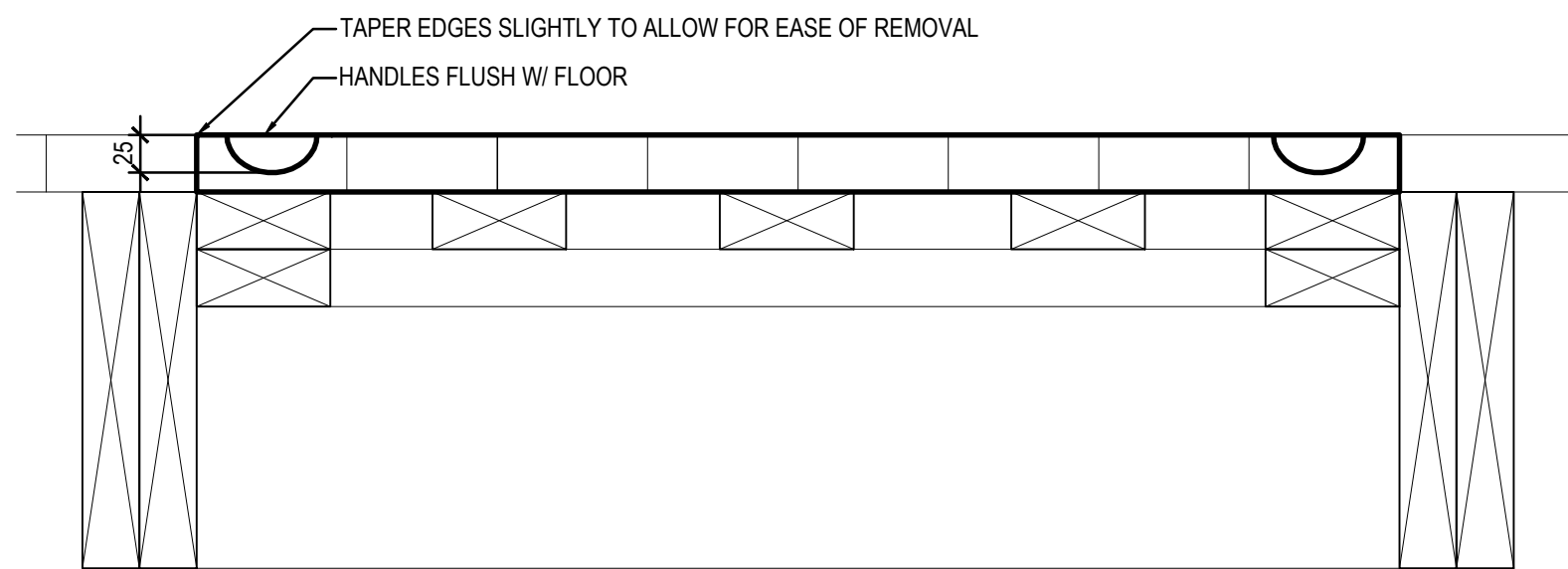
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ACCESS HATCH
PULL RING



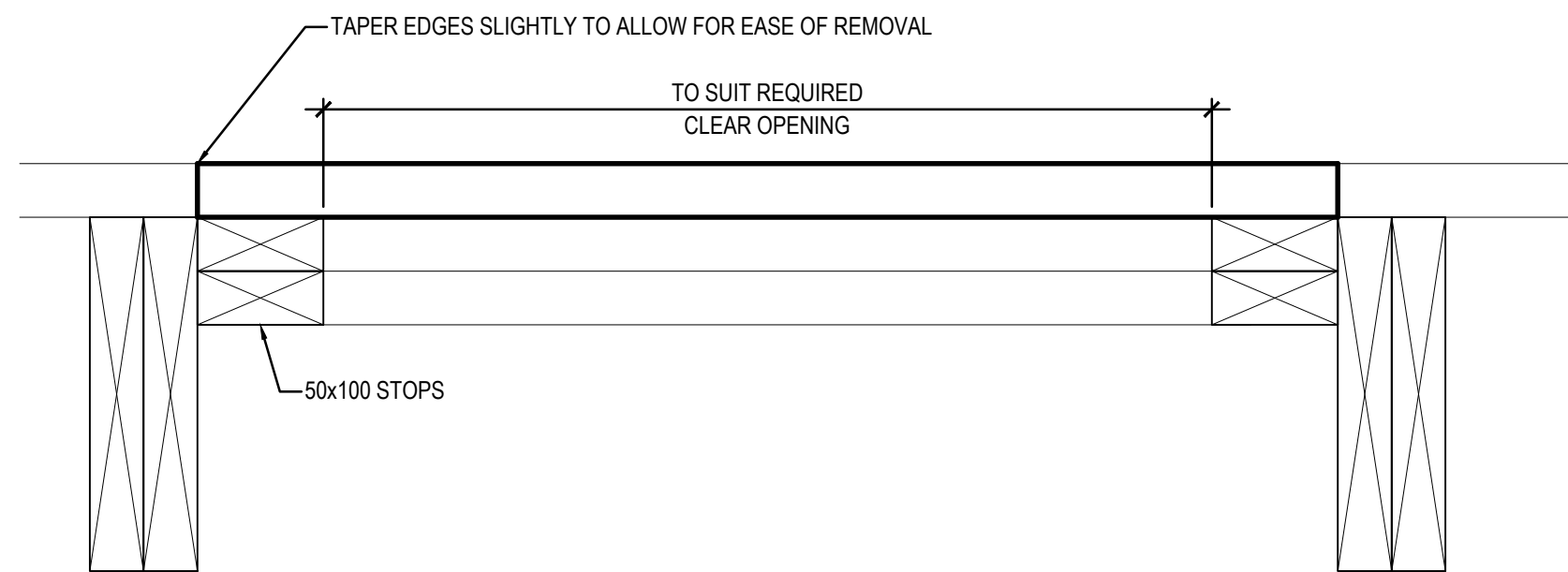
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AG002 1:1
ACCESS HATCH
PULL RING - SECTION



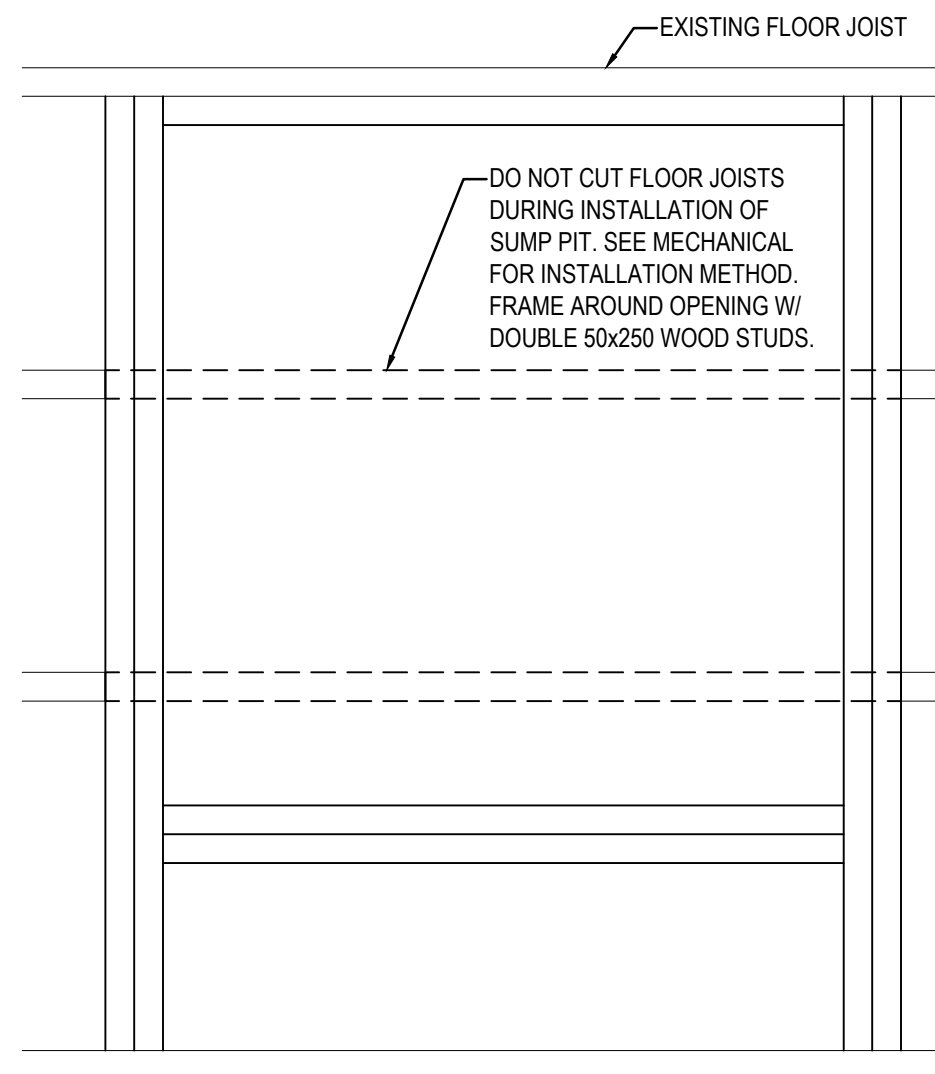
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ACCESS HATCH
PULL RING - SECTION



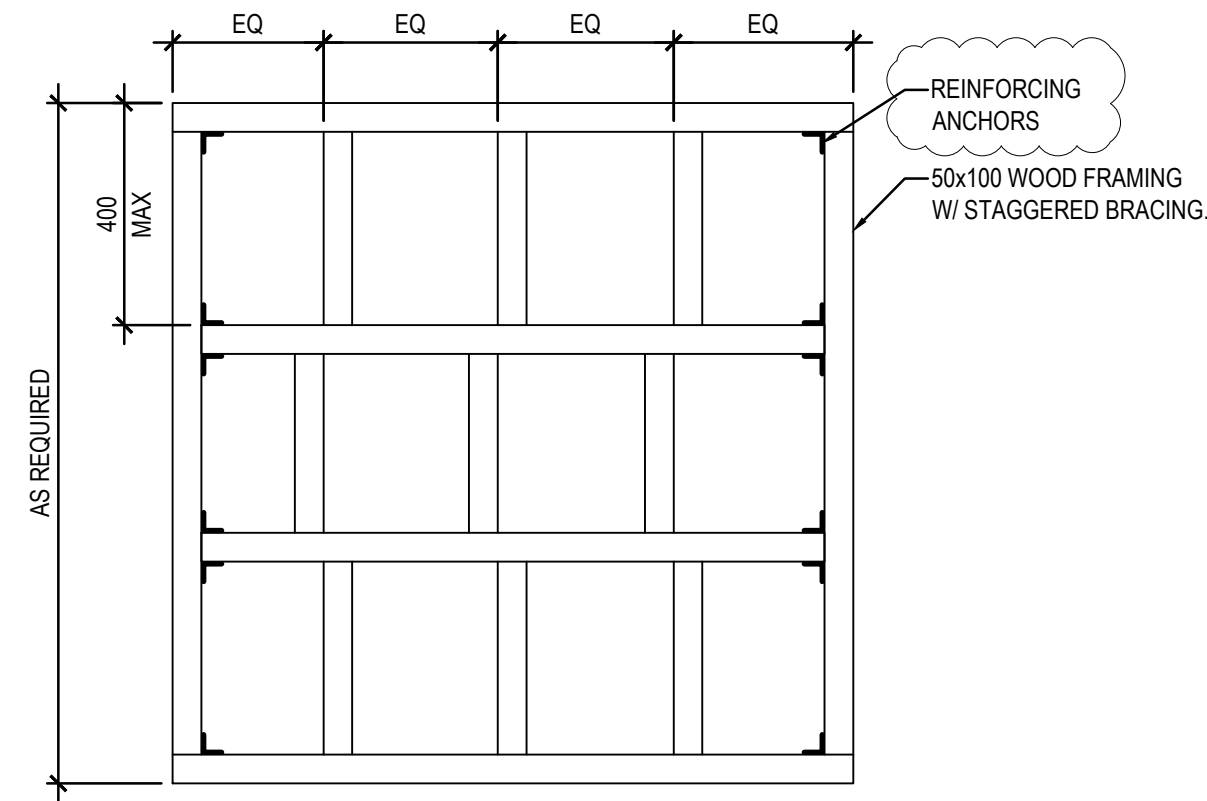
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AG002 NTS
ACCESS HATCH
FRAMING - SECTION



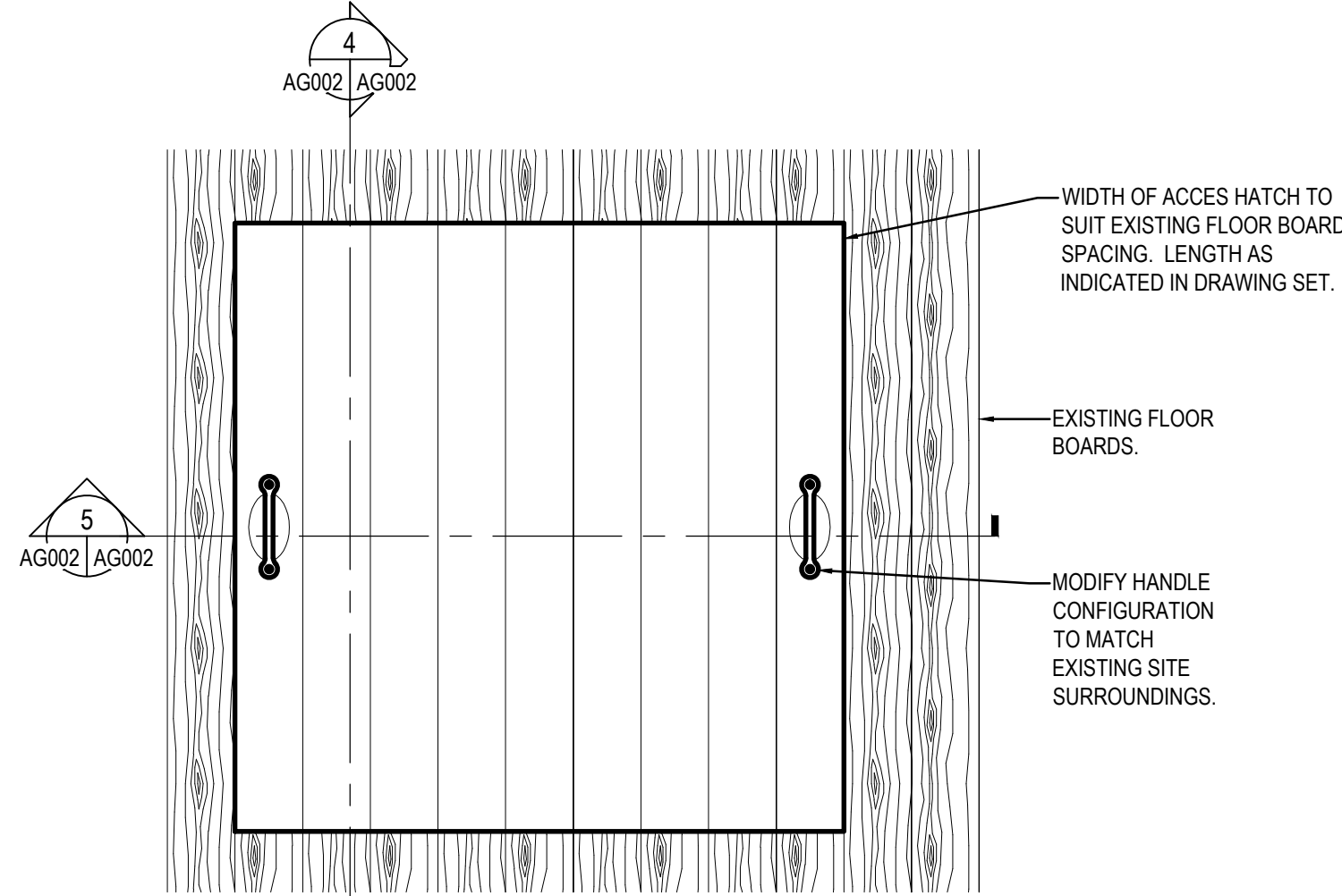
4
AG002 NTS
ACCESS HATCH
FRAMING - SECTION



3
AG002 NTS
HATCH OPENING
FRAMING - PLAN



2
AG002 NTS
ACCESS HATCH
FRAMING - PLAN



1
AG002 NTS
TYPICAL FLOOR
ACCESS HATCH

| | | | | |
|-----|------------|---------------------------|-------------------------|----------------------|
| 2 | 2018-04-27 | ISSUED FOR CONSTRUCTION | KB | GL |
| 1 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | KB | GL |
| 0 | 2018-03-20 | ISSUED FOR 70% SUBMISSION | KB | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur

PROVINCE OF MANITOBA
GLEE
McCORMICK
REGISTERED ARCHITECT
April 27, 18

PROVINCE OF MANITOBA
ARCHITECTURE49
INC.
No. 176
APPROVED ARCHITECTURAL CORPORATION

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

KGS
GROUP
CONSULTING
ENGINEERS

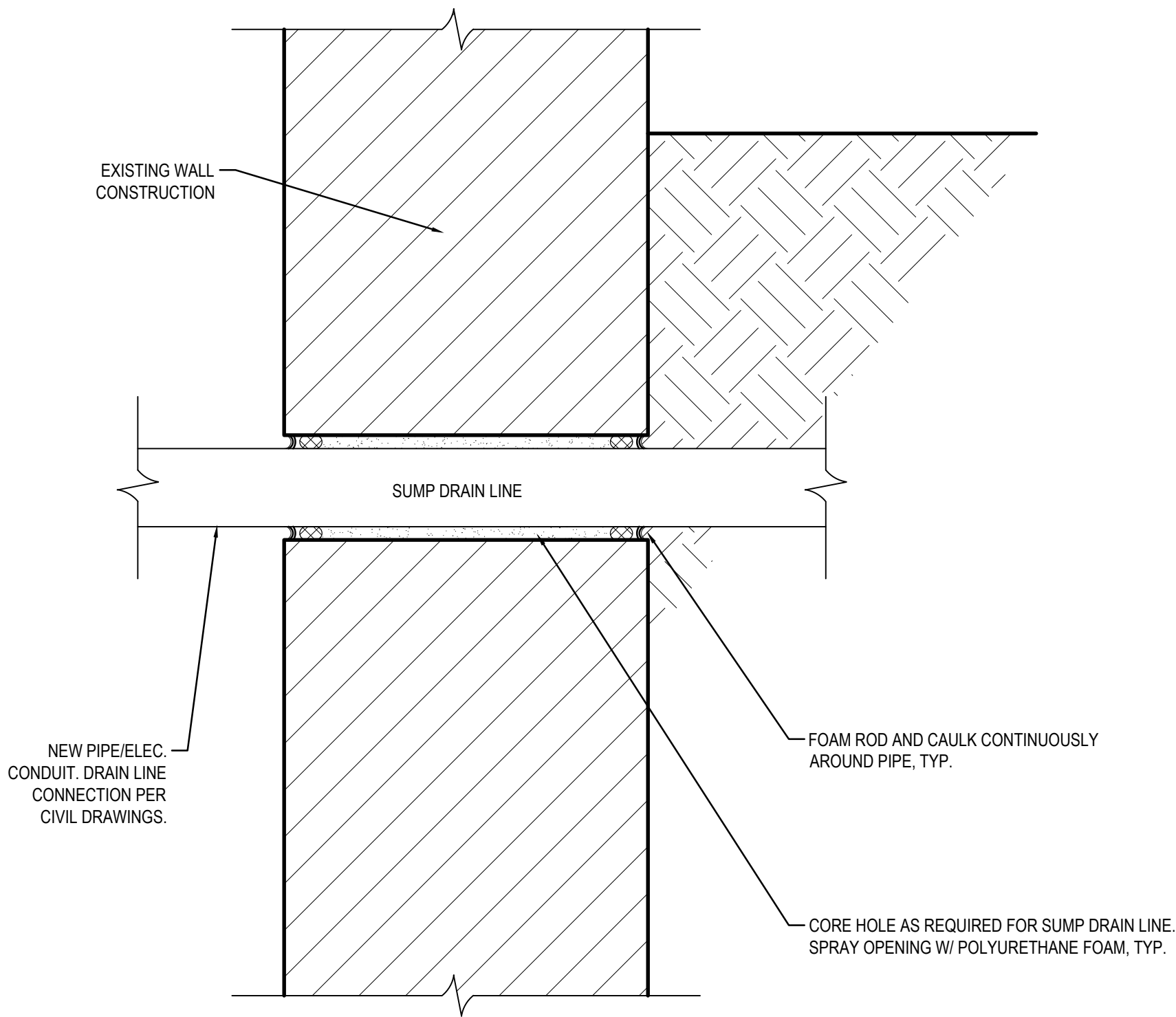
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

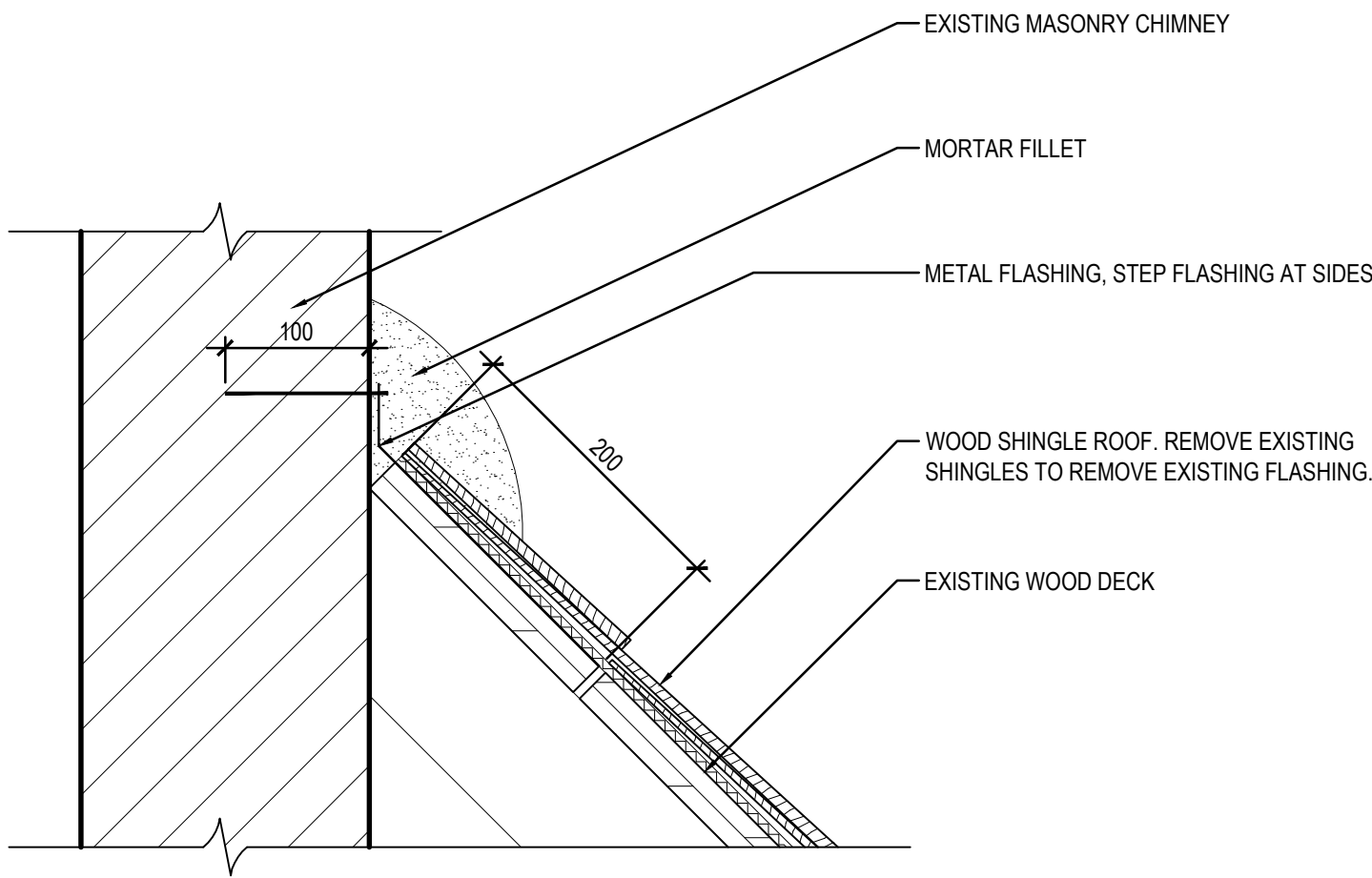
Drawing title/Titre du dessin

ARCHITECTURAL GENERAL
TYPICAL DETAILS
ACCESS HATCH

| | | |
|---|------------------------------|--------------------------------|
| Surveyed by/Arpenté par KB | Drawn by/Dessiné par KB | Date 2018/04/27 |
| Designed by/Concept par GL | Reviewed by/Revisé par GL | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet R. | Asset No./Nº du bien R. | Sheet No./ Nº de la feuille |
| Drawing Set No./Nº de série du dessin | | AG-002 |



1 SUMP DRAIN LINE
AG003 1:5



2 MORTAR FLASHING @ CHIMNEY
AG003 1:5

| | | | | |
|---|------------|---------------------------|----|----|
| 2 | 2018-04-27 | ISSUED FOR CONSTRUCTION | KB | GL |
| 1 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | KB | GL |
| 0 | 2018-03-20 | ISSUED FOR 70% SUBMISSION | KB | GL |

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------|-------------|-------------------------|----------------------|
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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

| | |
|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

ARCHITECTURAL GENERAL
TYPICAL DETAILS

| | | |
|-------------------------|------------------------|---------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| KB | KB | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| GL | GL | AS NOTED |

| | |
|---|--------------------------|
| Client Acceptance/Acceptation du client | Approved by/Approuvé par |
| Date | Date |

| | | |
|---------------------------------------|----------------------|----------------------------|
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | AG-003 |
| Drawing Set No./Nº de série du dessin | | |

Filename: P:\Projects\2018\18-0051-001\Dwg\Mech\18-0051-001_MG-000 - Tab:MG-000 Plotted By: Dderoché 18/04/25 [Wed 1:55pm]

PLUMBING GENERAL NOTES

- CONFORM TO MANITOBA PLUMBING CODE AND ALL LOCAL CODES AND AUTHORITY HAVING JURISDICTION FOR DESIGN, SUPPLY AND INSTALLATION OF PLUMBING AND VENT SYSTEM. INSTALL VENTS CONCEALED INSIDE WALLS ACCORDING TO CODE. MINIMIZE ROOF PENETRATIONS.
- EQUIPMENT LOCATIONS AND PIPE ROUTING INDICATED ON THE DRAWINGS IS APPROXIMATE ONLY. CONFIRM IN THE FIELD. REROUTE PIPING AS REQUIRED TO ELIMINATE FIELD INTERFERENCES WITH BUILDING STRUCTURE, ELECTRICAL, ETC.. CONFIRM CHANGES WITH DEPARTMENTAL REPRESENTATIVE. **COORDINATE WORK WITH ALL SUBTRADES**.
- WHERE DIMENSIONS ARE INDICATED FOR PIPING EQUIPMENT SIZES, ETC. THESE ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING EQUIPMENT AND COMMENCING INSTALLATION WITHOUT EXTRA CHARGES TO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE TO ENSURE ALL EQUIPMENT, DUCTWORK AND PIPING FITS IN THE SPACE AVAILABLE AND TO MAINTAIN THE GENERAL DESIGN INTENT FOR THE SYSTEMS.
- CONFIRM ADEQUATE PIPE SLOPES EXIST FOR ALL NEW DRAINAGE PIPING.
- PROVIDE TRAP PRIMERS FOR ALL NEW FLOOR DRAINS.
- PROVIDE CLEANOUTS AS PER PLUMBING CODE.
- INSULATE DOMESTIC HOT WATER (DHW), DOMESTIC WATER RECIRCULATION (DHW) AND DOMESTIC COLD WATER (DCW) PIPING. RUN PIPING IN CEILING SPACE DOWN TO FIXTURES INSIDE PLUMBING WALLS.
- FIRE SEAL ALL PENETRATIONS THROUGH FIRE SEPARATIONS.
- PROVIDE ALL CUTTING AND PATCHING REQUIRED FOR NEW PIPING (WATER AND DRAINAGE). FINISH ALL PENETRATIONS AND MAKE GOOD.
- PROVIDE SHUT-OFF VALVES AT ALL FIXTURES, WATER TANKS, AND WATER HAMMER ARRESTERS AT ENDS OF ALL PIPE RUNS.
- IN THE EVENT THERE ARE DISCREPANCIES ON THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DEPARTMENTAL REPRESENTATIVE PRIOR TO CLOSE OF TENDERS AND NO EXTRA COSTS WILL BE ENTERTAINED FOR REQUESTS FOR CLARIFICATION ONCE THE PROJECT IS AWARDED.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS TO COMPLETE THE DEMOLITION SCOPE OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SAFE THE AREA OF DEMOLITION AND FOR ENSURING THAT SAFETY PROCEDURES, PRACTICES AND OPERATIONS ARE FOLLOWED. ALL DEMOLITION AND MATERIAL SHALL BE SAFELY REMOVED TO ALLOW FUTURE CONSTRUCTION AND ALL DEBRIS DISPOSED OF ON DAILY BASIS.
- CONTRACTOR SHALL PROVIDE SAFETY AND DUST PROOF BARRIERS TO PROTECT ALL PUBLICLY OCCUPIED AREAS DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ALL AREAS, FURNITURE, EQUIPMENT ETC. THAT ARE ADJACENT OR NOT A PART OF THE DEMOLITION AREA SHALL BE PROTECTED FROM DAMAGE.
- ALL MATERIALS REMOVED DUE TO THE DEMOLITION OF EXISTING AREAS ARE OF THE OWNER'S PROPERTY IN WHICH THE OWNER HAS THE FIRST RIGHT TO CLAIM. ALL ITEMS THAT ARE NOT CLAIMED BY THE OWNER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISCARD FROM SITE.
- NON-DEMOLITION ITEMS MAY BE SHOWN ON THE DRAWINGS TO DESCRIBE THE INTENT OF THE OVERALL SCOPE OF WORK AND TO AID THE CONTRACTOR WITH THEIR COORDINATION. CONTRACTOR SHALL FIELD VERIFY ALL DEVICE LOCATIONS.
- SEAL ALL OPENINGS REMAINING FROM REMOVED EQUIPMENT, DUCTWORK, PIPING AND MAKE GOOD.
- EQUIPMENT LOCATIONS AND EXISTING PIPE ROUTING INDICATED ON THE DRAWINGS IS APPROXIMATE ONLY. CONFIRM IN THE FIELD. WHERE DIMENSIONS ARE INDICATED FOR PIPING, CORING EQUIPMENT, ETC. THESE ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO SUBMITTING A TENDER.
- IN THE EVENT THERE ARE DISCREPANCIES ON THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DEPARTMENTAL REPRESENTATIVE PRIOR TO CLOSE OF TENDERS AND NO EXTRA COSTS WILL BE ENTERTAINED FOR REQUESTS FOR CLARIFICATION ONCE THE PROJECT IS AWARDED.

HVAC GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- REVIEW EQUIPMENT LOCATIONS WITH DEPARTMENTAL REPRESENTATIVE PRIOR TO INSTALLATION. EXACT EQUIPMENT LOCATIONS TO BE CONFIRMED WITH INPUT FROM DEPARTMENTAL REPRESENTATIVE.
- EQUIPMENT LOCATIONS, DUCT, AND PIPE ROUTING INDICATED ON THE DRAWINGS IS APPROXIMATE ONLY. CONFIRM IN THE FIELD. REROUTE DUCTWORK AND PIPING AS REQUIRED TO ELIMINATE FIELD INTERFERENCES WITH BUILDING STRUCTURE, ELECTRICAL, ETC. CONFIRM CHANGES WITH CONSULTANT. N.P. **COORDINATE WORK WITH ALL SUBTRADES**.
- WHERE DIMENSIONS ARE INDICATED FOR PIPING, DUCTWORK, DUCT SIZES, EQUIPMENT SIZES, ETC. THESE ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING EQUIPMENT AND COMMENCING INSTALLATION WITHOUT EXTRA CHARGES TO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE TO ENSURE ALL EQUIPMENT, DUCTWORK, AND PIPING FITS IN THE SPACE AVAILABLE AND TO MAINTAIN THE GENERAL DESIGN INTENT FOR THE SYSTEMS.
- CONFORM TO SMACNA STANDARDS FOR SUPPLY AND INSTALLATION OF DUCTWORK. SEAL ALL DUCT JOINTS.
- SEAL ALL FLOOR, ROOF AND WALL PENETRATIONS WATER AND AIR TIGHT.
- FIRE SEAL ALL PENETRATIONS THROUGH FIRE SEPARATIONS.
- MAINTAIN SERVICE CLEARANCES FOR ALL EQUIPMENT AS PER SUPPLIER RECOMMENDATIONS.
- CONFORM TO NATIONAL GAS INSTALLATION CODE CAN/CGA-B149.1 AND MANITOBA GAS NOTICES FOR INSTALLATION OF GAS PIPING. OBTAIN APPROVAL FOR INSTALLATION OF EQUIPMENT FROM THE OFFICE OF THE FIRE COMMISSIONER PRIOR TO INSTALLATION.
- IN THE EVENT THERE ARE DISCREPANCIES ON THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE CONSULTANT PRIOR TO CLOSE OF TENDERS AND NO EXTRA COSTS WILL BE ENTERTAINED FOR REQUESTS FOR CLARIFICATION ONCE THE PROJECT IS AWARDED.

EQUIPMENT TAGS

| | |
|-------|--------------------------|
| AHU-# | AIR HANDLING UNIT |
| BB-# | BASEBOARD HEATER |
| EF-# | EXHAUST FAN |
| F-# | FAN |
| HRV-# | HEAT RECOVERY VENTILATOR |
| AMU-# | AIR MAKE-UP UNIT |
| SP-# | SUMP PUMP |
| RTU-# | ROOFTOP UNIT |
| UH-# | UNIT HEATER |
| VVT-# | VARIABLE VOLUME TERMINAL |

ABBREVIATIONS LIST

| | |
|------|----------------------------------|
| C | CONDENSATE |
| DCW | DOMESTIC COLD WATER |
| DHW | DOMESTIC HOT WATER |
| DHWR | DOMESTIC HOT WATER RECIRCULATION |
| E/A | EXHAUST AIR |
| HWR | HOT WATER RETURN |
| HWS | HOT WATER SUPPLY |
| NG | NATURAL GAS |
| O/A | OUTDOOR AIR |
| R/A | RETURN AIR |
| S.S. | SANITARY SEWER |
| S/A | SUPPLY AIR |
| WM | WATER METER |

PIPING/PLUMBING SYMBOLS

| | |
|--|------------------------------------|
| | NEW PLUMBING EQUIPMENT/PIPING |
| | NEW PIPING |
| | EXISTING PLUMBING EQUIPMENT/PIPING |
| | UNDER SLAB PIPING |
| | INSULATED PIPE |
| | PIPE UP (DOUBLE LINE) |
| | PIPE DOWN (DOUBLE LINE) |
| | PIPE DOWN (SINGLE LINE) |
| | PIPE UP (SINGLE LINE) |
| | BALL VALVE |
| | CAP |
| | CHECK VALVE |
| | DRAIN |
| | FLEXIBLE CONNECTION |
| | HOSE BIBB |
| | REDUCER |
| | UNION |
| | PLUMBING FIXTURE TAG |
| | TIE-IN POINT TAG |
| | ARROW FLOW DIRECTION |

HVAC SYMBOLS

| | |
|--|--|
| | NEW HVAC EQUIPMENT |
| | NEW DUCTWORK |
| | EXISTING HVAC EQUIPMENT/DUCTWORK |
| | EXTERNALLY INSULATED DUCTWORK |
| | ACOUSTICALLY LINED DUCTWORK |
| | RETURN/EXHAUST DUCT DOWN |
| | RETURN/EXHAUST DUCT UP |
| | SUPPLY DUCT DOWN |
| | SUPPLY DUCT UP |
| | BACKDRAFT DAMPER C/W DUCT ACCESS DOOR |
| | BALANCE DAMPER |
| | FIRE DAMPER C/W DUCT ACCESS DOOR |
| | FIRE/SMOKE DAMPER C/W DUCT ACCESS DOOR |
| | MOTORIZED DAMPER C/W DUCT ACCESS DOOR |
| | SMOKE DAMPER |
| | AIR FLOW DIRECTION |
| | GRILLE NO. NECK SIZE AIR FLOW RATE |
| | LOUVER NO. LOUVER SIZE AIR FLOW RATE |

CONTROLS SYMBOLS

| | |
|--|------------------------|
| | AIRFLOW SENSOR |
| | CONTROL WIRING |
| | DIRECT DIGITAL CONTROL |
| | HUMIDISTAT |
| | TEMPERATURE SENSOR |
| | THERMOSTAT |

DEMOLITION SYMBOLS

| | |
|--|-----------------------------------|
| | EQUIPMENT/MATERIALS TO BE REMOVED |
| | EQUIPMENT/MATERIALS TO REMAIN |

DRAWING LIST

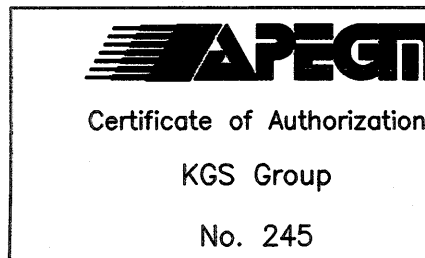
| DWG. No. | DESCRIPTION |
|----------|--|
| MG-000 | SYMBOL LEGEND, DRAWING LIST & GENERAL NOTES |
| M1-100 | BIG HOUSE - BASEMENT FLOOR PLAN - PLUMBING - NEW |
| M1-300 | BIG HOUSE - SECTIONS & DETAILS |
| M2-100 | FUR LOFT - BASEMENT FLOOR PLAN - HVAC - NEW |
| M2-300 | FUR LOFT - SECTIONS & DETAILS |
| M4-100 | MUSEUM - BASEMENT FLOOR PLAN - PLUMBING - DEMO |
| M4-101 | MUSEUM - BASEMENT FLOOR PLAN - PLUMBING - NEW |
| M4-102 | MUSEUM - BASEMENT FLOOR PLAN - HVAC |
| M4-500 | MUSEUM - PLUMBING SCHEMATIC |
| M5-100 | MEN'S HOUSE - CRAWLSPACE PLAN - PLUMBING & HVAC - NEW |
| M5-120 | MEN'S HOUSE - SECOND FLOOR PLAN - HVAC - NEW |
| M5-300 | MEN'S HOUSE - SECTIONS & DETAILS |
| M6-100 | WAREHOUSE - CRAWLSPACE PLAN - PLUMBING & HVAC - NEW |
| M6-300 | WAREHOUSE - SECTIONS & DETAILS |
| M12-110 | LARGE STORAGE BUILDING - MAIN FLOOR PLAN - HVAC - DEMO & NEW |
| M12-300 | LARGE STORAGE BUILDING - SECTIONS & DETAILS |

DRAWING QUANTITY = 16

| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNLM | |
|-----|------------|-------------------------|-------------------------|----------------------|
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1200 | FAX: 204-477-6 | architecture49.com

Parks Canada Parcs Canada
Strategic Asset Management,
Western and Northern Region
Gestion Stratégique des Biens,
Région de l'Ouest et du Nord

Canada

Architecture49 Project No. 189-00014-00 Sub Consultant Project No. 18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

















Project title/Titre du projet



















LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS







Drawing title/Titre du dessin






SYMBOL LEGEND,
DRAWING LIST &
GENERAL NOTES







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|--|------------------------------|---|
| Surveyed by/Arpenté par LNLM | Drawn by/Dessiné par LNLM | Date 2018/03/06 |
| Designed by/Concept par LNLM | Reviewed by/Revisé par | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./N° du projet 1603 | Asset No./N° du bien N/A | Sheet No./ N° de la feuille MG-000 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |



















| POWER | |
|---|--------------------------------|
|  | DUPLEX RECEPTACLE |
|  | QUADPLEX RECEPTACLE |
|  | RANGE (R)/DRYER (D) RECEPTACLE |
|  | SINGLE RECEPTACLE |
|  | SQUARE JUNCTION BOX |
|  | RECTANGLE JUNCTION BOX |
|  | FIELD EQUIPMENT |
|  | ELECTRICAL PANELBOARD |
|  | CONDUIT RUN DOWN |
|  | CONDUIT RUN UP |
|  | EQUIPMENT LOAD |
|  | LOCAL DISCONNECT SWITCH |
|  | BASEBOARD HEATER |
|  | FORCE FLOW UNIT HEATER |
|  | RADIANT UNIT HEATER |
|  | UNIT HEATER |



| FIRE ALARM | |
|---|-------------------------------|
|  | FIRE ALARM PULL STATION |
|  | FIRE ALARM HORN |
|  | FIRE ALARM BELL |
|  | FIRE ALARM STROBE |
|  | FIRE ALARM HORN/STROBE |
|  | FIRE ALARM SPEAKER/STROBE |
|  | SPRINKLER FLOW SWITCH |
|  | SPRINKLER TAMPER SWITCH |
|  | SPRINKLER PRESSURE SWITCH |
|  | SMOKE DETECTOR |
|  | DUCT SMOKE DETECTOR |
|  | HEAT DETECTOR |
|  | CARBON MONOXIDE DETECTOR |
|  | ISOLATION MODULE |
|  | ADDRESSABLE MONITORING MODULE |
|  | RELAY ADDRESSABLE MODULE |
|  | FIRE ALARM REMOTE ANNUNCIATOR |
|  | FIRE ALARM CONTROL PANEL |

| POWER (SINGLE LINE) | |
|---|-----------------------|
|  | CIRCUIT BREAKER |
|  | TRANSFORMER |
|  | FUSE |
|  | OVERLOAD |
|  | RELAY |
|  | HUMIDISTAT CONTROLLER |

| COMMUNICATIONS | |
|---|---|
|  | DATA/VOICE OUTLET (X - INDICATES CABLE QTY) |
|  | DATA OUTLET (X - INDICATES CABLE QTY) |
|  | VOICE OUTLET (X - INDICATES CABLE QTY) |
|  | CATV OUTLET (X - INDICATES CABLE QTY) |
|  | WALL MOUNTED SPEAKER |

| SECURITY AND CONTROL | |
|---|---|
|  | AUTOMATIC DOOR OPERATOR |
|  | PUSHBUTTON |
|  | PROXIMITY CARD READER |
|  | DOOR CONTACT/DOOR POSITION SWITCH (DPS) |
|  | GLASS BREAK SENSOR |
|  | KEYPAD |

| LIGHTING | |
|---|--|
|  | POLE MOUNTED LUMINAIRE |
|  | WALL MOUNTED LUMINAIRE |
|  | CEILING MOUNTED LUMINAIRE |
|  | WALL MOUNTED OCCUPANCY SENSOR |
|  | CEILING MOUNTED OCCUPANCY SENSOR |
|  | 2'X4' RECESSED LIGHT FIXTURE |
|  | DENOTATION: A1 - PANEL (A) AND CIRCUIT #(1) a - CONTROL SWITCH(ES) A - FIXTURE TYPE |
|  | 2'X4' SUSPENDED LIGHT FIXTURE |
|  | 1'X4' RECESSED LIGHT FIXTURE |
|  | 1'X4' SUSPENDED LIGHT FIXTURE |
|  | 6'X4' STRIP LIGHT FIXTURE |
|  | 2'X2' RECESSED LIGHT FIXTURE |
|  | WALL MOUNT LIGHT FIXTURE |
|  | SINGLE POLE SWITCH |
|  | DENOTATION: a - LIGHT'S CONTROLLED d - DIMMER CONTROL o - OCCUPANCY MOTION SENSOR lv - LOW VOLTAGE 3 - 3-WAY SWITCH |
|  | TWO SWITCHES IN GANG |
|  | THREE SWITCHES IN GANG |
|  | NOTE: HATCHING OF LIGHT FIXTURES INDICATES NIGHT LIGHT FUNCTION. |





| EMERGENCY LIGHTING | |
|---|--------------------------------------|
|  | EMERGENCY LIGHTING - BATTERY 2 HEADS |
|  | EMERGENCY LIGHTING - REMOTE 2 HEADS |

| ABBREVIATION / SYMBOL MODIFIER LIST | |
|-------------------------------------|----------------------------------|
| ABBREVIATION | DESCRIPTION |
| a | MOUNTED ABOVE COUNTER/TABLE |
| AFF | ABOVE FINISHED FLOOR |
| AFG | ABOVE FINISHED GRADE |
| BFC | BELOW FINISHED CEILING |
| CM | CEILING MOUNTED |
| FM | FLOOR MOUNTED |
| MW | MILLWORK MOUNTED |
| WP | WEATHERPROOF |
| GFCI | GROUND FAULT CURRENT INTERRUPTER |
| IG | ISOLATED GROUND |
| DF | DRINKING FOUNTAIN |
| HC | HANDICAP |
| V | VENDING MACHINE |
| AV | AUDIO/VISUAL |
| WAP | WIRELESS ACCESS POINT |
| NL | NIGHT LIGHT |
| 15/20 | T-SLOT RECEPTACLE |
| EC | ELECTRICAL CONTRACTOR |
| MC | MECHANICAL CONTRACTOR |
| FT | FIXED TEMPERATURE |
| RR | RATE OF RISE |

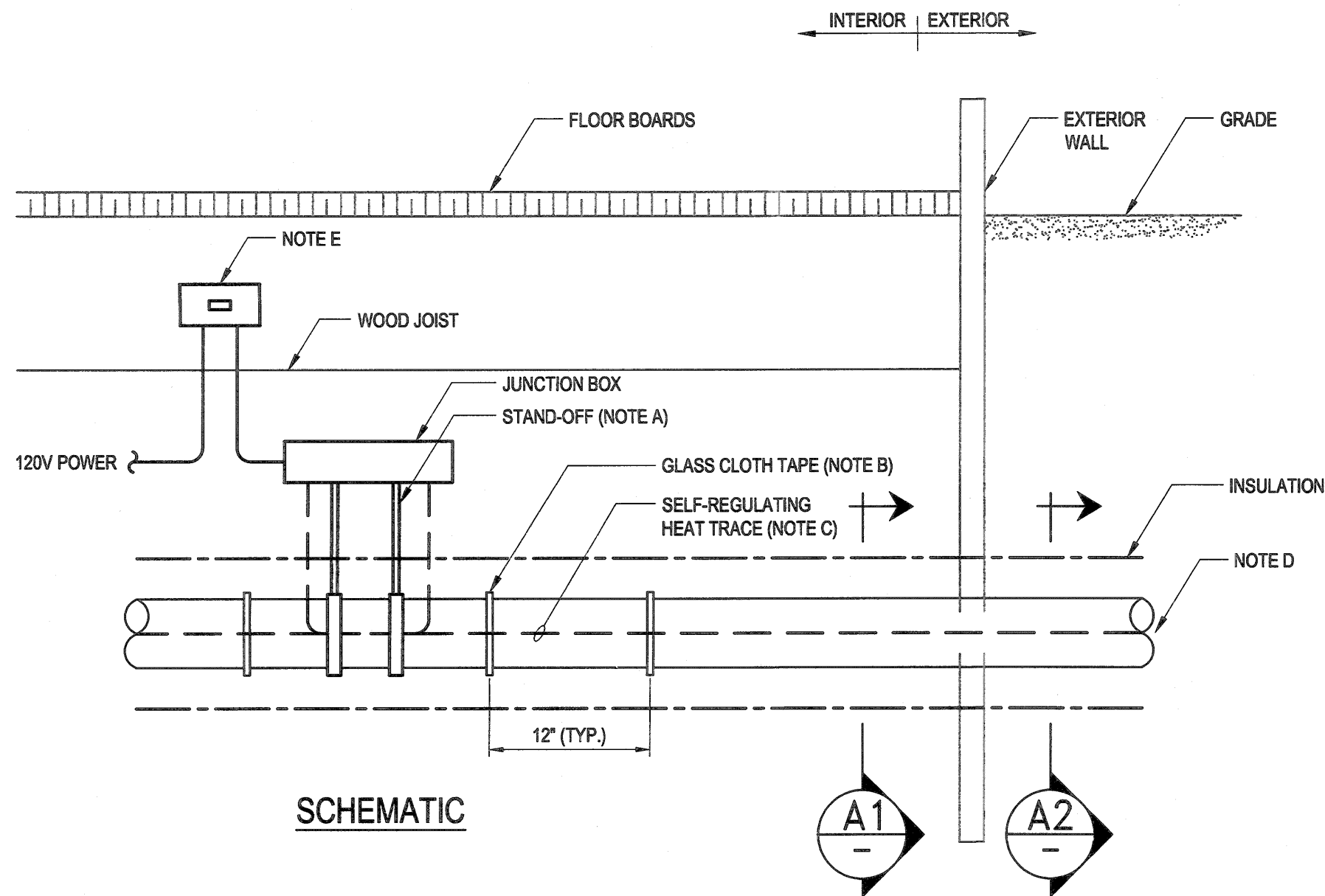
| GENERAL NOTES | |
|---------------|---|
| 1. | DEVICE SYMBOLS SHOWN ON THE DRAWINGS AS A "GREY" LINE WEIGHT DENOTES THAT THEY ARE EXISTING. |
| 2. | COORDINATE THE CONNECTIONS OF ALL EQUIPMENT PROVIDED BY OTHERS WITH THE CONTRACTOR PROVIDING THE EQUIPMENT PRIOR TO ROUGH-IN. THIS INCLUDES, BUT IS NOT LIMITED TO, MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE DISCONNECTING MEANS FOR, AND TO MAKE THE FINAL CONNECTION TO, ANY HARDWIRED EQUIPMENT. THE ELECTRICAL CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE AN APPROPRIATE CORD AND PLUG FOR ANY CORD-AND-PLUG CONNECTED EQUIPMENT THAT IS NOT EQUIPPED WITH AN INTEGRAL CORD AND PLUG. |
| 3. | THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PRESERVING THE FIRE RATING OF ANY FIRE-RATED CEILING ASSEMBLIES BY PROVIDING THE APPROPRIATE FIRE-RATED LUMINAIRE TENTS AS MANUFACTURED BY TENMAT OR NELSON FIRESTOP OR BY BUILDING FIRE-RATED ENCLOSURES AROUND EACH LUMINAIRE THAT IS RECESSED INTO THE FIRE-RATED ASSEMBLY. COORDINATE FIRE-RATED CEILING ASSEMBLY LOCATIONS WITH THE ARCHITECTURAL DRAWINGS. |
| 4. | ALL EQUIPMENT, DEVICES, AND LUMINAIRES SHALL BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE INSTALLED. EQUIPMENT MOUNTED OUTDOORS SHALL BE NEMA 3R. DEVICES MOUNTED IN DAMP OR WET LOCATIONS SHALL BE WEATHERPROOF. RECEPTACLES RATED 15- OR 20- AMPS AND 120 VOLTS WHICH ARE LOCATED IN DAMP OR WET LOCATIONS SHALL BE GFCI PROTECTED AND EQUIPPED WITH A SUITABLE WEATHERPROOF COVERPLATE (WHILE-IN-USE IN WET LOCATIONS). |
| 5. | ELECTRICAL CONTRACTOR TO CONFIRM EXACT SIZE AND LOCATION AND WIRING REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION OF ANY WIRING, ADJUST WIRING, BREAKERS, ETC. TO SUIT. ALL COSTS TO BE INCLUDED IN BASE TENDER QUOTE. |
| 6. | THE ELECTRICAL CONTRACTOR IS ADVISED THAT ALL BUILDINGS, WITH THE EXCEPTION OF THE VISITOR CENTRE, ARE HERITAGE BUILDINGS (INSIDE AND OUT). ALL WORK THAT AFFECTS THE BUILDINGS FINISHES SHALL BE REVIEWED WITH THE DEPARTMENTAL REPRESENTATIVE BEFORE PROCEEDING. |
| 7. | REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT. |
| 8. | THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A MINIMUM OFF 300mm OF SPACE BETWEEN THE ELECTRICAL AND MECHANICAL PENETRATIONS. REFER TO THE STRUCTURAL DRAWINGS FOR ADDITIONAL PENETRATION DETAILS. |
| 9. | THE ELECTRICAL CONTRACTOR SHALL UPDATE PANEL SCHEDULES AS REQUIRED. |
| 10. | LOCATE DISCONNECT SWITCHES IN AN ACCESSIBLE LOCATION TO MEET CODE AND TO SUIT SITE CONDITIONS. THE DRAWINGS ARE DIAGRAMMATIC ONLY. |

| GENERAL DEMOLITION NOTES | |
|--------------------------|---|
| 1. | THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. |
| 2. | PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS TO COMPLETE THE DEMOLITION SCOPE OF WORK. |
| 3. | THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SAFE THE AREA OF DEMOLITION AND FOR ENSURING THAT SAFETY PROCEDURES, PRACTICES AND OPERATIONS ARE FOLLOWED. ALL DEMOLITION AND MATERIAL SHALL BE SAFELY REMOVED TO ALLOW FUTURE CONSTRUCTION AND ALL DEBRIS DISPOSED OF ON A DAILY BASIS. |
| 4. | THE ELECTRICAL CONTRACTOR SHALL PROVIDE SAFETY AND DUST PROOF BARRIERS TO PROTECT ALL PUBLICLY OCCUPIED AREAS DURING THE DEMOLITION AND CONSTRUCTION PERIOD. ALL AREAS, FURNITURE, EQUIPMENT ETC. THAT ARE ADJACENT OR NOT A PART OF THE DEMOLITION AREA SHALL BE PROTECTED FROM DAMAGE. |
| 5. | ALL MATERIALS REMOVED DUE TO THE DEMOLITION OF EXISTING AREAS ARE OF THE OWNER'S PROPERTY IN WHICH THE DEPARTMENTAL REPRESENTATIVE HAS THE FIRST RIGHT TO CLAIM. ALL ITEMS THAT ARE NOT CLAIMED BY THE OWNER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND DISCARD FROM SITE. |
| 6. | NON-DEMOLITION ITEMS MAY BE SHOWN ON THE DRAWINGS TO DESCRIBE THE INTENT OF THE OVERALL SCOPE OF WORK AND TO AID THE CONTRACTOR WITH THEIR COORDINATION. CONTRACTOR SHALL FIELD VERIFY ALL DEVICE LOCATIONS. |
| 7. | WHERE CONDUITS ARE TO BE REMOVED WITHIN THE SCOPE OF WORK, ALL CONDUITS AND ASSOCIATED WIRING (I.E. FEEDER CIRCUIT WIRING) SHALL BE REMOVED BACK TO THEIR SOURCE AND NOT JUST TO THE NEAREST JUNCTION BOX. |
| 8. | ALL OBSOLETE/ABANDONED CABLING AND CONDUIT WITHIN CEILING SPACES THAT ARE AFFECTED BY THE AREA OF DEMOLITION SHALL BE COMPLETELY REMOVED. |
| 9. | WHERE ELECTRICAL EQUIPMENT HAS BEEN REMOVED, ALL WALLS/CEILINGS SHALL BE REPAIRED TO EXISTING CONDITIONS. SURFACES SHALL BE PATCHED AND PAINTED TO MATCH EXISTING. |

| DRAWING LIST | |
|-----------------------|---|
| DWG. No. | DESCRIPTION |
| EG-000 | Symbol Legend, Drawing List and General Notes |
| EG-500 | Sections and Details |
| EG-600 | Mechanical Equipment Schedule |
| EG-601 | Luminaire Schedule |
| E1-100 | Big House - Basement Floor Plan |
| E2-100 | Fur Loft - Basement Floor Plan |
| E4-100 | Museum - Basement Floor Plan - Demolition |
| E4-101 | Museum - Basement Floor Plan - New |
| E5-110 | Men's House - Main and Second Floor Plan |
| E6-110 | Warehouse - Crawlspce, First and Third Floor Plan |
| E12-110 | Large Storage Building - Main Floor Plan - Demolition and New |
| DRAWING QUANTITY = 11 | |

| | | | | | | | |
|---|------------|---|--------------------------|--------------------------------|--|--|--|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | SDC | CLS | | | |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé | | | |
| Revision / Révision | | | | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | | | | |
| Eng. Stamp Sceau de l'ingénieur | | | | | | | |
| <div><div> Certificate of Authorization KGS Group No. 245</div><div></div></div> | | | | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | | | | |
| ARCHITECTURE 49 | | | | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB (CANADA) R3T 6B8 TEL: 204-477-1280 FAX: 204-477-6 architecture49.com | | | | | | | |
| <div><div> Parks Canada</div><div>Parcs Canada</div></div> <div><div>Strategic Asset Management, Western and Northern Region</div><div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div></div> <div>Canada</div> | | | | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | | | | |
| Sub Consultant  | | | | | | | |
| Project title/Titre du projet | | | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | | | |
| Drawing title/Titre du dessin | | | | | | | |
| SYMBOL LEGEND, DRAWING LIST AND GENERAL NOTES | | | | | | | |
| Surveyed by/Arpenté par SDC | | Drawn by/Dessiné par SDC | | Date 2018/02/21 | | | |
| Designed by/Concept par CLS | | Reviewed by/Revisé par CLS | | Scale/Echelle AS NOTED | | | |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | | | | |
| Date | | | Date | | | | |
| Project No./N° du projet 1803 | | Asset No./N° du bien N/A | | Sheet No./ N° de la feuille | | | |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | EG-000 | | | | |

Filename: P:\Projects\2018\18-0051-001\Drawg\Elec\18-0051-001_EG-500 - Tab:EG-500 Plotted By: DDeroche 18/04/25 [Wed 2:08pm]

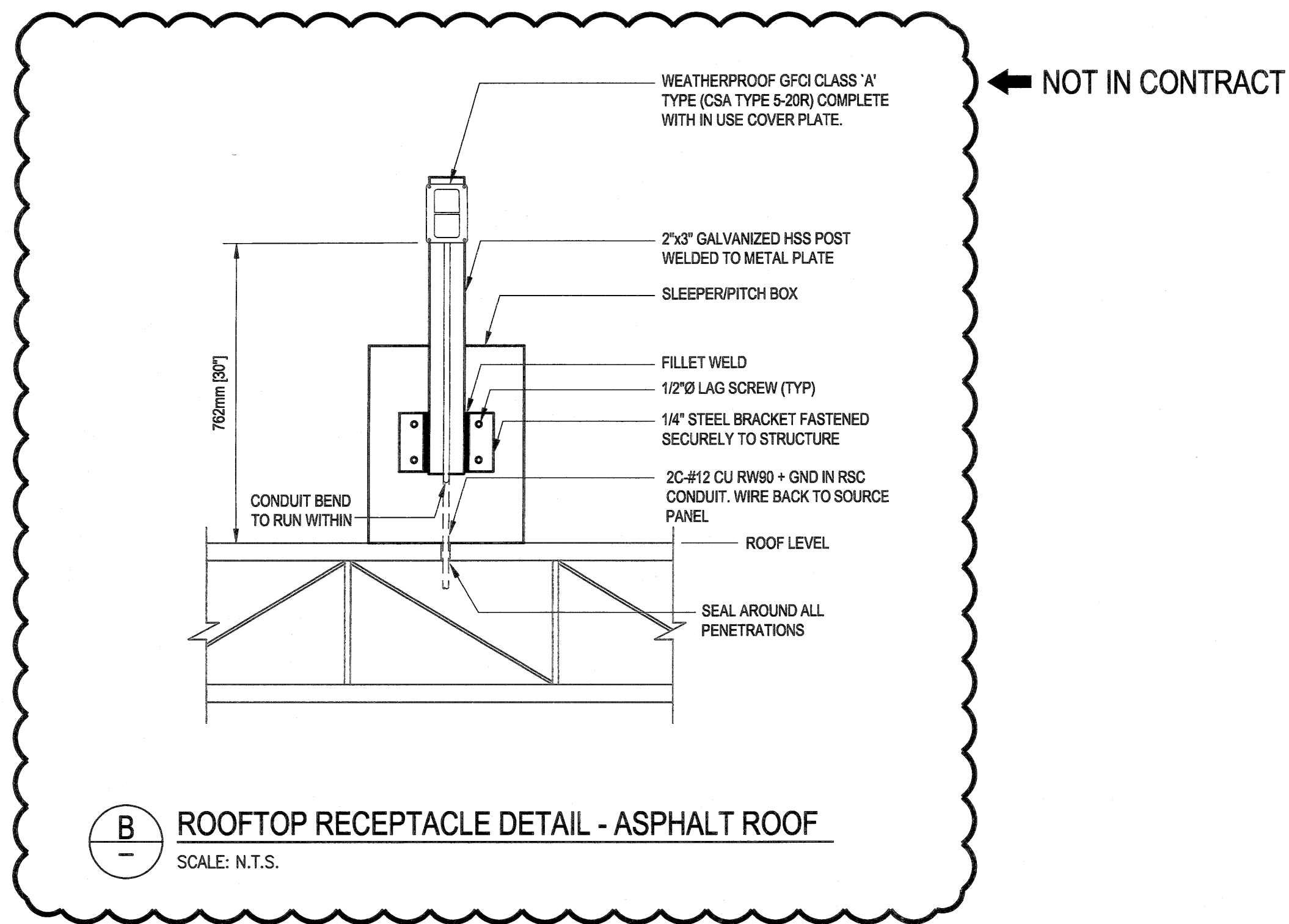
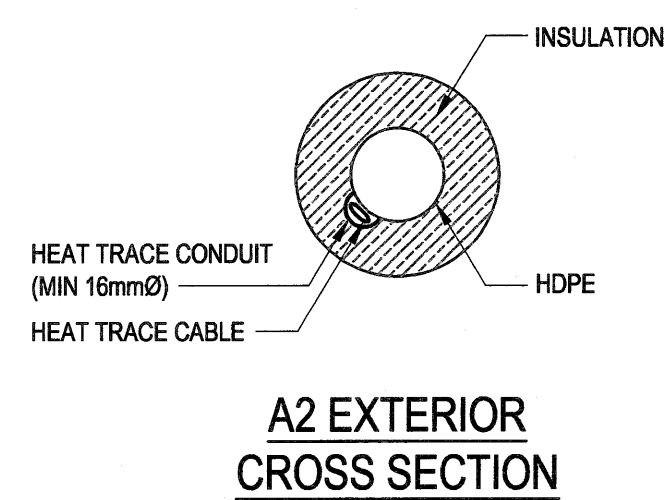
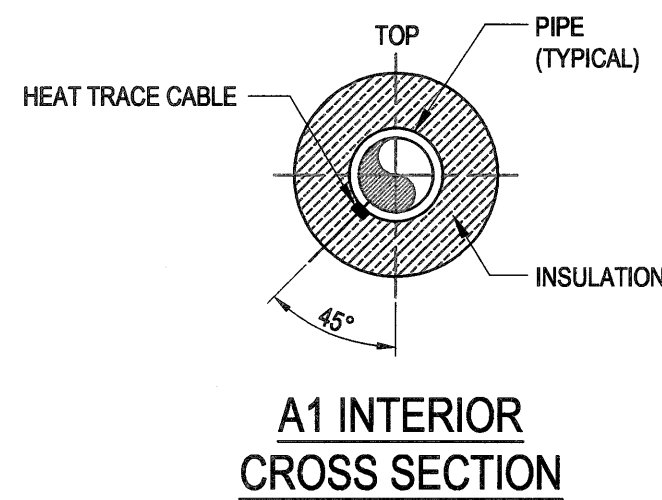


DETAIL NOTES:

- A) FASTEN JUNCTION BOX STAND OFF TO PIPE WITH PIPE STRAP.
- B) FASTEN HEAT TRACE TO PIPE WITH GLASS CLOTH TAPE EVERY 12" (MINIMUM).
- C) HEAT TRACE ALL SUMP PUMP DISCHARGE PIPING WITHIN BUILDINGS AS INDICATED ON THE DRAWINGS.
- D) EXTEND HEAT TRACE BEYOND EXTERIOR WALL AS INDICATED ON THE DRAWINGS.
- E) PROVIDE AN ACCESSIBLE LOCAL WEATHER PROOF 20A TOGGLE SWITCH (NOT SHOWN ON PLAN) COMPLETE WITH DYNATAPE LABELING FOR "WINTER (ON)" AND "SUMMER (OFF)".
- F) PROVIDE POWER FOR THE HEAT TRACE FROM A 30mA GFCI SOURCE.





A SELF-REGULATING HEAT TRACE DETAIL (TYPICAL)

SCALE: N.T.S.



B ROOFTOP RECEPTACLE DETAIL - ASPHALT ROOF

SCALE: N.T.S.

| | | | | |
|--|------------------------|---|-------------------------|----------------------|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | SDC | CLS |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| <div> Certificate of Authorization KGS Group No. 245</div> <div></div> | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB (CANADA) R3T 6B8 TEL: 204-477-1250 FAX: 204-477-6 architecture49.com | | | | |
| <div> Parks Canada</div> <div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div> | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
|  | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| SECTION AND DETAILS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| | SDC | 2018/02/21 | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle | | |
| CLS | CLS | AS NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille | | |
| 1603 | N/A | | | |
| Drawing Set No./N° de série du dessin | | EG-500 | | |
| 18-0051-001 | | | | |

MECHANICAL EQUIPMENT SCHEDULE


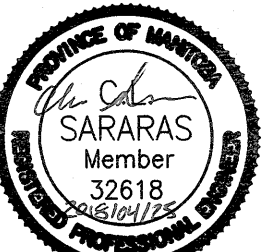



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------|---|---|---|---|--------------------------------|-------------------------------------|------|------|------|-----|---|---------|-----|-----|---|---|---|---|----|----|----|------|---|---|------|-----|---|---|-----|-----|---|---|---|---|
| AHU-1 | M | M | E | 1 | ROOFTOP UNIT – THEATER | VISITOR CENTER – ROOFTOP | . | . | 43 | 208 | 3 | MD-1 | 50 | . | . | 3 | 1 | 4 | 6 | . | . | ECF | M | M | M | NFD | E | E | E | DDC | M | M | M | . |
| AHU-2 | M | M | E | 1 | ROOFTOP UNIT – EXHIBITS | VISITOR CENTER – ROOFTOP | . | . | 67 | 208 | 3 | MD-1 | 80 | . | . | 3 | 1 | 4 | 4 | . | . | ECF | M | M | M | NFD | E | E | E | DDC | M | M | M | . |
| AHU-3 | M | M | E | 1 | ROOFTOP UNIT – EATING / DINING | VISITOR CENTER – ROOFTOP | . | . | 88.7 | 208 | 3 | MD-1 | 100 | . | . | 3 | 1 | 4 | 2 | . | . | ECF | M | M | M | NFD | E | E | E | DDC | M | M | M | . |
| AHU-4 | M | M | E | 1 | ROOFTOP UNIT – ADMIN | VISITOR CENTER – ROOFTOP | . | . | 50 | 208 | 3 | J | 60 | . | . | 3 | 1 | 4 | 6 | . | . | ECF | M | M | M | NFD | E | E | E | DDC | M | M | M | . |
| AMU-1 | M | M | E | 1 | KITCHEN MAKE-UP AIR | VISITOR CENTER – ROOFTOP | . | . | 38 | 208 | 3 | J | 45 | . | . | 3 | 1 | 4 | 8 | . | . | ECF | M | M | M | NFD | E | E | E | DDC | M | M | M | . |
| UH-1 | M | M | E | 1 | GAS FIRED – UNIT HEATER | LARGE STORAGE BUILDING | . | . | 3.3 | 120 | 1 | W | 15 | . | . | 1 | 1 | 3 | 12 | . | . | . | . | . | NFD | E | E | E | LVT | M | M | M | . | |
| UH-2 | M | M | E | 1 | GAS FIRED – UNIT HEATER | LARGE STORAGE BUILDING | . | . | 3.3 | 120 | 1 | W | 15 | . | . | 1 | 1 | 3 | 12 | . | . | . | . | . | NFD | E | E | E | LVT | M | M | M | . | |
| UH-1 | E | E | E | 1 | ELECTRIC – UNIT HEATER | FUR LOFT – BASEMENT | . | 2 | . | 208 | 1 | FL-P2-B | 15 | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| UH-2 | E | E | E | 1 | ELECTRIC – UNIT HEATER | FUR LOFT – BASEMENT | . | 2 | . | 208 | 1 | FL-P2-B | 15 | NFD | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| UH-3 | E | E | E | 1 | ELECTRIC – UNIT HEATER | FUR LOFT – BASEMENT | . | 2 | . | 208 | 1 | FL-P2-B | 15 | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| UH-4 | E | E | E | 1 | ELECTRIC – UNIT HEATER | FUR LOFT – BASEMENT | . | 2 | . | 208 | 1 | FL-P2-B | 15 | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| CFH-1 | E | E | E | 1 | ELECTRIC – CEILING FAN HEATER | MUSEUM | . | 3 | . | 208 | 1 | X | 20 | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| CFH-2 | E | E | E | 1 | ELECTRIC – CEILING FAN HEATER | MUSEUM | . | 3 | . | 208 | 1 | X | 20 | . | . | 2 | 1 | 3 | 12 | 21 | . | . | . | . | . | NFD | E | E | E | IT | E | E | E | . |
| EF-1 | M | M | E | 1 | EXHAUST FAN | FUR LOFT – BASEMENT | 0.5 | . | . | 120 | 1 | FL-P2-A | 20 | . | . | 1 | 1 | 3 | 12 | 21 | . | MAN | E | E | E | NFD | E | E | E | H | E | E | E | . |
| EF-1 | M | M | E | 1 | EXHAUST FAN | MEN'S HOUSE – ATTIC | 0.1 | . | . | 120 | 1 | MH-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | . | . | MAN | E | E | E | NFD | E | E | E | WS | E | E | E | . |
| EF-1 | M | M | E | 1 | EXHAUST FAN | WAREHOUSE – CRAWLSPACE | 0.5 | . | . | 120 | 1 | WH-P2-A | 20 | . | . | 1 | 1 | 3 | 12 | . | . | MAN | E | E | E | NFD | E | E | E | LS | E | E | E | . |
| EF-3 | M | M | E | 1 | EXHAUST FAN | MUSEUM – WOMENS W/C | . | 0.13 | . | 120 | 1 | E | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | MAN | E | E | E | NFD | E | E | E | OCC | E | E | E | . |
| EF-4 | M | M | E | 1 | EXHAUST FAN | MUSEUM – MENS W/C | . | 0.13 | . | 120 | 1 | E | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | MAN | E | E | E | NFD | E | E | E | OCC | E | E | E | . |
| F-8 | M | M | E | 1 | EXHAUST FAN | VISITOR CENTER – ROOFTOP | 0.75 | . | 3.5 | 208 | 3 | J | 15 | . | . | 3 | 1 | 4 | 12 | . | 0 | FVNR | E | E | E | NFD | E | E | E | DDC | M | M | M | . |
| SP-1 | M | M | E | 1 | SUMP PUMP | BIG HOUSE – BASEMENT | 0.25 | . | 7.5 | 120 | 1 | BH-P2-B | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| SP-1 | M | M | E | 1 | SUMP PUMP | MEN'S HOUSE – CRAWLSPACE | 0.25 | . | 7.5 | 120 | 1 | MH-P2-A | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| SP-2 | M | M | E | 1 | SUMP PUMP | MEN'S HOUSE – CRAWLSPACE | 0.25 | . | 7.5 | 120 | 1 | MH-P2-A | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| SP-1 | M | M | E | 1 | SUMP PUMP | WAREHOUSE – CRAWLSPACE – WOMENS W/C | 0.25 | . | 7.5 | 120 | 1 | WH-P2-A | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| SP-2 | M | M | E | 1 | SUMP PUMP | WAREHOUSE – CRAWLSPACE – MENS W/C | 0.25 | . | 7.5 | 120 | 1 | WH-P2-A | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| SP-1 | M | M | E | 1 | SUMP PUMP | FARM MANAGERS HOUSE – BASEMENT | 0.25 | . | 7.5 | 120 | 1 | FM-P2-A | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | FS | M | M | M | . | |
| DF-1 | M | M | E | 1 | DRINKING FOUNTAIN | VISITOR CENTER – CORRIDOR | . | . | 7 | 120 | 1 | E | 15 | . | . | 3 | 1 | 4 | 12 | . | . | . | . | . | PLUG | E | E | E | . | . | . | . | . | |
| MD-1 | M | M | E | 1 | MOTORIZED DAMPER | FUR LOFT – BASEMENT | . | 0.01 | . | 120 | 1 | FL-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | . | . | . | . | . | . | . | H | E | E | E | . | |
| MD-2 | M | M | E | 1 | MOTORIZED DAMPER | FUR LOFT – BASEMENT | . | 0.01 | . | 120 | 1 | FL-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | . | . | . | . | . | . | . | H | E | E | E | . | |
| MD-3 | M | M | E | 1 | MOTORIZED DAMPER | FUR LOFT – BASEMENT | . | 0.01 | . | 120 | 1 | FL-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | . | . | . | . | . | . | . | H | E | E | E | . | |
| MD-1 | M | M | E | 1 | MOTORIZED DAMPER | MEN'S HOUSE –ATTIC | . | 0.01 | . | 120 | 1 | MH-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | . | . | . | . | . | . | . | LS | E | E | E | . | |
| MD-1 | M | M | E | 1 | MOTORIZED DAMPER | WAREHOUSE – CRAWLSPACE | . | 0.01 | . | 120 | 1 | WH-P2-A | 15 | . | . | 1 | 1 | 3 | 12 | 21 | . | . | . | . | . | . | . | . | LS | E | E | E | . | |

EQUIPMENT SCHEDULE LEGEND:

| | |
|------|----------------------------|
| M | ELECTRICAL CONTRACTOR |
| E | MECHANICAL CONTRACTOR |
| LVT | LOW VOLTAGE THERMOSTAT |
| LS | LINE VOLTAGE SWITCH |
| FS | FLOAT SWITCH |
| HOA | HAND/OFF/AUTO SWITCH |
| MAG | MAGNETIC STARTER |
| MAN | MANUAL STARTER |
| DDC | DIRECT DIGITAL CONTROL |
| NFD | NON-FUSED DISCONNECT |
| ECP | EQUIPMENT CONTROL PANEL |
| FVNR | FULL VOLTAGE NON-REVERSING |
| IT | INTEGRAL THERMOSTAT |
| OC | OCCUPANCY SENSOR |
| H | HUMIDISTAT |
| WS | WIRELESS SWITCH |

GENERAL NOTES:

1. REFER TO MECHANICAL SHOP DRAWINGS FOR (MOCP) MAXIMUM OVER-CURRENT PROTECTION PRIOR TO ORDERING.

| | | | | | |
|---|------------|---|---|--------------------------------|----------------------|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | | 506 | CLS |
| No. | Date | Description | | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | | |
| Linear dimensions In millimetres | | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | | |
|  Certificate of Authorization KGS Group No. 245 | | |  | | |
| Consultant's Name Nom de l'expert-consult | | | | | |
| ARCHITECTURE | | | | 49 | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-8 architect49.com | | | | | |
|  | | Parks Canada | | Parcs Canada | |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | |
| Canada | | | | | |
| Architecture 49 Project No. 189-0041-00 | | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | |  | | |
| Project Title/Titre du projet | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | |
| Drawing title/Titre du dessin | | | | | |
| MECHANICAL EQUIPMENT SCHEDULE | | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par SDC | | Date 2018/03/26 | |
| Designed by/Concept par CLS | | Reviewed by/Revisé par  | | Scale/Echelle AS NOTED | |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | | |
| Date | | | Date | | |
| Project No./N° du projet 1603 | | Asset No./N° du bien N/A | | Sheet No./ N° de la feuille | |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | EG-600 | |

| LUMINAIRE SCHEDULE | | | | | | | | | | | | | | | | | |
|--------------------|--|---|--------|---------------------------|----------|------|----------|---------|-----------|--------------------|------|--------------------|----------------|--------------|-------|--------------|--------------------------------|
| TYPE | EXISTING LUMINAIRE DESCRIPTION | NEW / RETROFIT LUMINAIRE DESCRIPTION | MANUF. | PART/MODEL # | MOUNTING | | | | LAMPS | | | | POWER | | NOTES | | |
| | | | | | CEILING | WALL | RECESSED | SURFACE | SUSPENDED | QTY PER FIXTURE | TYPE | COLOR TEMP (°K) | LUMENS (LM) | L70 (HRS) | | VOLT. (V) | WATTS PER FIXTURE (W) |
| C | 8" Ø x 4.5" H COMPACT FLUORESCENT DOWNLIGHT C/W 2-26W DTT LAMPS, LUTRON HI-LUME SOLID STATE DIMMING BALLAST, CLEAR FINISH (LITHONIA – AFZ2/26DDT 84A 120V DMHL). | 8" Ø x 4.5" H LED DOWNLIGHT RETROFIT KIT C/W LUTRON HI-LUME COMPATIBLE DIMMING DRIVER AND CROSS BAFFLE SATIN NICKEL TRIM. | - | PERFORMANCE SPECIFICATION | X | . | X | . | . | 1 | LED | 4000 | 3000 | 50,000 | 120 | 36.6 | 1, 3, 4 |
| H | 6" Ø x 10" H COMPACT FLUORESCENT DOWNLIGHT C/W 1-26W DTT LAMPS, CLEAR FINISH (LITHONIA – AFV 26/32TRT 6AR 120). | 6" Ø x 10" H LED DOWNLIGHT RETROFIT KIT C/W FORWARD / REVERSE PHASE DIMMING AND CROSS BAFFLE SATIN NICKEL TRIM. | - | PERFORMANCE SPECIFICATION | X | . | X | . | . | 1 | LED | 4000 | 1500 | 50,000 | 120 | 20.3 | 1, 3 |
| K1 | 6" Ø x 8.5" H HID DOWNLIGHT C/W 70W MH LAMP, CLEAR FINISH AND DAMP LOCATION RATED (LITHONIA – AH 70M 6AR 120 CSA). | 6" Ø x 8.5" H LED DOWNLIGHT RETROFIT KIT C/W FORWARD / REVERSE PHASE DIMMING, WET LOCATION RATED, IC-RATED AND SATIN NICKEL TRIM. | - | PERFORMANCE SPECIFICATION | X | . | X | . | . | 1 | LED | 4000 | 2000 | 50,000 | 120 | 20 | 1, 3 |
| K2 / K3 | 6" Ø DOWNLIGHT C/W DAMP LOCATION RATING. | 6" Ø LED DOWNLIGHT RETROFIT KIT C/W FORWARD / REVERSE PHASE DIMMING, WET LOCATION RATED, IC-RATED AND SATIN NICKEL TRIM. | - | PERFORMANCE SPECIFICATION | X | . | X | . | . | 1 | LED | 4000 | 2000 | 50,000 | 120 | 20 | 1, 2, 3 |
| P | - | 18" Ø x 4.5" H SURFACE MOUNT LED LUMINAIRE C/W HAND SPUN 20 GAUGE STEEL HOUSING (SOFT EDGES), GLOSS WHITE FINISH, FLAT WHITE ACRYLIC LENS, DAMP LOCATION RATED AND 5-YEAR WARRANTY. | - | PERFORMANCE SPECIFICATION | X | . | . | X | . | 1 | LED | 4000 | 2000 | 150,000 | 120 | 39 | . |

← NOT IN CONTRACT

NOT IN CONTRACT →


GENERAL NOTES:


- THE ELECTRICAL CONTRACTOR SHALL PROVIDE COMPATIBLE LED RETROFIT KITS FOR THE TYPE 'C', 'H', AND 'K' LUMINAIRES COMPLETE WITH RETROFIT WIRING HARNESS, REFLECTOR, TRIM, OPTICAL LENS, LED DRIVER / JUNCTION BOX, FRICTION CLIPS AND WARNING LABEL.
- PRIOR TO ORDERING THE ELECTRICAL CONTRACTOR SHALL CONFIRM THAT THE TYLE 'K2' AND 'K3' LED RETROFIT LUMINAIRES ARE COMPATIBLE WITH THE EXISTING LUMINAIRE HOUSINGS.
- LED RETROFIT LUMINAIRES HEIGHTS SHALL NOT EXCEED THE HEIGHT OF THE EXISTING LUMINAIRE.
- A LUTRON HI-LUME TO 0-10 VDC CONVERTOR MAY BE USED.

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| Revision / Révision | |
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Certificate of Authorization
KGS Group
No. 245



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6181 | architecture49.com

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant



Project title/Titre du projet

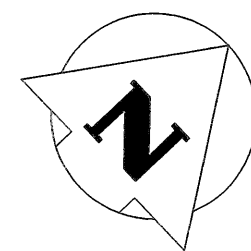
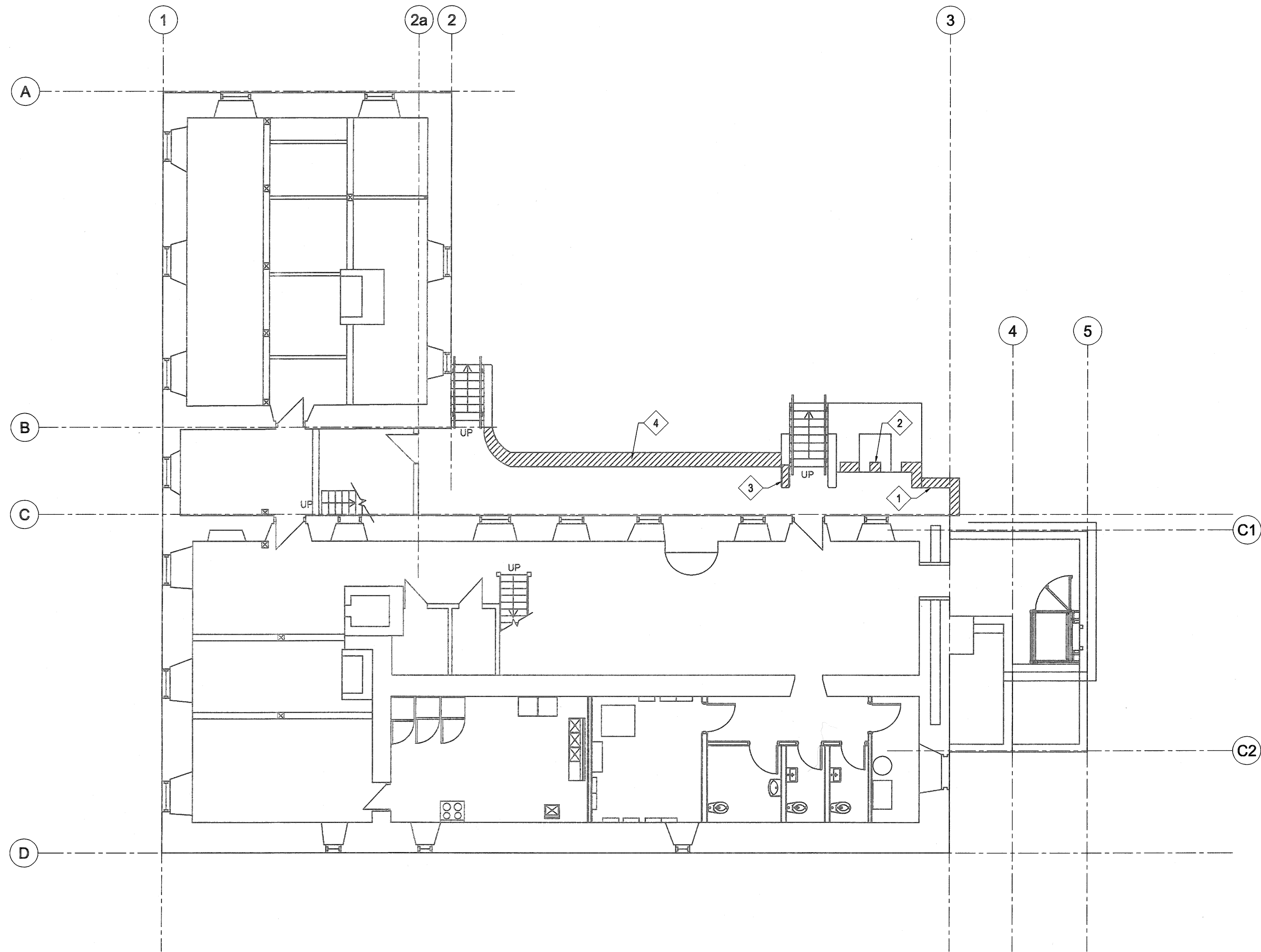
LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

LUMINAIRE
SCHEDULE

| | | |
|---|-------------------------------|---------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par SDC | Date 2018/03/26 |
| Designed by/Concept par CLS | Reviewed by/Revisé par CLS | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

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| Project No./Nº du projet 1603 | Asset No./Nº du bien N/A | Sheet No./ Nº de la feuille |
| Drawing Set No./Nº de série du dessin 18-0051-001 | | EG-601 |



BASEMENT PLAN
SCALE: 1:100


KEY NOTES:

- 1 RECONSTRUCT FACE OF MASONRY STONE WALL, APPROXIMATE QUANTITY OF 4 SQUARE METERS.
- 2 REPLACE THE BAKE OVEN EXPOSED LINTEL AND REPOINT ABOVE AND BELOW BAKE OVEN FRONT TO REPAIR MORTAR CRACKING. REINFORCE LINTEL WITH HIDDEN STEEL MEMBER.
- 3 RECONSTRUCT APPROXIMATELY 1.5 SQUARE METER SECTION OF MASONRY STONE WALL AT STAIRS.
- 4 REPOINT SELECTED SECTIONS OF STONE MASONRY RETAINING WALL AND REPLACE DETERIORATED STONES AS REQUIRED. APPROXIMATE QUANTITY OF 20 SQUARE METERS.


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| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur




Certificate of Authorization
KGS Group
No. 245



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1200 | FAX: 204-477-6 | architecture49.com



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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant

KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

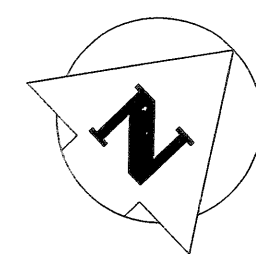
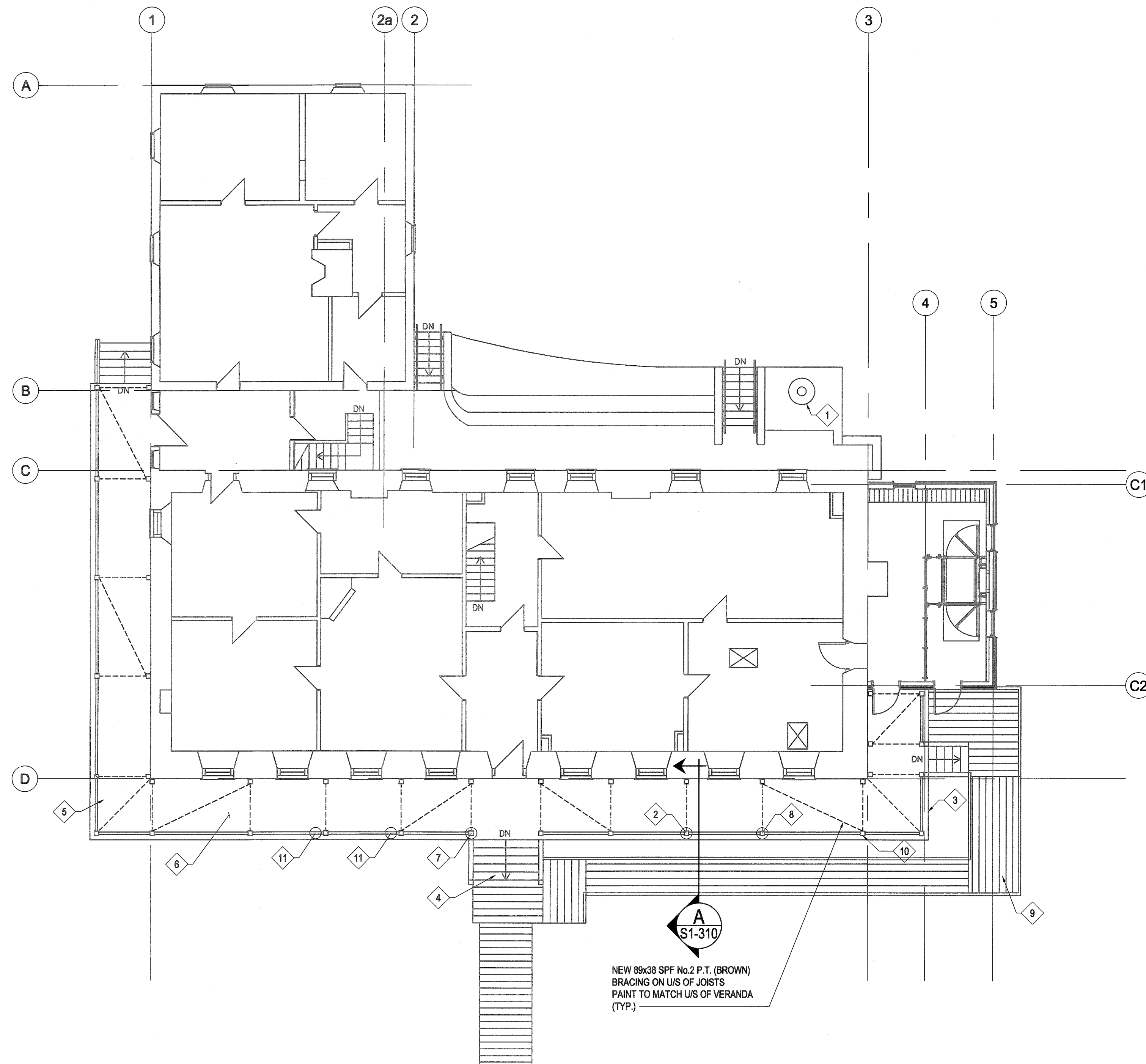
**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**BIG HOUSE
STRUCTURAL
BASEMENT FLOOR PLAN**

| | | |
|---|-------------------------------|---------------------------|
| Surveyed by/Arpenté par MBB | Drawn by/Dessiné par MBB | Date 2018/02/21 |
| Designed by/Concept par KRD | Reviewed by/Revisé par KRD | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

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| Project No./N° du projet 1803 | Asset No./N° du bien | Sheet No./ N° de la feuille |
| Drawing Set No./N° de série du dessin 18-0051-001 | | S1-100 |



MAIN FLOOR PLAN
SCALE: 1:100

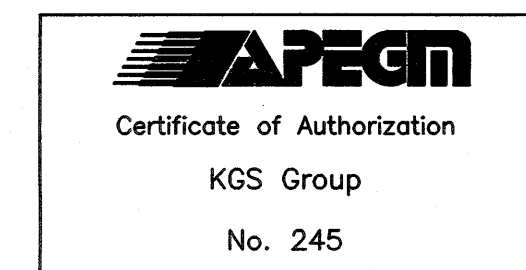
KEY NOTES:

- 1 SHORE THE STONE BAKE CHIMNEY STACK AND REPOINT TO CORRECT CRACKING. APPROXIMATE QUANTITY OF 5 SQUARE METERS PARGE & PAINT TO MATCH EXIST.
- 2 REMOVE BOTTOM OF VERANDA POSTS AND GRAFT-IN NEW SECTIONS WHERE WOOD HAS ROTTED. APPROXIMATE QUANTITY OF 5 LOCATIONS.
- 3 REPLACE ALL DECK FASCIA BOARDS.
- 4 REMOVE & REPLACE TREADS AND RISERS ON FRONT STAIRS TO MATCH EXIST PAINT TO MATCH EXIST.
- 5 CORRECT VERANDA DEFLECTION BY PULLING BACK TO PLUMB. CROSS BRACE THE UNDERSIDE OF THE DECK AND CONNECT THE MAIN VERANDA DECK FRAMES TO THE BIG HOUSE FOUNDATION.
- 6 REPLACE SELECT DECKING MEMBERS (QUANTITY OF 25 L.m.), REPAINT ENTIRE DECK.
- 7 ROUT OUT ROT AT SELECT COLUMNS AT DECK LEVEL AND INJECT WITH WOOD FILLER EPOXY. APPROXIMATE QUANTITY OF 6 COLUMNS.
- 8 PROVIDE NEOPRENE PADS BELOW ALL VERANDA COLUMN-TO-LIMESTONE SLAB CONNECTIONS. EXTEND LIMESTONE FOOTINGS ABOVE GRADE WHERE BOTTOM OF POSTS ARE SOIL-COVERED.
- 9 REPLACE SELECT BOARDWALK PLANKS AS DIRECTED BY THE DEPARTMENTAL REPRESENTATIVE TO MATCH EXISTING APPROXIMATE QUANTITY 6m².
- 10 REPLACE FOOTING BELOW VERANDA POSTS W/ 600x600x150 C.I.P. CONC. PAD C/W 15M BARS @ 150 O.C. E.W. APPROX. QUANTITY=4.
- 11 REPLACE 50x50 BANISTER PICKETS WHERE BROKEN TO MATCH EXIST. APPROX. QUANTITY = 6.

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| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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Architecture49 Project No. 189-00014-00 Sub Consultant Project No. 18-0051-001

Sub Consultant
KGS GROUP
CONSULTING ENGINEERS

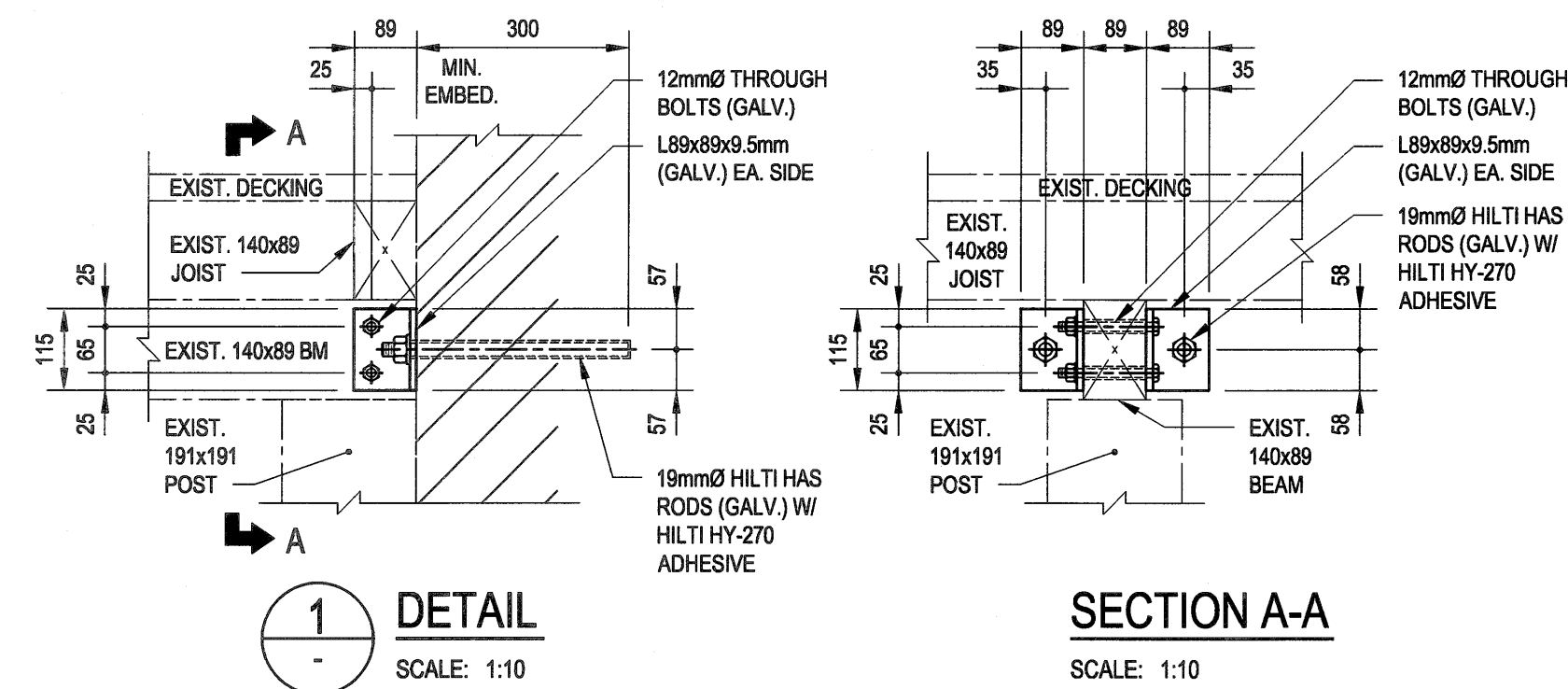
Project title/Titre du projet
LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS





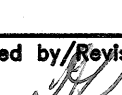
Drawing title/Titre du dessin
BIG HOUSE STRUCTURAL MAIN FLOOR PLAN

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | MBB | 2018/02/21 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| KRD | | AS NOTED |

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| Client Acceptance/Acceptation du client | Approved by/Approuvé par |
| Date | Date |

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| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| 1603 | | S1-110 |
| Drawing Set No./N° de série du dessin | | |
| 18-0051-001 | | |



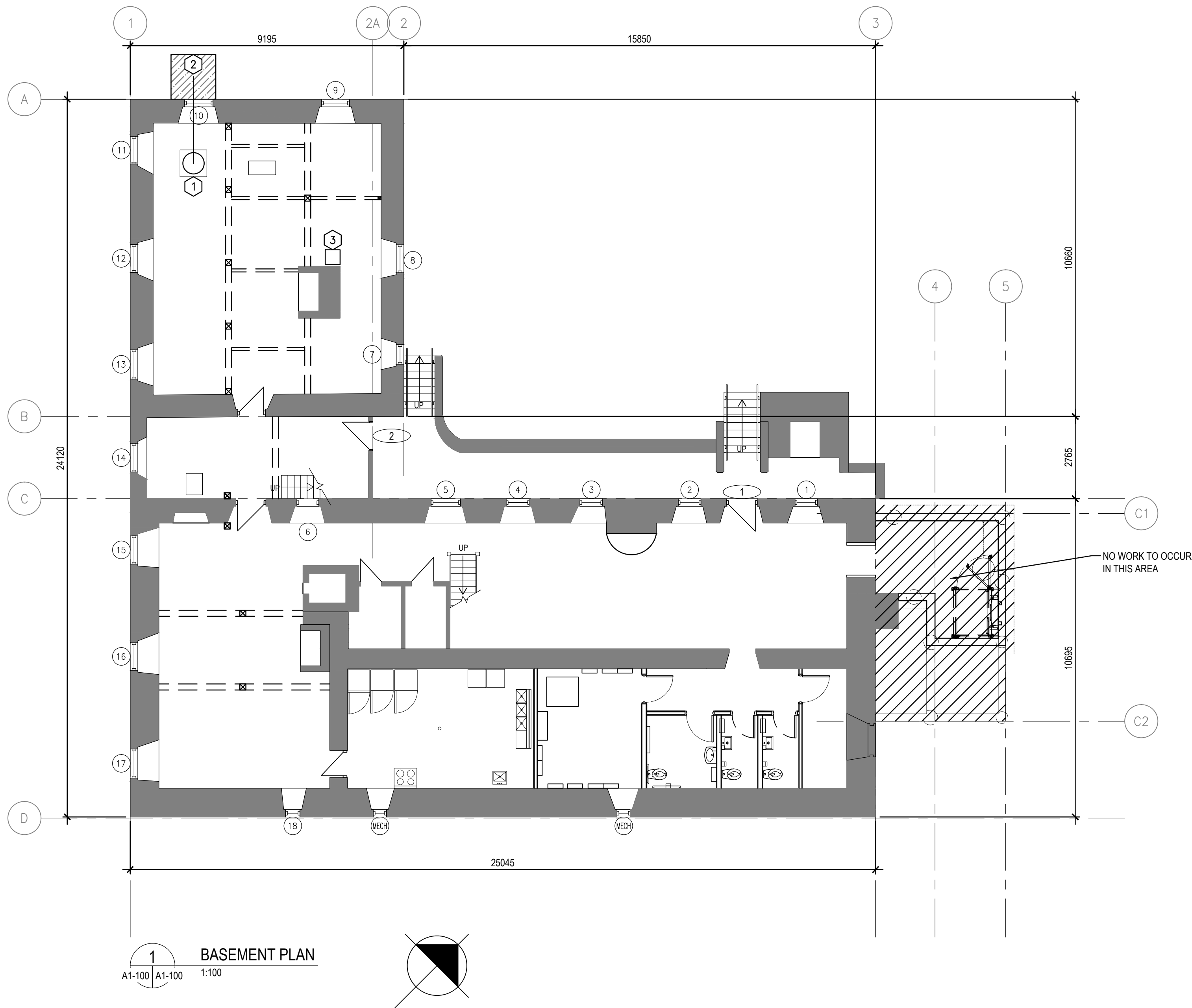
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| Linear dimensions In millimètres | | | Dimensions linéaires en millimètres | | |
| Eng. Stamp. Sceau de l'ingénieur | | | | | |
|  Certificate of Authorization KGS Group No. 245 | | |  | | |
| Consultant's Name Nom de l'expert-conseil | | | | | |
| ARCHITECTURE | | | | 49 | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6S8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | | |
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| Architecture49 Project No. 189-00014-00 | | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | |  | | |
| Project Title/Titre du projet | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | |
| Drawing title/Titre du dessin | | | | | |
| BIG HOUSE STRUCTURAL SECTIONS & DETAILS | | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par MBB | | Date 2018/03/13 | |
| Designed by/Concept par KRD | | Reviewed by/Revisé par  | | Scale/Echelle AS NOTED | |
| Client Acceptance/Acceptation du client | | | | Approved by/Approuvé par | |
| Date | | | | Date | |
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| Drawing Set No./N° de série du dessin 18-0051-001 | | | | S1-310 | |

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- FASTEN STORM SASHES IN ANNEX BASEMENT.
- MOULD AND ALGAE ABATEMENT TO OCCUR ON WALLS AND WINDOW OPENINGS IN BASEMENT ANNEX. PREPARE AND PAINT ALL TREATED SURFACES, TO MATCH EXISTING.

DRAWING KEYNOTES:

- NEW SUMP PUMP IN CRAWLSPACE, OPEN FLOOR FOR MECHANICAL INSTALLATION, APPROXIMATELY 900x900mm. SEE AG002-1 FOR TYPICAL FLOOR ACCESS HATCH. SALVAGE MATERIALS FOR CONSTRUCTION OF PERMANENT ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- EXCAVATE TO DEPTH SUITABLE FOR SUMP PUMP DISCHARGE INSTALLATION. PROVIDE WALL PENETRATION TO CONNECT NEW SUMP PUMP DISCHARGE TO EXISTING DRAINAGE ON SITE. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- LOCATION OF NEW DEHUMIDIFIER. CONNECT DEHUMIDIFIER THROUGH EXISTING OPENING TO EXISTING DRAINAGE AND POWER UNDERNEATH FLOOR JOISTS. USE EXISTING OPENING FOR DISCHARGE. DO NOT CUT FLOOR JOISTS. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.



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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| BIG HOUSE BASEMENT PLAN |

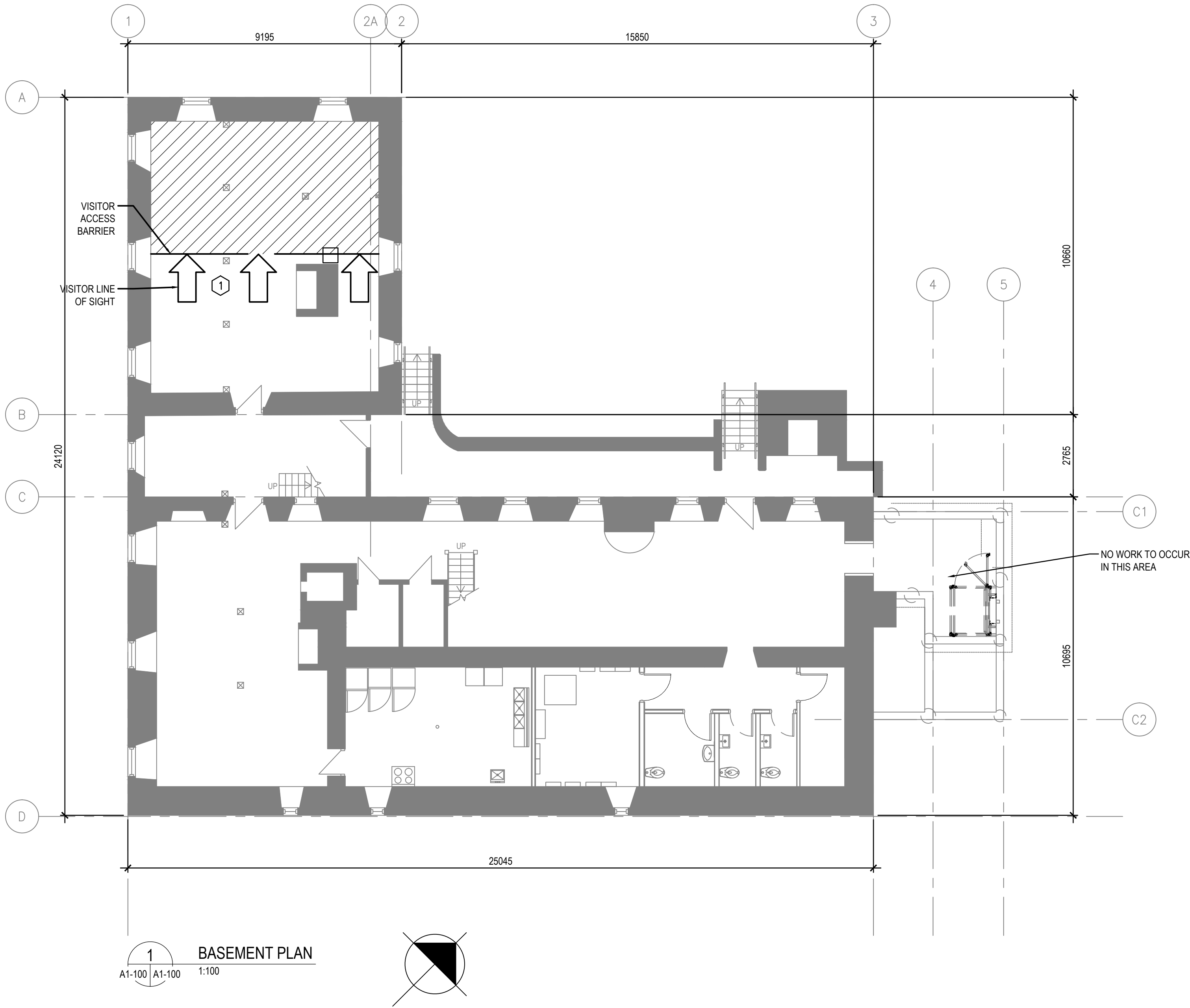
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| | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
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| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| R. | R. | A1-100 |
| Drawing Set No./N° de série du dessin | | |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. FASTEN STORM SASHES IN ANNEX BASEMENT.
5. MOULD AND ALGAE ABATEMENT TO OCCUR ON WALLS AND WINDOW OPENINGS IN BASEMENT ANNEX. PREPARE AND PAINT ALL TREATED SURFACES, TO MATCH EXISTING.

DRAWING KEYNOTES:

1. COORDINATE/REVIEW LOCATIONS OF ALL EXPOSED CONDUIT, PIPING, ETC W/ PARKS CANADA STAFF TO MINIMIZE SIGHTLINES OF NEW SERVICES.



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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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Nom de sous conseil

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

BIG HOUSE
BASEMENT PLAN
VISITOR SIGHTLINES

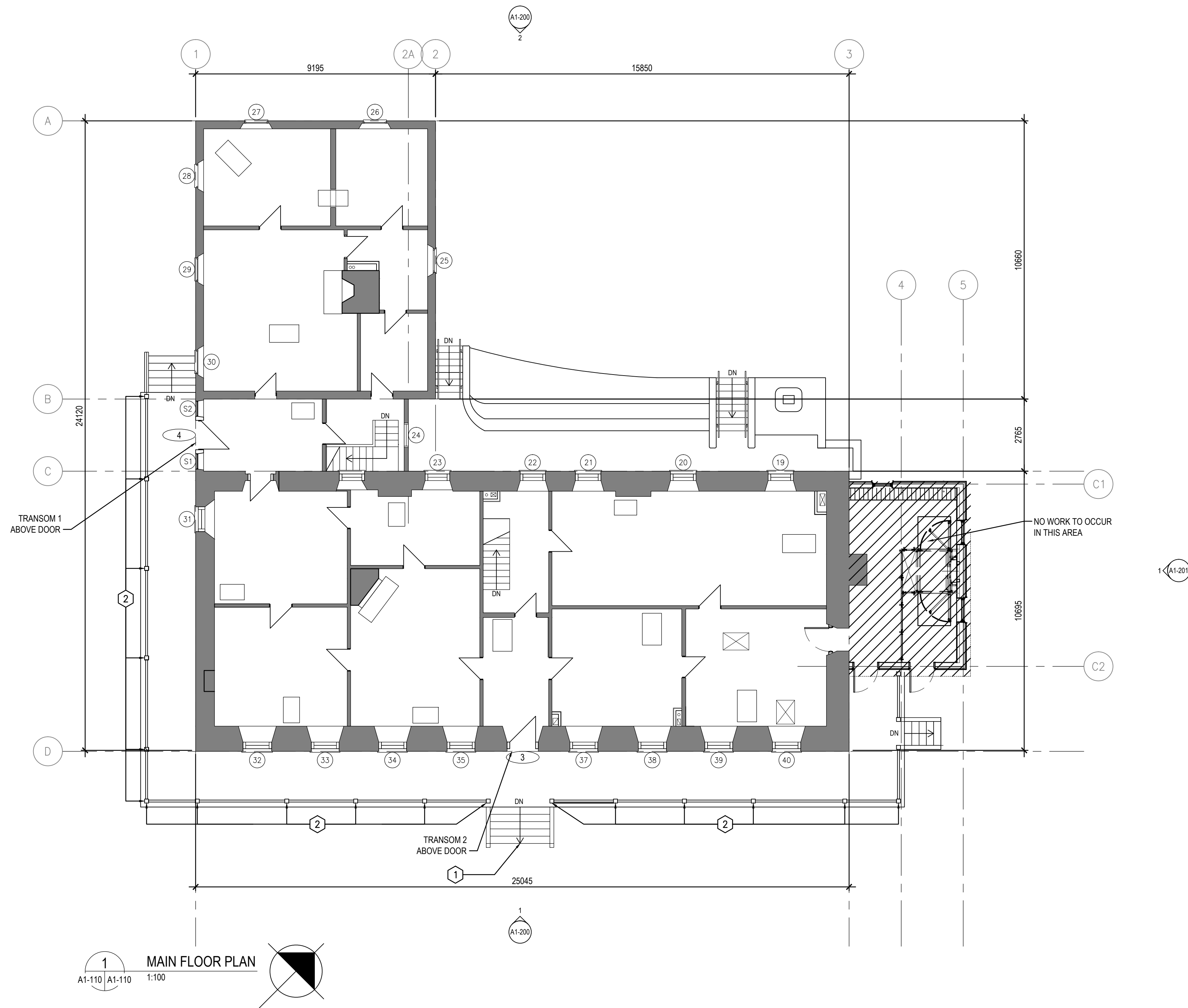
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| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A1-101 |
| Drawing Set No./Nº de série du dessin | | |

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- FASTEN STORM SASHES IN ANNEX BASEMENT.
- MOULD AND ALGAE ABATEMENT TO OCCUR ON WALLS AND WINDOW OPENINGS IN BASEMENT ANNEX. PREPARE AND PAINT ALL TREATED SURFACES, TO MATCH EXISTING.

DRAWING KEYNOTES:

- REPLACE TREADS AND RISERS AT FRONT ENTRANCE.
- RESTAIN COLUMNS, RAILS, AND PICKETS. REFER TO STRUCTURAL FOR REPAIRS.



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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
|---------------------------------------|--|

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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| BIG HOUSE MAIN FLOOR PLAN |

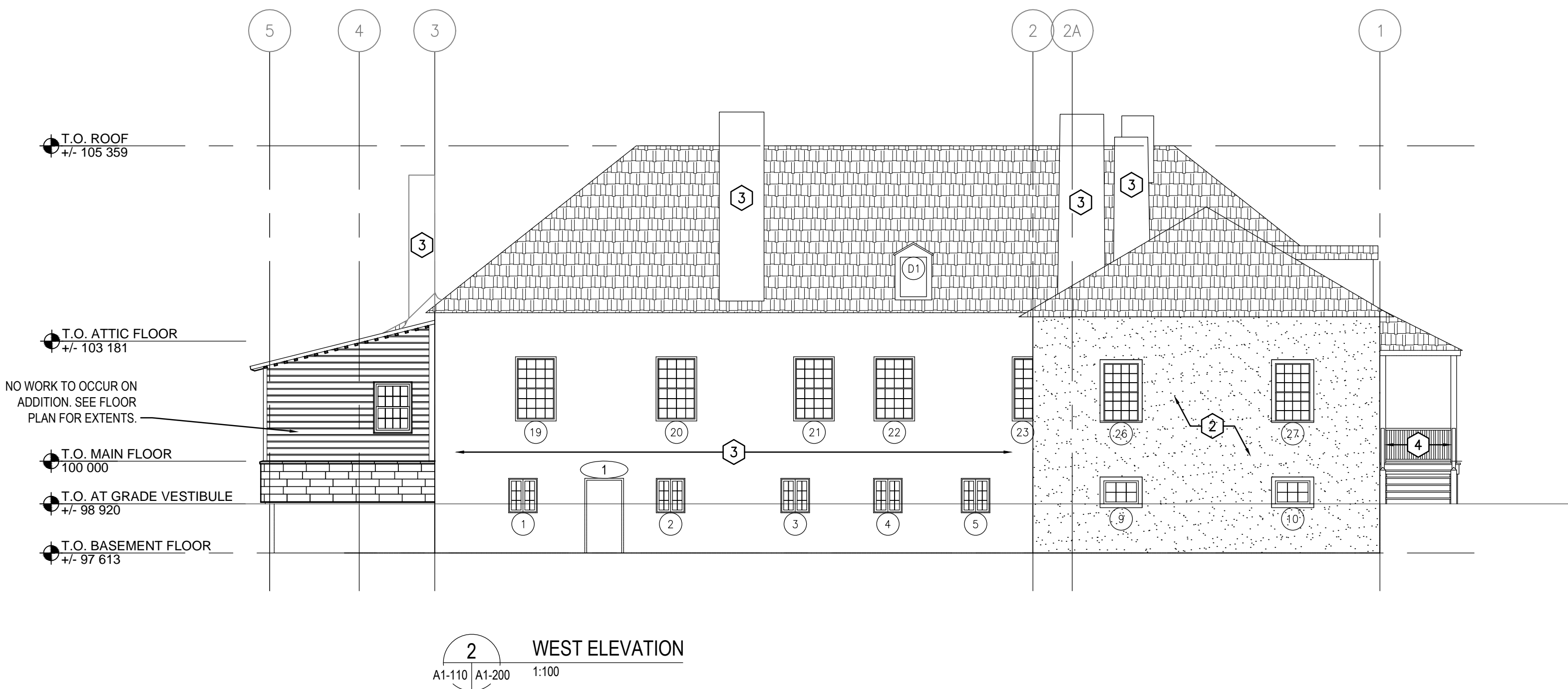
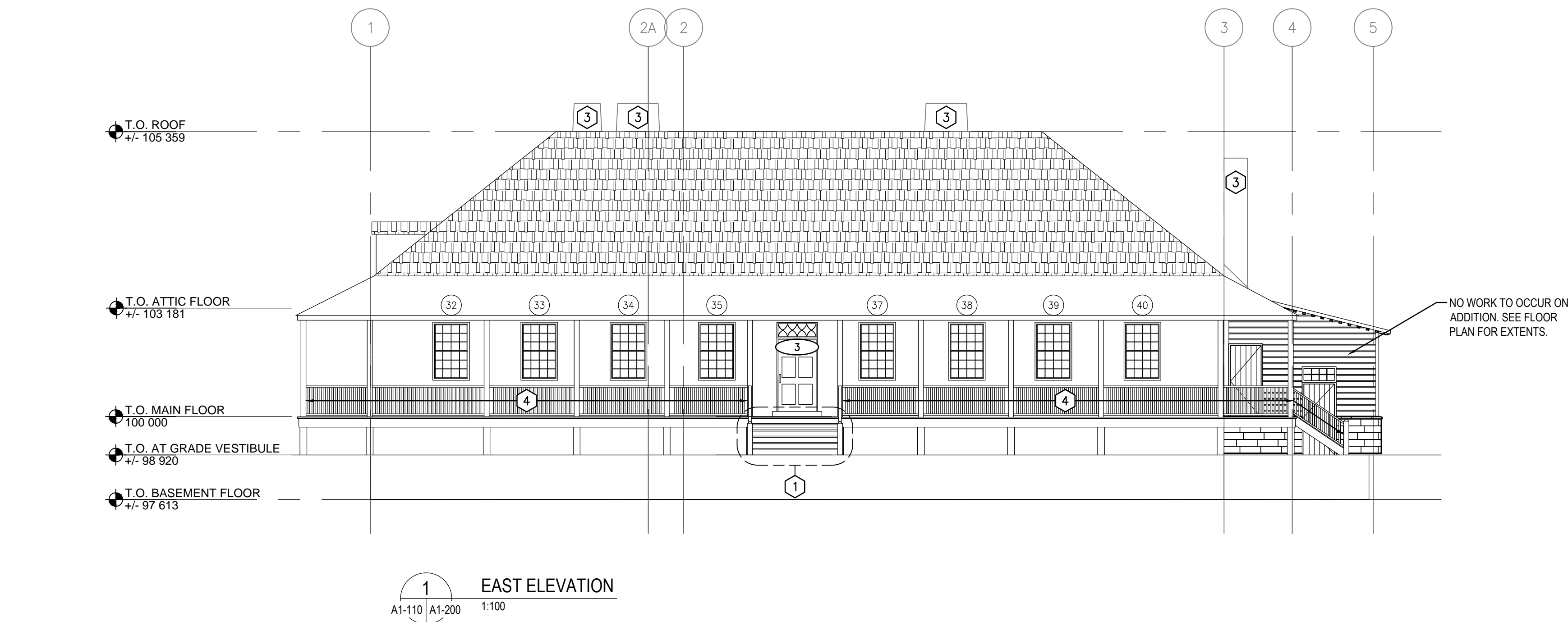
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| R. | R. | |
| Drawing Set No./N° de série du dessin | | A1-110 |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. FASTEN STORM SASHES IN ANNEX BASEMENT.
5. MOULD AND ALGAE ABATEMENT TO OCCUR ON WALLS AND WINDOW OPENINGS IN BASEMENT ANNEX. PREPARE AND PAINT ALL TREATED SURFACES, TO MATCH EXISTING.

DRAWING KEYNOTES:

1. REPLACE TREADS AND RISERS AT FRONT ENTRANCE.
2. PAINT EXISTING STUCCO. REFER TO SPECIFICATIONS FOR PAINT COLOURS.
3. CLEAN EXISTING STONE MASONRY. REFER TO SPECIFICATIONS FOR RESTRICTIONS ON PRODUCTS AND METHODS.
4. RESTAIN COLUMNS, RAILS, AND PICKETS. REFER TO STRUCTURAL FOR REPAIRS. REFER TO SPECIFICATIONS FOR PAINT COLOURS.



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| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| Revision / Revision | | Linear dimensions in millimetres | | Dimensions linéaires en millimètres | |
|------------------------------------|--|-------------------------------------|--|--|--|
| Eng. Stamp Sceau de l'ingénieur | | | | | |

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|---|--|--------------------------|--|
| Consultant's Name Nom de l'expert-conseil | | ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | |

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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
|---------------------------------------|--|

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| Project title/Titre du projet | LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |
|-------------------------------|--|

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|-------------------------------|----------------------------------|
| Drawing title/Titre du dessin | BIG HOUSE EXTERIOR ELEVATIONS |
|-------------------------------|----------------------------------|

| | | |
|---|------------------------|--------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

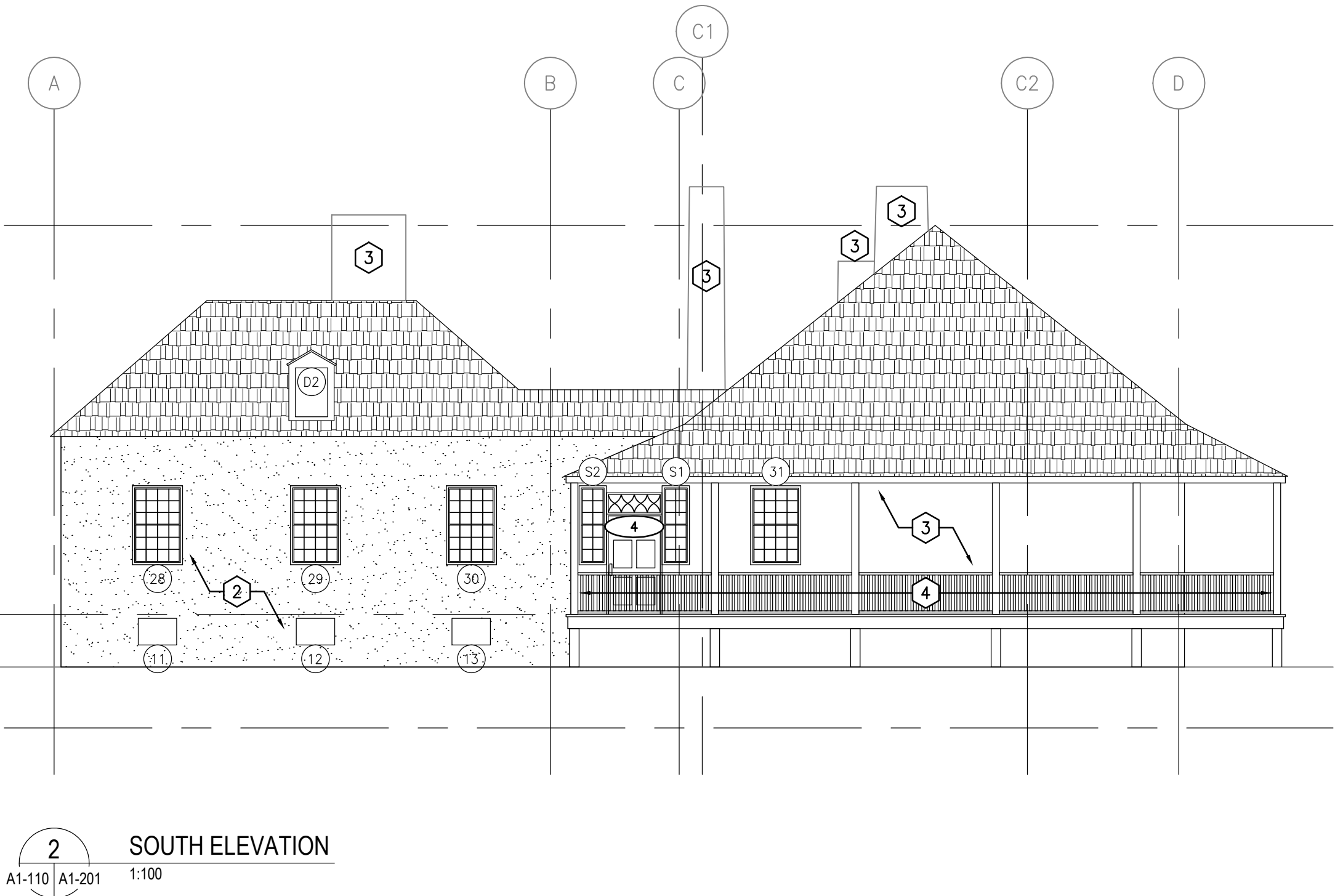
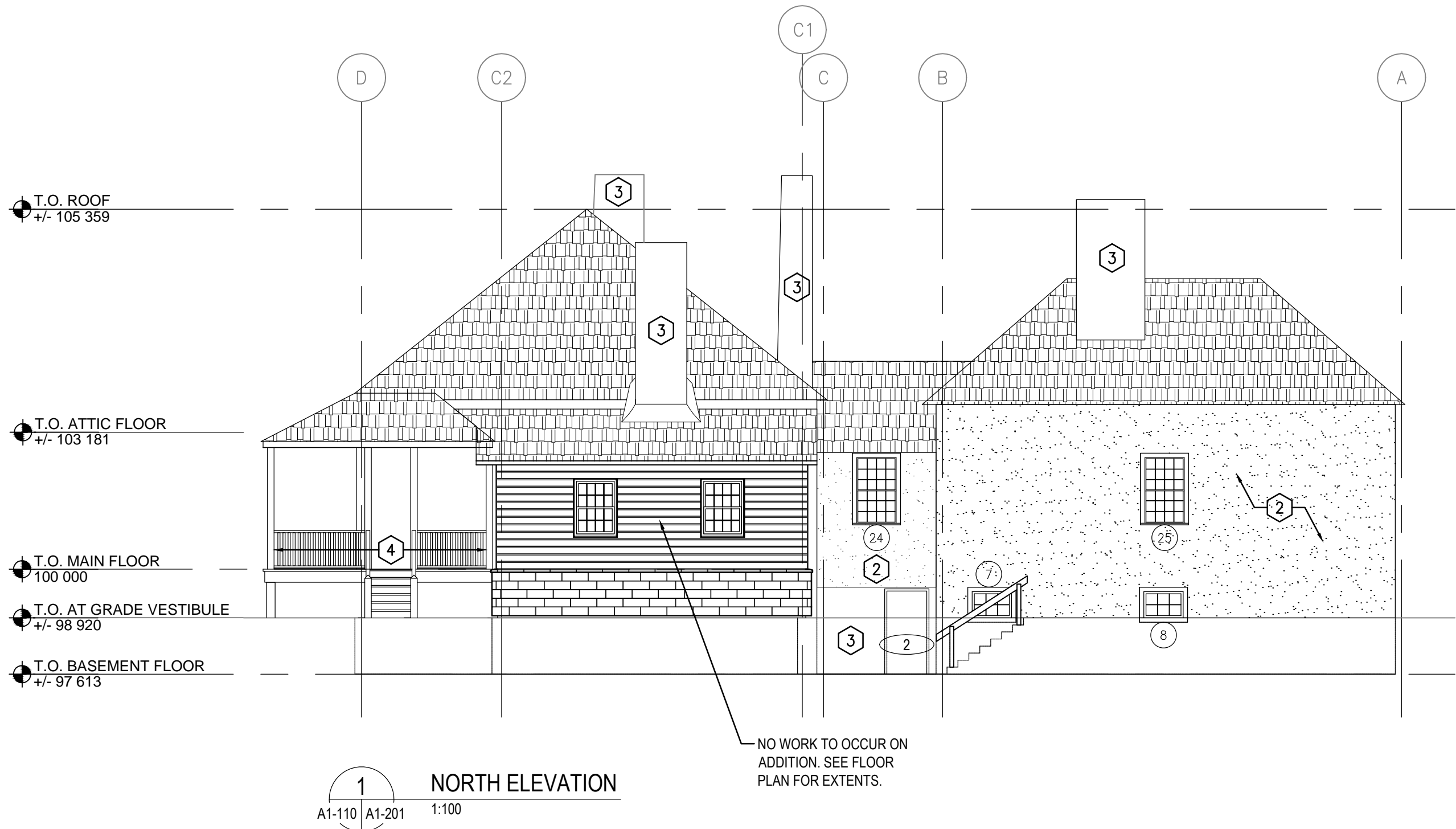
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|---------------------------------------|----------------------|--------------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| R. | R. | A1-200 |
| Drawing Set No./N° de série du dessin | | |

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- FASTEN STORM SASHES IN ANNEX BASEMENT.
- MOULD AND ALGAE ABATEMENT TO OCCUR ON WALLS AND WINDOW OPENINGS IN BASEMENT ANNEX. PREPARE AND PAINT ALL TREATED SURFACES, TO MATCH EXISTING.

DRAWING KEYNOTES:

- REPLACE TREADS AND RISERS AT FRONT ENTRANCE.
- PAINT EXISTING STUCCO. REFER TO SPECIFICATIONS FOR PAINT COLOURS.
- CLEAN EXISTING STONE MASONRY. REFER TO SPECIFICATIONS FOR RESTRICTIONS ON PRODUCTS AND METHODS.
- RESTAIN COLUMNS, RAILS, AND PICKETS. REFER TO STRUCTURAL FOR REPAIRS. REFER TO SPECIFICATIONS FOR PAINT COLOURS.



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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

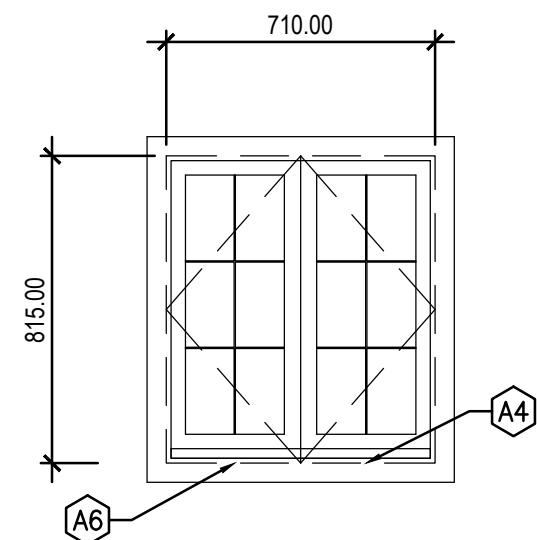
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

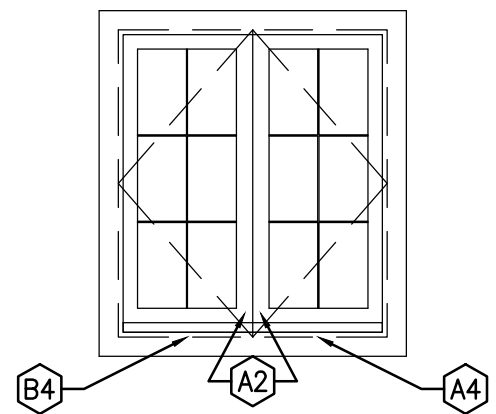
Drawing title/Titre du dessin

BIG HOUSE
EXTERIOR ELEVATIONS

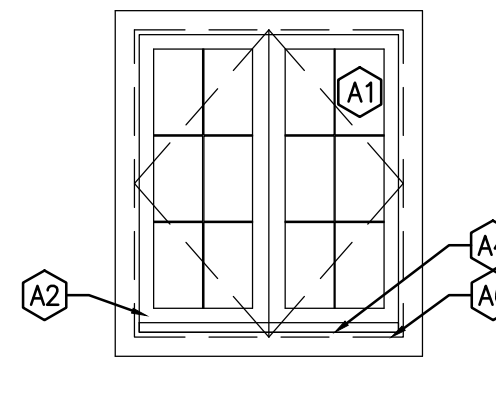
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|---|------------------------|--------------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
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| R. | R. | A1-201 |
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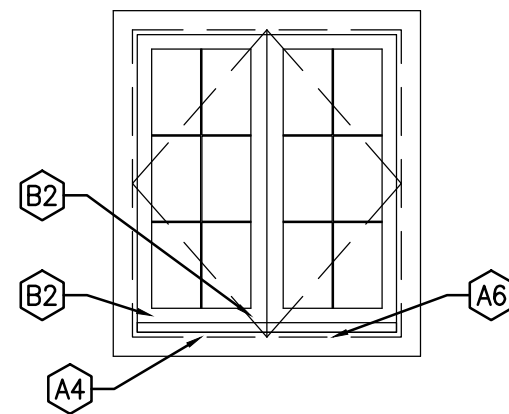
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CASEMENT
A1-200 | A1-600 1:20



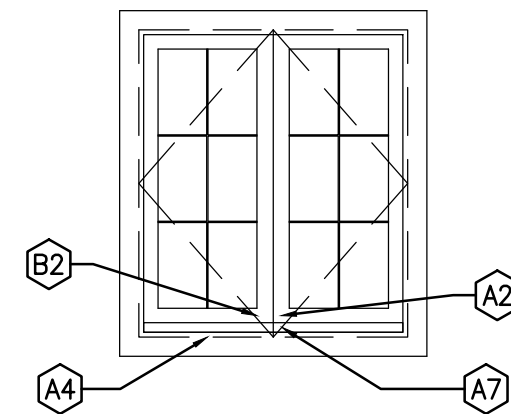
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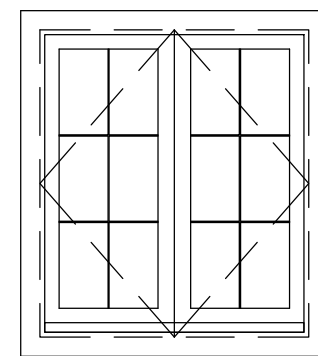
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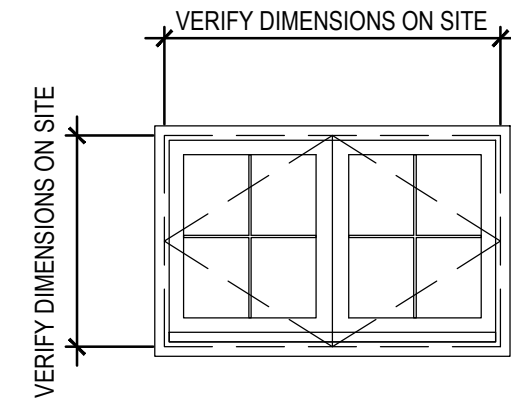
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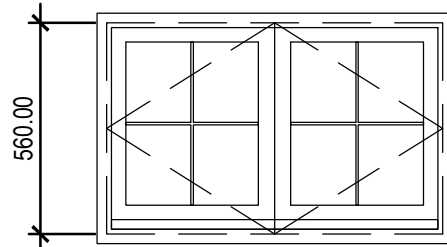
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A1-200 | A1-600 1:20



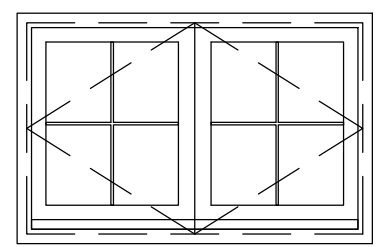
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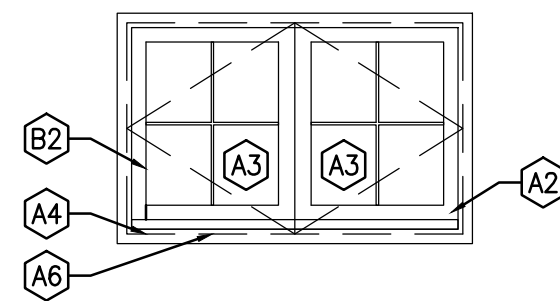
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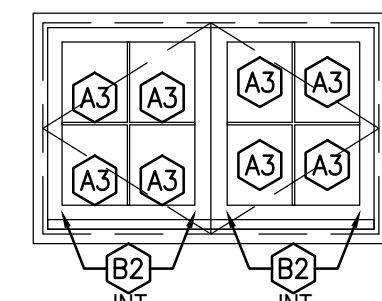
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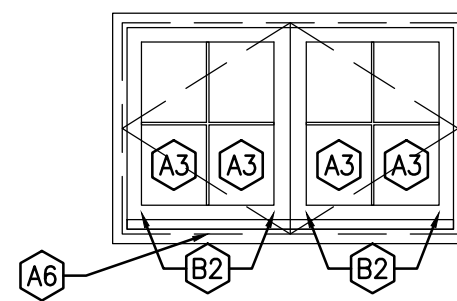
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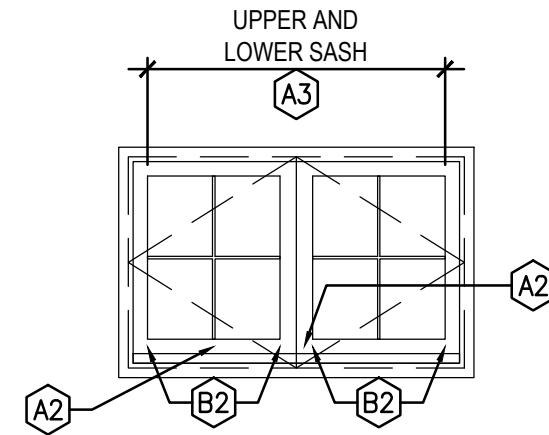
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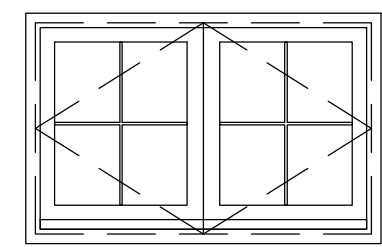
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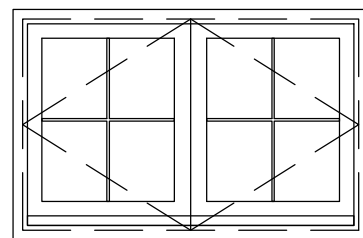
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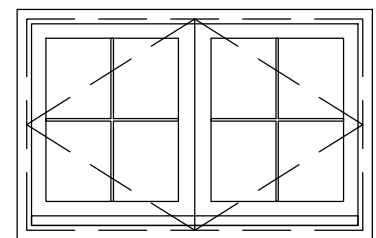
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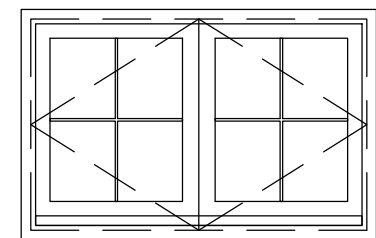
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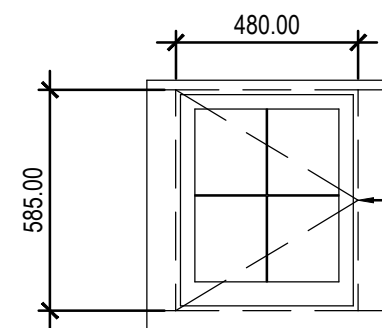
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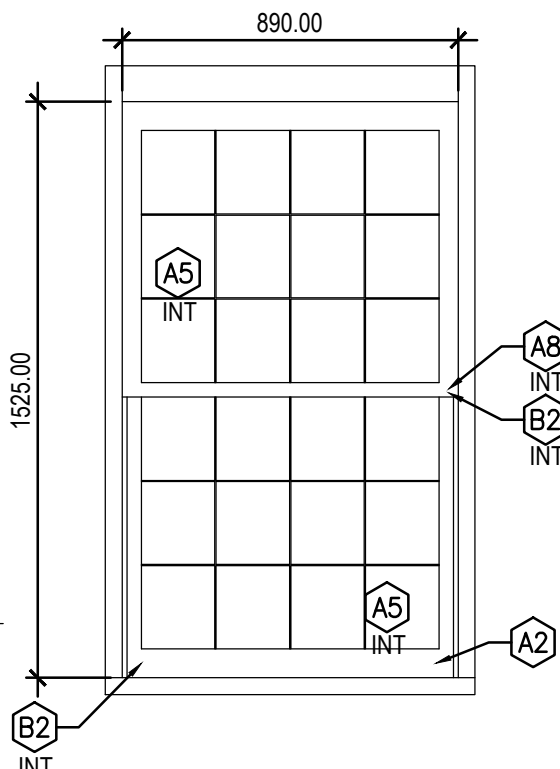
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CASEMENT
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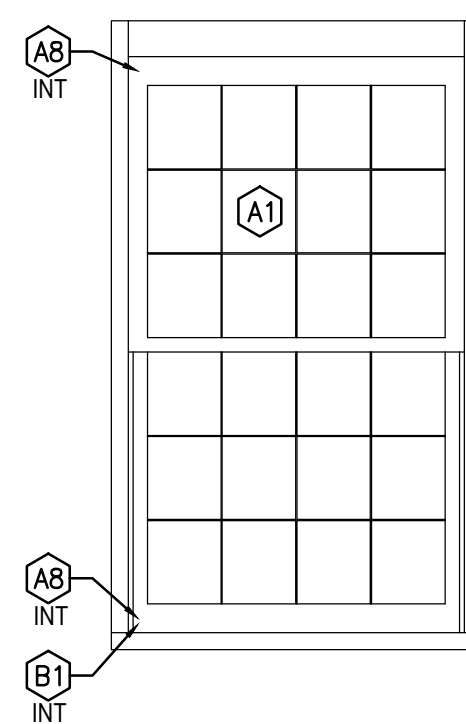
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A1-201 | A1-600 1:20



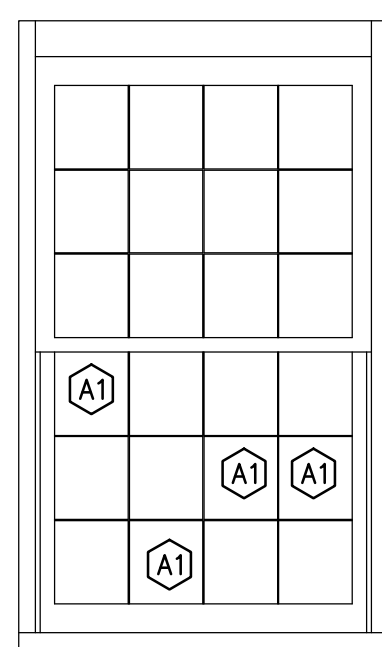
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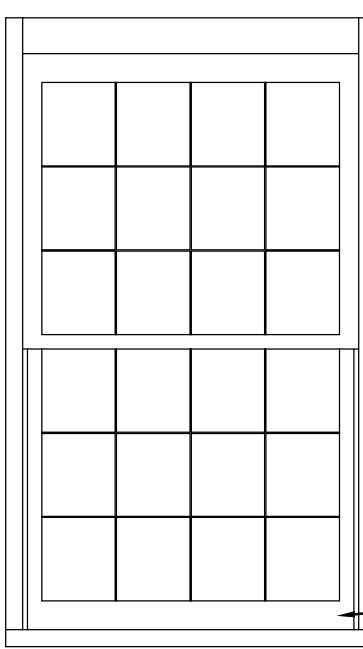
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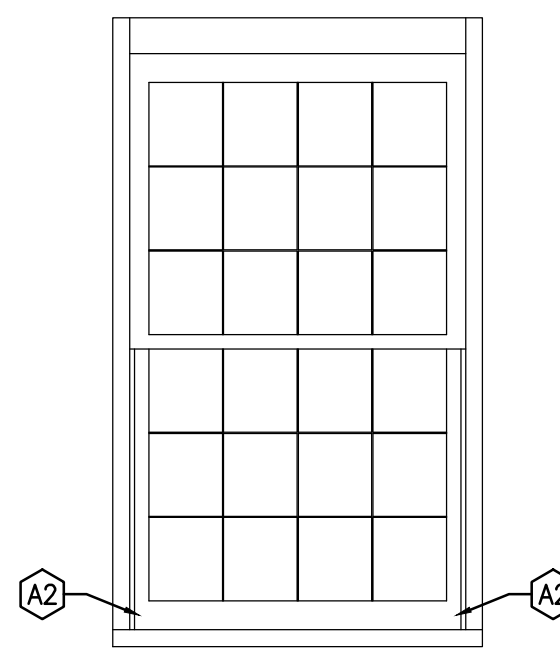
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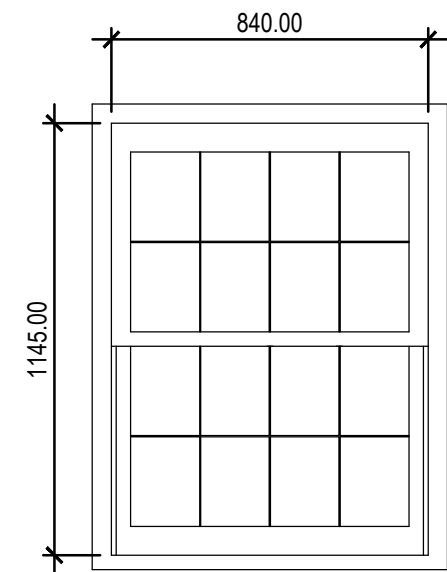
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DOUBLE HUNG
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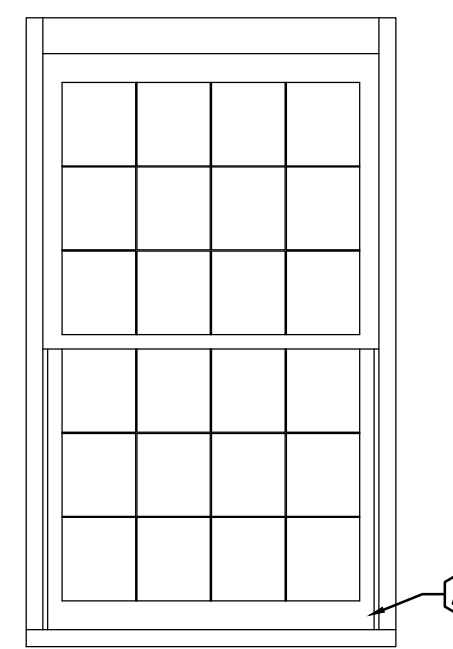
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A1-200 | A1-600 1:20



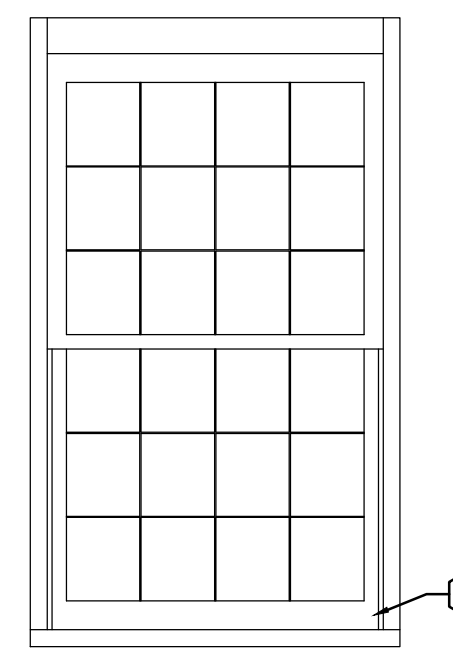
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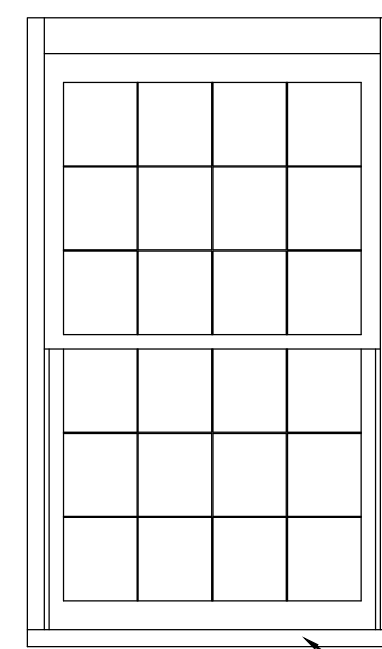
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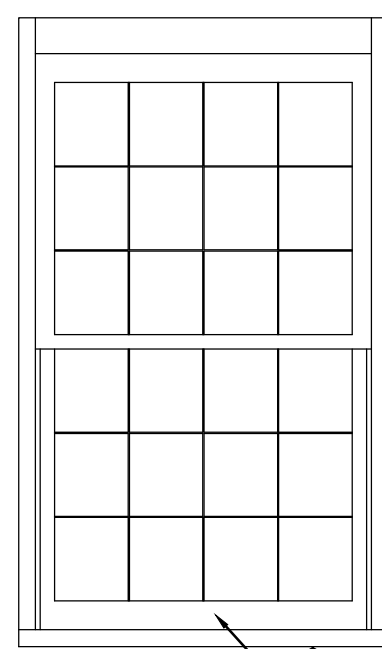
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DOUBLE HUNG
A1-201 | A1-600 1:20



26 WINDOW TYPE 4
DOUBLE HUNG
A1-200 | A1-600 1:20



27 WINDOW TYPE 4
DOUBLE HUNG
A1-200 | A1-600 1:20



28 WINDOW TYPE 4
DOUBLE HUNG
A1-201 | A1-600 1:20

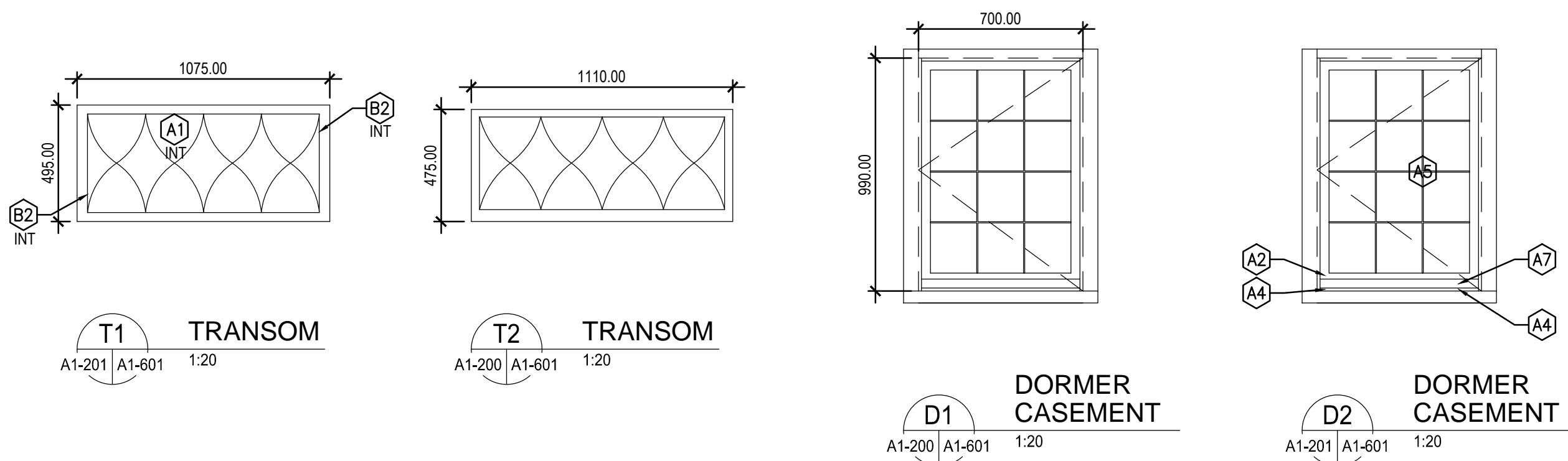
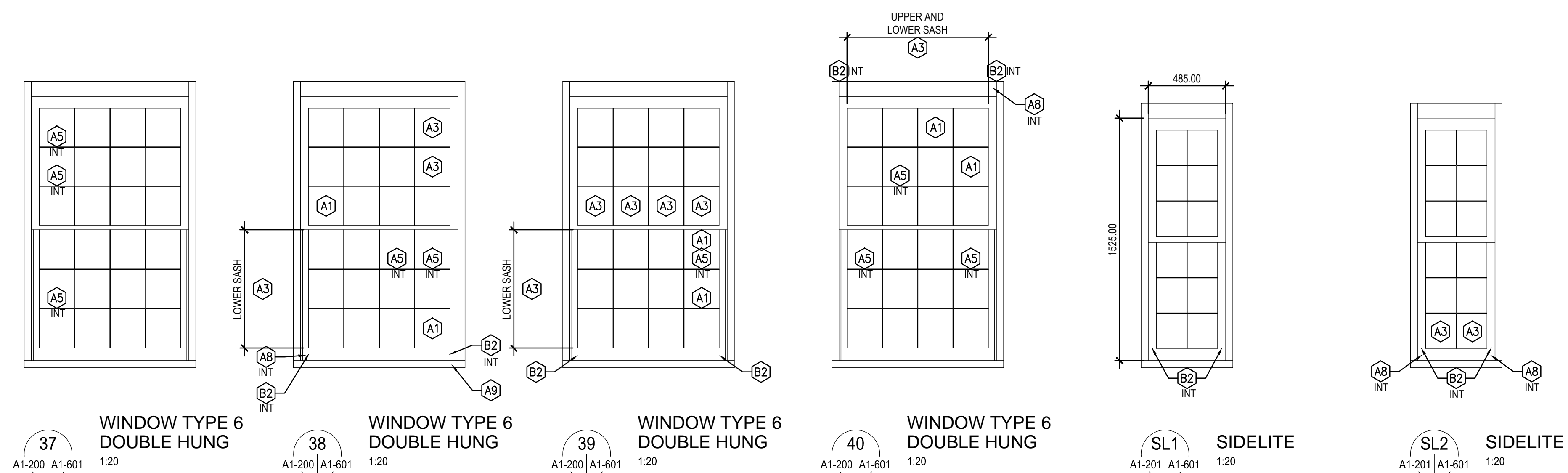
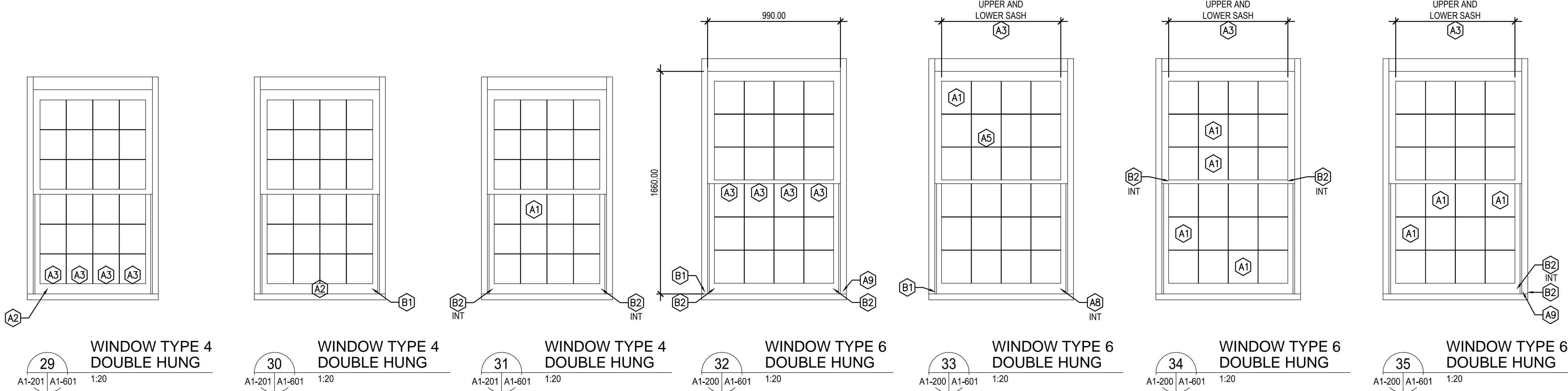
GENERAL NOTES:

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DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
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 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
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 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

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| 1 | | | | | 2018-04-27 | | | | | ISSUED FOR CONSTRUCTION | | | | | AV | | | | | GL | | | | | | | | | |
| 0 | | | | | 2018-03-29 | | | | | ISSUED FOR 99% SUBMISSION | | | | | AV | | | | | GL | | | | | | | | | |
| No. | | | | | Date | | | | | Description | | | | | Drawn by Dessiné par | | | | | Approved Approuvé | | | | | | | | | |
| Revision / Revision | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Linear dimensions in millimetres | | | | | | | | | | Dimensions linéaires en millimètres | | | | | | | | | | | | | | | | | | | |
| Eng. Stamp Sceau de l'ingénieur | | | | | | | | | | ARCHITECTURE49 INC. No. 176 REGISTERED ARCHITECT | | | | | | | | | | | | | | | | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARCHITECTURE 49 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | | | | | | | | | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | | | | | | | | | | | | | | | | |
| Canada | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Architecture49 Project No. 189-00014-00 | | | | | | | | | | Sub Consultant Project No. 18-0051-001 | | | | | | | | | | | | | | | | | | | |
| Sub Consultant Nom de sous conseil | | | | | | | | | | KGS GROUP CONSULTING ENGINEERS | | | | | | | | | | | | | | | | | | | |
| Project title/Titre du projet | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Drawing title/Titre du dessin | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BIG HOUSE WINDOWS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Surveyed by/Arpenté par | | | | | Drawn by/Dessiné par | | | | | Date | | | | | | | | | | | | | | | | | | | |
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| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Project No./N° du projet | | | | | | | | | | Assest No./N° du bien | | | | | | | | | | Sheet No./N° de la feuille | | | | | | | | | |
| R. | | | | | | | | | | R. | | | | | | | | | | A1-600 | | | | | | | | | |
| Drawing Set No./N° de série du dessin | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



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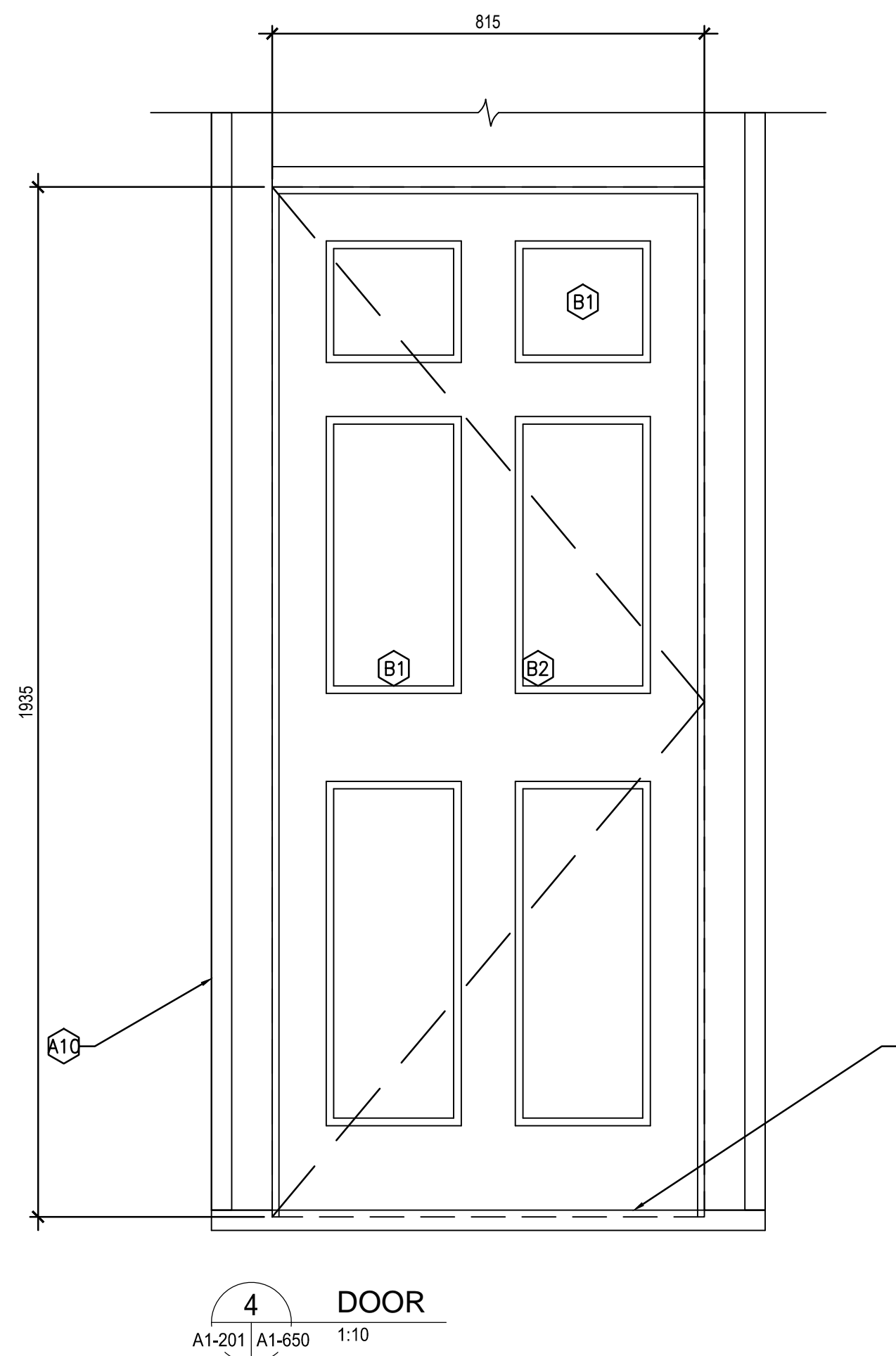
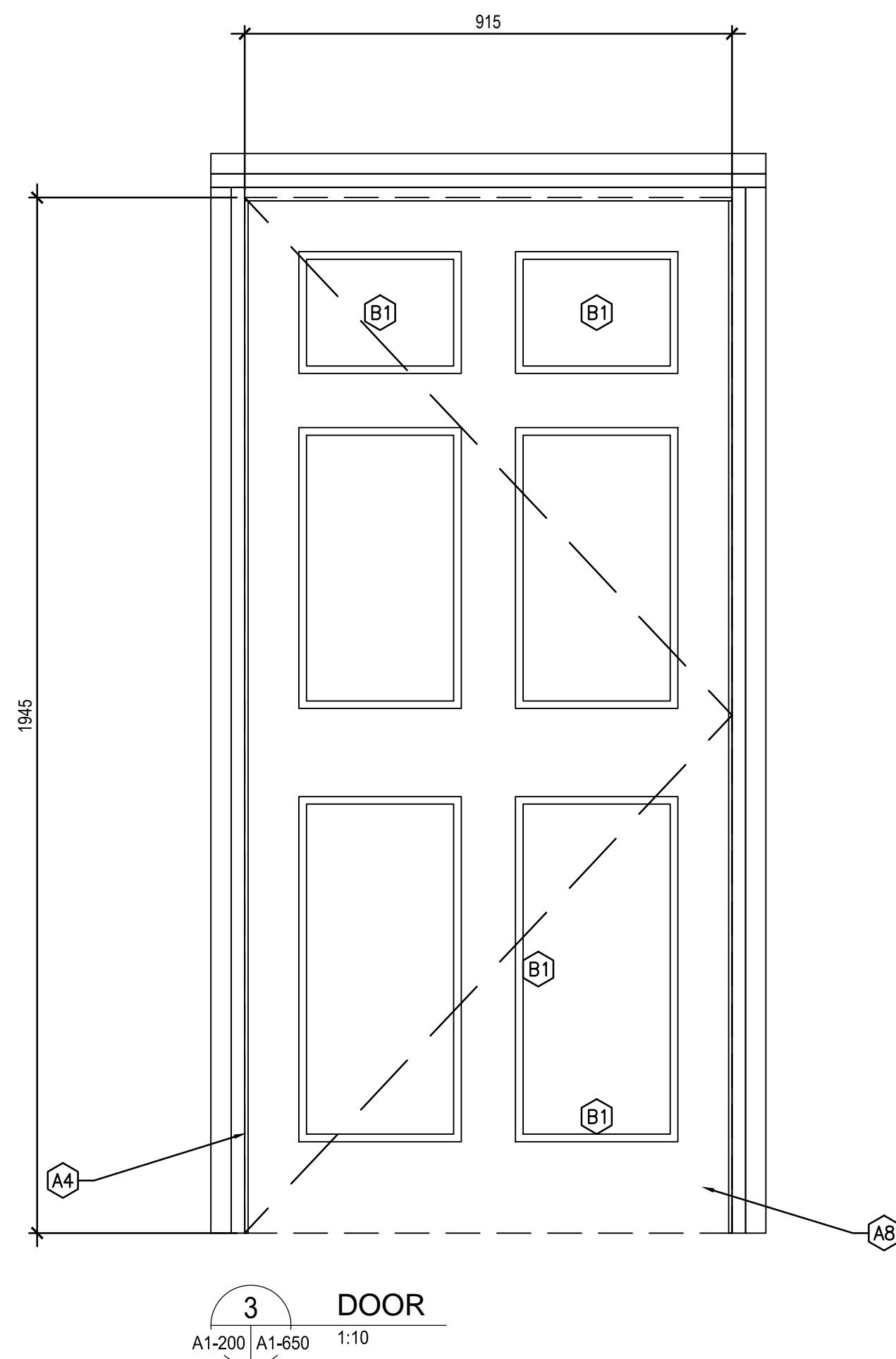
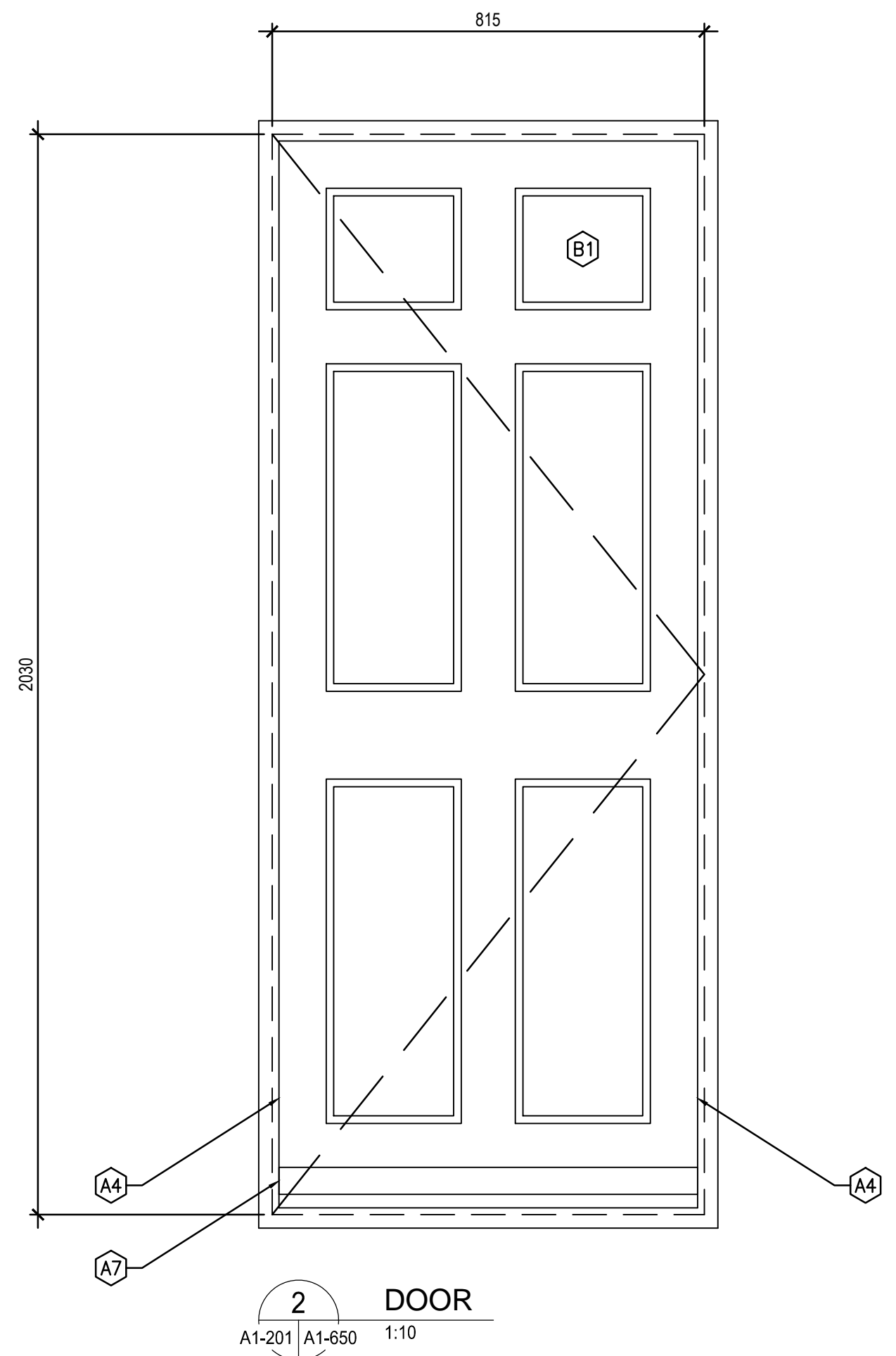
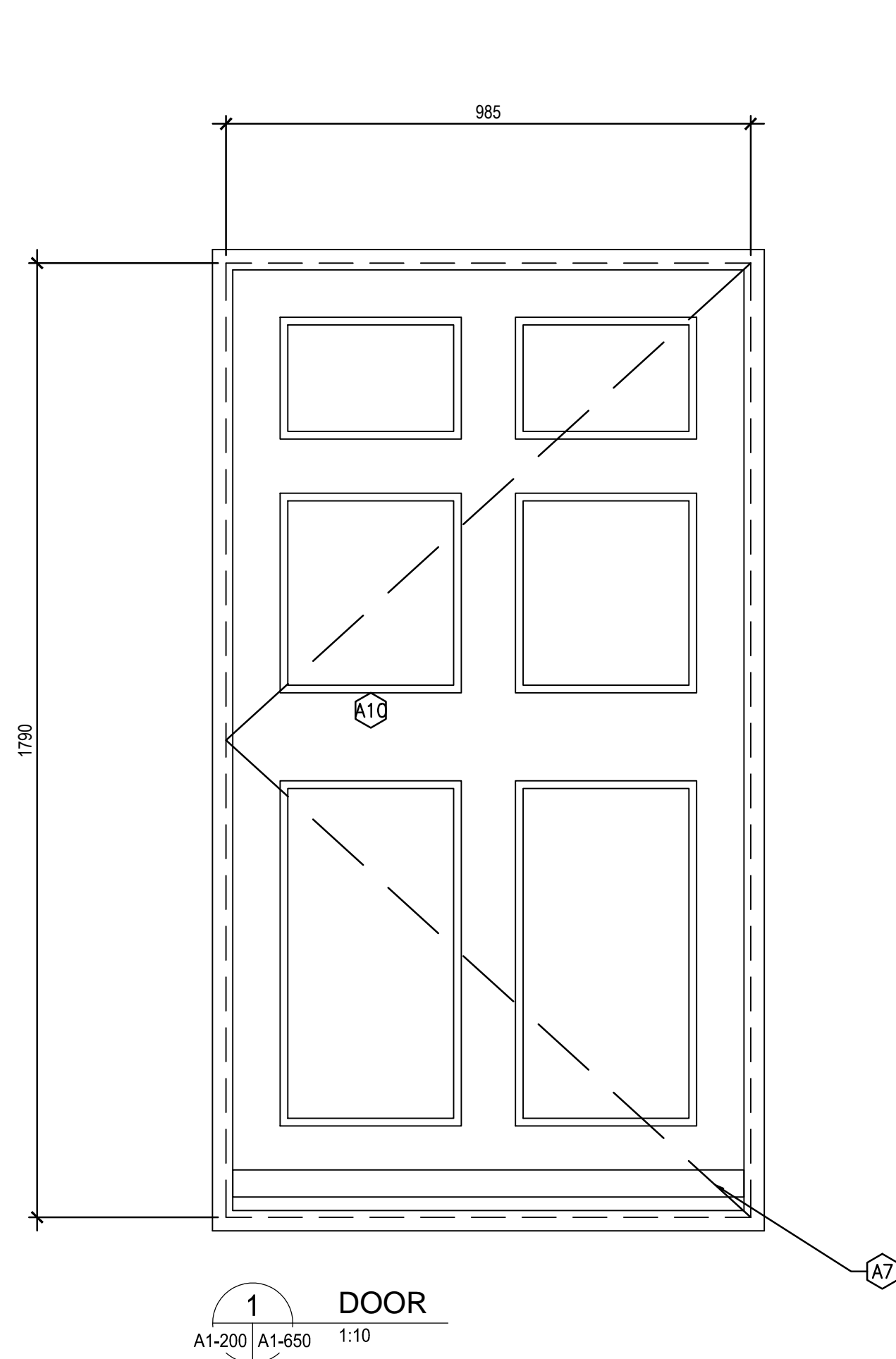
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CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | ARCHITECTURE 49 | | |
| Consultant's Name Nom de l'expert-conseil | | ARCHITECTURE 49 | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6100 architecture49.com | | 18-0051-001 | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | |
| Canada | | Canada | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | KGS GROUP CONSULTING ENGINEERS | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| BIG HOUSE WINDOWS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | Date |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./N° de la feuille |
| Drawing Set No./N° de série du dessin | | R. | | A1-601 |



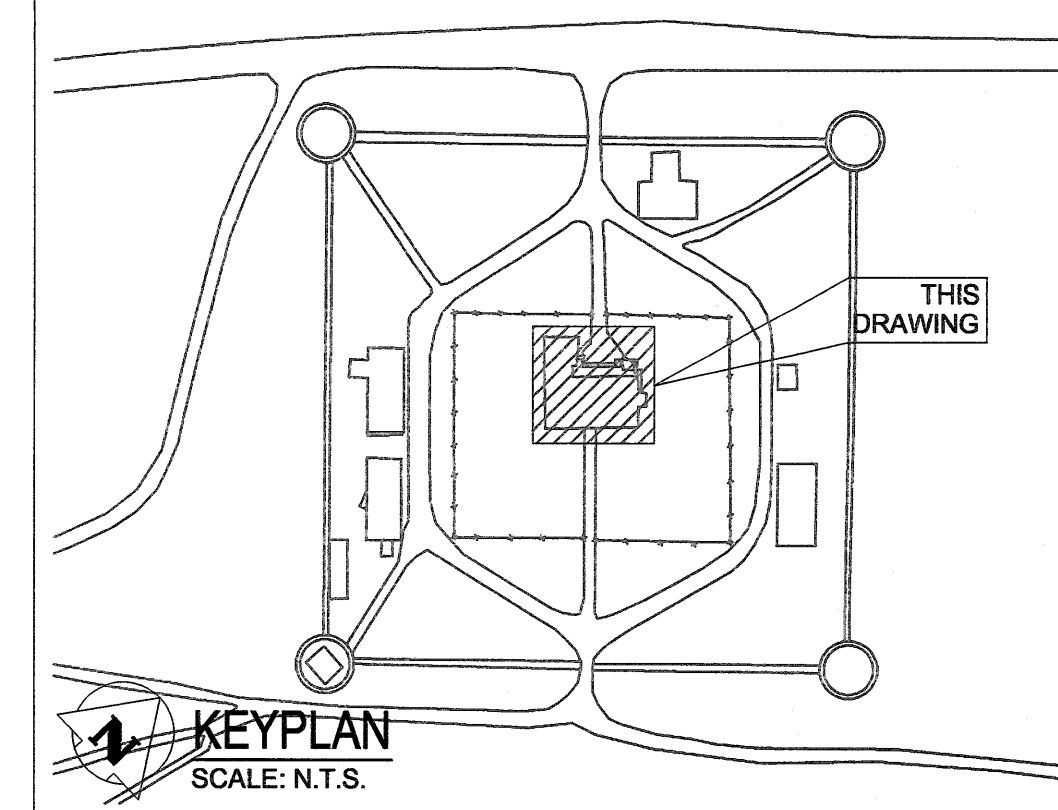
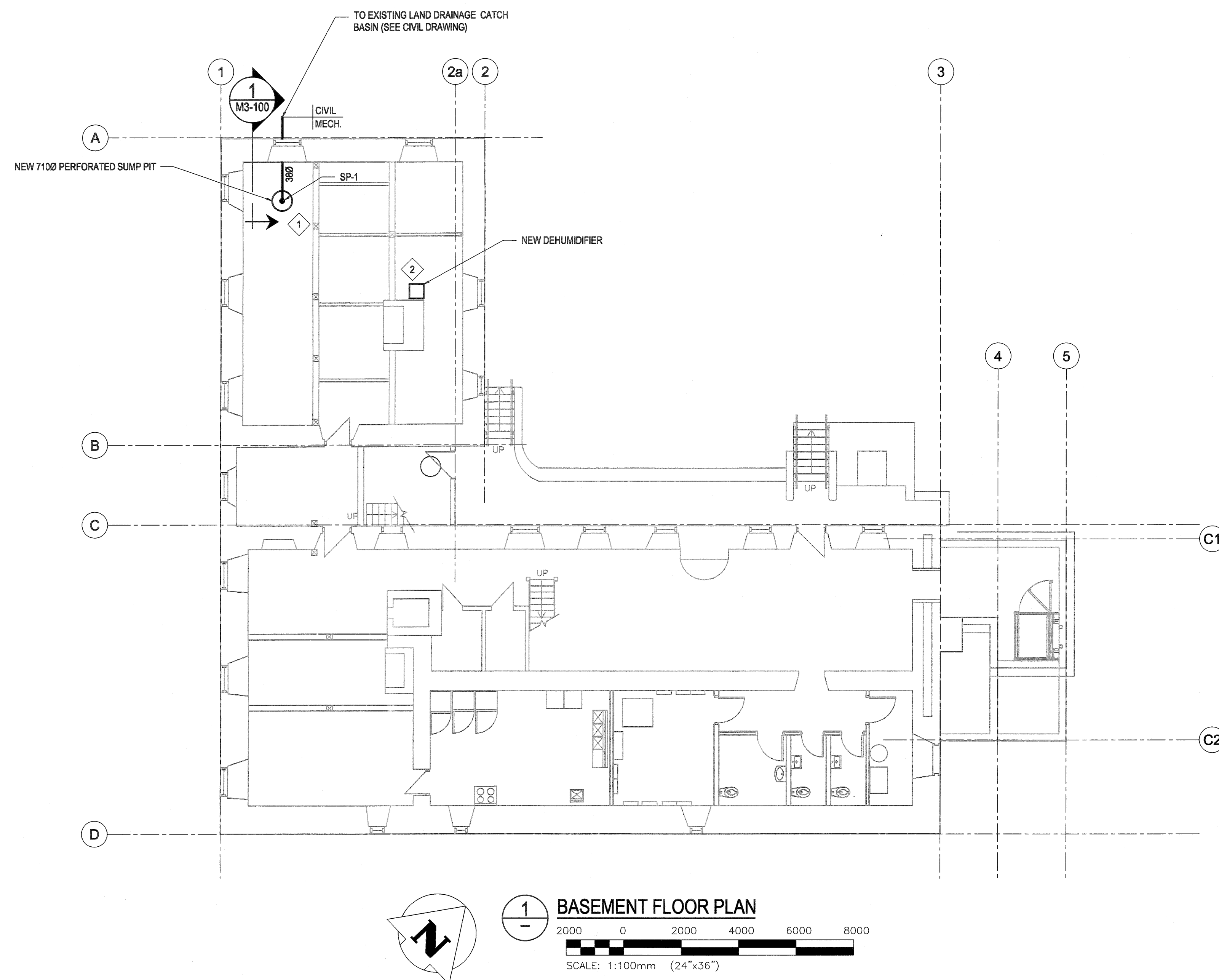
GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS; DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

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| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
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| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
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| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | |  | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| BIG HOUSE DOORS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
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| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
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| R. | | R. | | |
| Drawing Set No./Nº de série du dessin | | | | A1-650 |



GENERAL NOTES:

SEE DRAWING MG-000

KEYNOTES:

1. INSTALL NEW SABER SUMP PIT, PUMP (SP-1) AND DISCHARGE PIPING BELOW FLOOR. PROVIDE EXCAVATION, BACK FILLING AND DE-WATERING. COORDINATE REMOVAL OF FLOOR BOARDS AND CONNECTION OF NEW WEEPING TILE TO PIT WITH ARCHITECTURAL. SEE STRUCTURAL FOR CORING REQUIREMENTS FOR DISCHARGE PIPE. COORDINATE EXTERIOR DISCHARGE LINE WITH CIVIL.
2. PROVIDE NEW PORTABLE DEHUMIDIFIER. CONNECT TO EXISTING DRAIN LINE.

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Eng. Stamp
Sceau de l'ingénieur



Certificate of Authorization
KGS Group
No. 245

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com



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Canada

Architecture49 Project No.
189-00014-00

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| Sub Consultant Project No. | 18-0051-001 |
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Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

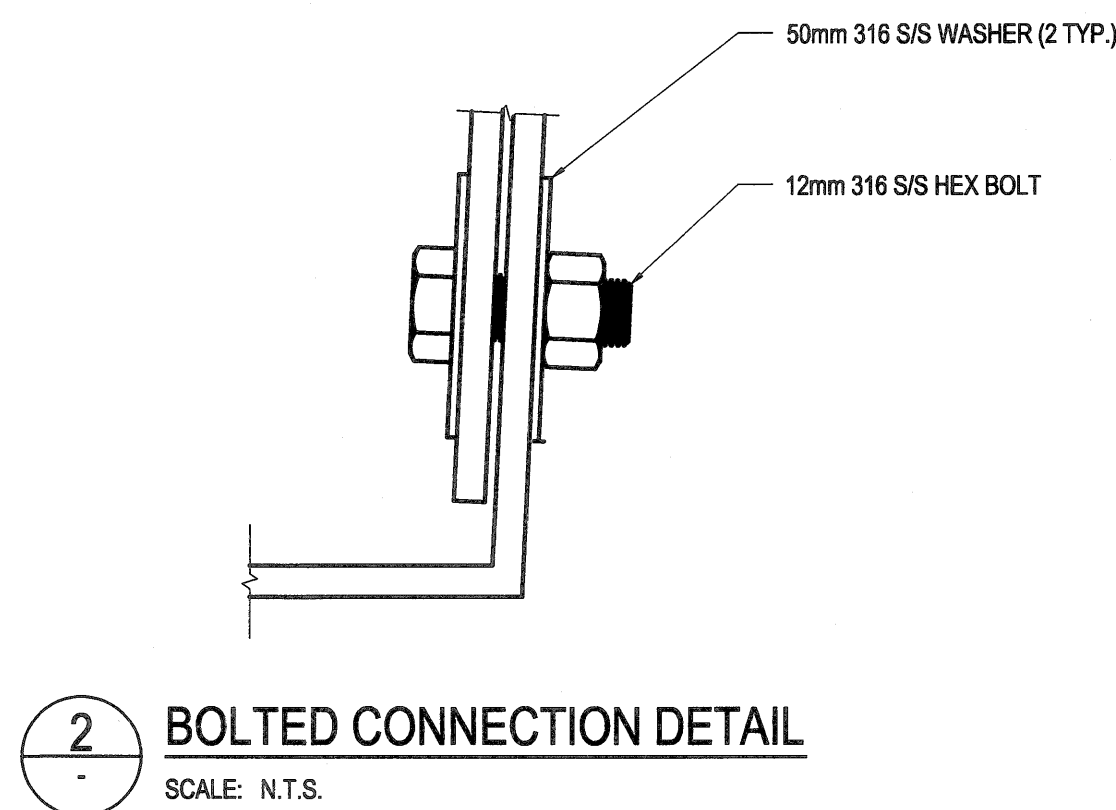
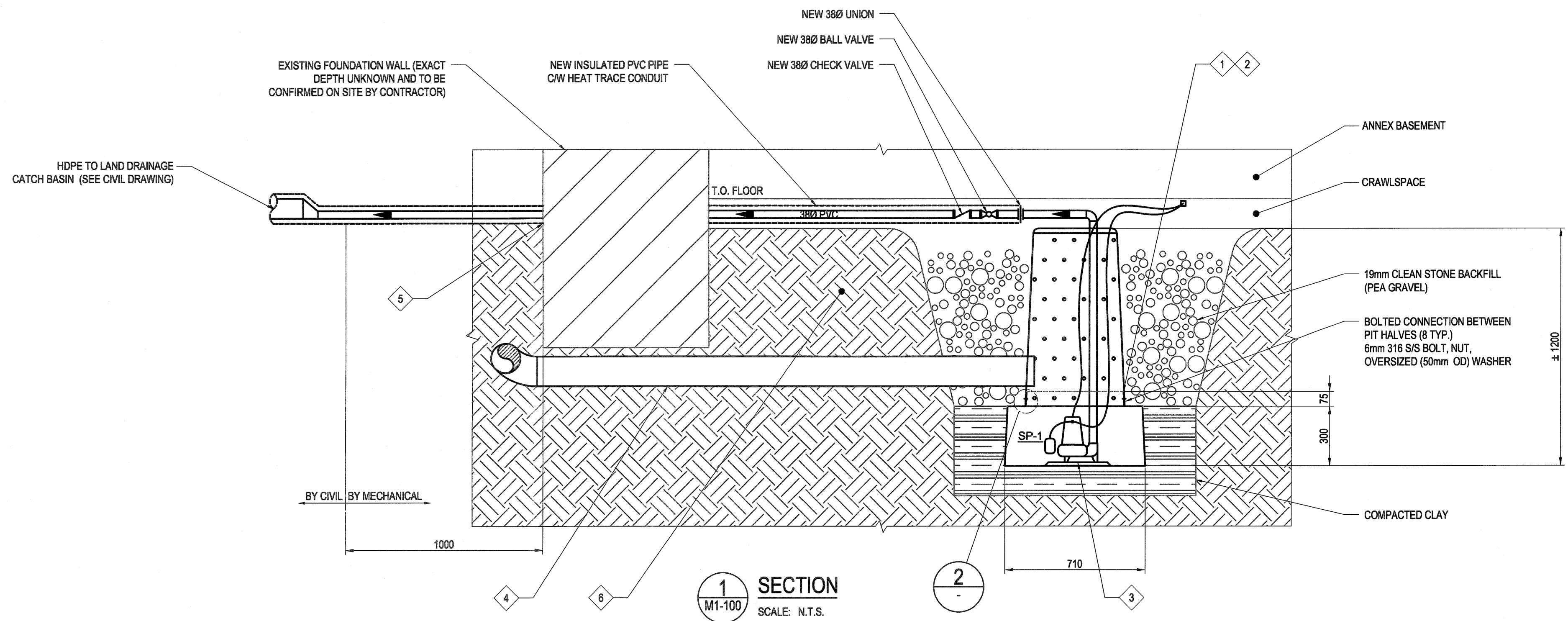
Drawing title/Titre du dessin

**BIG HOUSE
BASEMENT FLOOR PLAN
PLUMBING - NEW**

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| | LNM | 2018/02/21 |
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| Date | | Date |
| Project No./N° du projet | | Sheet No./N° de la feuille |
| 1603 | | 1251 |
| Drawing Set No./N° de série du dessin | | M1-100 |
| 18-0051-001 | | |

SCALE VERIFIED BY: *LM*





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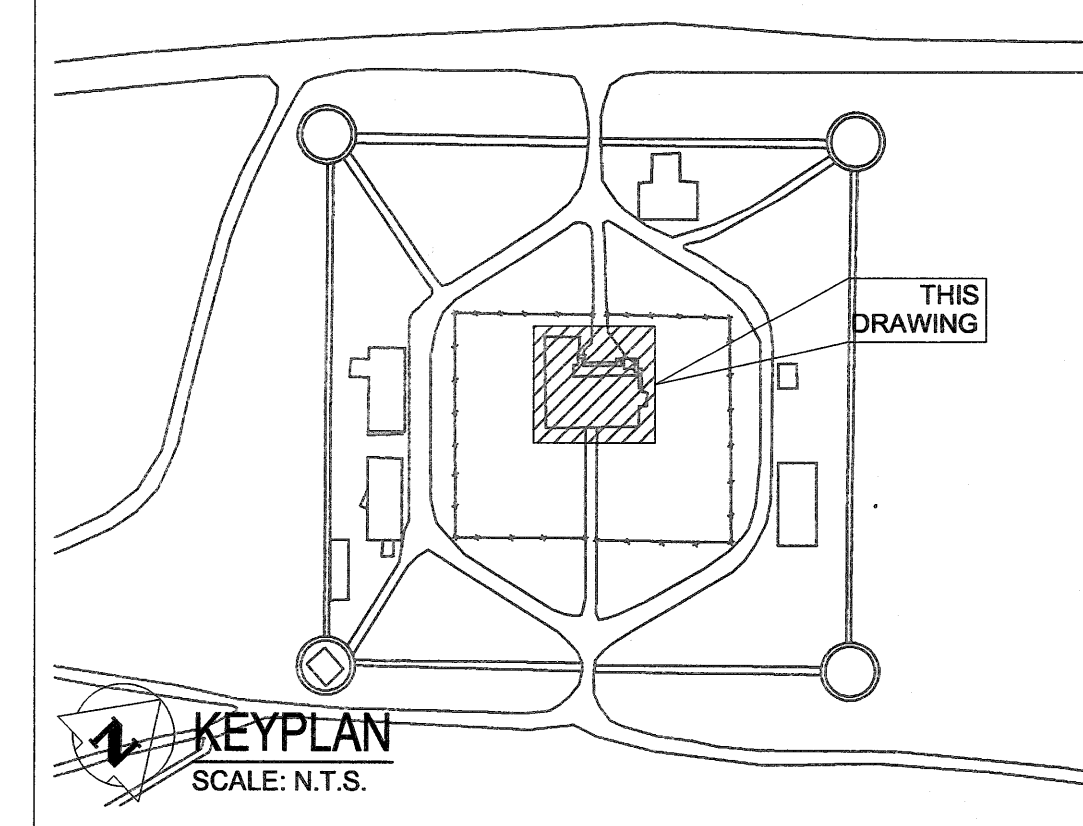
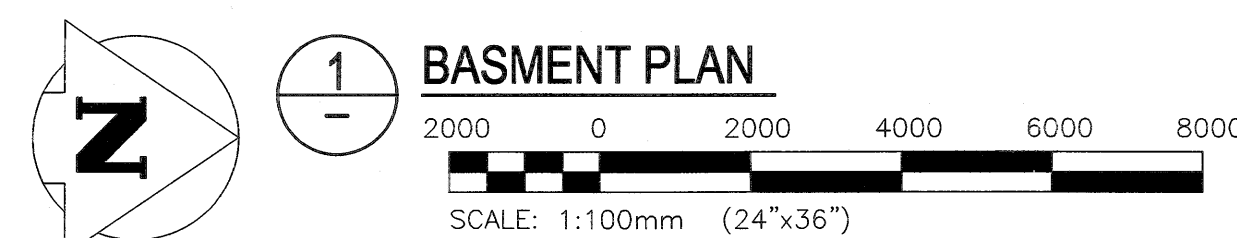
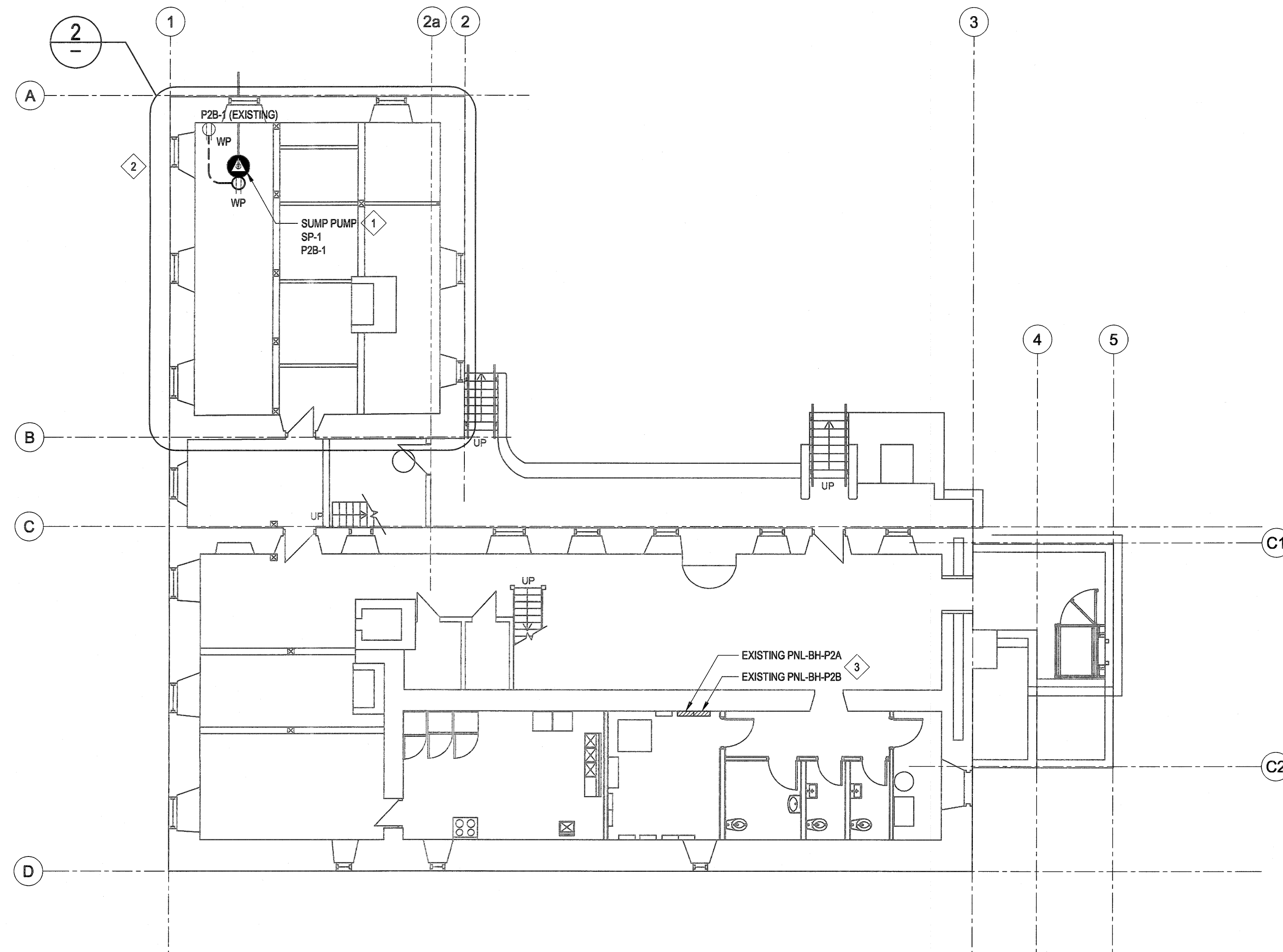


GENERAL NOTES:
SEE DRAWING MG-000

KEYNOTES:

- 1 CUSTOMIZED SABER PIT MADE USING TWO REGULAR PITS. CUT ONE PIT MINIMUM OF 75mm ABOVE BASE (DISCARD TOP PORTION). CUT OTHER PIT AT BASE (DISCARD BASE). INSERT TOP PORTION TO THE BASE ONCE INSIDE CRAWLSPACE AND FASTEN USING 316 STAINLESS STEEL HARDWARE. (THIS IS REQUIRED TO BRING THE PIT INTO THE CRAWLSPACE THROUGH THE FLOOR JOISTS. CUTTING OF FLOOR JOISTS IS NOT ALLOWED.)
- 2 INSTALLATION OF THE PITS SHALL BE DONE BY A CONTRACTOR WHO IS SPECIALIZED IN SABER PIT INSTALLATIONS, WHO SHALL VISIT THE SITE PRIOR TO BIDDING. PROTECT BUILDING FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. (SEE ARCHITECTURAL FOR REQUIREMENTS FOR THE PROTECTION OF HISTORIC BUILDINGS.)
- 3 INSTALL SUMP PUMP IN A MANNER THAT WILL ALLOW FOR EASY REMOVAL IN WINTER. (PUMP WILL BE RE-INSTALLED IN THE SPRING.) PROVIDE ADDITIONAL UNIONS AS REQUIRED.
- 4 COORDINATE CONNECTION OF THE NEW WEEPING TILE LINE WITH ARCHITECTURAL. (NOTE: INVERT OF THE WEEPING TILE IS UNKNOWN. PROVIDE AN ITEMIZED UNIT PRICE FOR SUPPLY AND INSTALLATION OF 300mm PIT EXTENSIONS WITHIN BID.)
- 5 PROVIDE CORING FOR PIPE PENETRATION. SEAL PENETRATION WATER TIGHT. SEE STRUCTURAL FOR DETAILS.
- 6 EXCAVATE AS REQUIRED FOR INSTALLATION OF DISCHARGE PIPING AND WEEPING TILE LINE.

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| Eng. Stamp Sceau de l'ingénieur | | | | |
| <div> Certificate of Authorization KGS Group No. 245</div> <div></div> | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-6 architecture49.com | | | | |
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| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
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| BIG HOUSE SECTIONS & DETAILS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
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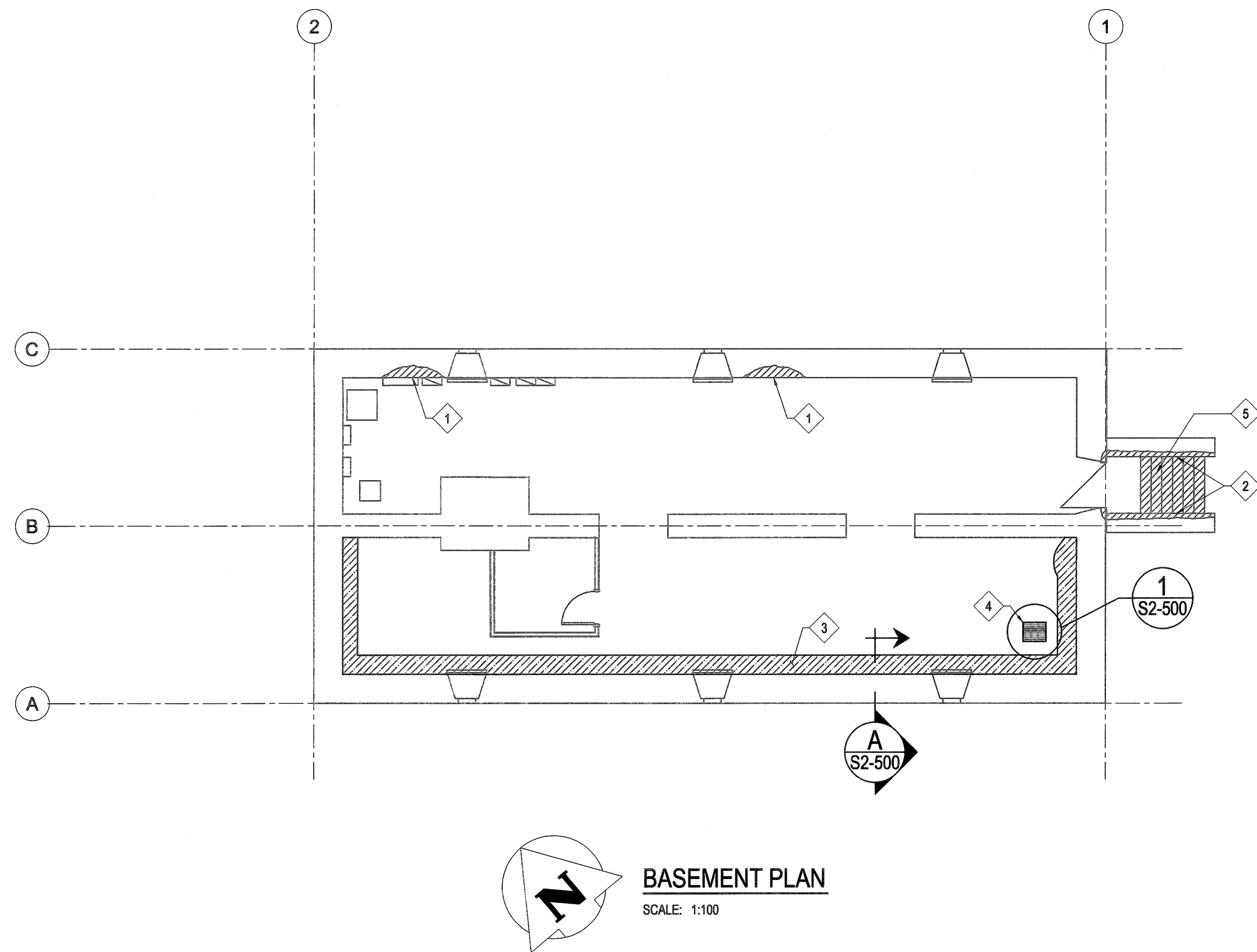
GENERAL NOTES:

1. NEW SUMP PUMP AND HEAT TRACE WIRING SHALL BE RUN UNDERNEATH THE FLOOR BOARDS.

KEYNOTES:

1. PROVIDE A NEW 15A DUPLEX RECEPTACLE FOR THE NEW SUMP PUMP (SP-1) UNDERNEATH THE FLOOR BOARDS COMPLETE WITH NEW WIRING FROM THE LOCAL RECEPTACLE CIRCUIT (P2B-1). NEW WIRING SHALL BE 2C #12 AWG CU (+ GROUND) TECK90 CABLE.
2. HEAT TRACE ALL MECHANICAL SUMP PUMP PIPING WITHIN THE CRAWLSPACE AND THE FIRST 40m OF EXTERIOR DRAINAGE PIPING. REFER TO DETAIL 'A' ON DRAWING EG-500. SUPPLY POWER FROM THE LOCAL RECEPTACLE CIRCUIT (P2B-1) COMPLETE WITH (30mA) GFCI PROTECTION. TIE-IN NEW 2C #12 AWG CU (+ GROUND) TECK90 CABLE TO THE EXISTING LOCAL RECEPTACLE. LOCATE THE COLD LEAD TERMINATIONS AND DISCONNECT IN AN ACCESSIBLE LOCATION UNDERNEATH THE FLOOR BOARDS AND ADJACENT TO A SUMP PIT.
3. UPDATE THE PANEL SCHEDULE FOR CIRCUIT 'P2B-1' WITH DYNATAPE LABEL TO READ 'REC. DANES RM AB1 AND SW SUMP PUMP'.

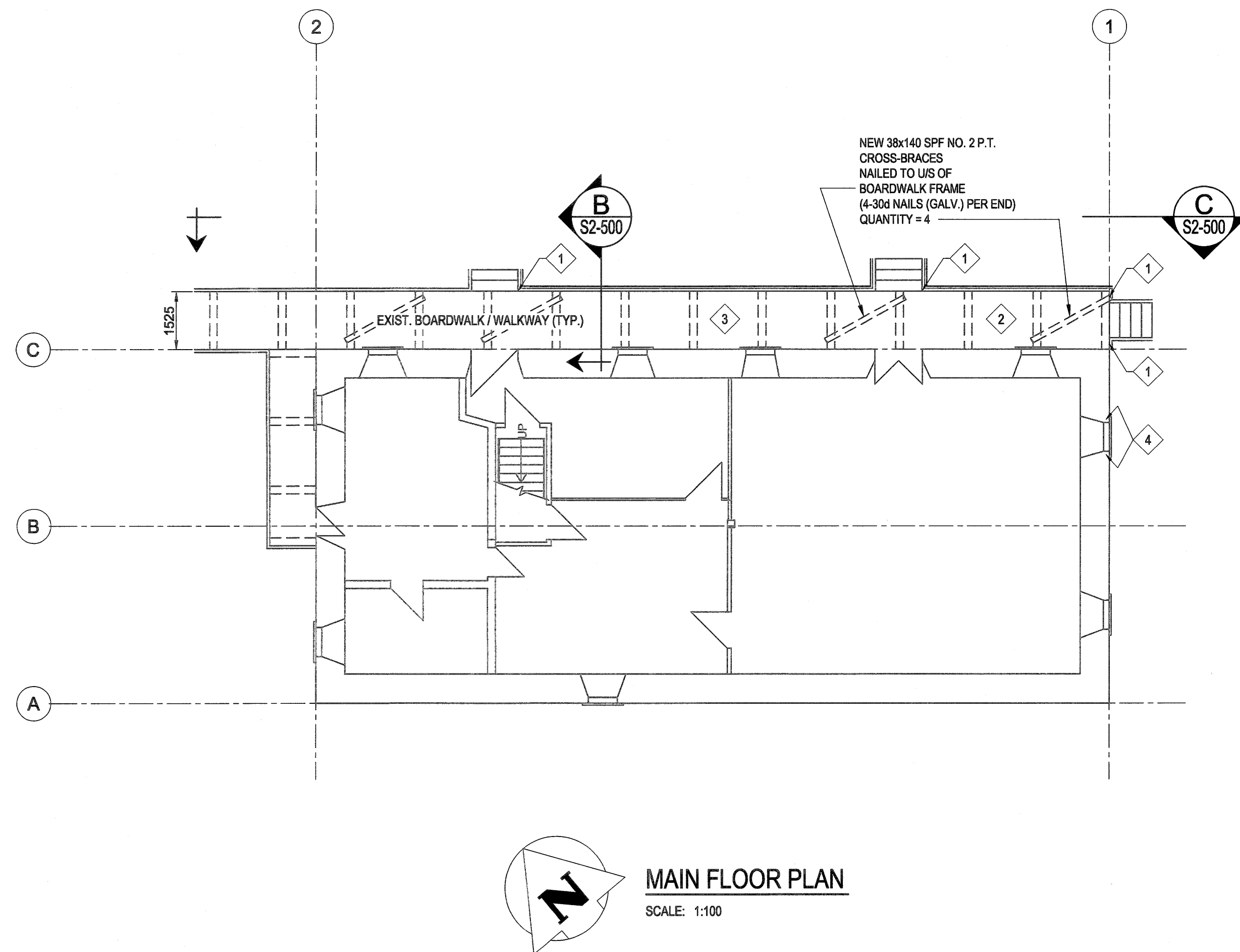
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| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6161 architecture49.com | | | | |
| Parcs Canada Strategic Asset Management, Western and Northern Region | | | | |
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| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| BIG HOUSE BASEMENT FLOOR PLAN | | | | |
| Surveyed by/Arpenté par CLS | Drawn by/Dessiné par SDC | Date 2018/02/21 | | |
| Designed by/Concept par CLS | Reviewed by/Revisé par CLS | Scale/Echelle AS NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
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KEY NOTES:

- 1 REPOINT SECTIONS OF MASONRY WALL WITH SUPPLEMENTARY MASONRY STONE INFILL AS REQUIRED. TEMPORARY SHORING WILL BE REQUIRED FOR FIRST FLOOR JOISTS IN THESE AREAS (METHOD BY CONTRACTOR AND REVIEWED / APPROVED BY DEPARTMENTAL REPRESENTATIVE).
- 2 REPOINT EXTERIOR STAIR RETAINING WALLS WITH SUPPLEMENTARY MASONRY INFILL WHERE REQUIRED. APPROXIMATE QUANTITY OF 6 SQUARE METERS.
- 3 CAST A NEW 125mm THICK SLAB-ON-GRADE BASEMENT FLOOR. APPROXIMATE AREA OF 14 SQUARE METERS.
- 4 PROVIDE GRATING COVER FOR SUMP PIT.
- 5 REPOINT STAIR TREADS. APPROXIMATE QUANTITY OF 4 SQUARE METERS.

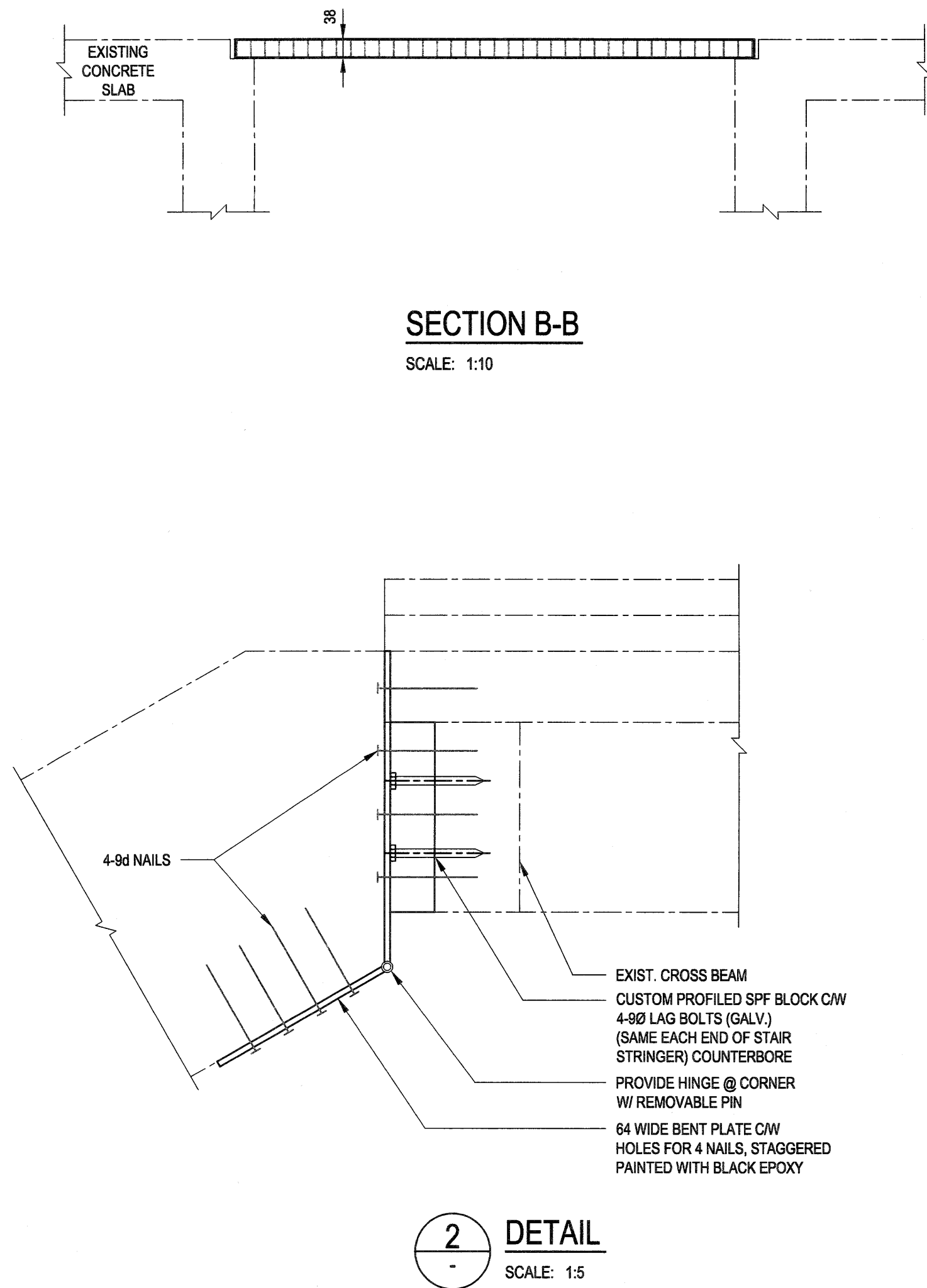
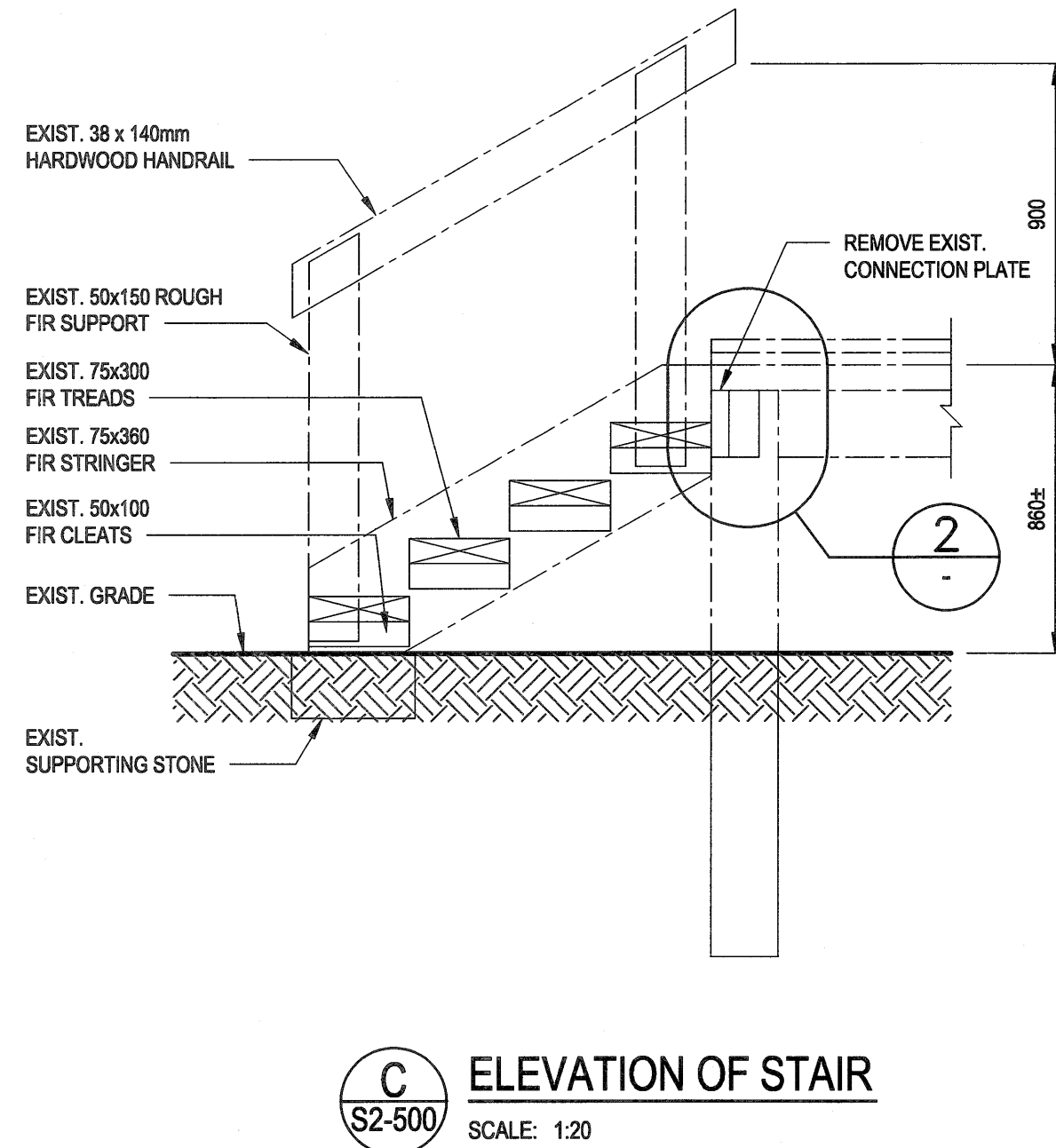
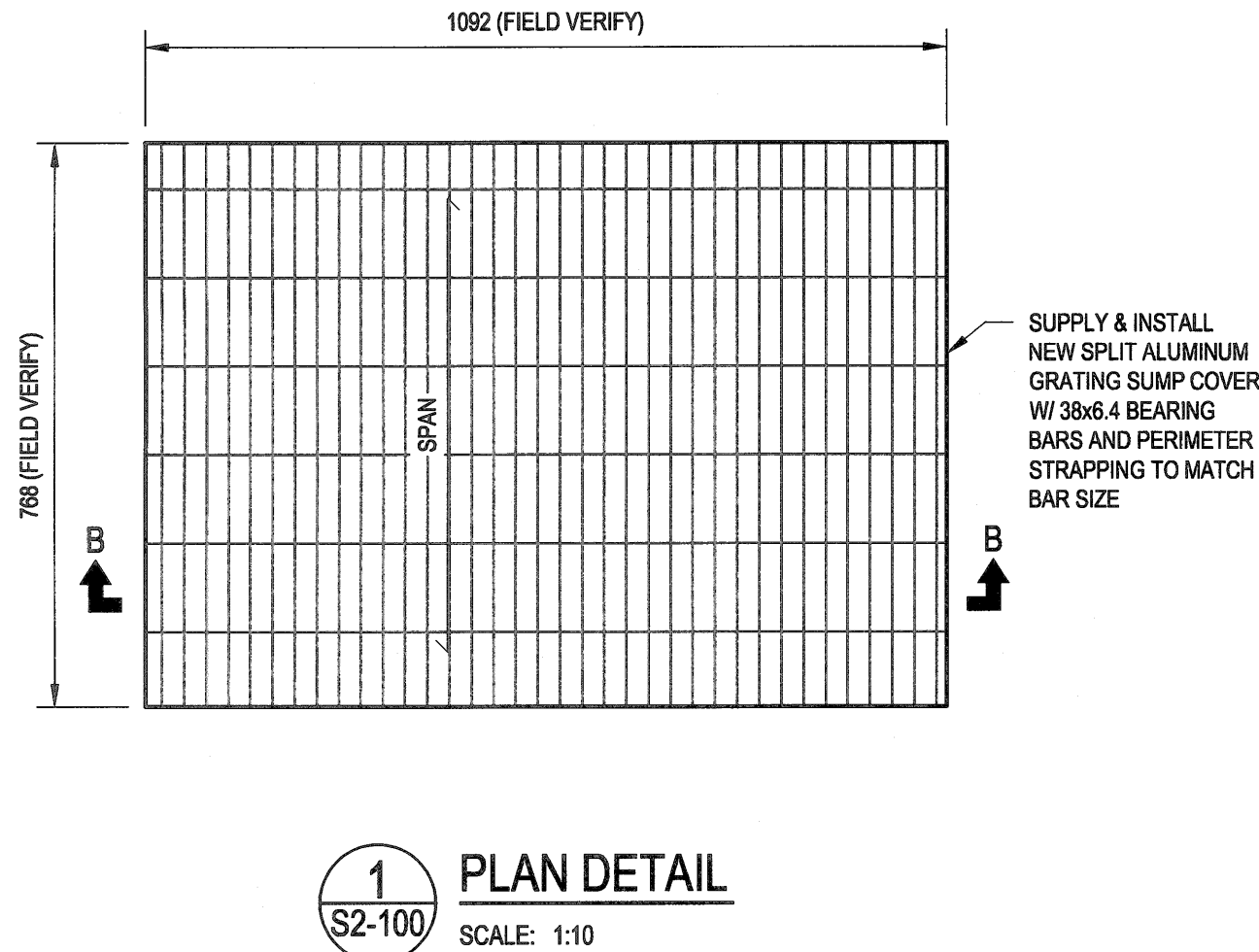
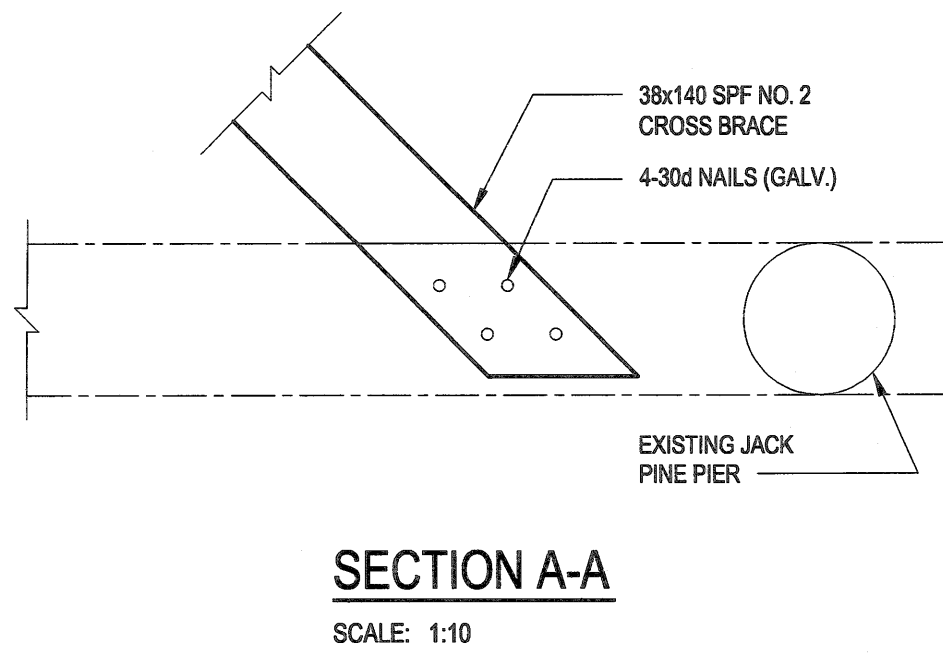
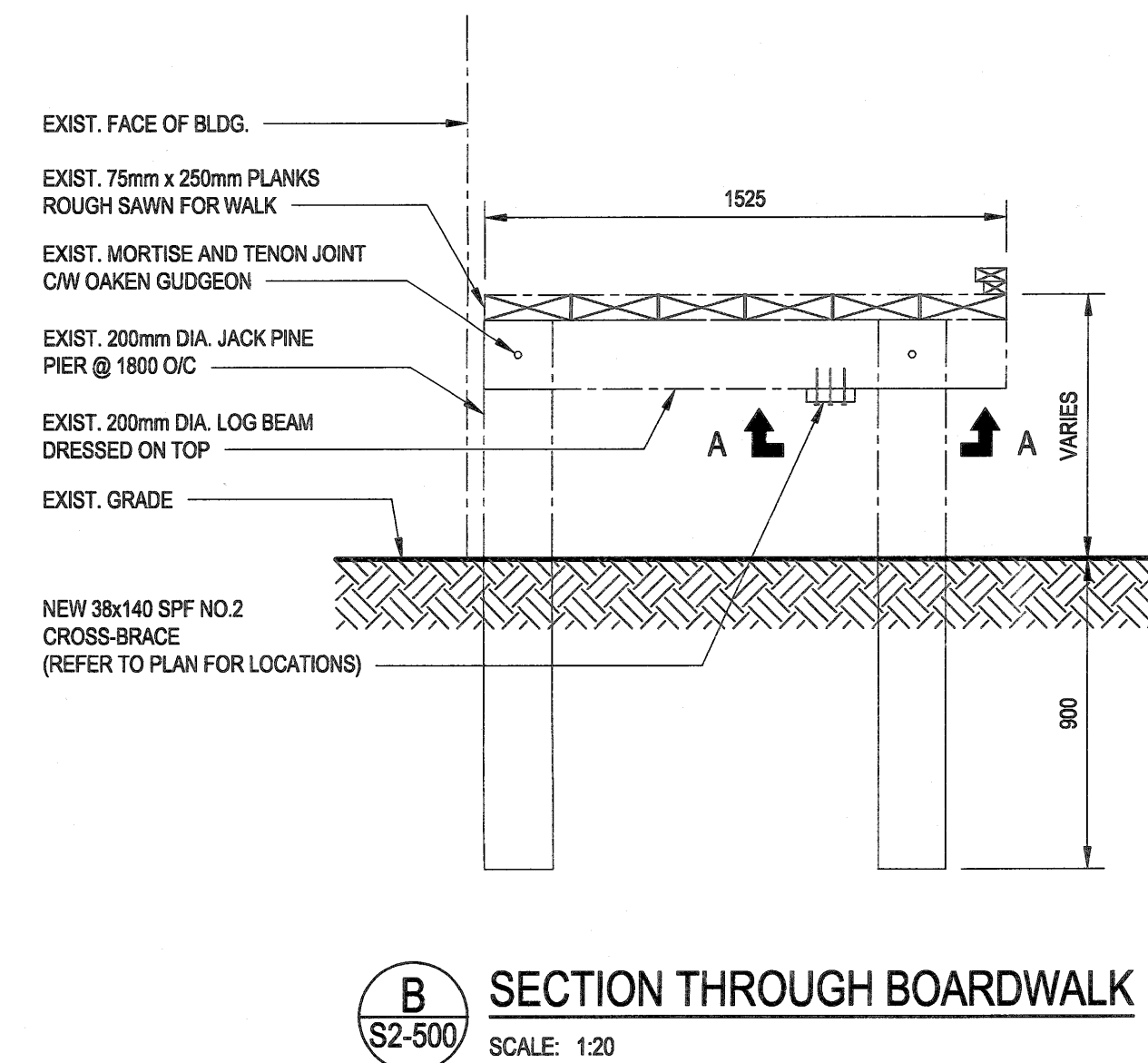
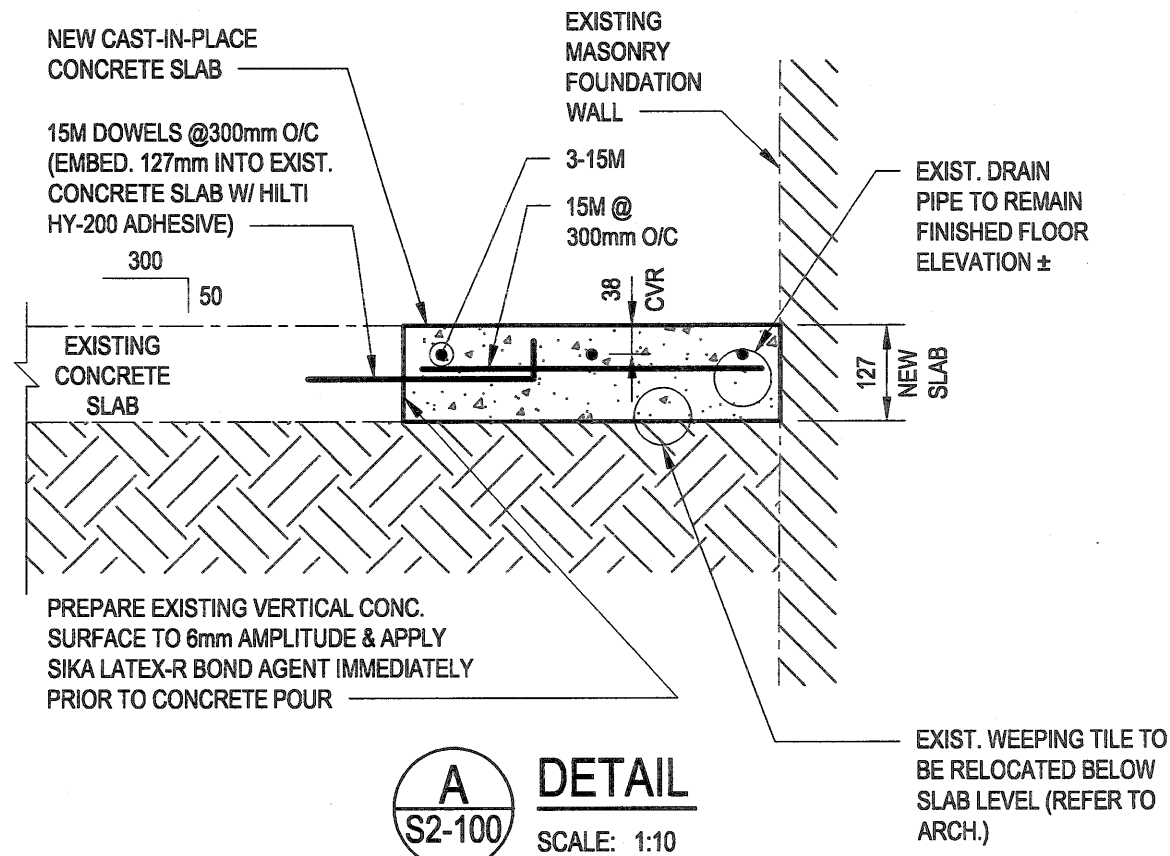
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| ARCHITECTURE 49 | | | | |
| 1603 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-61 architecture49.com | | | | |
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| FUR LOFT STRUCTURAL BASEMENT FLOOR PLAN | | | | |
| Surveyed by/Arpenté par MBB | | Drawn by/Dessiné par MBB | | Date 2018/02/21 |
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- KEY NOTES:
- 1 REMOVE STAIRS & REPLICATE EXISTING STRINGER TO DECK STEEL CONNECTION PLATES WITH 6 THK PLATE. (3 STAIRS REQUIRED)
 - 2 PULL BOARDWALK / WALKWAY ASSEMBLY EASTWARDS UNTIL PLUMB AND CROSS BRACE THE UNDERSIDE OF THE WALKWAY FRAMES TO PREVENT SWAY.
 - 3 SECTIONS OF DECKING WHICH PROJECT ABOVE OTHER MEMBERS SHALL BE ADZEN FLUSH TO REMOVE TRIP HAZARDS.
 - 4 REPAIR LINTEL CRACK WITH EPOXY INJECTION.

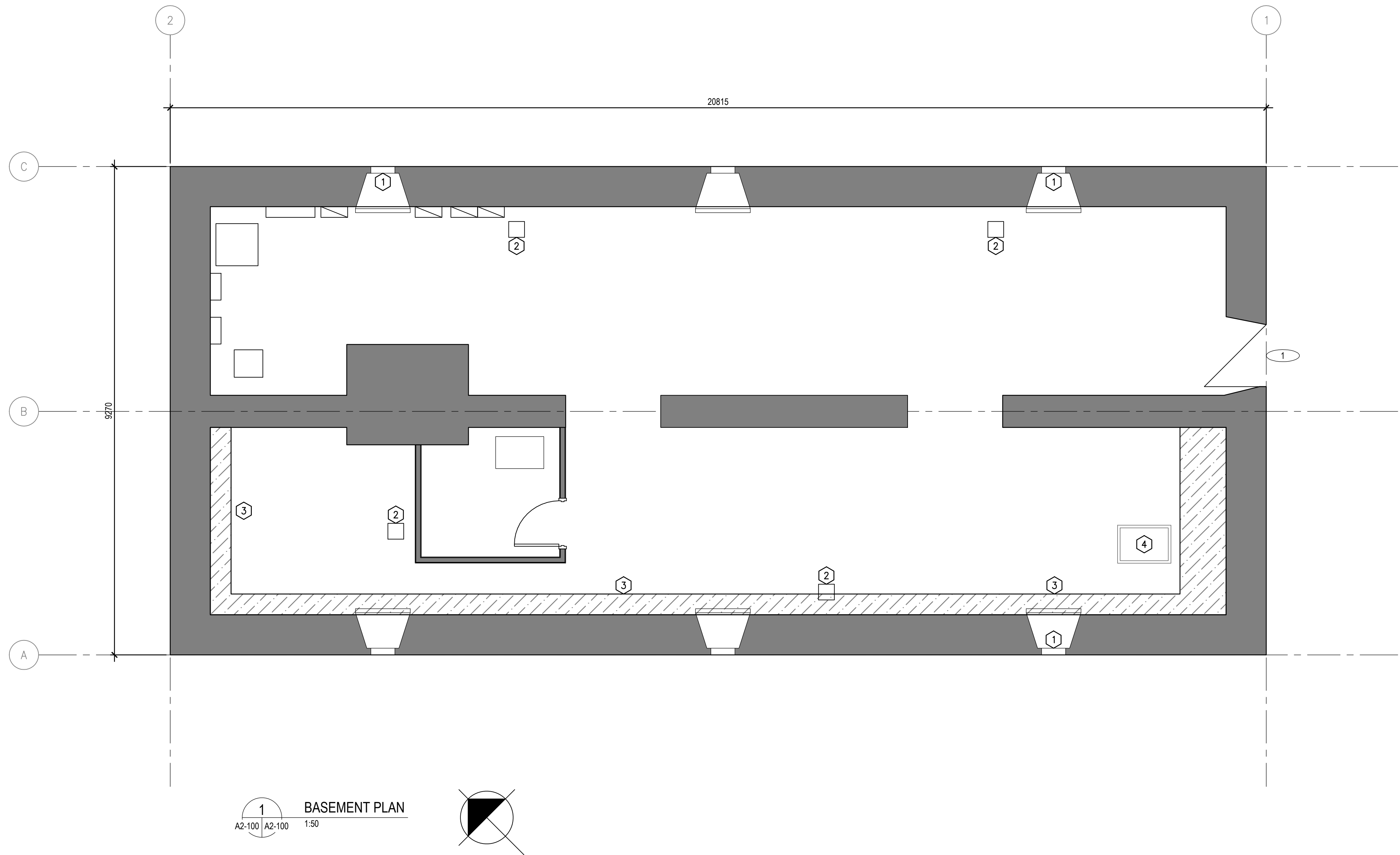
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| Eng. Stamp Scellé de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | | | | |
|  | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
|  Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region | | | | |
| Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
| KGS GROUP CONSULTING ENGINEERS | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT STRUCTURAL SECTIONS & DETAILS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | MBB | | 2018/03/14 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| KRD | | | | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| | | | | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| 1803 | | | | S2-500 |
| Drawing Set No./N° de série du dessin | | | | |
| 18-0051-001 | | | | |



GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXISTING EXTERIOR STONE MASONRY.

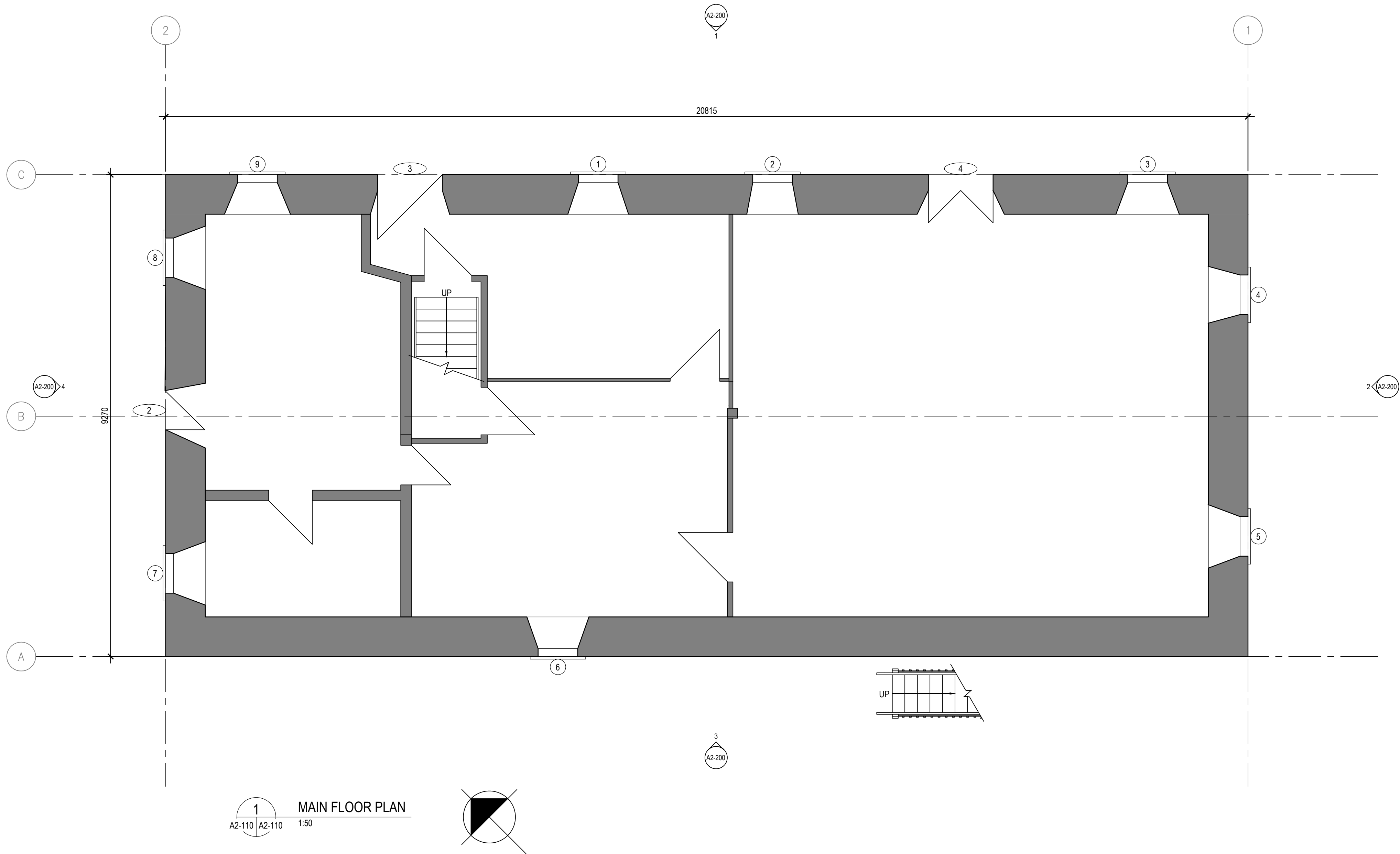
DRAWING KEYNOTES:

1. FRAME AROUND INTERIOR SIDE OF EXISTING OPENING W/ 50x89 WOOD STUDS FOR INSULATION INSTALLATION. SECURE NEW BIRD SCREEN TO NEW FRAMING AT EXTERIOR OPENING. PAINT BIRD SCREEN BLACK. SEE MECHANICAL FOR INSULATION.
2. NEW UNIT HEATER TO REPLACE EXISTING. SEE E2-100.
3. CONFIRM THAT EXISTING WEEPING TILE IS SUITABLE FOR USE. RE-SET EXISTING WEEPING TILE AS REQUIRED SO THAT WEEPING TILE DOES NOT EXCEED FLOOR HEIGHT. PITCH WEEPING TILE TOWARDS EXISTING DRAINAGE. INFILL EXISTING TRENCH TO MATCH FLOOR HEIGHT. RE-USE EXISTING OPENING NEAR EXISTING SUMP PIT FOR DISCHARGE. CONFIRM NO BLOCKAGES IN OPENING.
4. EXISTING SUMP PIT.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Révision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA T3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT BASEMENT FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet R. | | Asset No./Nº du bien R. | | Sheet No./ Nº de la feuille A2-100 |
| Drawing Set No./Nº de série du dessin | | | | |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXISTING EXTERIOR STONE MASONRY.



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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2016-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Révision

Linear dimensions
in millimètres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG, MB | CANADA | T3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

| | |
|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

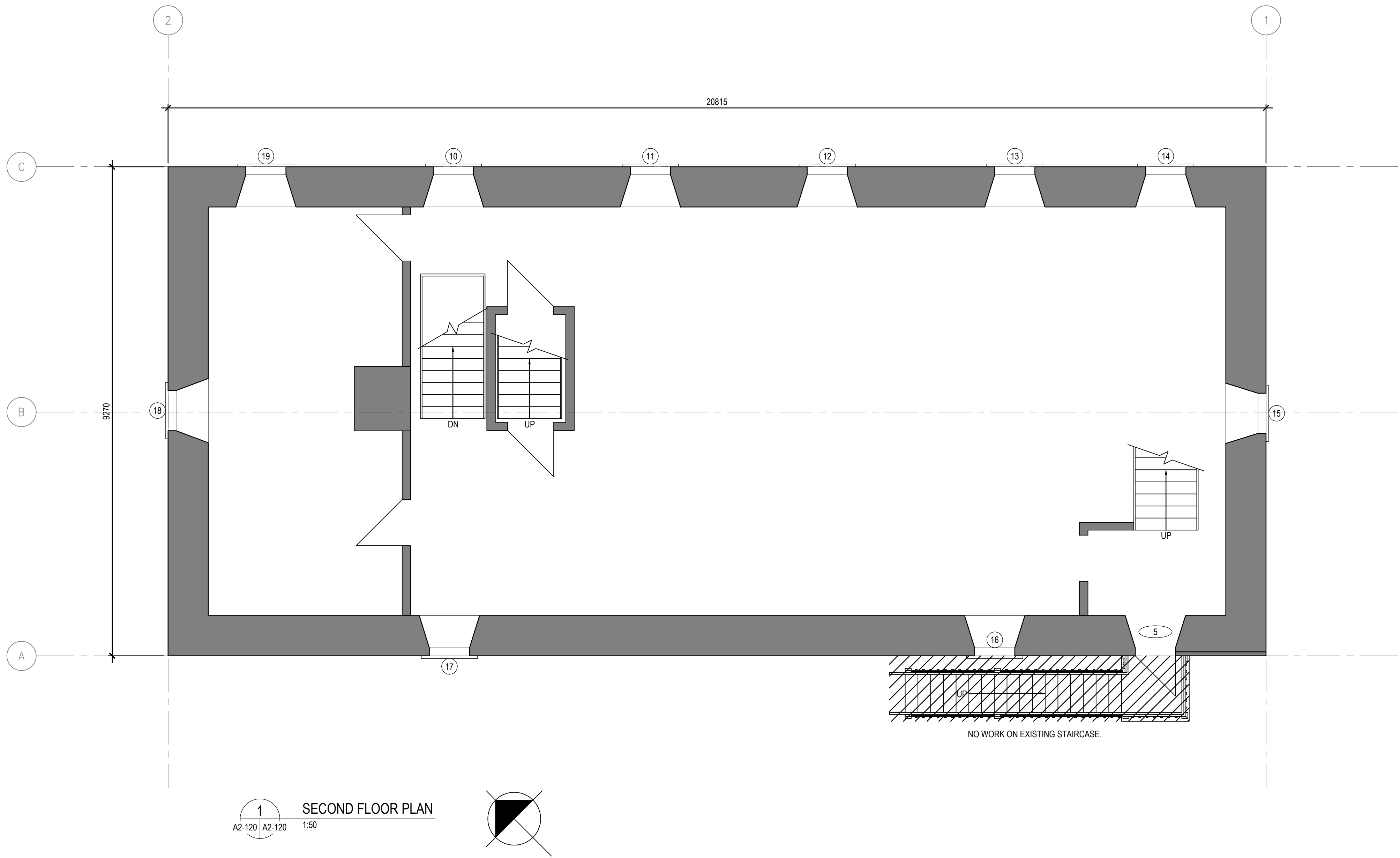
Drawing title/Titre du dessin

FUR LOFT
MAIN FLOOR PLAN

| | | |
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| Drawing Set No./Nº de série du dessin | | A2-110 |

GENERAL NOTES FOR BUILDING:

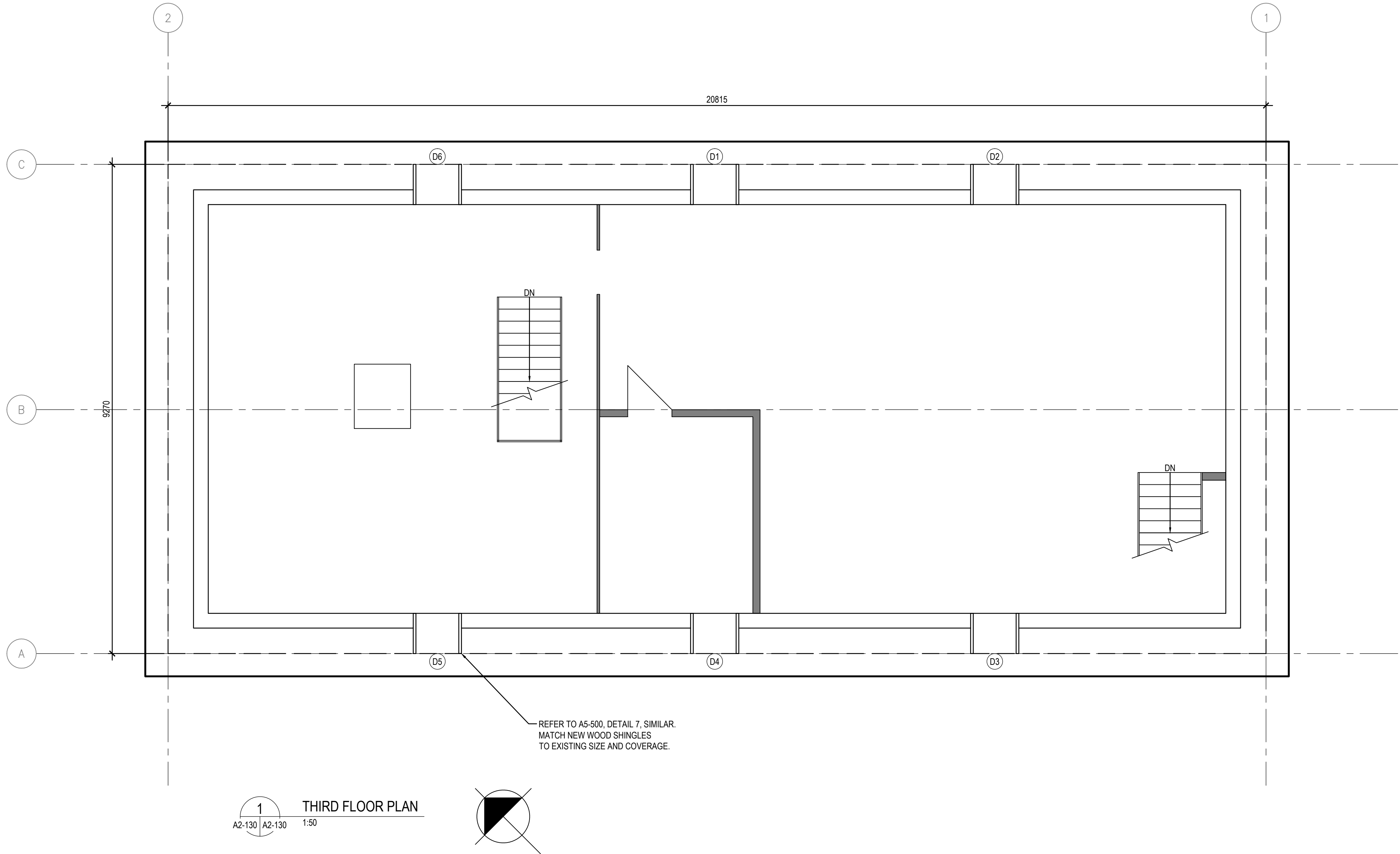
1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXISTING EXTERIOR STONE MASONRY.



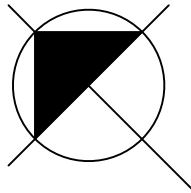
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA T3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT SECOND FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle 1:50 |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet R. | | Asset No./Nº du bien R. | | Sheet No./ Nº de la feuille A2-120 |
| Drawing Set No./Nº de série du dessin | | | | |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXISTING EXTERIOR STONE MASONRY.



1 THIRD FLOOR PLAN
A2-130 | A2-130 1:50



GRID NORTH
UNIVERSAL TRANSVERSE MERCATOR
NAD83 ZONE 11

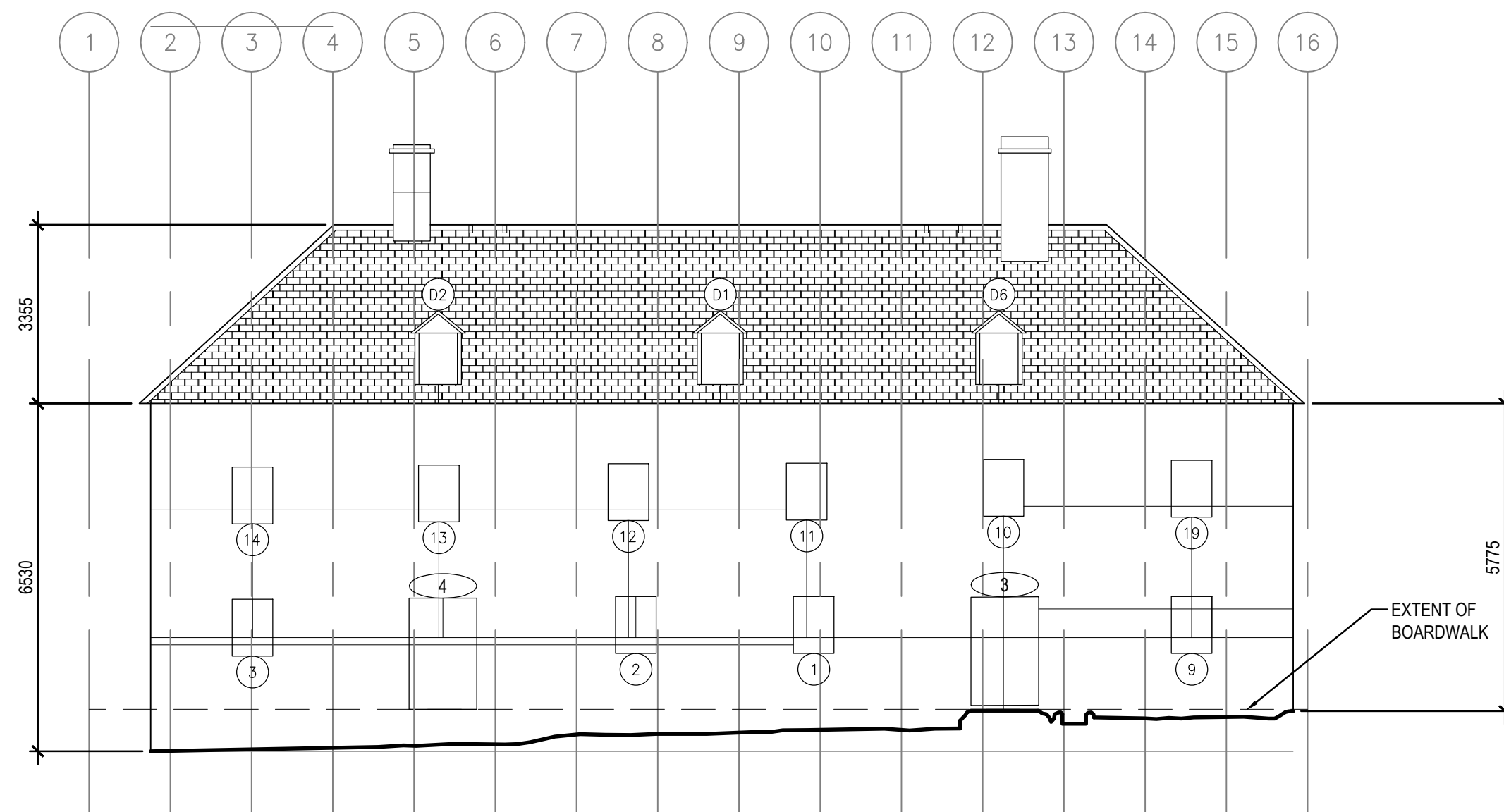
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Révision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG, MB CANADA T3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | | | |
| Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | KGS GROUP CONSULTING ENGINEERS | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT THIRD FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
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| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A2-130 |
| Drawing Set No./Nº de série du dessin | | | | |

GENERAL NOTES FOR BUILDING:

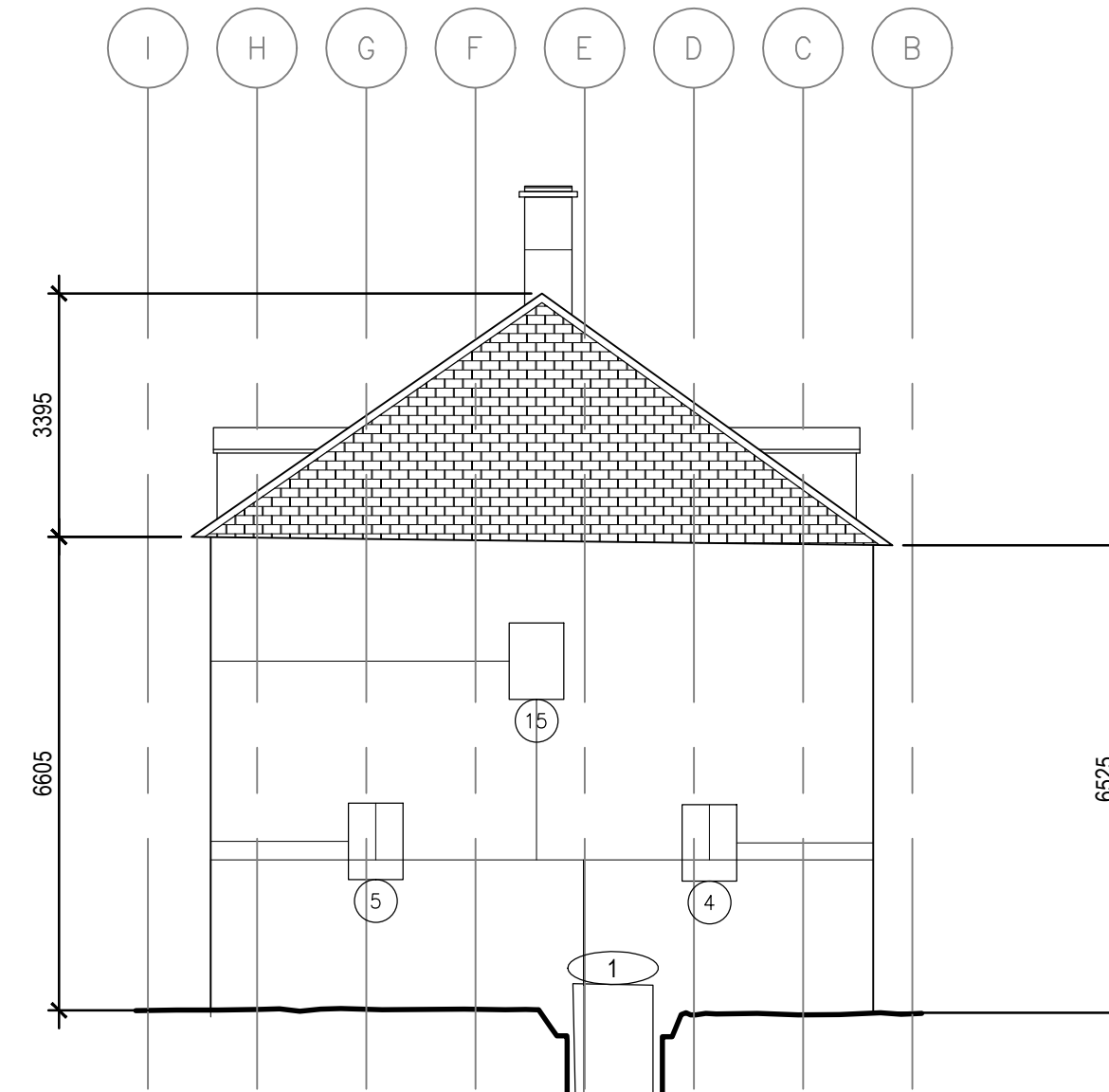
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- CLEAN EXISTING EXTERIOR STONE MASONRY.

DRAWING KEYNOTES:

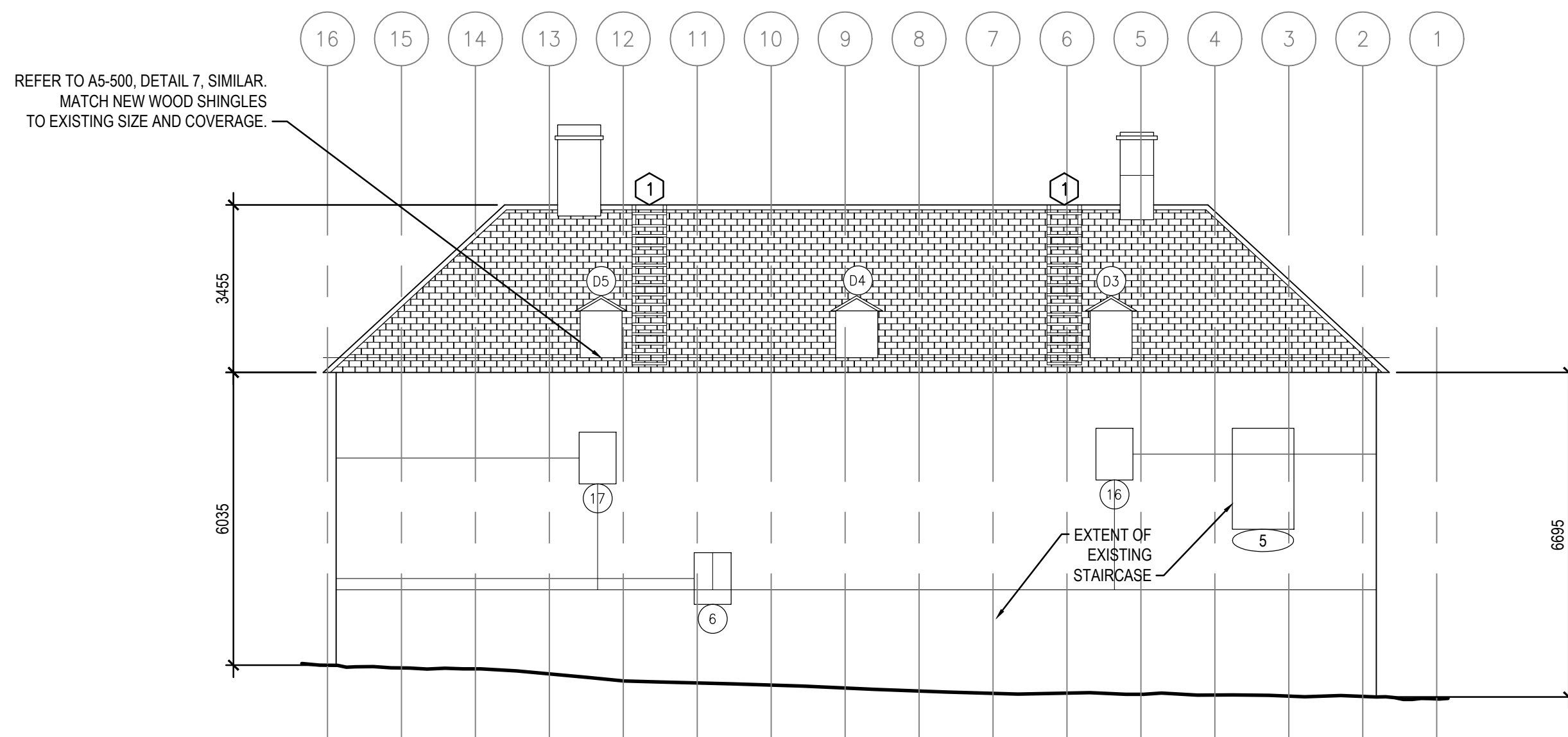
- REMOVE EXISTING LADDER ON ROOF.



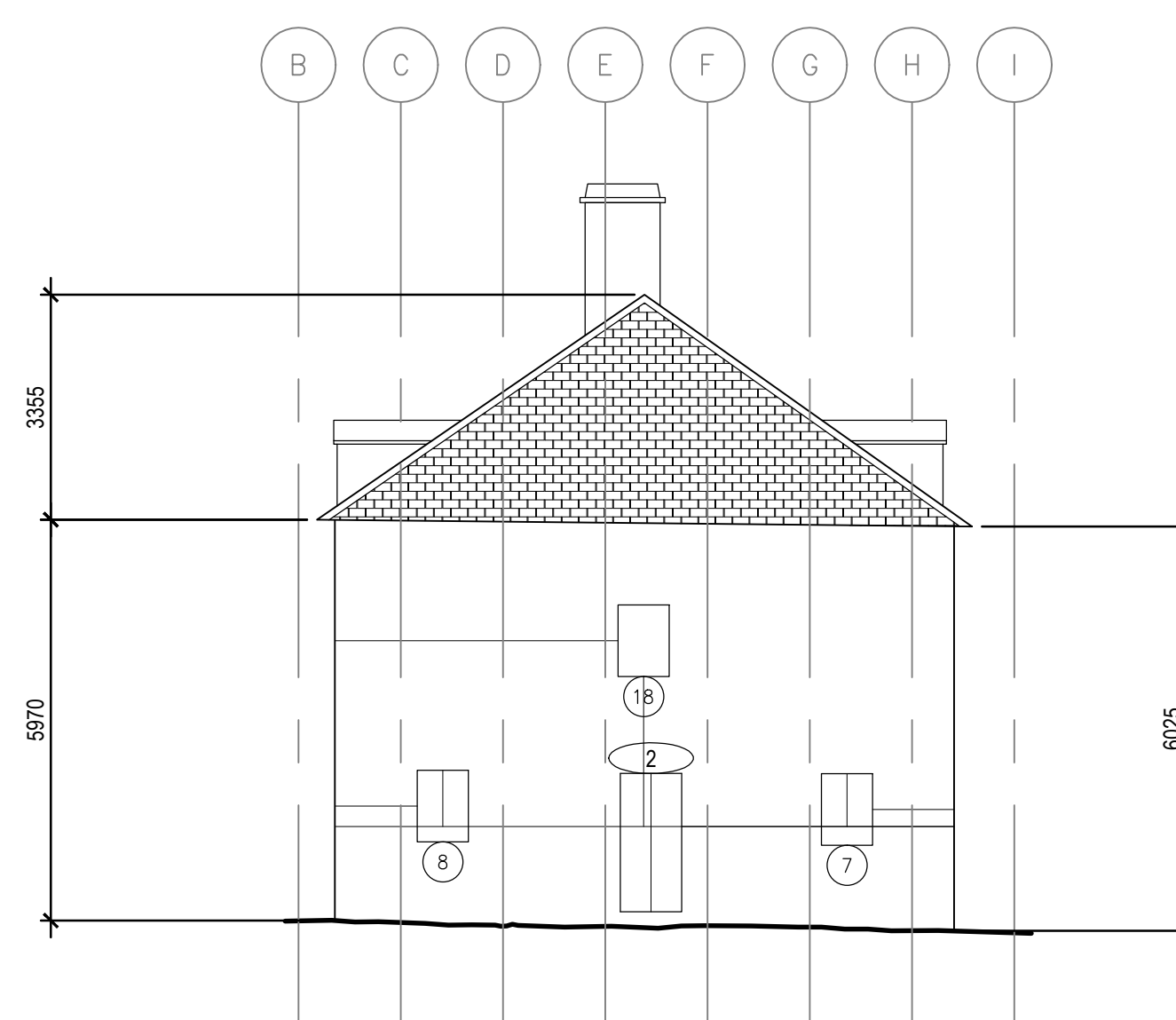
1 NORTH EAST ELEVATION
A2-100 | A2-200 1:100



2 SOUTH EAST ELEVATION
A2-100 | A2-200 1:100



3 SOUTH WEST ELEVATION
A2-100 | A2-200 1:100



4 NORTH WEST ELEVATION
A2-100 | A2-200 1:100

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2016-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| Revision / Révision | Linear dimensions in millimètres | Dimensions linéaires en millimètres |
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| Eng. Stamp Sceau de l'ingénieur | | |
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| Consultant's Name Nom de l'expert-conseil | ARCHITECTURE 49 |
| 1600 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
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| Project title/Titre du projet | LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |
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| Drawing title/Titre du dessin | FUR LOFT EXTERIOR ELEVATIONS |
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| R. | R. | A2-200 |
| Drawing Set No./N° de série du dessin | | |



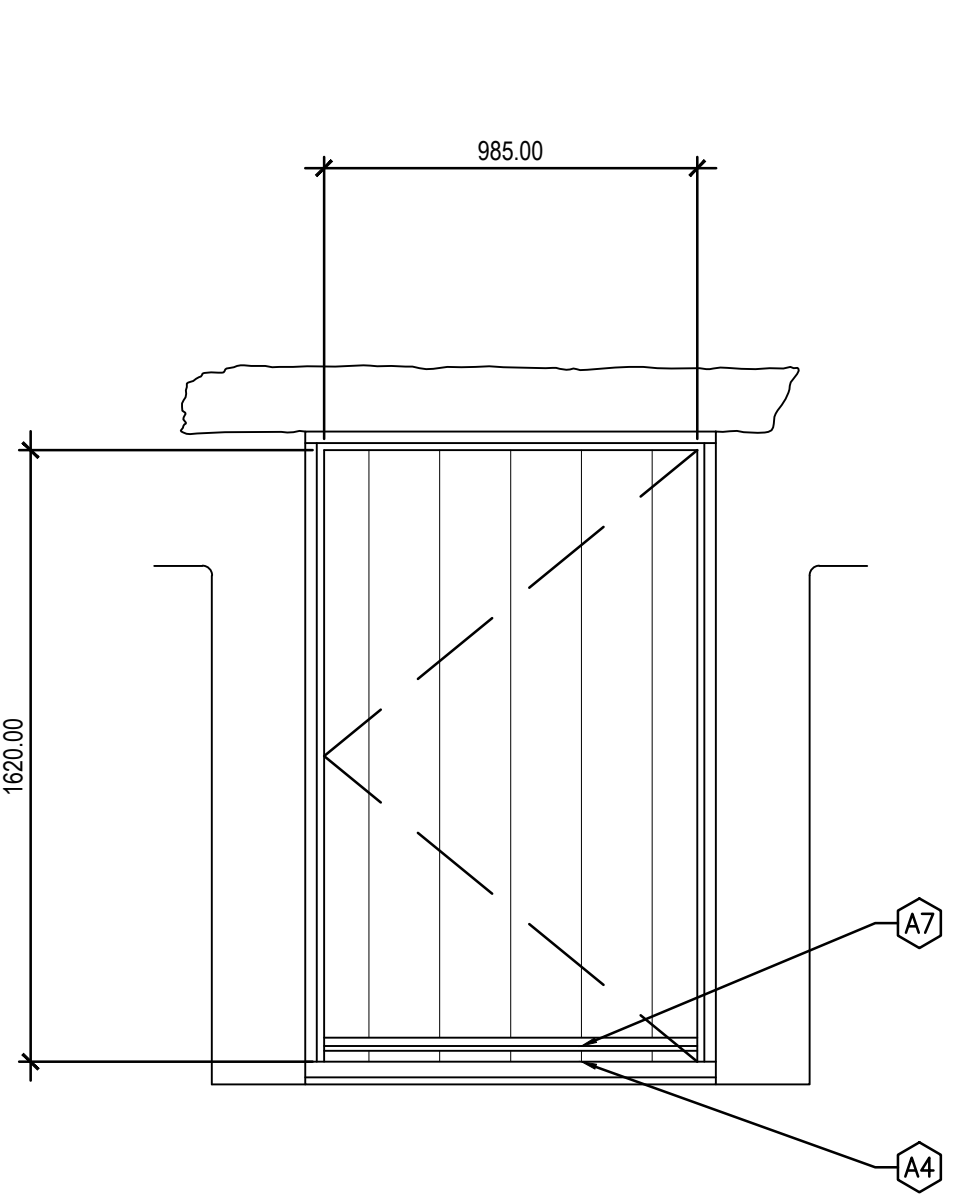
GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

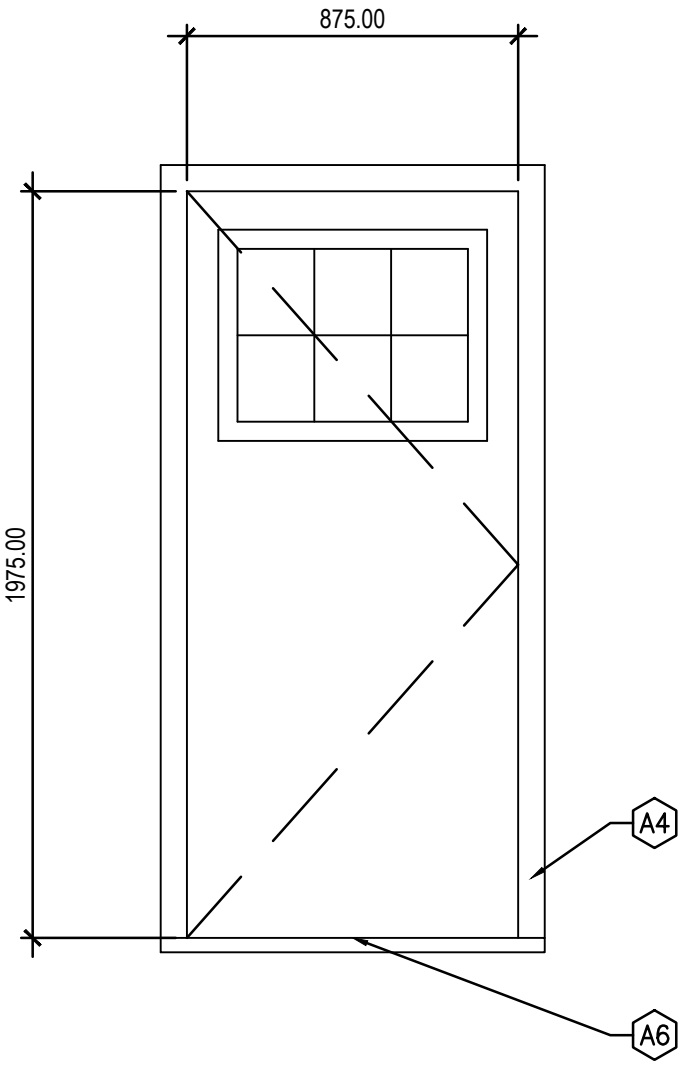
DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

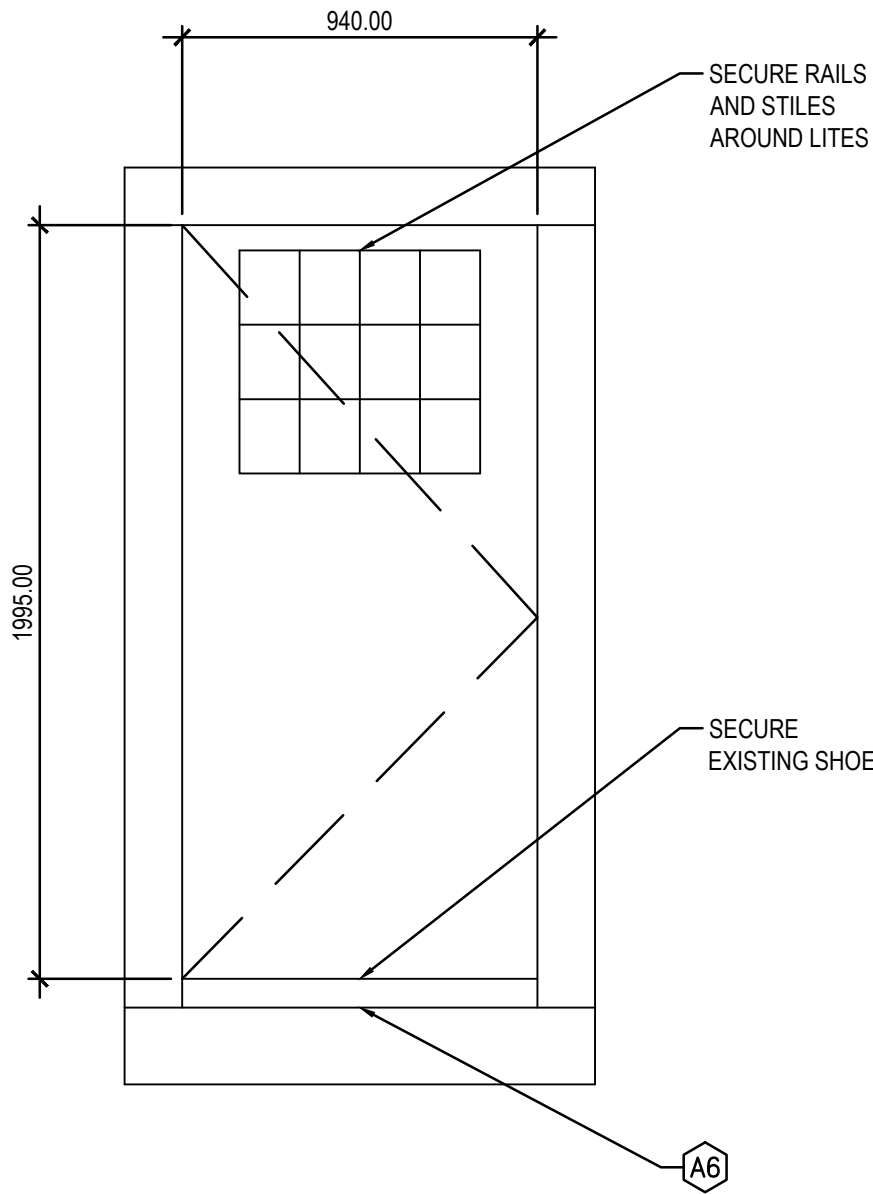
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| <div><div></div><div>Parks Canada</div><div>Strategic Asset Management, Western and Northern Region</div></div> <div><div>Parcs Canada</div><div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div></div> | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT WINDOWS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
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| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| R. | | R. | | A2-600 |
| Drawing Set No./N° de série du dessin | | | | |



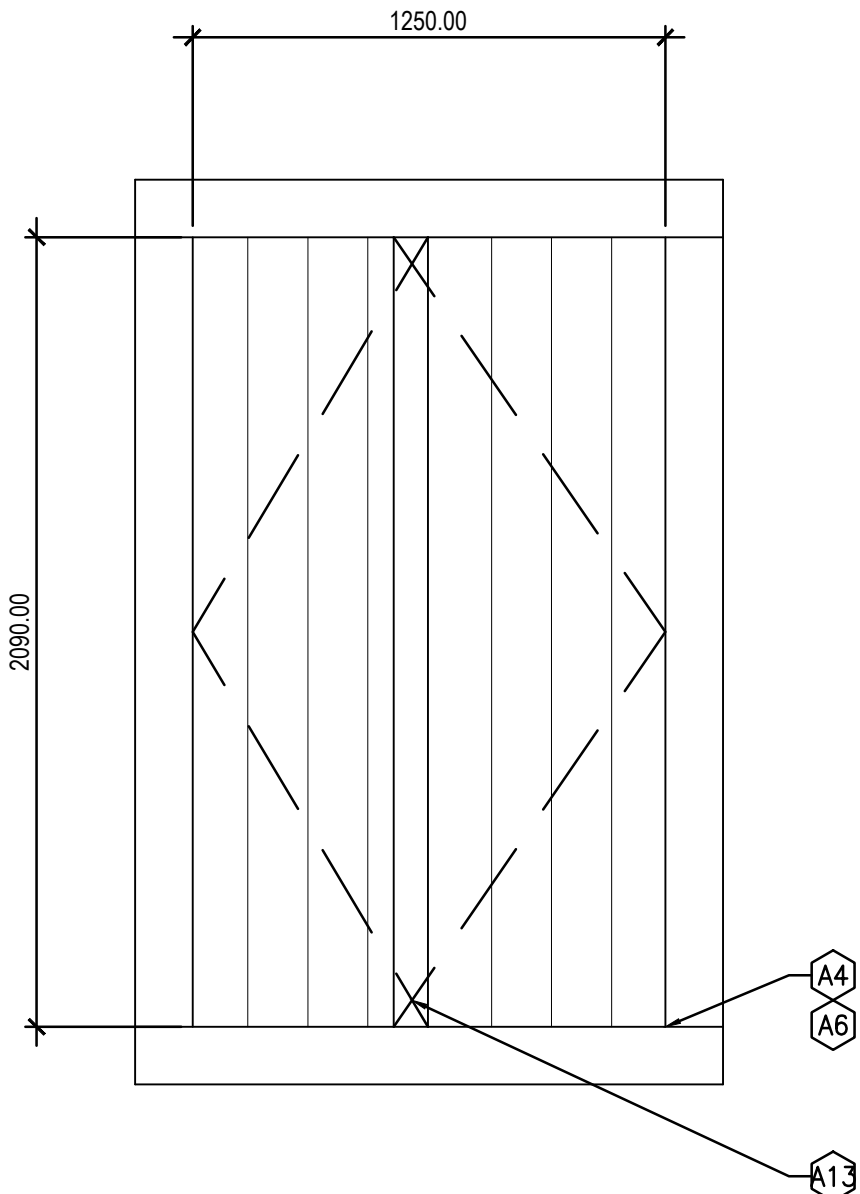
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A2-200 A2-650 1:20



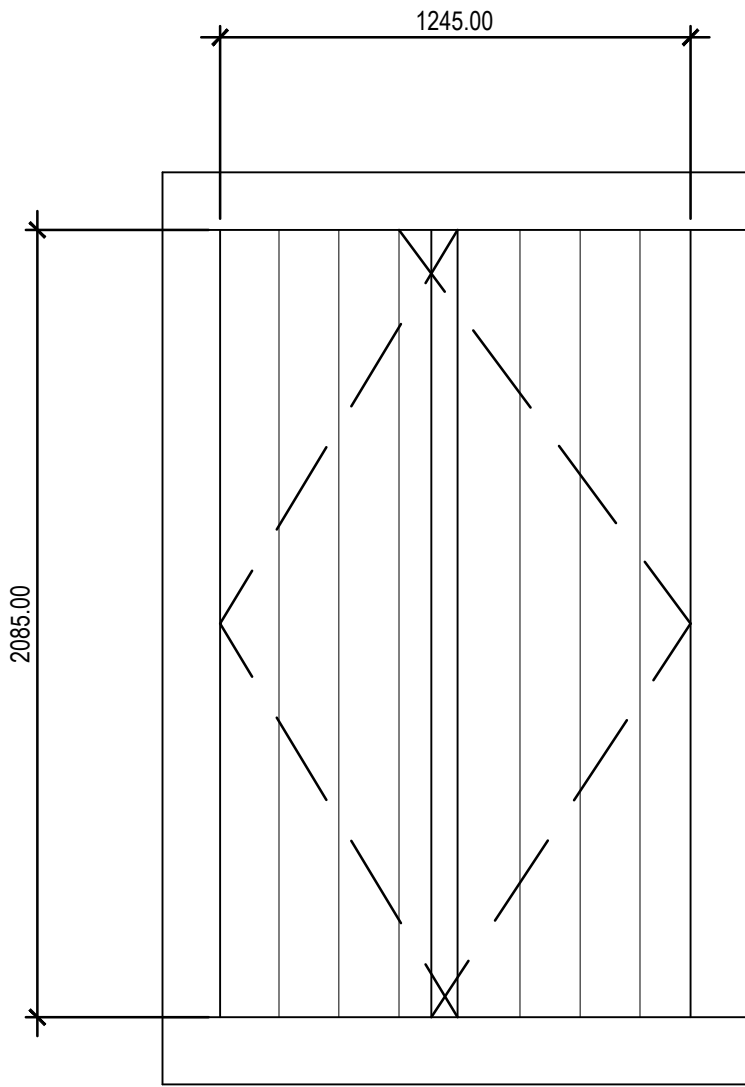
5 DOOR
A2-200 A2-650 1:20



2 DOOR
A2-200 A2-650 1:20



3 DOOR
A2-200 A2-650 1:20



4 DOOR
A2-200 A2-650 1:20

GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS; DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPER, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
- SEVERE DECAY/DAMAGE AT JAMBS/TOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

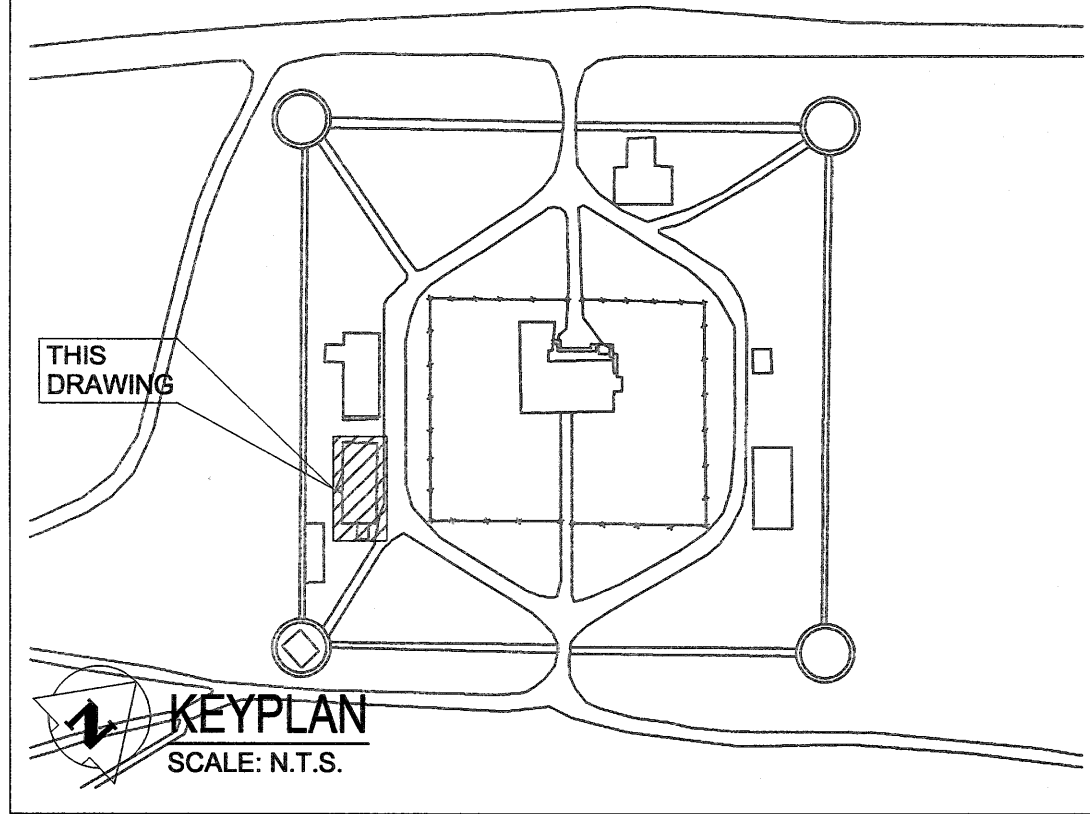
CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

| | | | | |
|--|------------------------|---|--|--|
| <div>Eng. Stamp Sceau de l'ingénieur</div> <div><div></div><div></div></div> | | | | |
| <div>Consultant's Name Nom de l'expert-conseil</div> <div>ARCHITECTURE 49</div> <div>1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com</div> | | | | |
| <div><div> Parks Canada</div><div>Strategic Asset Management, Western and Northern Region</div></div> <div><div>Parcs Canada</div><div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div></div> <div>Canada</div> | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | <div>KGS GROUP CONSULTING ENGINEERS</div> | | |
| <div>Project title/Titre du projet</div> <div>LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS</div> | | | | |
| <div>Drawing title/Titre du dessin</div> <div>FUR LOFT DOORS</div> | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille | | |
| R. | R. | A2-650 | | |
| Drawing Set No./Nº de série du dessin | | | | |

| EXHAUST FAN SCHEDULE | | | | | | | | | | | | | | | | |
|----------------------|--|----------|----------|--------|------------|---------|-----------|-------|-------|----------|------------|----------|------------|----------|----------|--|
| TAG | DESCRIPTION | AIR FLOW | | E.S.P. | | FAN RPM | | SOUND | | | FAN MOTOR | | DIMENSIONS | | | ACCESSORIES |
| | | (L/s) | (C.F.M.) | (Pa) | (IN. W.G.) | DESIGN | MIN./MAX. | INLET | | RADIATED | POWER (HP) | VOLTS/Ph | LENGTH | WIDTH | HEIGHT | |
| | | | | | | | | (dB) | SONES | (dB) | | | mm (in.) | mm (in.) | mm (in.) | |
| EF-1 | SQUARE INLINE, BACKWARD INCLINED, DIRECT DRIVE CWV VARIABLE SPEED MOTOR AND CONTROLLER | 365 | 770 | 75 | 0.301 | 948 | 300/1725 | 46 | 4.1 | 37 | 1/2 | 115/1 | 600 (24) | 480 (19) | 480 (19) | VARIABLE SPEED CONTROLLER, INSULATED HOUSING |

| MOTORIZED DAMPER SCHEDULE | | | | |
|---------------------------|----------------------------|----------|----------|---------------------------------|
| TAG | DESCRIPTION | SIZE | | ACTUATOR |
| | | WIDTH | HEIGHT | |
| | | mm (in.) | mm (in.) | |
| MD-1 | INSULATED MOTORIZED DAMPER | 300 (12) | 300 (12) | 120V, OPEN/CLOSE, SPRING RETURN |
| MD-2 | INSULATED MOTORIZED DAMPER | 300 (12) | 300 (12) | 120V, OPEN/CLOSE, SPRING RETURN |
| MD-3 | INSULATED MOTORIZED DAMPER | 300 (12) | 300 (12) | 120V, OPEN/CLOSE, SPRING RETURN |

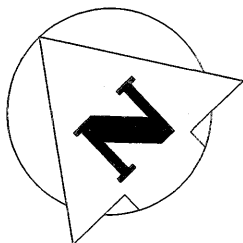
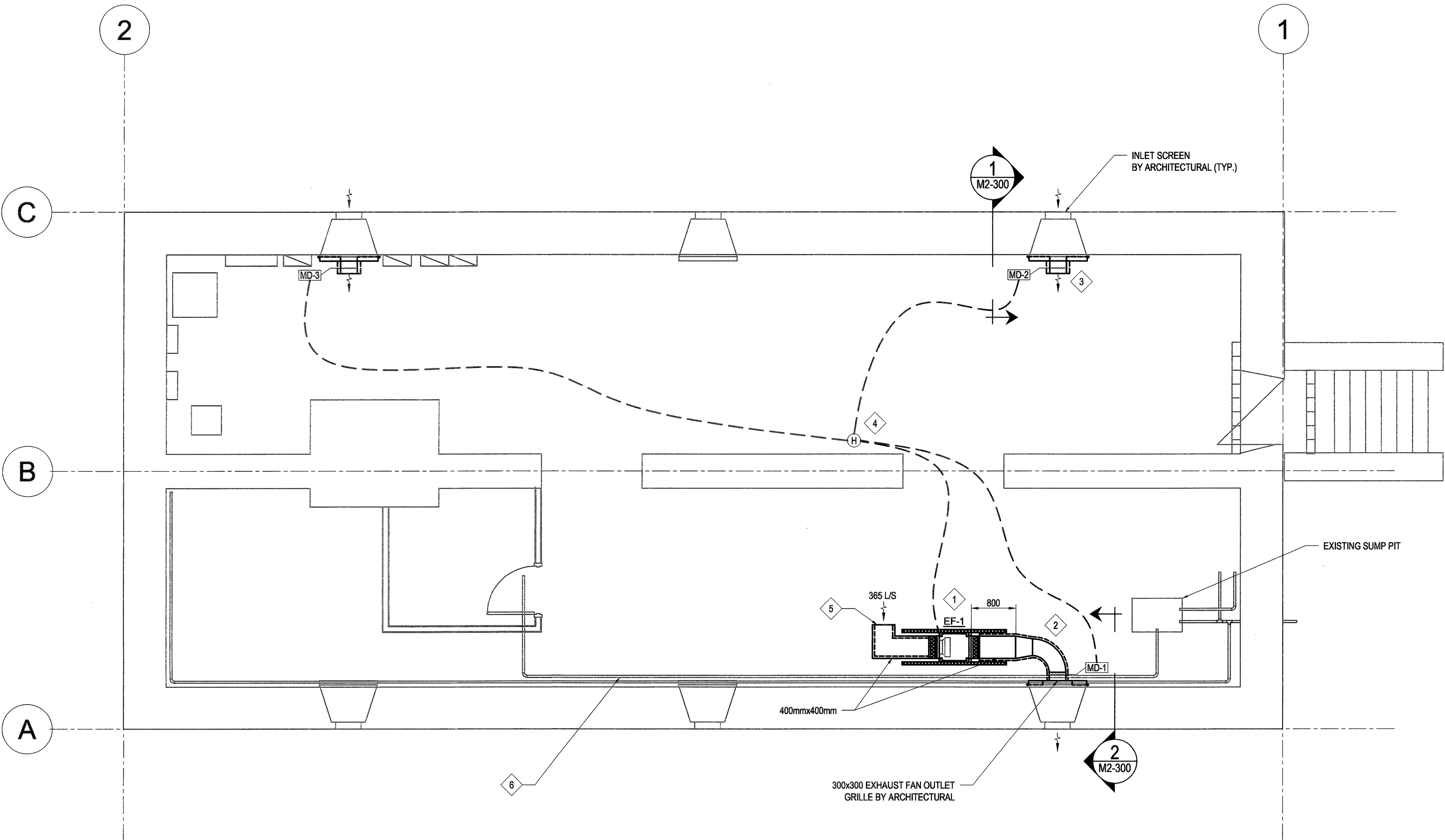


GENERAL NOTES:

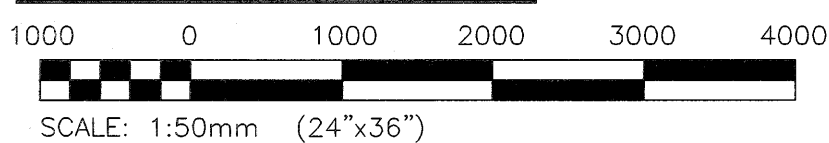
SEE DRAWING MG-000

KEYNOTES:








1. INSTALL NEW EXHAUST FAN EF-1 AS SHOWN. PROVIDE FLEXIBLE CONNECTIONS AND SPRING VIBRATION ISOLATION HANGERS.
2. INSTALL NEW INSULATED EXHAUST DUCTWORK AS SHOWN (TYP.)
3. INSTALL NEW AIR INTAKES C/W MOTORIZED DAMPERS AS SHOWN. PROVIDE 18 GA. GALV. SHEET METAL PANEL WITH 50mm INSULATION C/W OPENING FOR MOTORIZED DAMPER. FASTEN PANEL TO WINDOW FRAME AND SEAL AIR TIGHT. (TYP.)
4. NEW DE-HUMIDISTAT AND ASSOCIATED CONTROL WIRING BY ELECTRICAL. (SEE DRAWING E2-10J)
5. PROVIDE ACOUSTICALLY LINED EXHAUST DUCT C/W 6mmx6mm GALV. MESH SCREEN INLET.
6. REMOVE EXISTING DRAIN PIPE SUPPORT HANGERS ONCE CONCRETE IS POURED. CUT THREADED RODS AT FLOOR LEVEL. GRIND ANY PROTRUSIONS FLUSH WITH FLOOR AS REQUIRED.


$$\frac{1}{-}$$

BASEMENT FLOOR PLAN

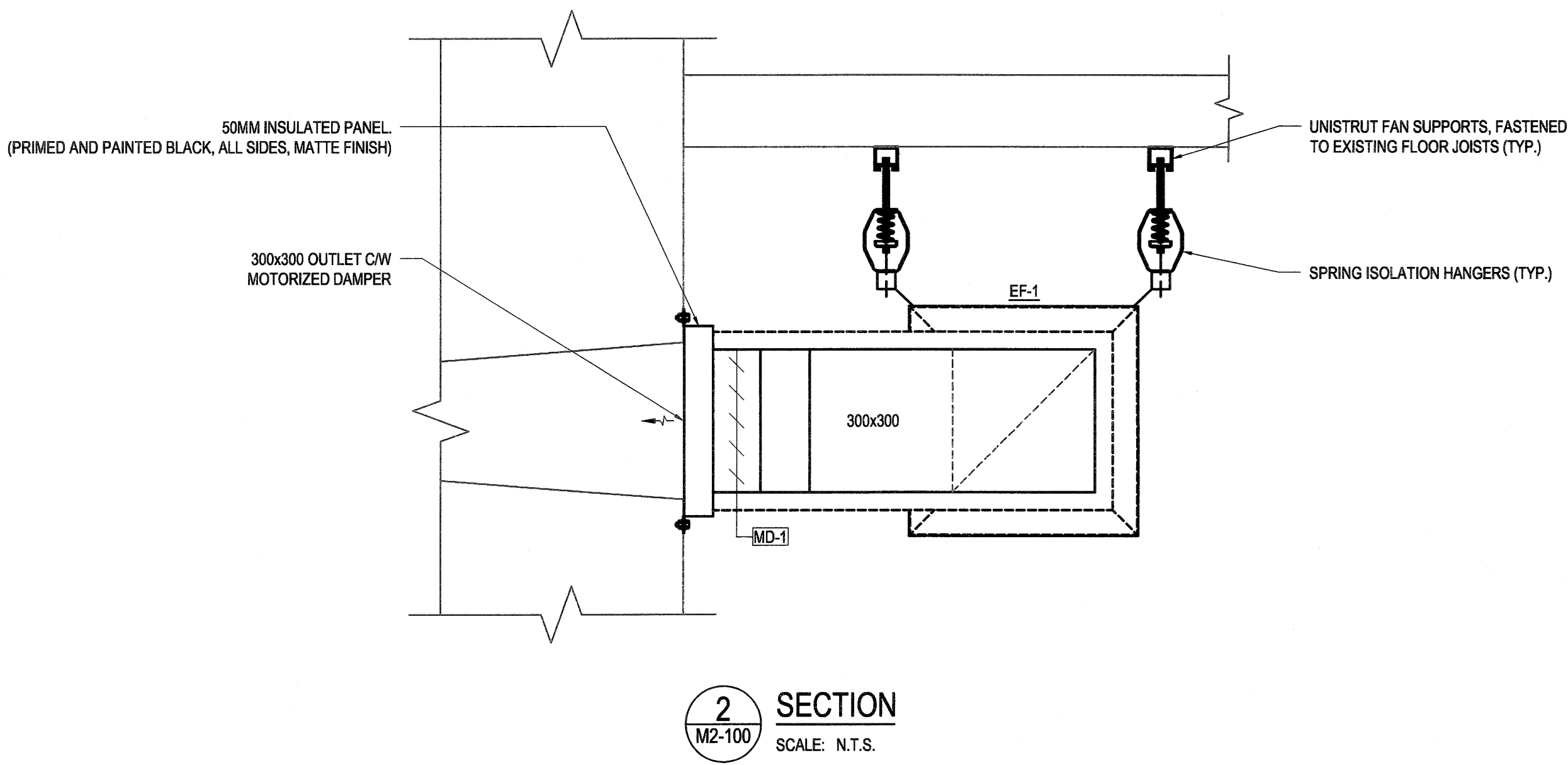
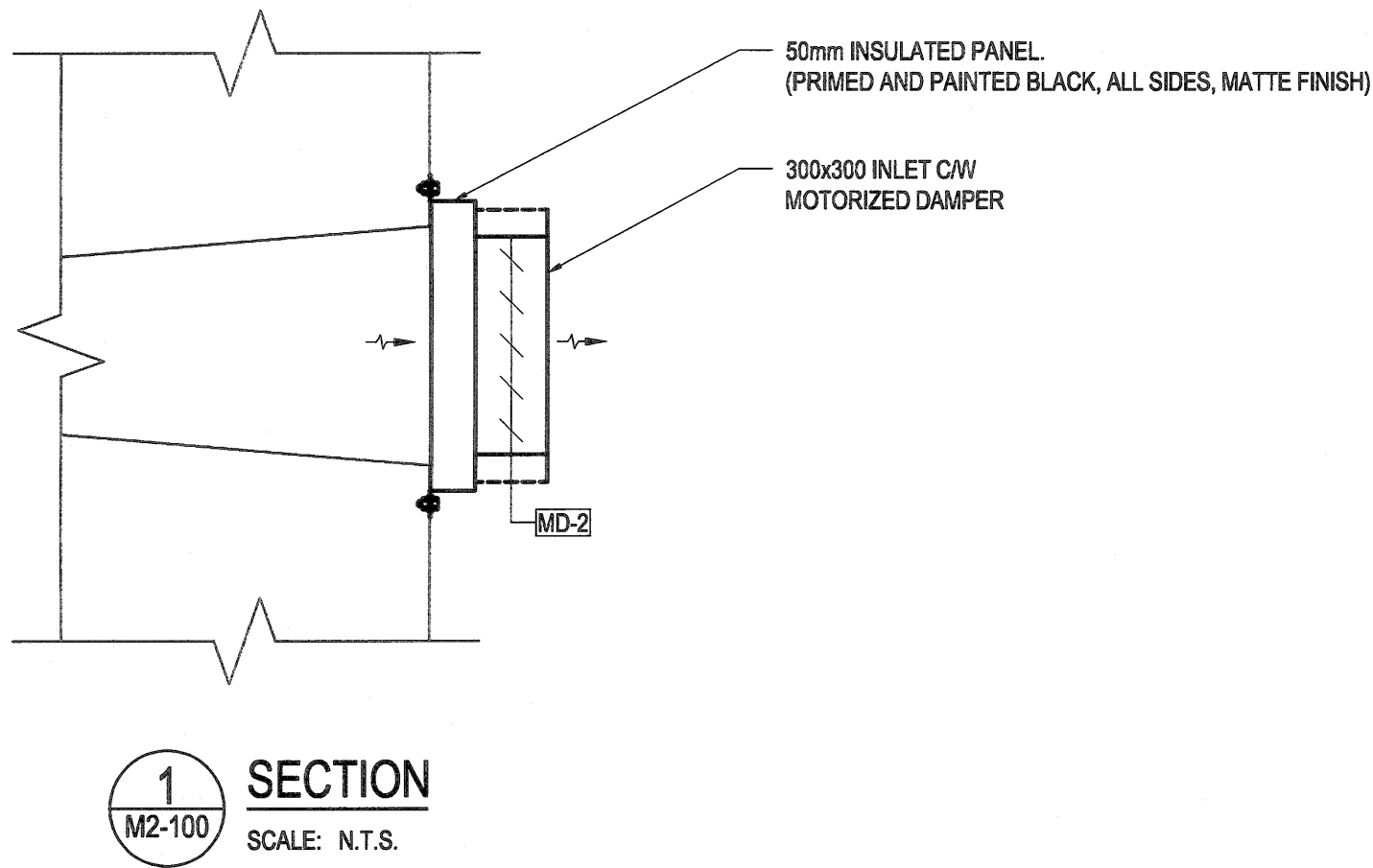


SCALE VERIFIED BY: *LM*

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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNM |  |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions In millimètres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | |  | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE | | | 49 | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture@kgs.com | | | | |
|  Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | |
| Canada  | | | | |
| Architecture 49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | |  | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FUR LOFT BASEMENT FLOOR PLAN HVAC - NEW | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par LNM | | Date 2018/02/21 |
| Designed by/Concept par LNM | | Reviewed by/Revisé par  | | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./N° du projet 1603 | | Asset No./N° du bien 1252 | | Sheet No./ N° de la feuille |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | M2-100 |

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GENERAL NOTES:
SEE DRAWING MG-000

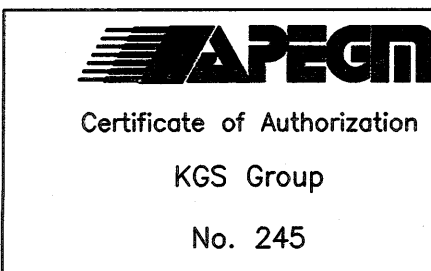


SCALE VERIFIED BY: N/A

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions In millimètres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 8B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



Parks Canada
Strategic Asset
Management,
Western and Northern
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Gestion Stratégique
des Biens,
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du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

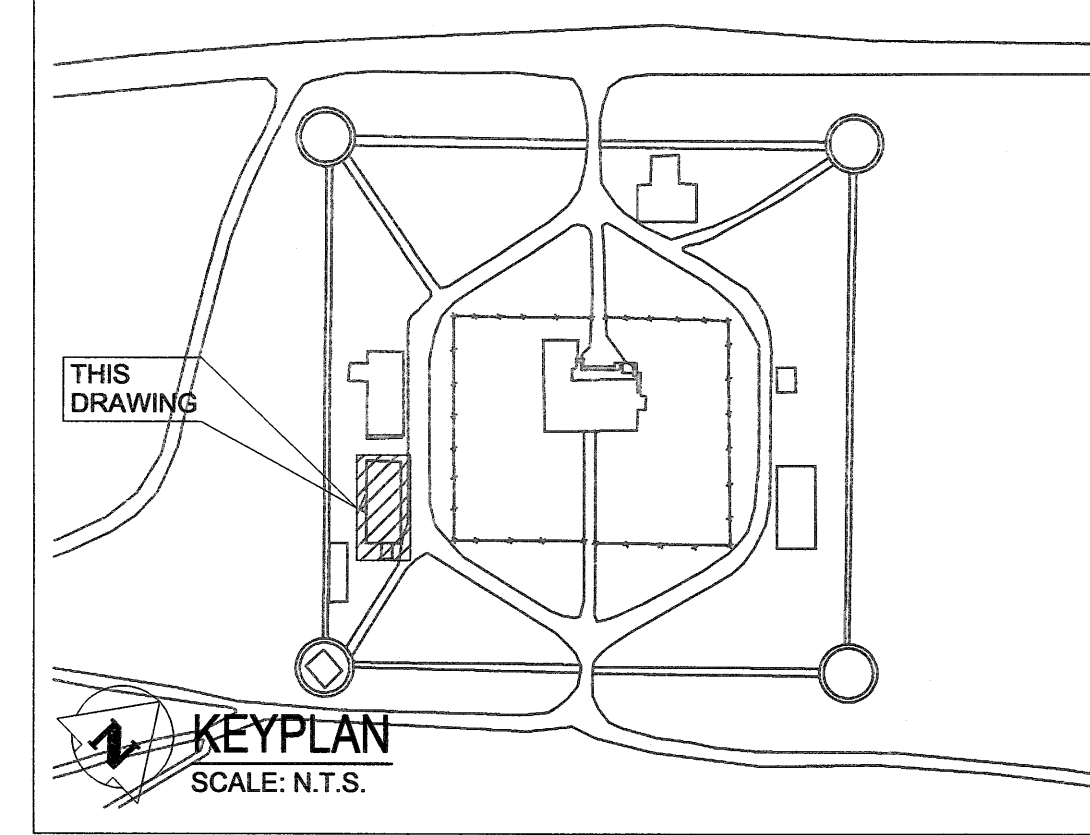
**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

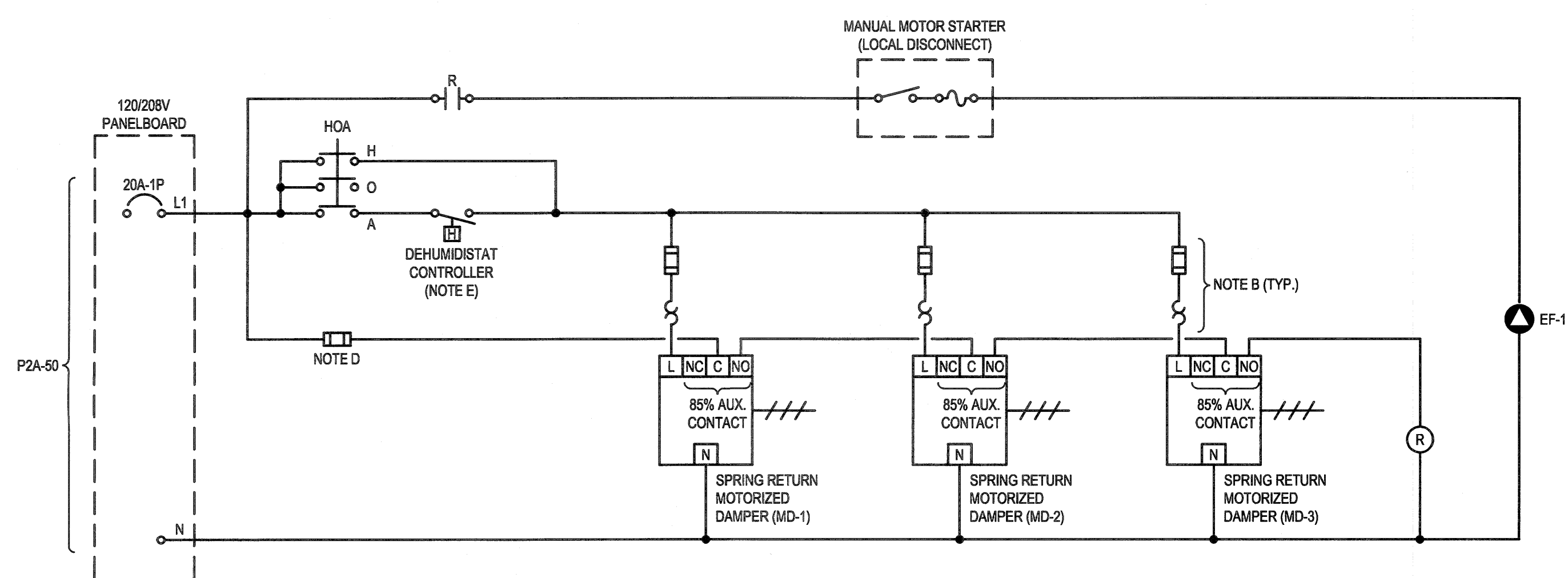
**FUR LOFT
SECTIONS & DETAILS**

| | | |
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | ML | 2018/03/02 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| LNLM | <i>PS</i> | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

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|---------------------------------------|----------------------|--------------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| 1603 | 1252 | M2-300 |
| Drawing Set No./N° de série du dessin | | 18-0051-001 |





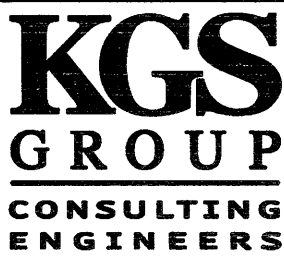


- KEYNOTES:

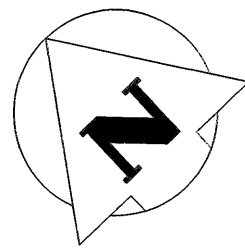
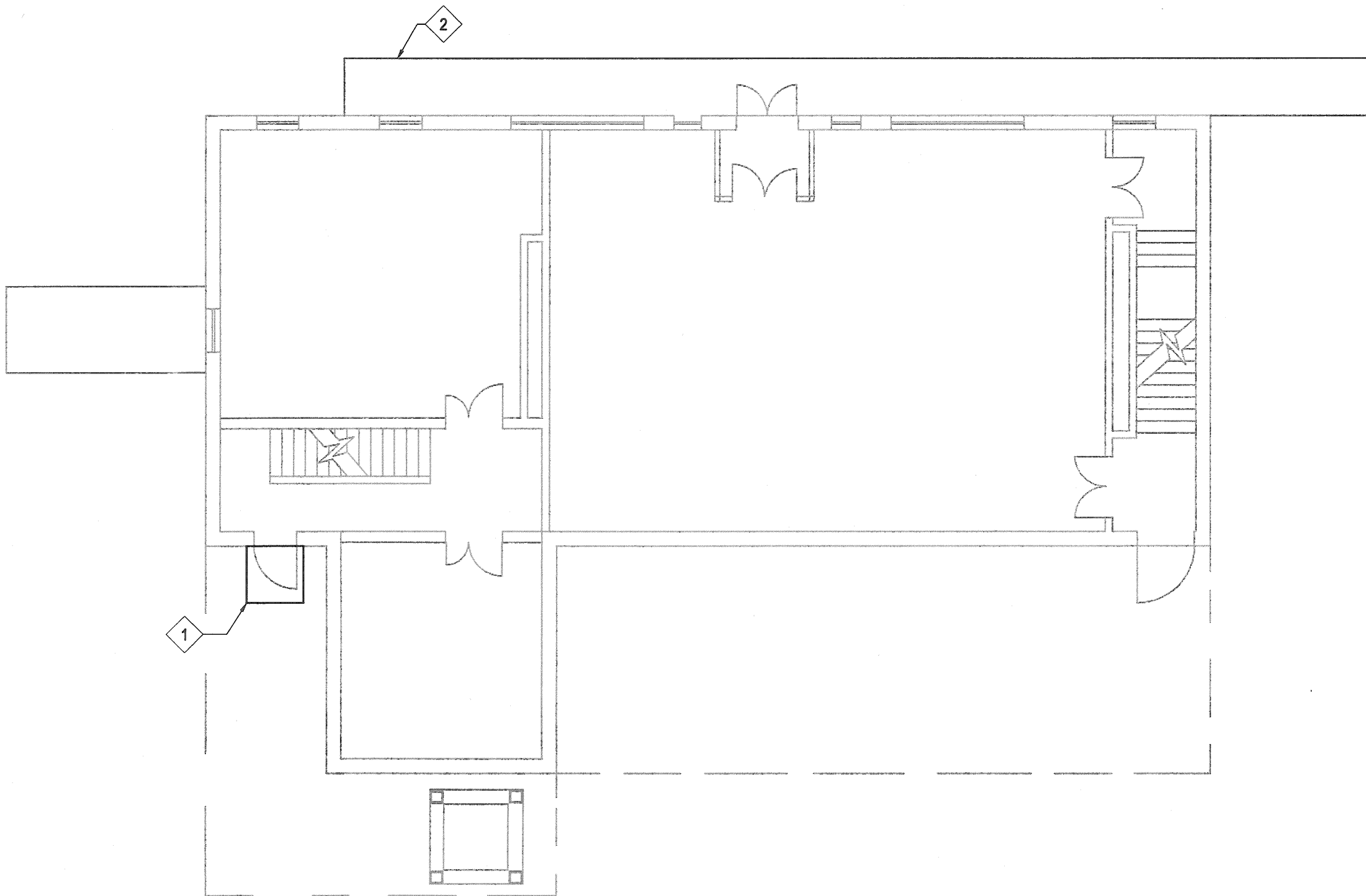


- DETAIL NOTES:

- ### SEQUENCE OF OPERATION

| | | | | | | | |
|---|------------|---|--|---|--|----------------------|--|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | | SOL | | CLS | |
| No. | Date | Description | | Drawn by Dessiné par | | Approved Approuvé | |
| Revision / Revision | | | | | | | |
| Linear dimensions In millimètres | | | | Dimensions linéaires en millimètres | | | |
| Eng. Stamp Sceau de l'ingénieur | | | | | | | |
|  Certificate of Authorization KGS Group No. 245 | | | |  | | | |
| Consultant's Name Nom de l'expert-conseil | | | | | | | |
| ARCHITECTURE | | | | | | 49 | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 8B8 TEL: 204-477-1280 FAX: 204-477-8 architecture49.com | | | | | | | |
|  | | Parks Canada | | Parcs Canada | | | |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | | |
|  Canada | | | | | | | |
| Architecture49 Project No. 189-00014-00 | | | | Sub Consultant Project No. 18-0051-001 | | | |
| Sub Consultant | |  | | | | | |
| Project title/Titre du projet | | | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | | | |
| Drawing title/Titre du dessin | | | | | | | |
| FUR LOFT BASEMENT FLOOR PLAN | | | | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date | | | |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle | | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | | | | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille | | | |
| Drawing Set No./N° de série du dessin | | | | E2-100 | | | |

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MAIN FLOOR PLAN
SCALE: 1:100

KEY NOTES:

- 1 EXTERIOR WOOD PLANK LANDING TO BE REPLACED, TO MATCH EXISTING.
- 2 REPLACE SELECT BOARDWALK PLANKS AS DIRECTED BY DEPARTMENTAL REPRESENTATIVE TO MATCH EXISTING, APPROX. QUANTITY 2m².

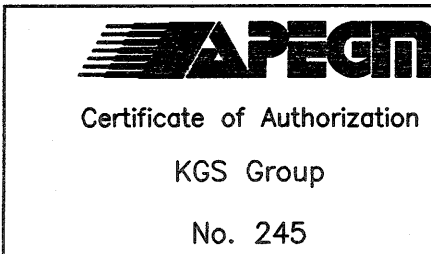
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Revision / Revision

| Linear dimensions in millimètres | Dimensions linéaires en millimètres |
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Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1008 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



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Western and Northern
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des Biens,
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du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

MUSEUM
STRUCTURAL
MAIN FLOOR PLAN

Surveyed by/Arpenté par

Drawn by/Dessiné par
MBB

Date
2018/02/21

Designed by/Concept par
KRD

Reviewed by/Revisé par

Scale/Echelle
AS NOTED

Client Acceptance/Acceptation du client

Approved by/Approuvé par

Date

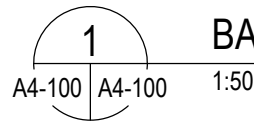
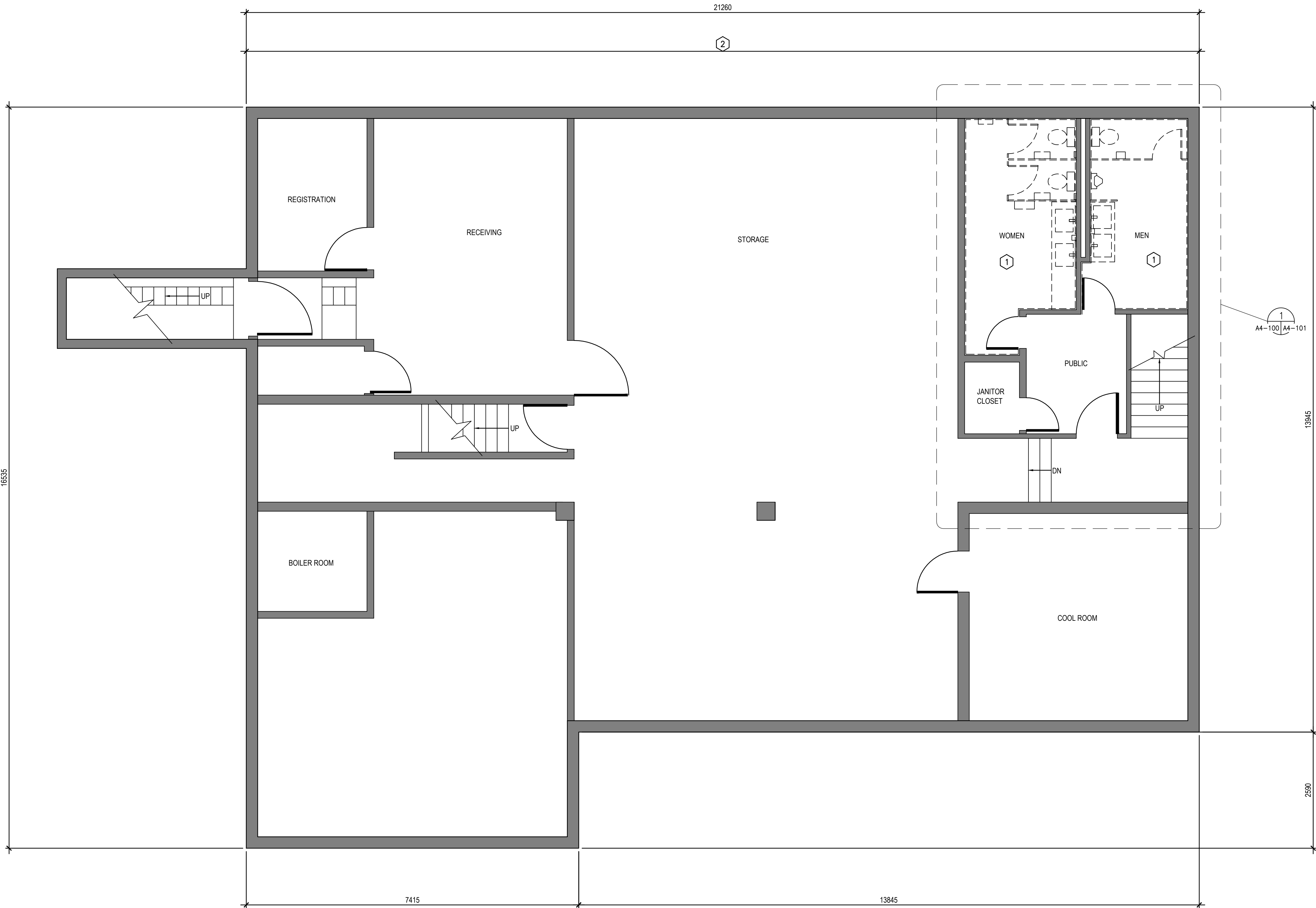
Project No./N° du projet
1603

Asset No./N° du bien
1254

Sheet No./
N° de la feuille

Drawing Set No./N° de série du dessin
18-0051-001

S4-110



BASEMENT FLOOR PLAN

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AND DOORS AS PER SPREADSHEET IN SPECIFICATIONS.
3. HAND SCRAPE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
4. REPLACE EXISTING WOOD SHINGLE ROOF SYSTEM.
5. COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE REGARDING WILDLIFE ON SITE.

DRAWING KEYNOTES:

1. REMOVE PLUMBING FIXTURES, WASHROOM ACCESSORIES, COUNTER, TOILET PARTITIONS, AND CEILING. PREPARE EXISTING FLOORING FOR INSTALLATION OF NEW TILES. WALL TILE TO REMAIN, PREPARE EXISTING WALL TILE FOR INSTALLATION OF NEW WALL TILE ABOVE.
2. DISASSEMBLE BOARDWALK IN FRONT OF BUILDING TO ALLOW FOR THE FOLLOWING REPAIRS: ASSESS TOPOGRAPHY OF ADJACENT ROAD AND GRADE BENEATH BOARDWALK. REGRADE TO PREVENT WATER DRAINAGE TOWARDS MUSEUM. REMOVE WALL CONSTRUCTION UP TO CONCRETE STRUCTURE, INCLUDING, BUT NOT LIMITED TO, SIDING, BUILDING PAPER, AND INSULATION. RECONSTRUCT AND TIE INTO EXISTING WALL CONSTRUCTION. REPAIRS TO MATCH EXISTING. REASSEMBLE BOARDWALK TO EXISTING CONDITIONS. EXACT LOCATION OF WATER LEAKAGE TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% REVIEW | KB | GL |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

| | | |
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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

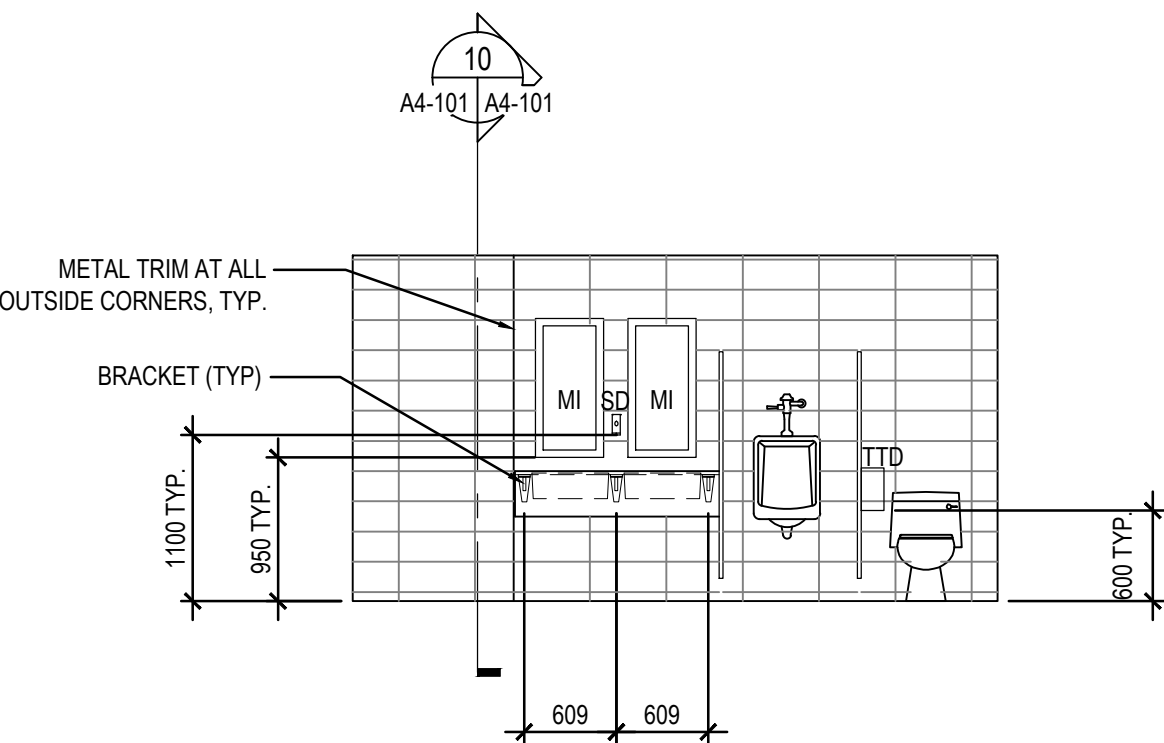
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | |
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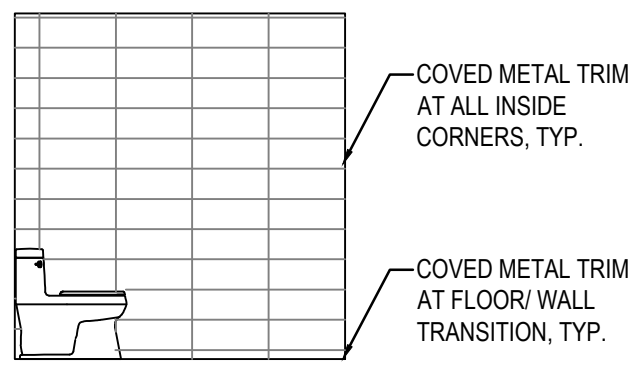
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| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| MUSEUM BASEMENT FLOOR PLAN |

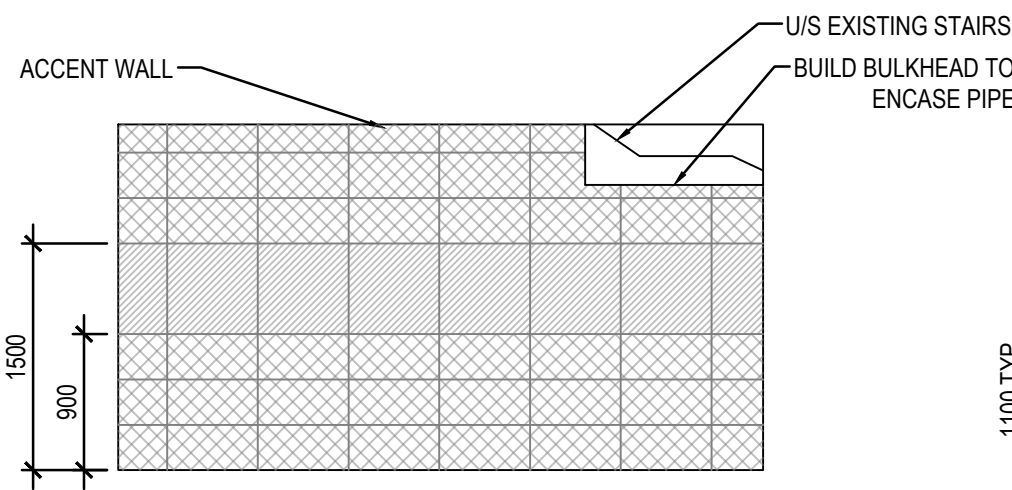
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| | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A4-100 |
| Drawing Set No./Nº de série du dessin | | |



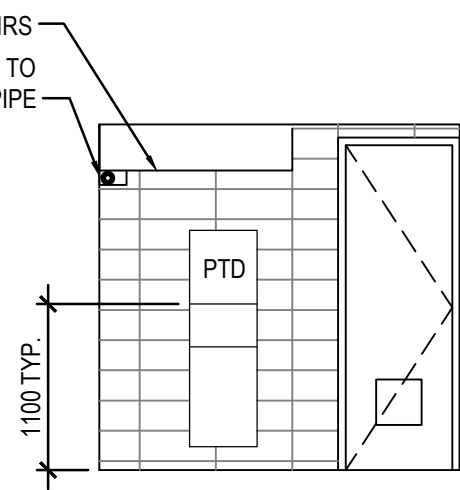
2 MEN'S WC WEST ELEVATION
A4-101 1:50



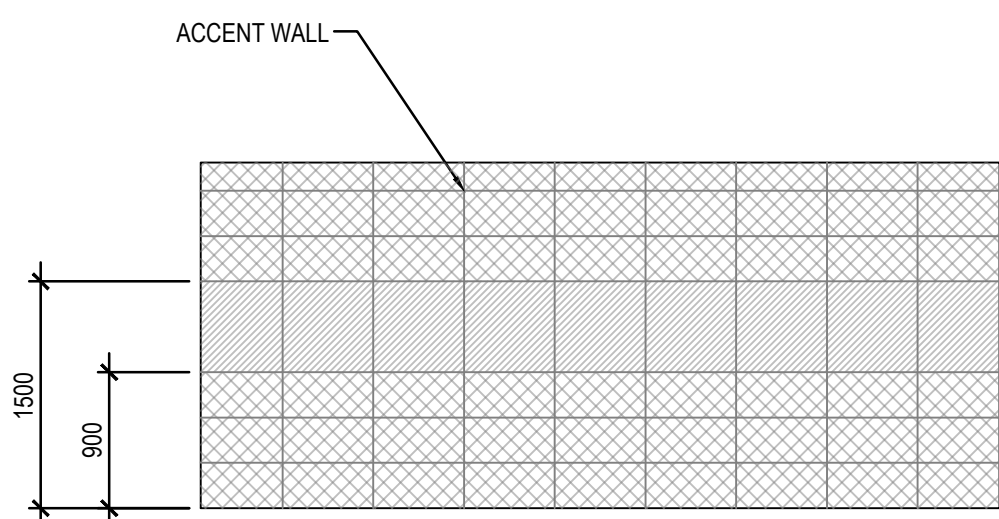
3 MEN'S WC NORTH ELEVATION
A4-101 1:50



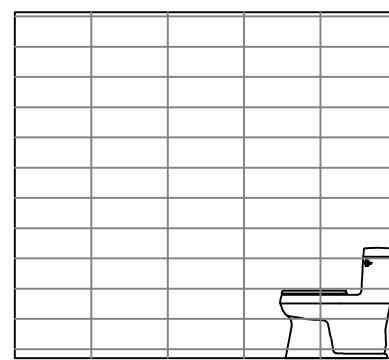
4 MEN'S WC EAST ELEVATION
A4-101 1:50



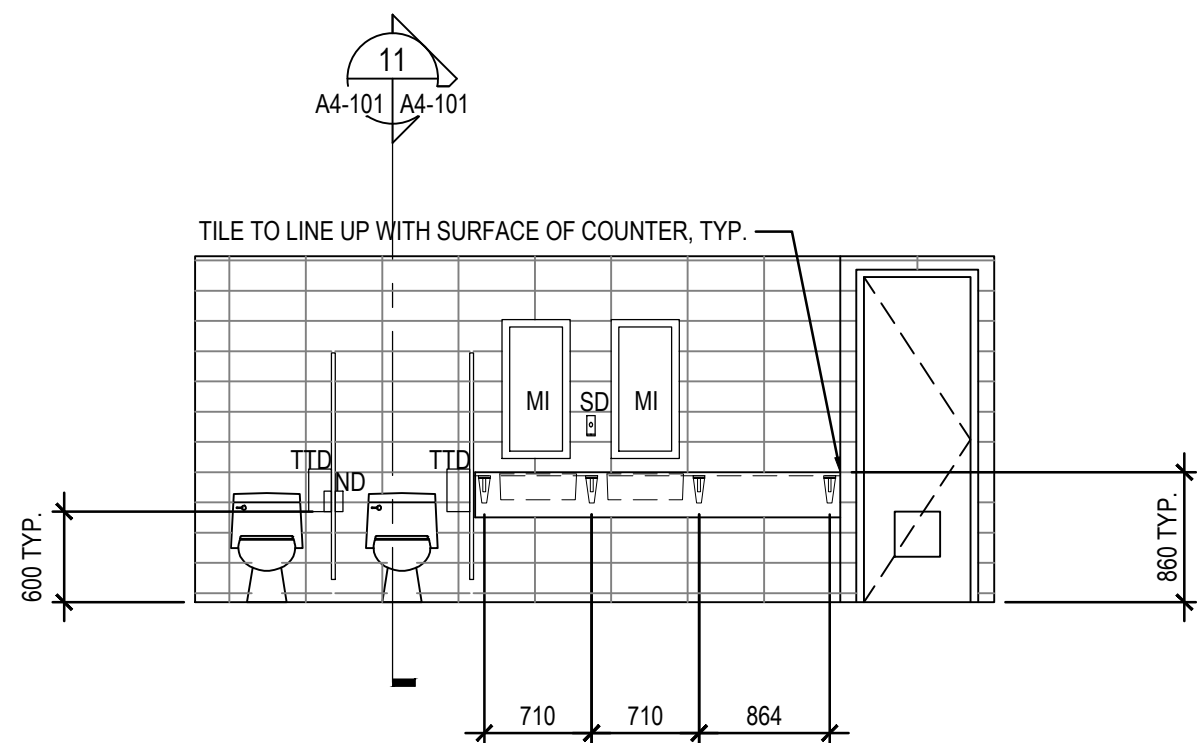
5 MEN'S WC SOUTH ELEVATION
A4-101 1:50



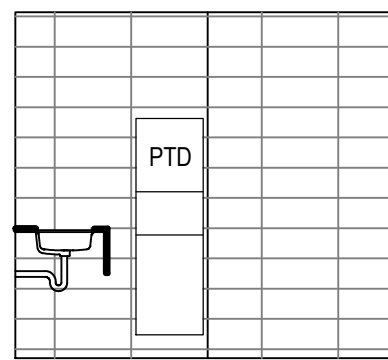
6 WOMEN'S WC WEST ELEVATION
A4-101 1:50



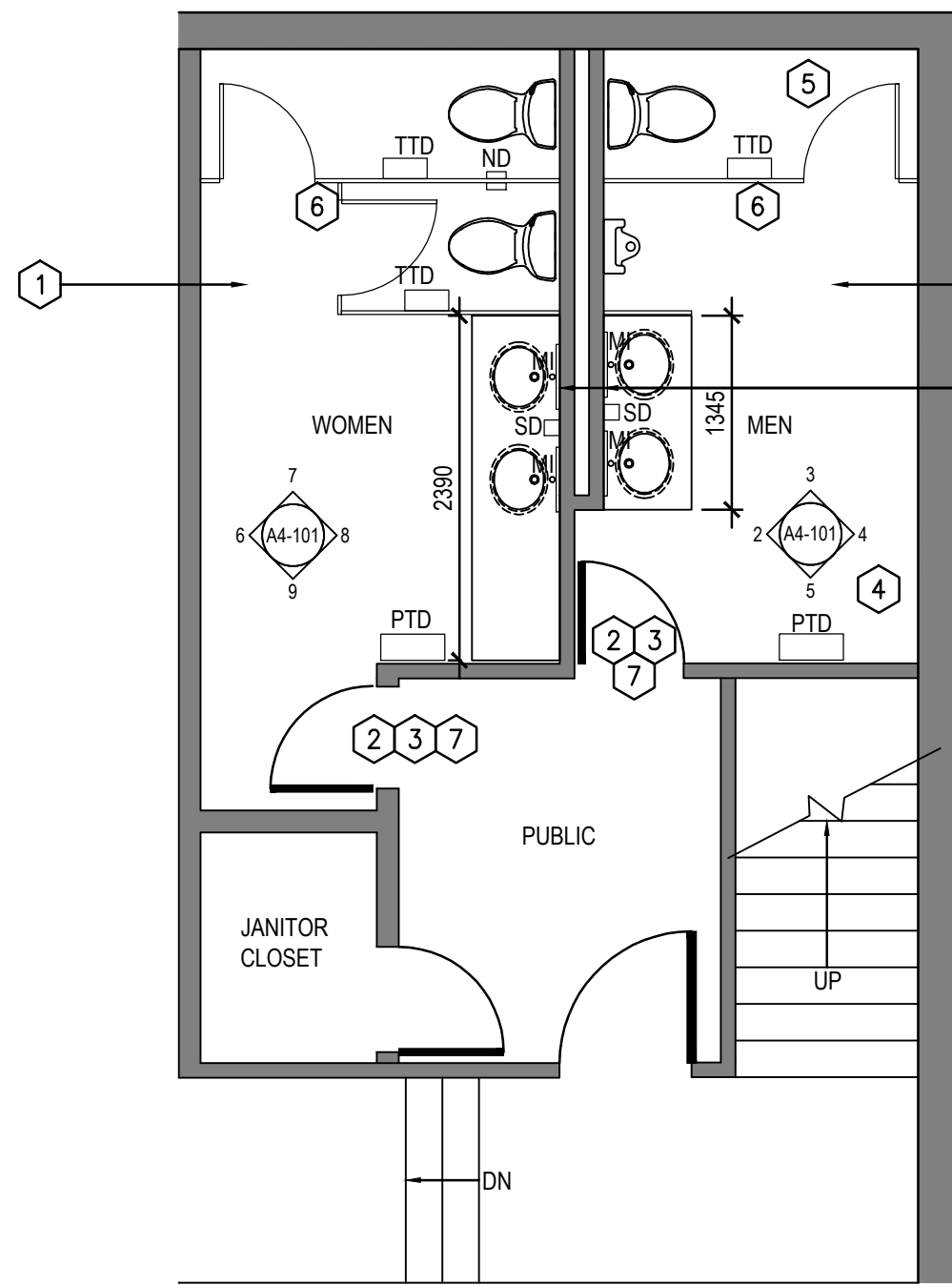
7 WOMEN'S WC NORTH ELEVATION
A4-101 1:50



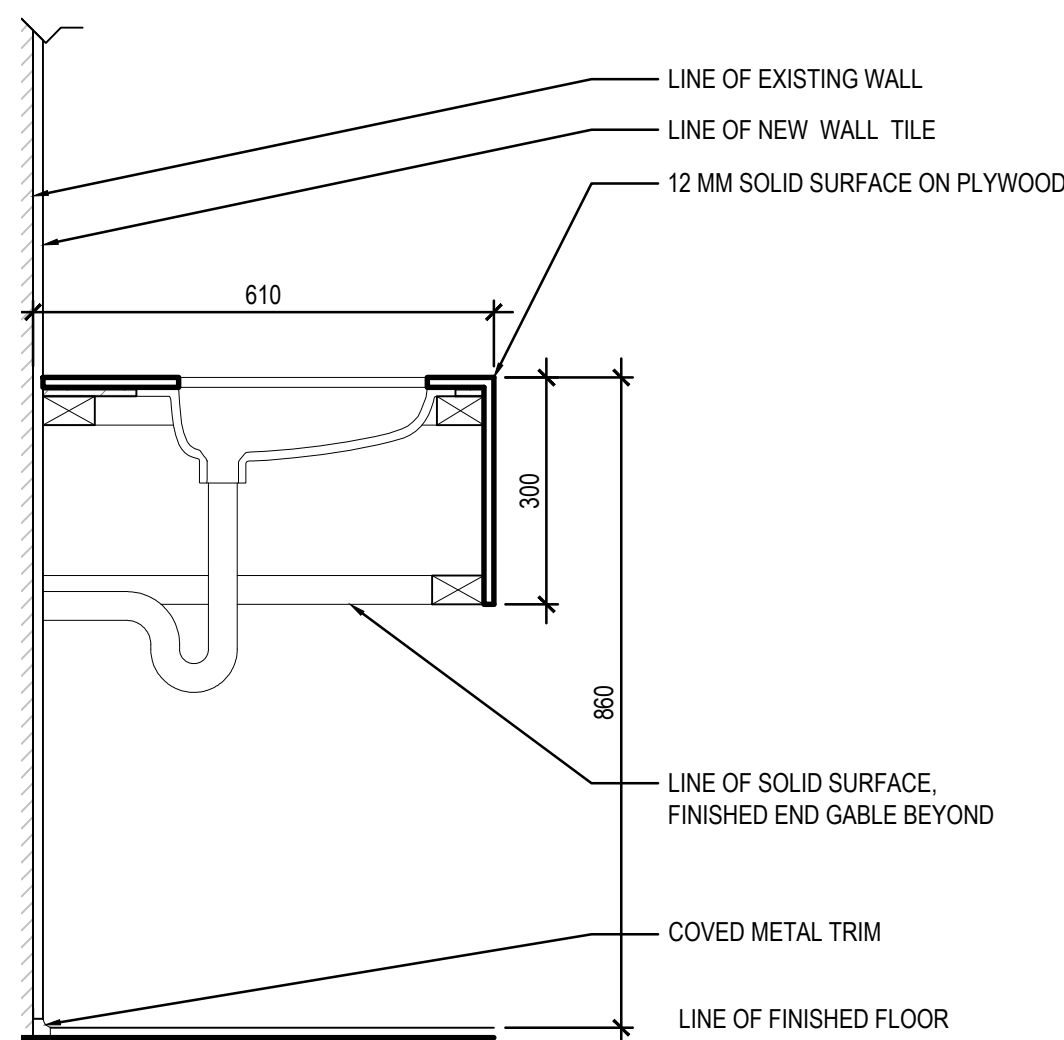
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A4-101 1:50



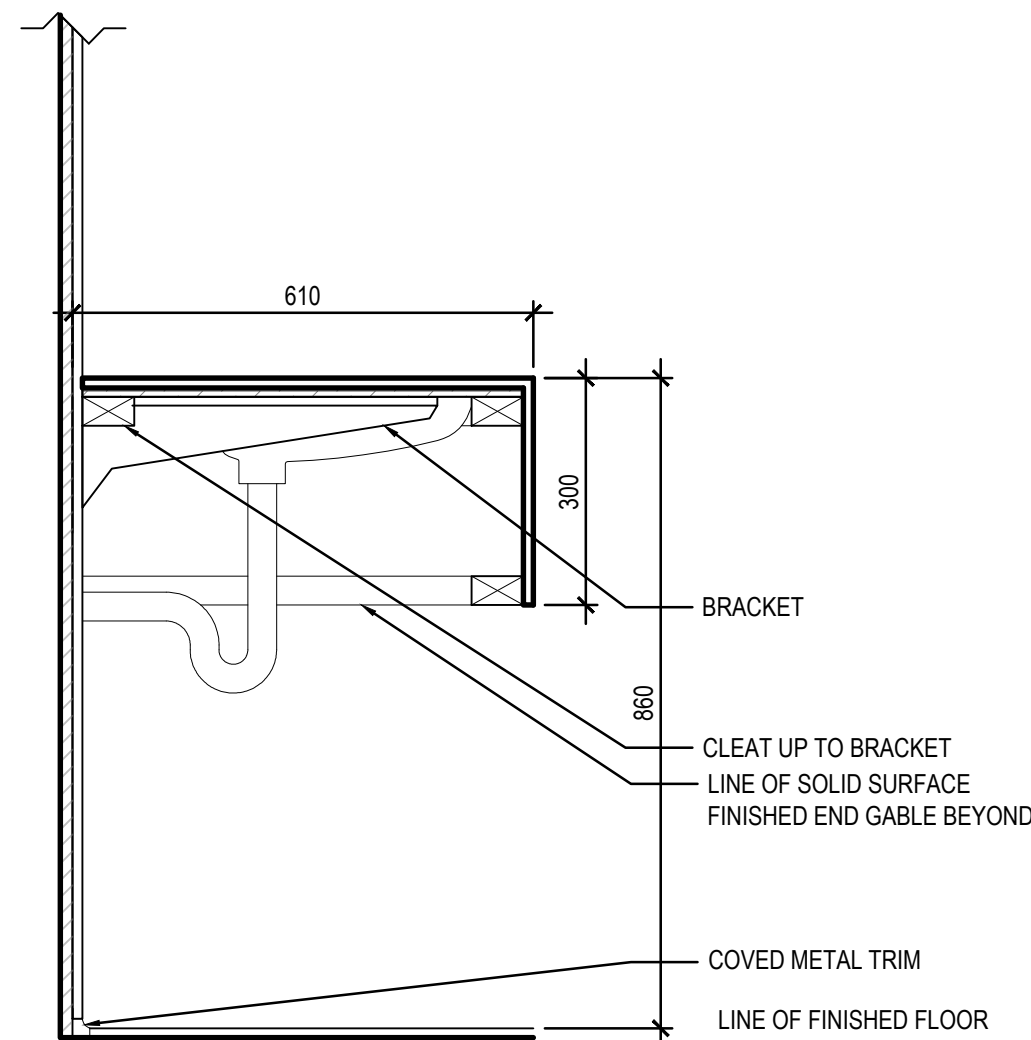
9 WOMEN'S WC SOUTH ELEVATION
A4-101 1:50



1 WASHROOM PLANS
A4-100 A4-101 1:50



10 WC LAV SECTION 1
A4-101 1:10



11 WC LAV SECTION 2
A4-101 1:10

DRAWING KEYNOTES:

1. REMOVE PLUMBING FIXTURES, WASHROOM ACCESSORIES, COUNTER, TOILET PARTITIONS, AND CEILING. PREPARE EXISTING FLOORING FOR INSTALLATION OF NEW TILES. WALL TILE TO REMAIN. PREPARE EXISTING WALL TILE FOR INSTALLATION OF NEW WALL TILE ABOVE.
2. UNDERCUT DOOR AS REQUIRED.
3. RELOCATE OR REPLACE EXISTING KICK PLATE.
4. FURR OUT EXISTING KICKPLATE @ CEILING.
5. REMOVE EXISTING WALL MOUNTED CONDUIT, COORDINATE W. ELECTRICAL.
6. NEW WASHROOM PARTITIONS AND URINAL SCREEN.
7. EXISTING THRESHOLD TO REMAIN.

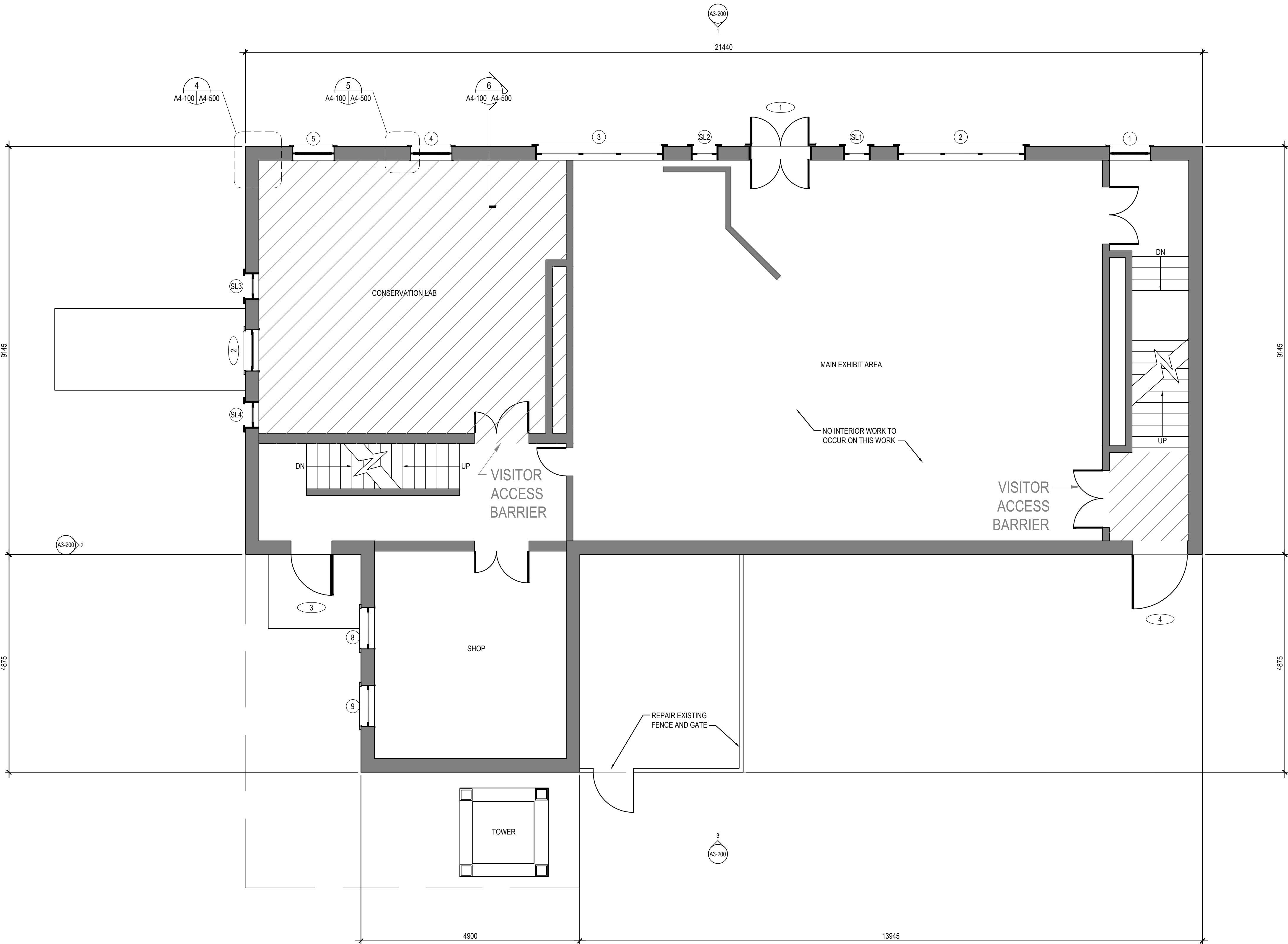
WASHROOM ACCESSORIES:

SD SOAP DISPENSER
MI MIRROR
TTD TOILET TISSUE DISPENSER
ND NAPKIN DISPOSAL
PTD PAPER TOWEL DISPENSER



GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AND DOORS AS PER SPREADSHEET IN SPECIFICATIONS.
3. HAND SCRABE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
4. REPLACE EXISTING WOOD SHINGLE ROOF SYSTEM.
5. COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE REGARDING WILDLIFE ON SITE.



1
A4-110 | A4-110
1:50
MAIN FLOOR PLAN

| | | | | |
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| | | | | |
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% REVIEW | KB | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| | Parks Canada | Parcs Canada |
| Strategic Asset Management, Western and Northern Region | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

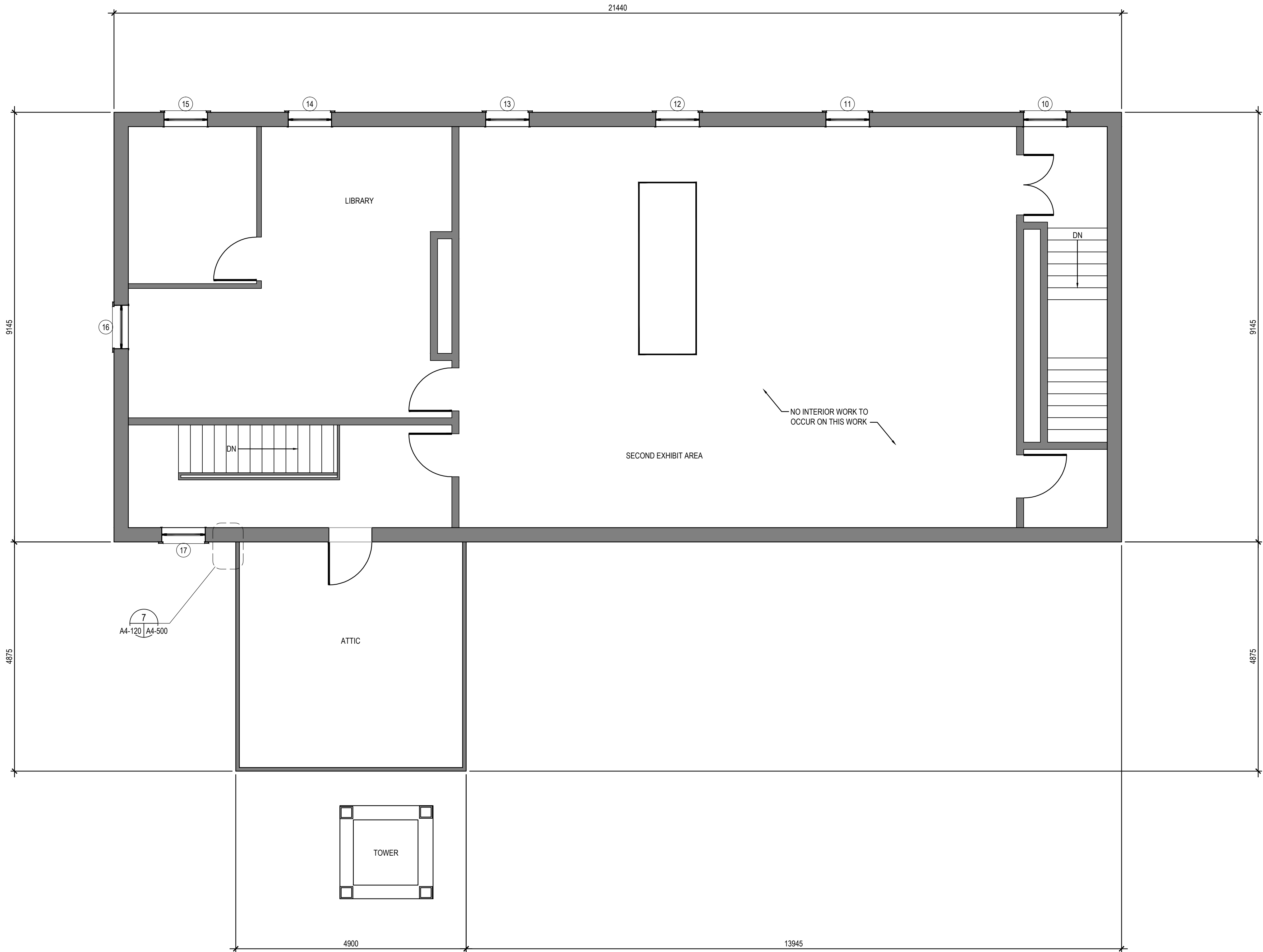
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| Drawing title/Titre du dessin |
| MUSEUM MAIN FLOOR PLAN |

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|---|--------------------------|---------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| Date | Date | Date |

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|---------------------------------------|----------------------|--------------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| R. | R. | A4-110 |
| Drawing Set No./N° de série du dessin | | |

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AND DOORS AS PER SPREADSHEET IN SPECIFICATIONS.
- HAND SCRAPER AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
- REPLACE EXISTING WOOD SHINGLE ROOF SYSTEM.
- COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE REGARDING WILDLIFE ON SITE.



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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% REVIEW | KB | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

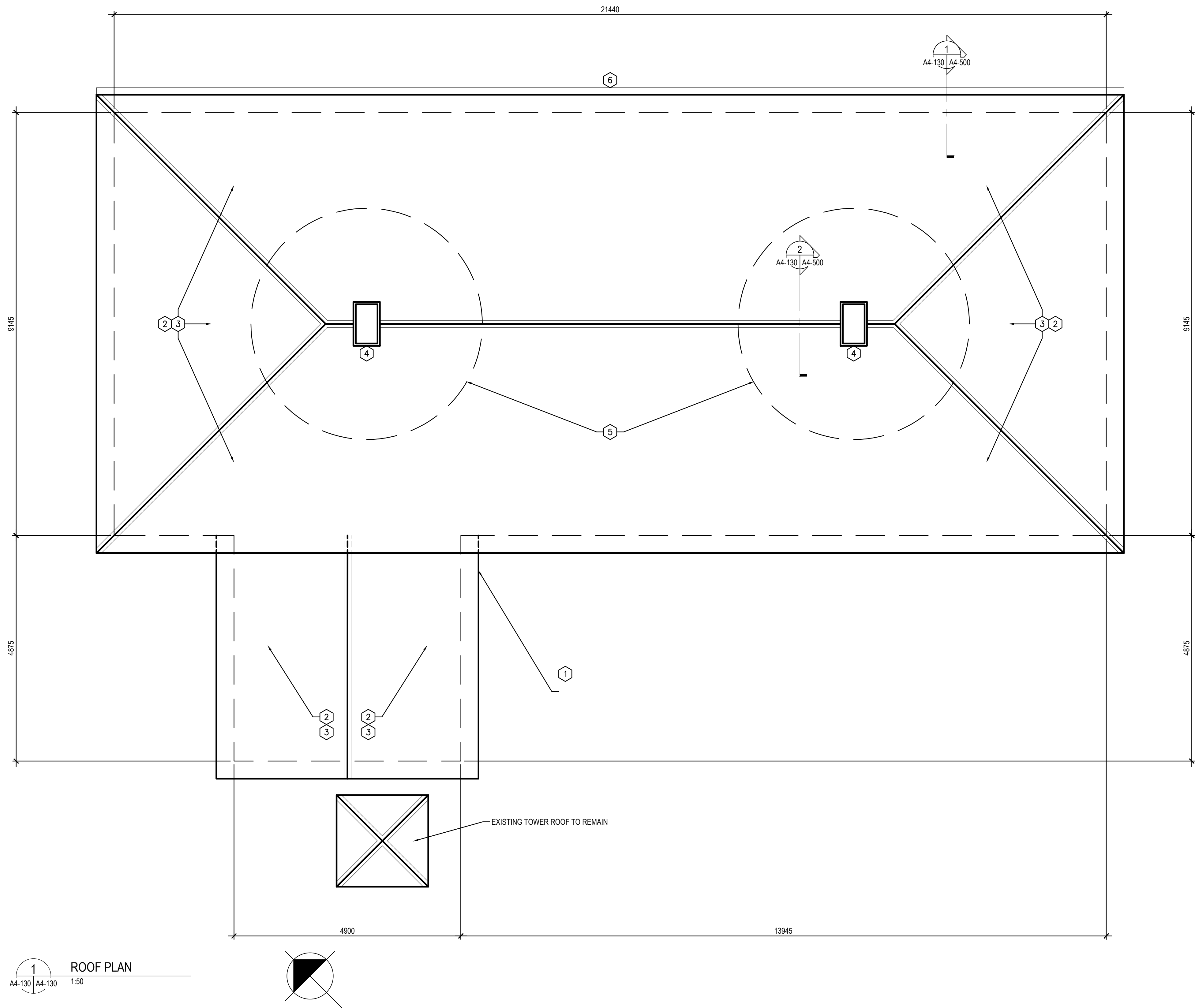
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

MUSEUM
SECOND FLOOR PLAN

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|---|--------------------------|--------------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| | | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A4-120 |
| Drawing Set No./Nº de série du dessin | | |



GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AND DOORS AS PER SPREADSHEET IN SPECIFICATIONS.
- HAND SCRAPE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
- REPLACE EXISTING WOOD SHINGLE ROOF SYSTEM.
- COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE REGARDING WILDLIFE ON SITE.

DRAWING KEYNOTES:

- REMOVE SIDING, ROOFING, AND FLASHING AT VALLEY BETWEEN MUSEUM AND STORE ROOF. REMOVE EXISTING MEMBRANE AND SHEATHING AT ROOF, AND SLEEPERS AT WALL. TIE IN NEW MEMBRANE AND FLASHING AT VALLEY. WEAVE IN NEW CEDAR SHINGLES. ATTACH NEW SIDING AT WALL.
- REMOVE EXISTING WOOD SHINGLE ROOF SYSTEM INCLUDING, BUT NOT LIMITED TO: WOOD SHINGLES AND BUILDING PAPER (FELT), EAVESTROUGH, AND RIDGE BOARDS.
- EXAMINE EXISTING ROOF SHEATHING. REPLACE DETERIORATED SHEATHING WITH NEW SHEATHING, TO MATCH EXISTING ADJACENT MATERIAL. VERIFY THAT UNDERLYING STRAPPING OR FRAMING IS SOUND.
- INSPECT EXISTING BRICK CHIMNEY. REPAIR/REPOINT AS NECESSARY TO MAINTAIN SOUND CONDITION. PROVIDE NEW METAL FLASHING AT NEW ROOF.
- 5M 'NO WORK ZONE' DUE TO MIGRATORY BIRDS. COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE.
- NEW METAL-LINED WOOD EAVESTROUGH.

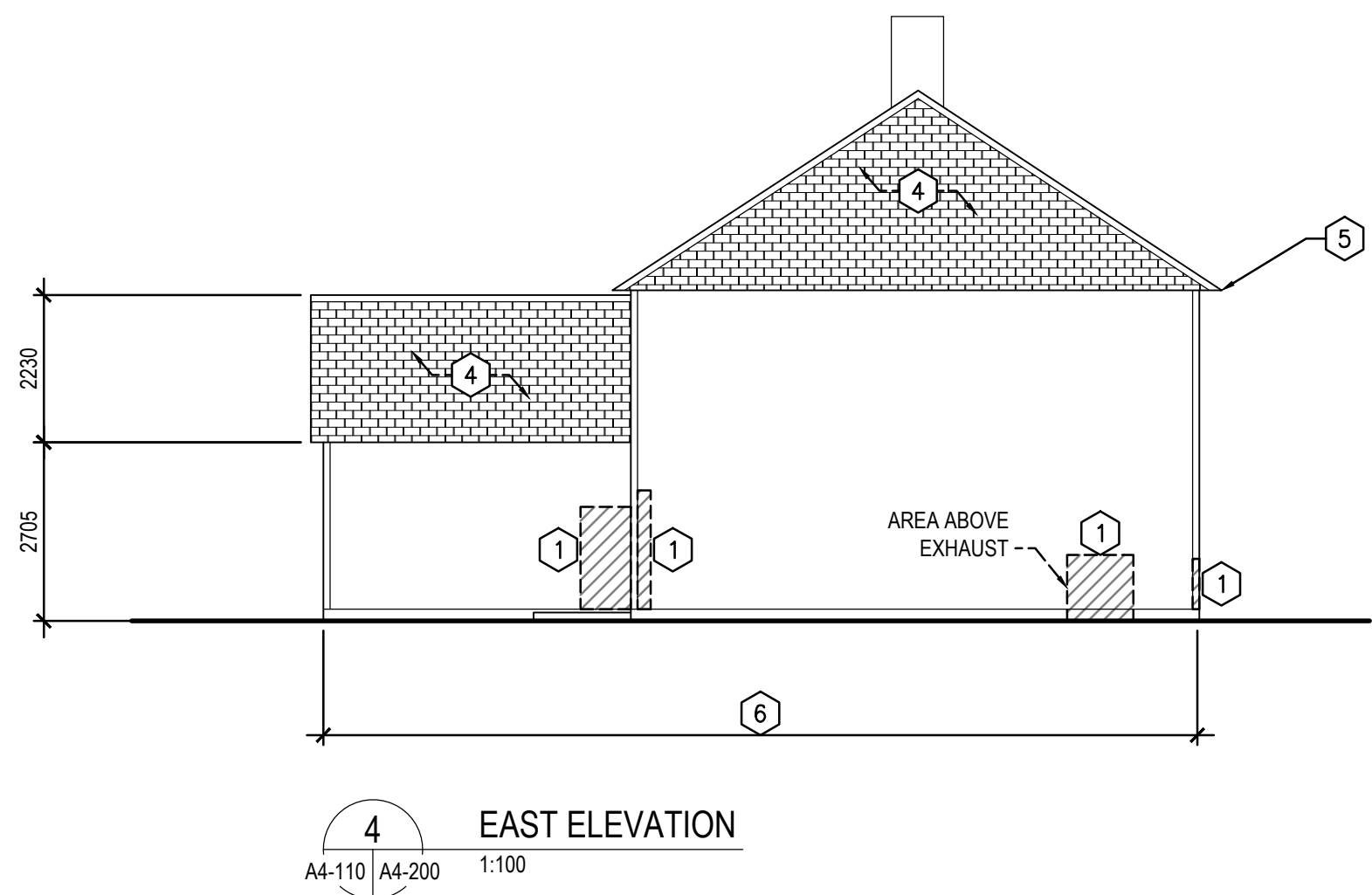
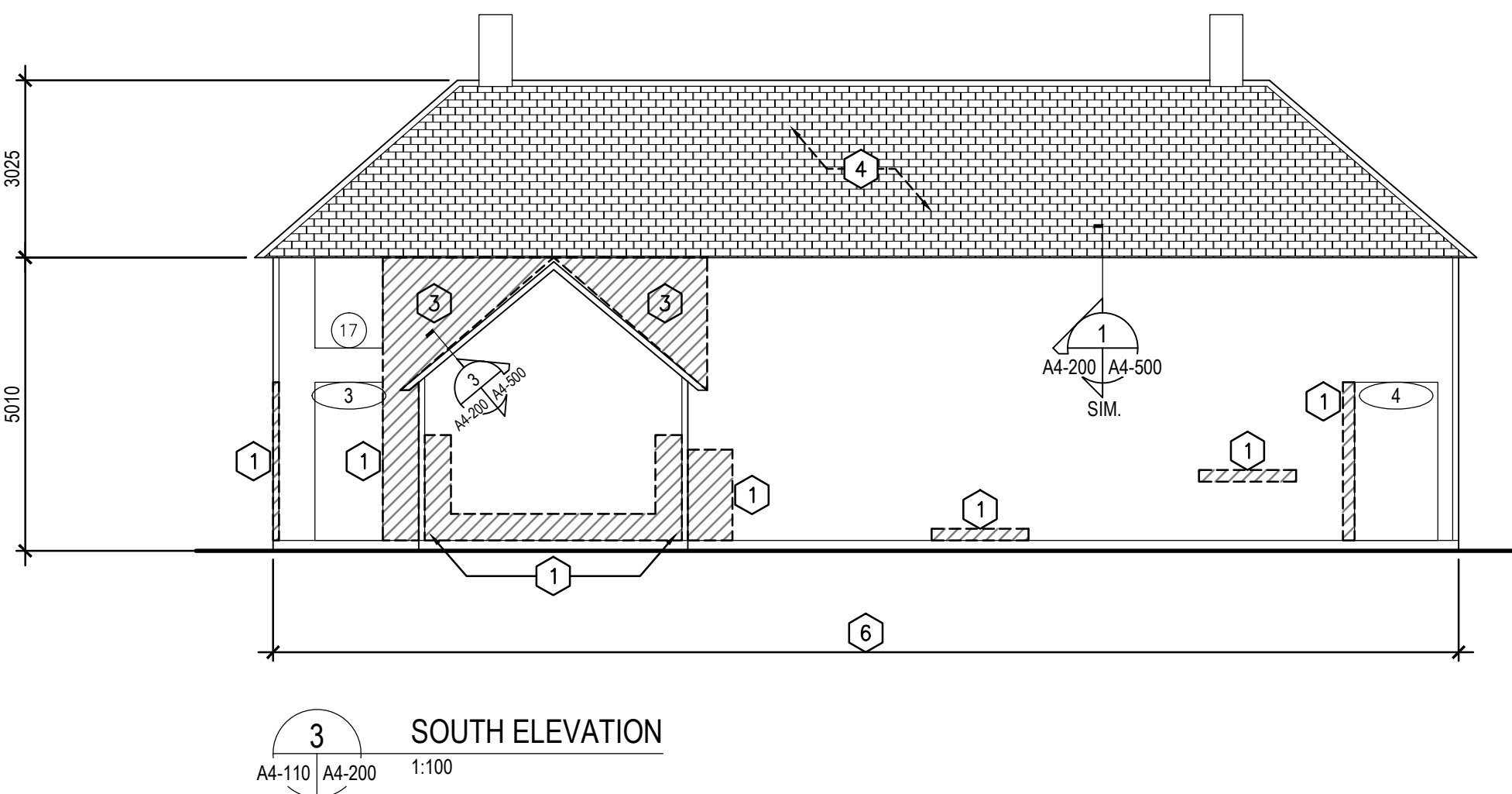
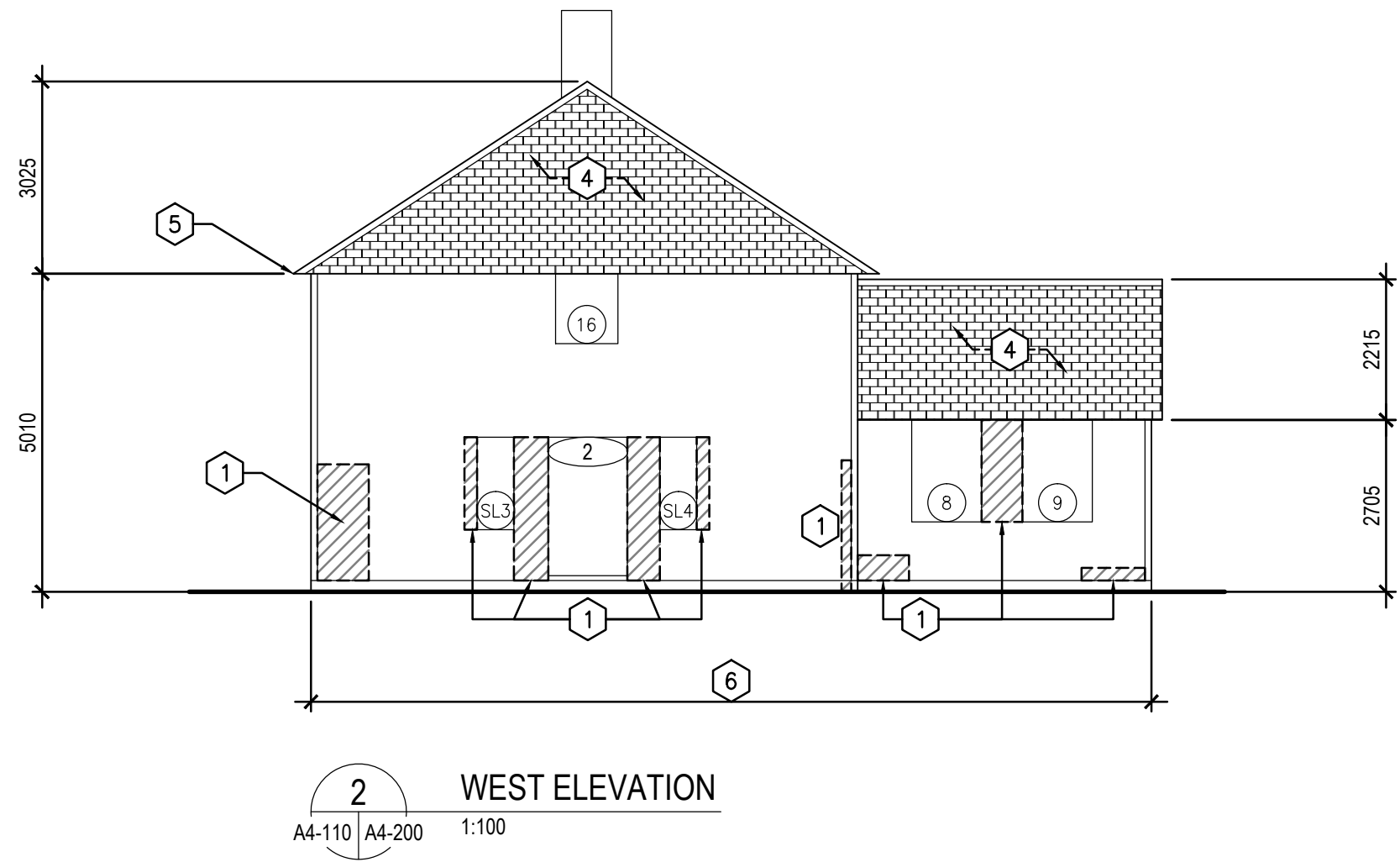
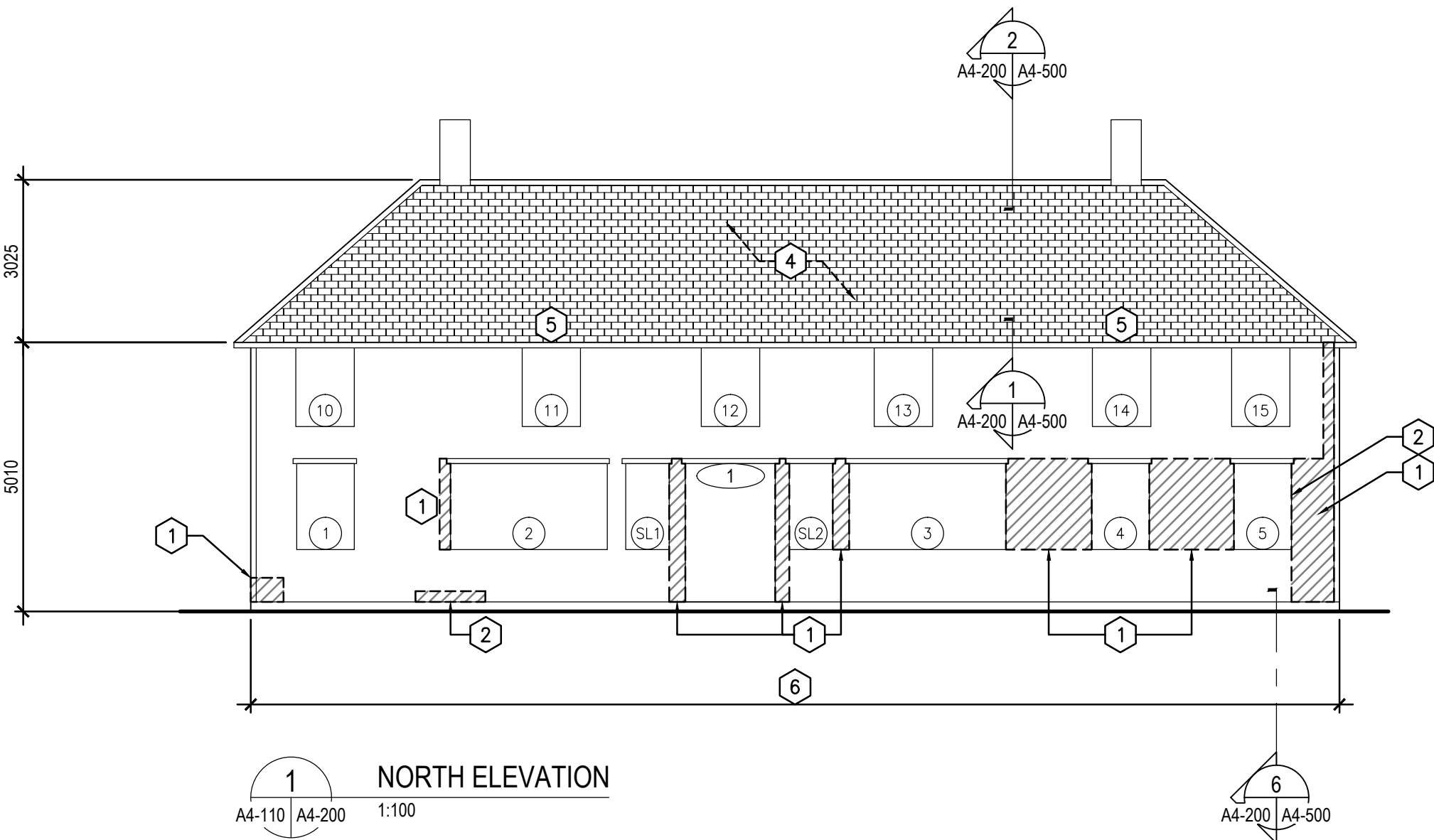
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% REVIEW | KB | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MUSEUM ROOF PLAN | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille | | |
| R. | R. | A4-130 | | |
| Drawing Set No./Nº de série du dessin | | | | |

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AND DOORS AS PER SPREADSHEET IN SPECIFICATIONS.
- HAND SCRAPE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
- REPLACE EXISTING WOOD SHINGLE ROOF SYSTEM.
- COORDINATE WITH PARKS CANADA TO DETERMINE APPROPRIATE WORK TIMES AND PRACTICE REGARDING WILDLIFE ON SITE.

DRAWING KEYNOTES:

- REMOVE DAMAGED WOOD SIDING AND WOOD SLEEPERS UNDERNEATH. INSTALL NEW WOOD SLEEPERS AND SIDING WHERE NECESSARY.
- EPOXY REPAIR CRACK IN WOOD SIDING.
- REMOVE SIDING, ROOFING, AND FLASHING AT VALLEY BETWEEN MUSEUM AND STORE ROOF. REMOVE EXISTING MEMBRANE AND SHEATHING AT ROOF, AND SLEEPERS AT WALL. TIE IN NEW MEMBRANE AND FLASHING AT VALLEY. ATTACH NEW SIDING AT WALL.
- NEW WOOD SHINGLE ROOF SYSTEM.
- NEW METAL-LINED WOOD EAVESTROUGH.
- REMOVE CRACKED AND LOOSE CEMENT PARGING AT FOUNDATION. PREPARE SURFACE AND REPARGE. ATTACH NEW RIGID INSULATION, TO MATCH THICKNESS OF EXISTING FOUNDATION INSULATION. MATCH EXISTING DEPTH BELOW GRADE.



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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

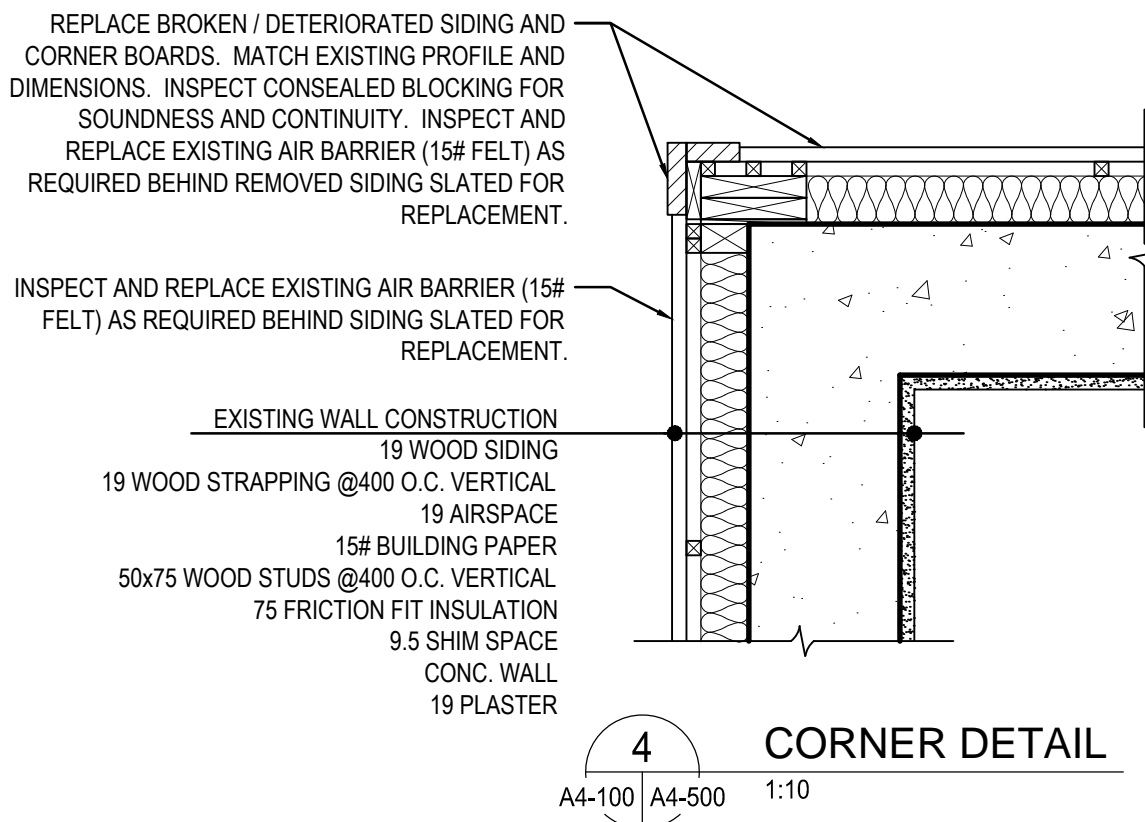
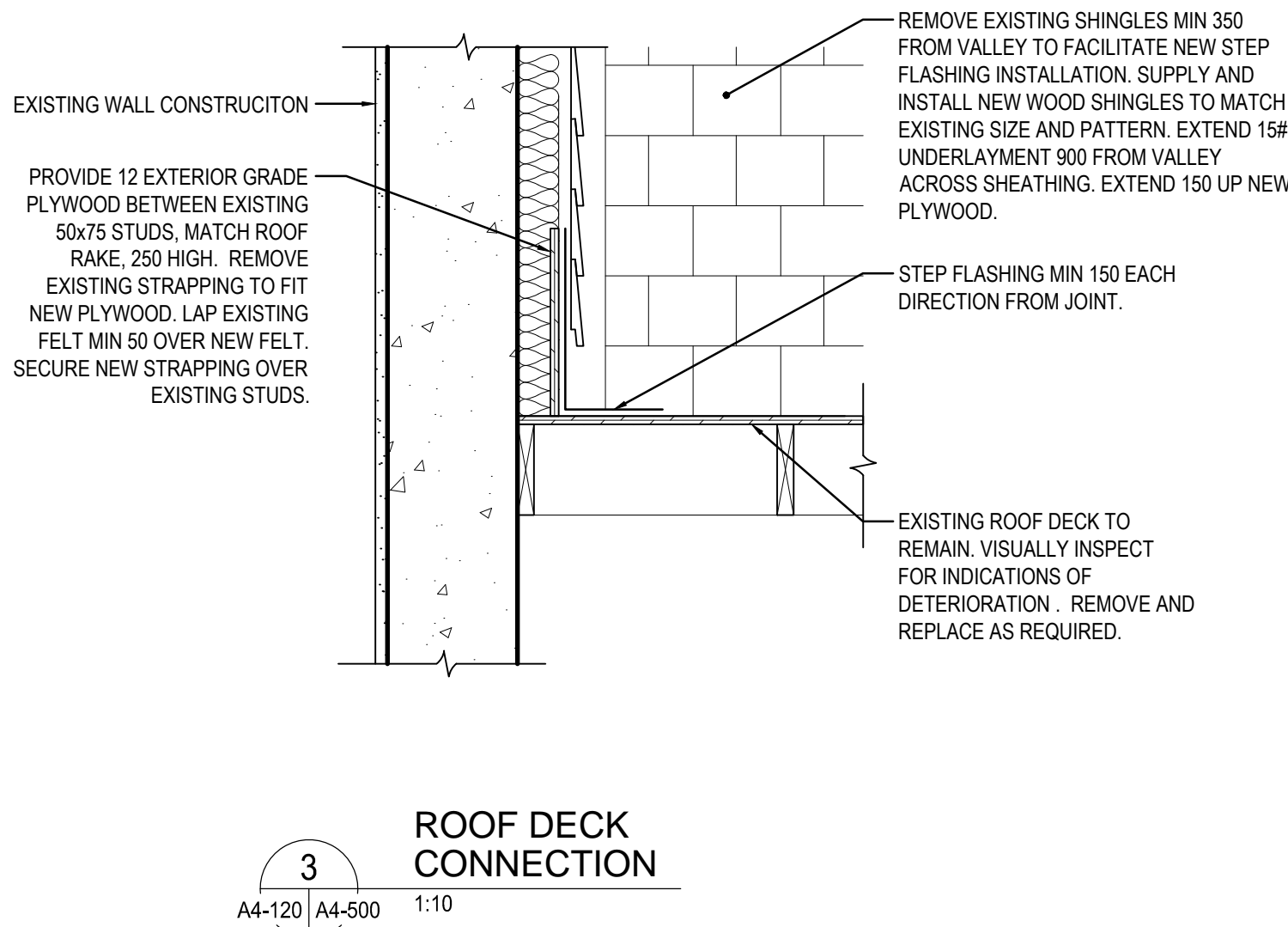
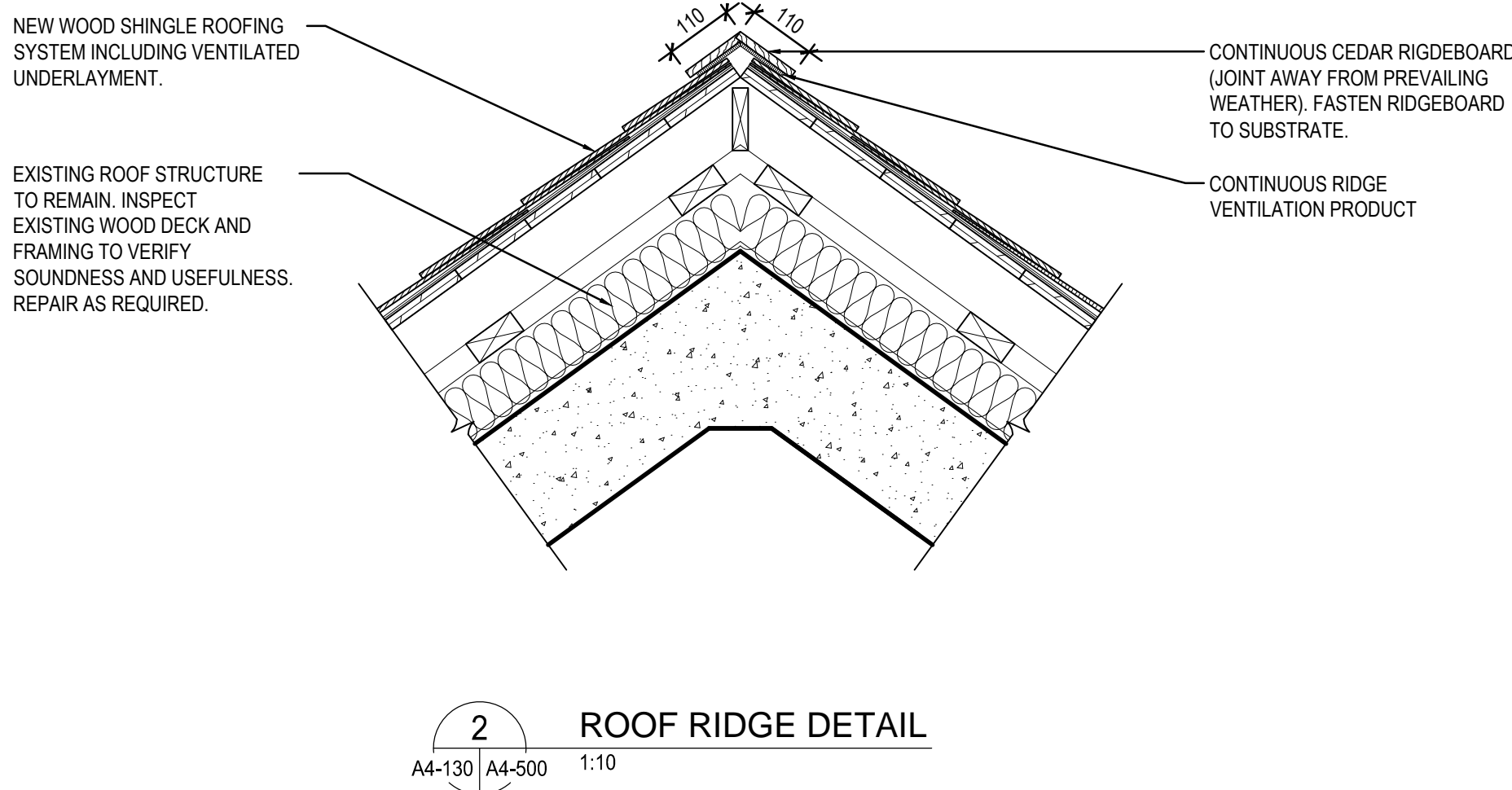
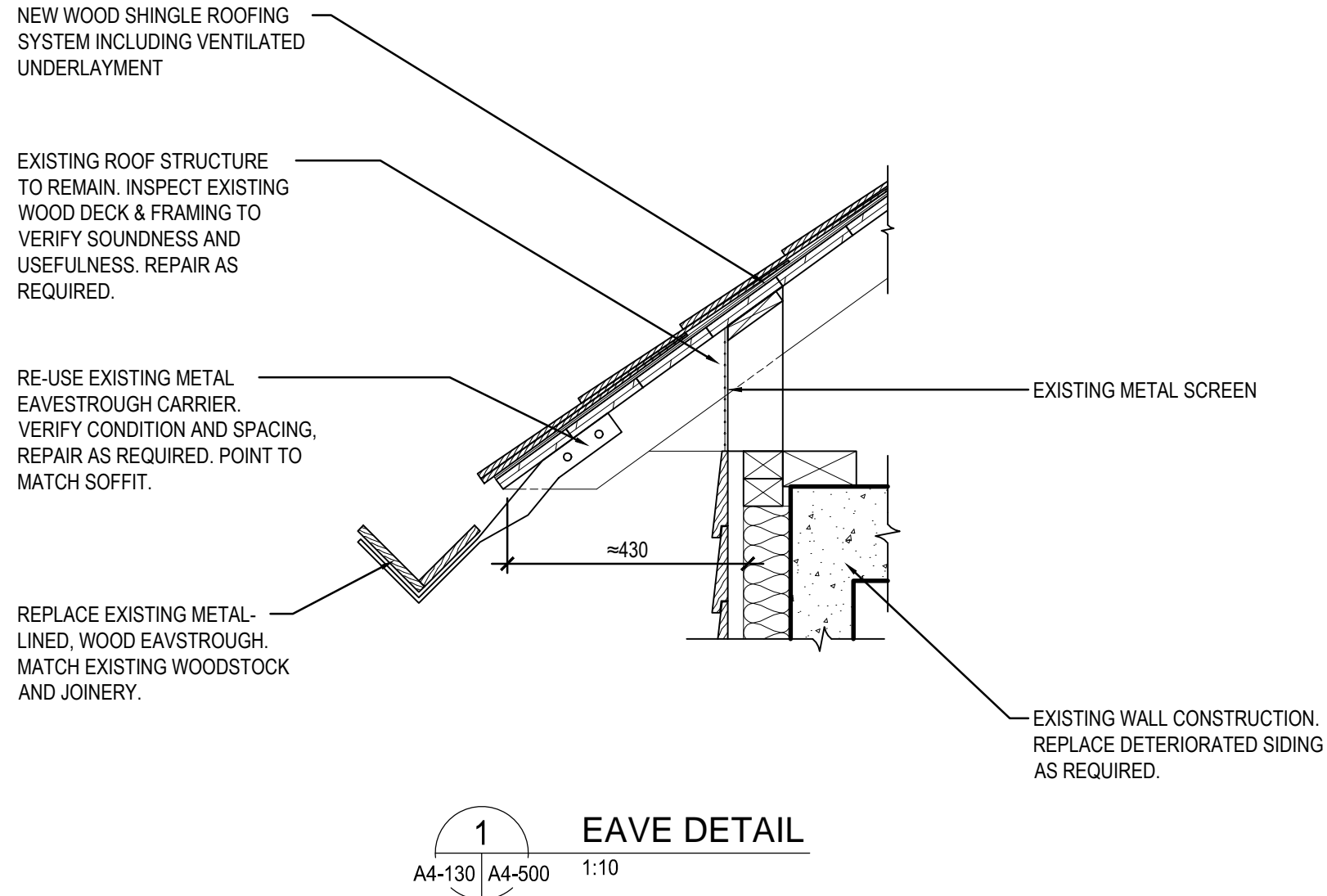
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | |
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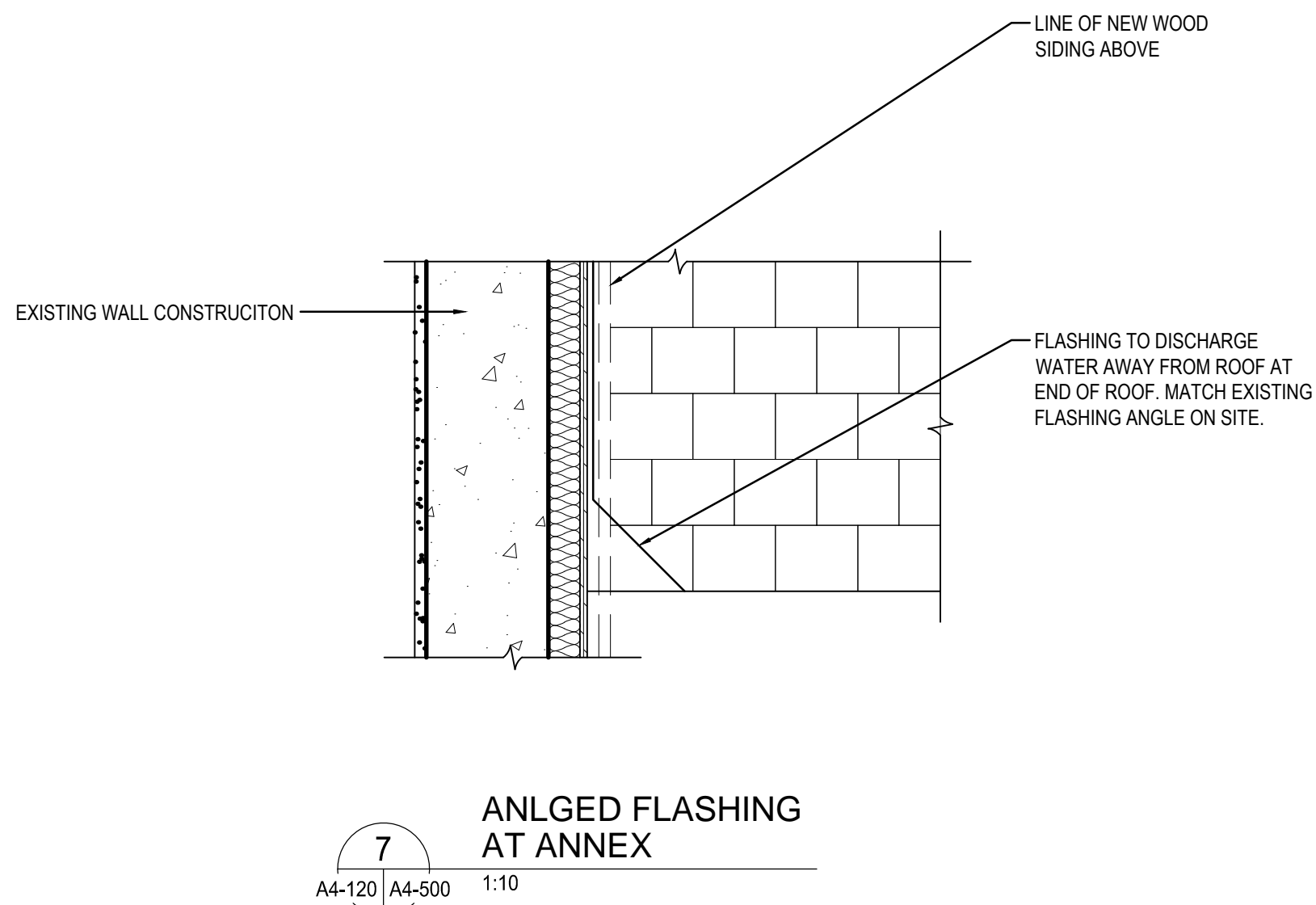
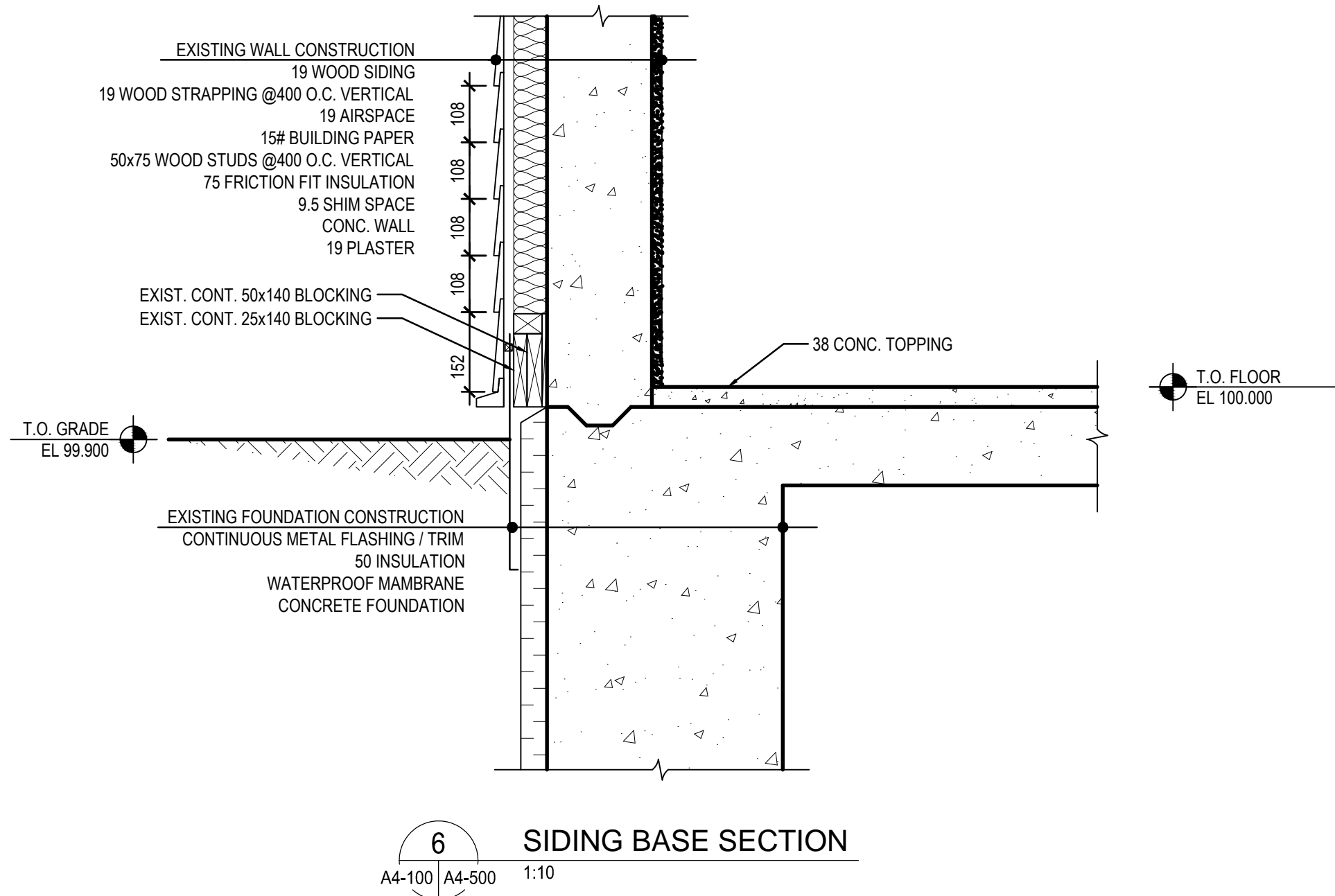
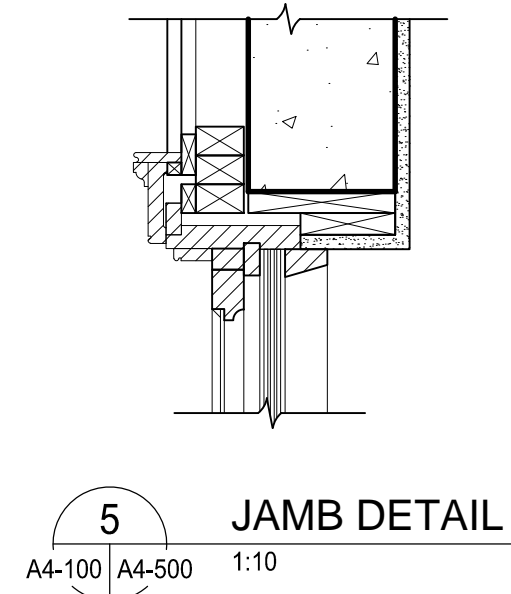
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| MUSEUM EXTERIOR ELEVATIONS |

| | | |
|---|------------------------|--------------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| R. | R. | A4-200 |
| Drawing Set No./N° de série du dessin | | |



DETAILS ARE SHOWN FOR REFERENCE ONLY. ACTUAL CONDITIONS MAY VARY. DESIGN INTENT IS TO IDENTIFY AND REMOVE DETERIORATED MATERIALS. REPAIR REMAINING EXISTING FRAMING MEMBERS WITH NEW CONSERVATION APPROVED MATERIALS. MAINTAIN ALIGNMENT OF EXISTING REMAINING MATERIALS.



| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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Revision / Revision

Linear dimensions in millimetres Dimensions linéaires en millimètres

Eng. Stamp
Sceau de l'ingénieur

PROVINCE OF MANITOBA
GLEE MCCORMICK
REGISTERED ARCHITECT
April 27, 18

PROVINCE OF MANITOBA
ARCHITECTURE49 INC.
No. 176
APPROVED ARCHITECTURAL CORPORATION

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset Management,
Western and Northern Region

Parcs Canada
Gestion Stratégique des Biens,
Région de l'Ouest et du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant
Nom de sous conseil

KGS GROUP
CONSULTING ENGINEERS

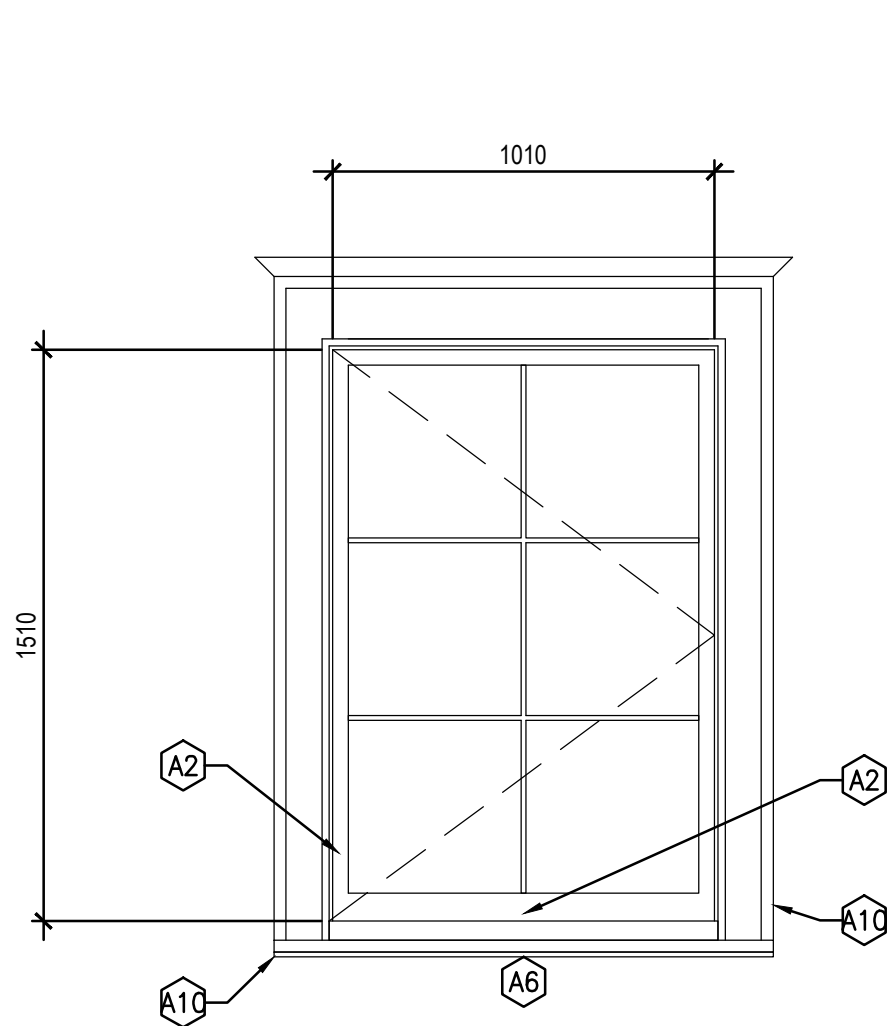
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

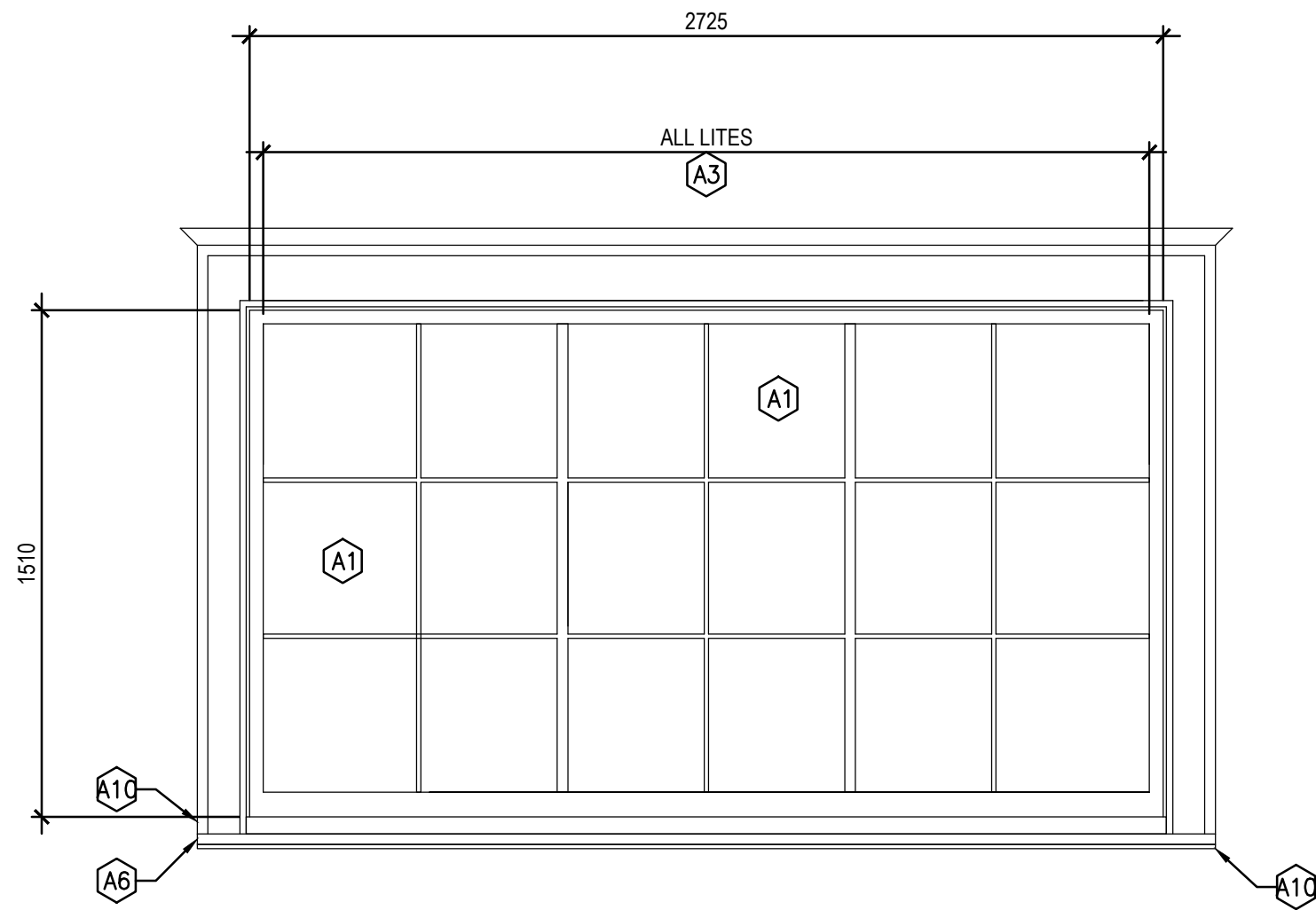
MUSEUM
DETAILS

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| KB | KB | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| GL | GL | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
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| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| R. | R. | A4-500 |
| Drawing Set No./N° de série du dessin | | |



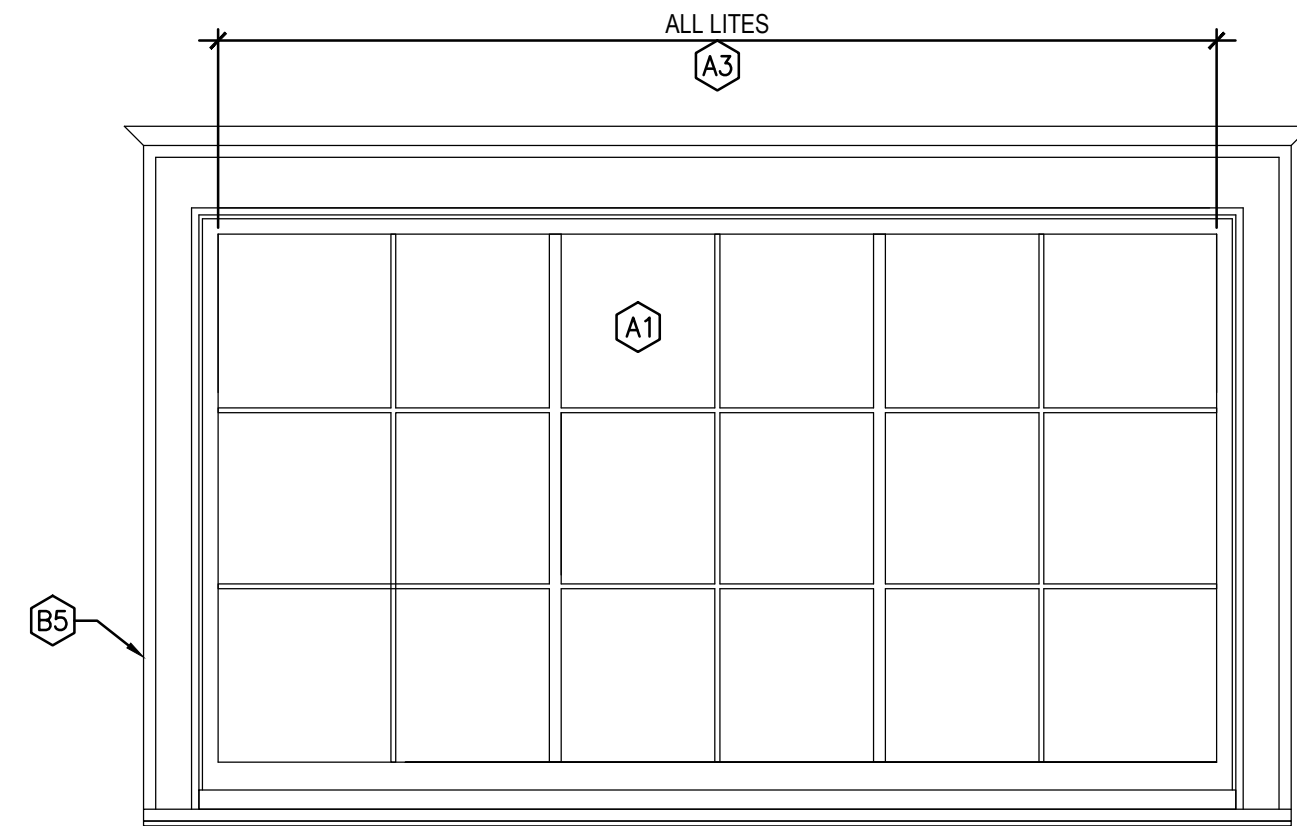
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CASEMENT

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A4-200 | A4-600 1:20



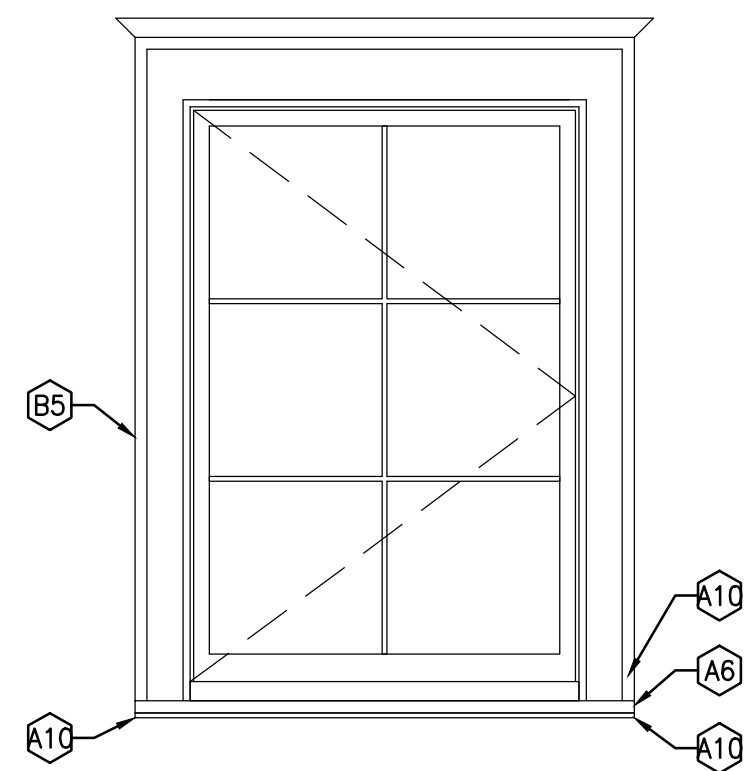
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FIXED

2
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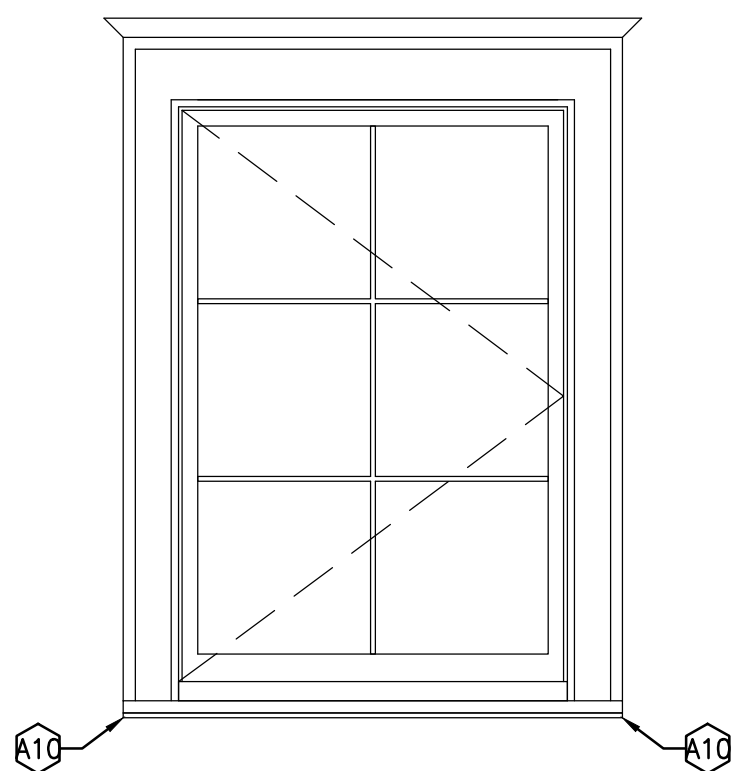
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FIXED

3
A4-200 | A4-600 1:20



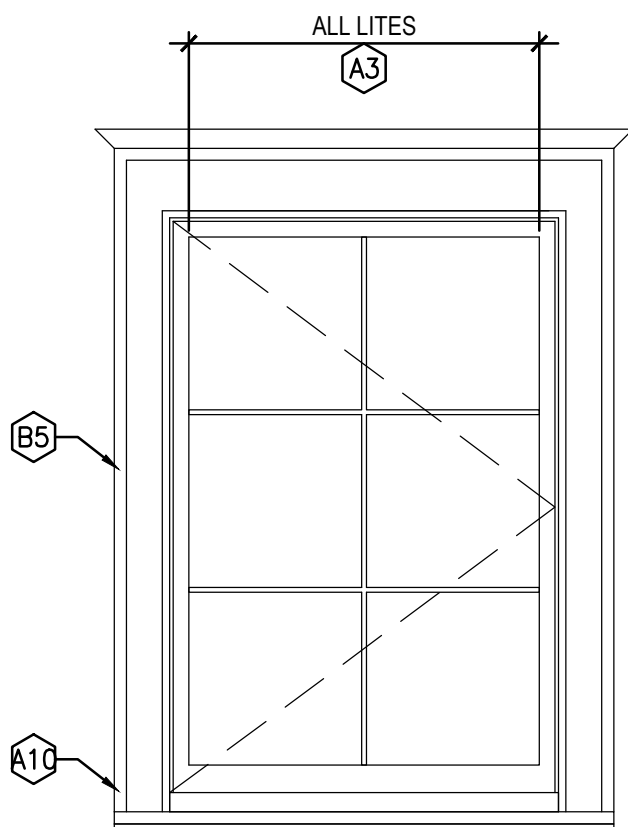
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CASEMENT

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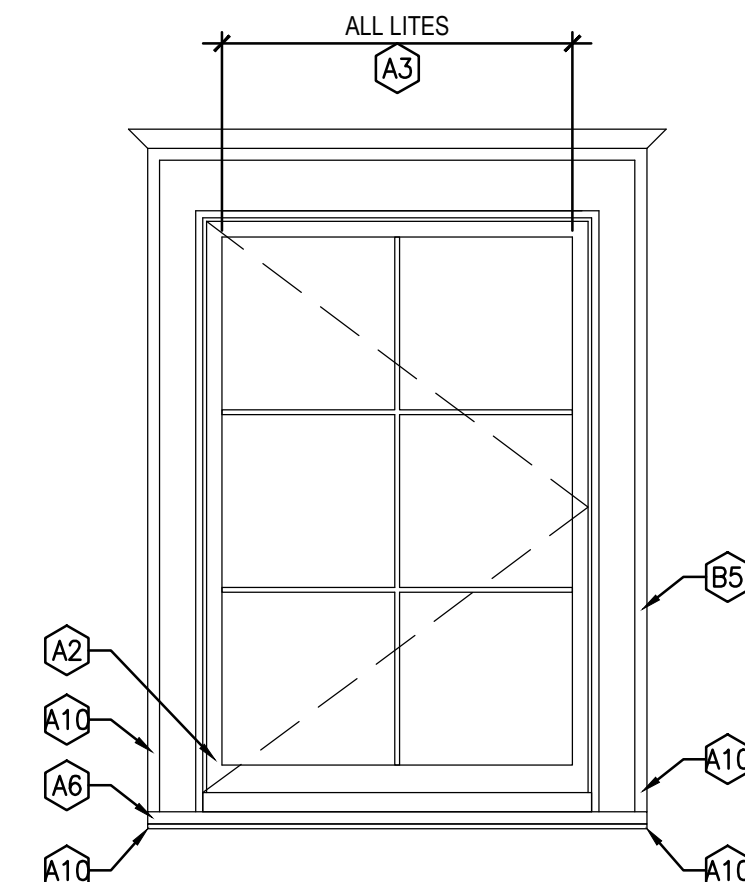
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CASEMENT

5
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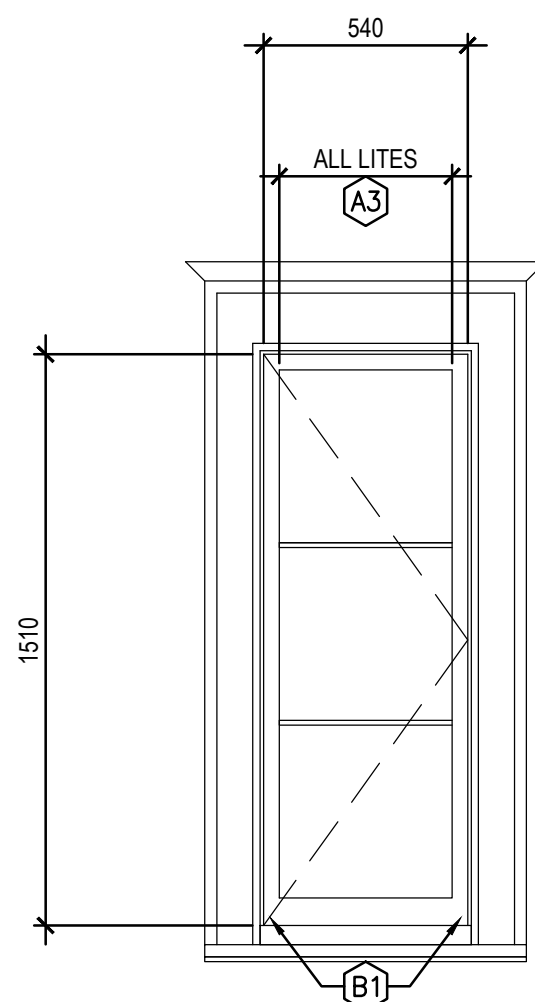
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CASEMENT

8
A4-200 | A4-600 1:20



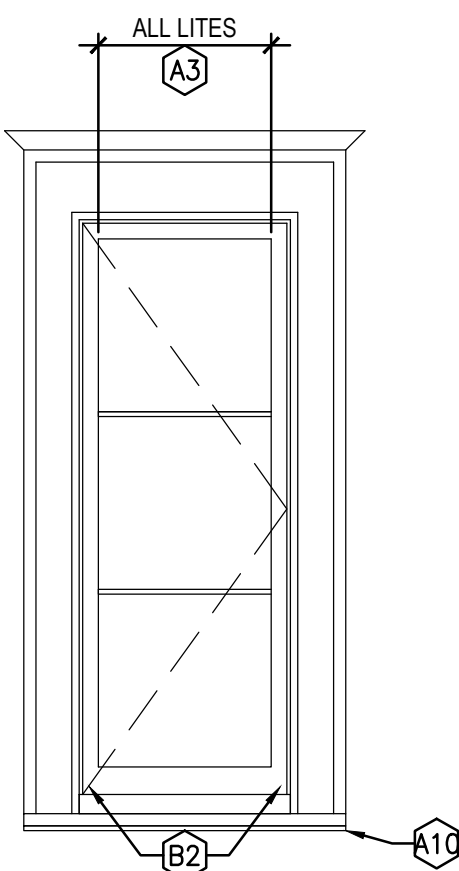
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CASEMENT

9
A4-200 | A4-600 1:20



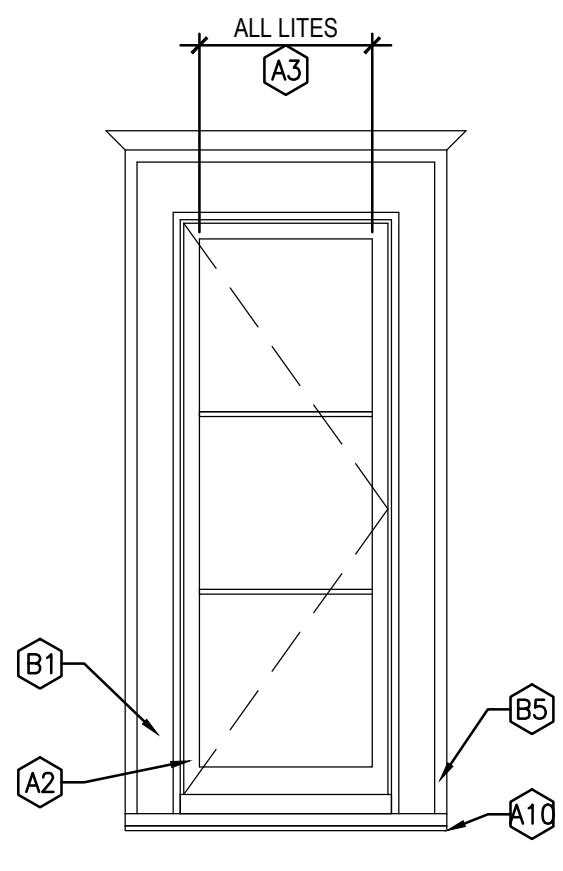
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A4-200 | A4-600 1:20



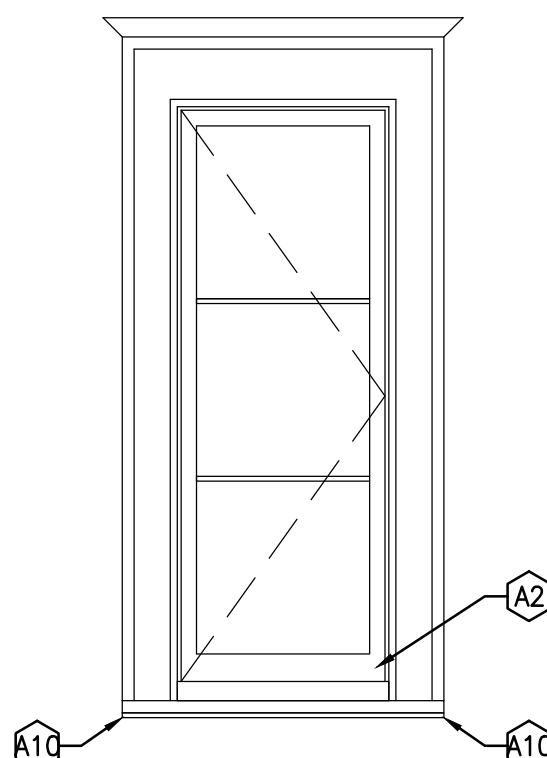
SL2 SIDELITE

A4-200 | A4-600 1:20



SL3 SIDELITE

A4-200 | A4-600 1:20



SL4 SIDELITE

A4-200 | A4-600 1:20

GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPER, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
- SEVERE DECAY/DAMAGE AT JAMBS/TOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.

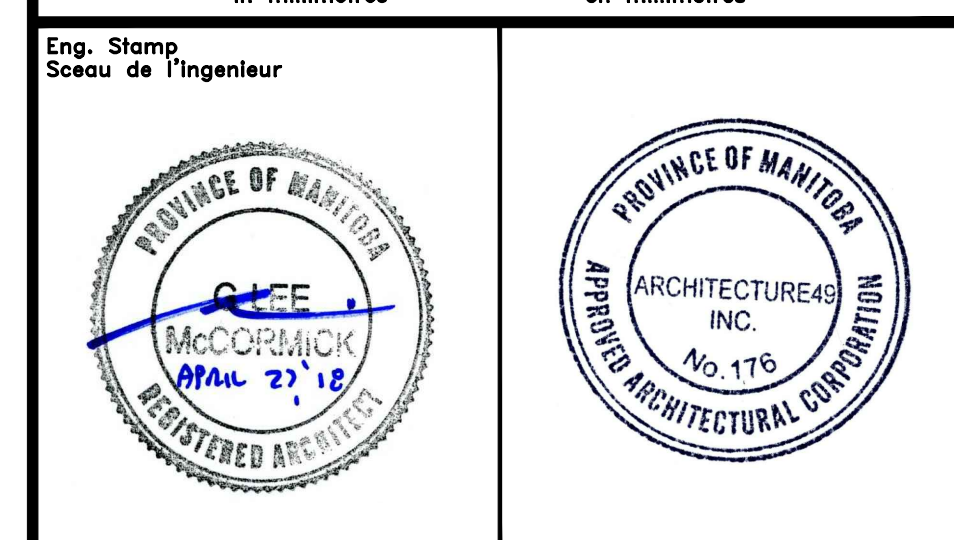
CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| Revision / Revision |
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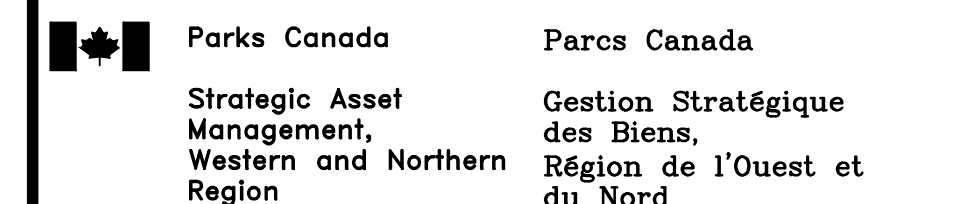
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

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TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com



Canada

| | |
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|



Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

MUSEUM
FIRST FLOOR WINDOWS

Surveyed by/Arpenté par

Drawn by/Dessiné par

Date

Designed by/Concept par

Reviewed by/Revisé par

Scale/Echelle

Client Acceptance/Acceptation du client

Approved by/Approuvé par

Date

Date

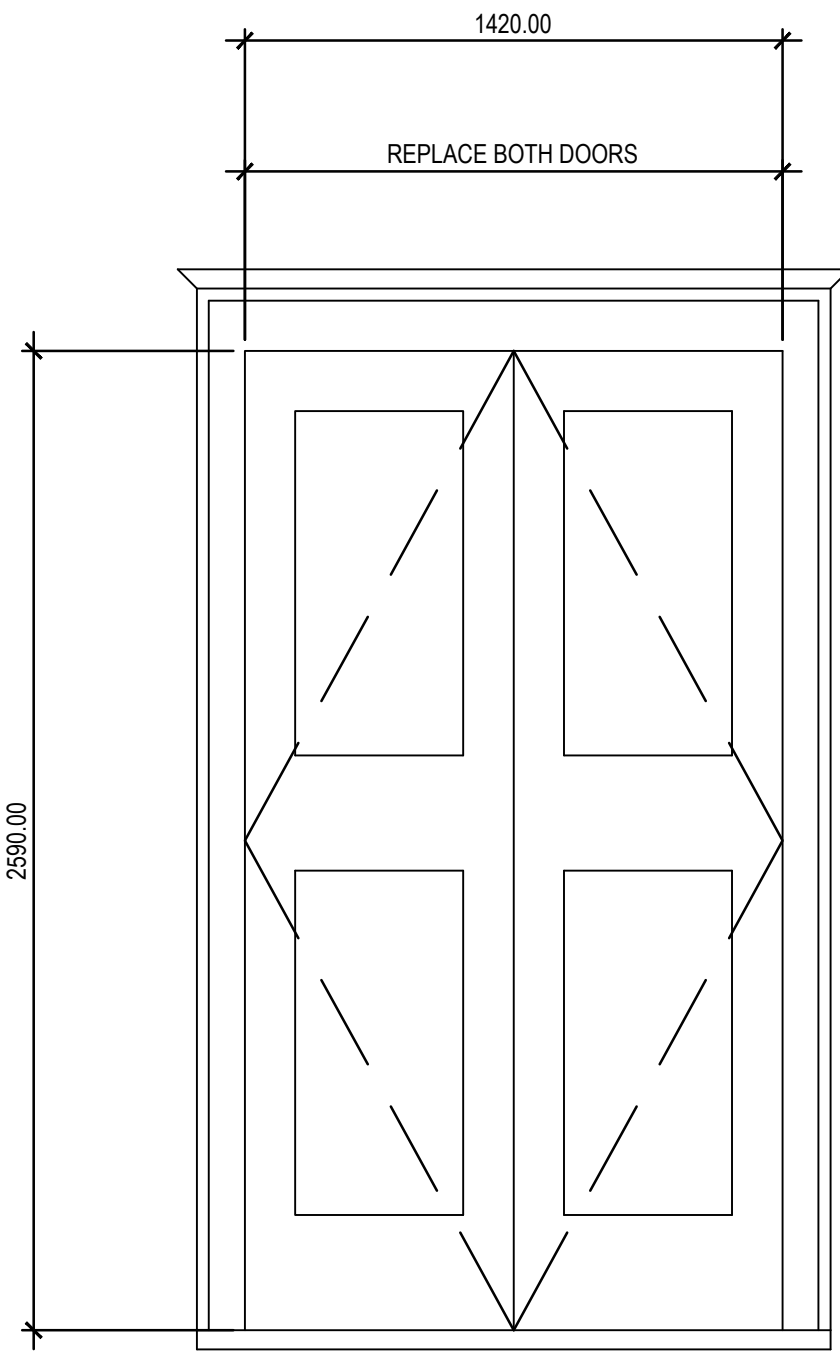
Project No./N° du projet

Asset No./N° du bien

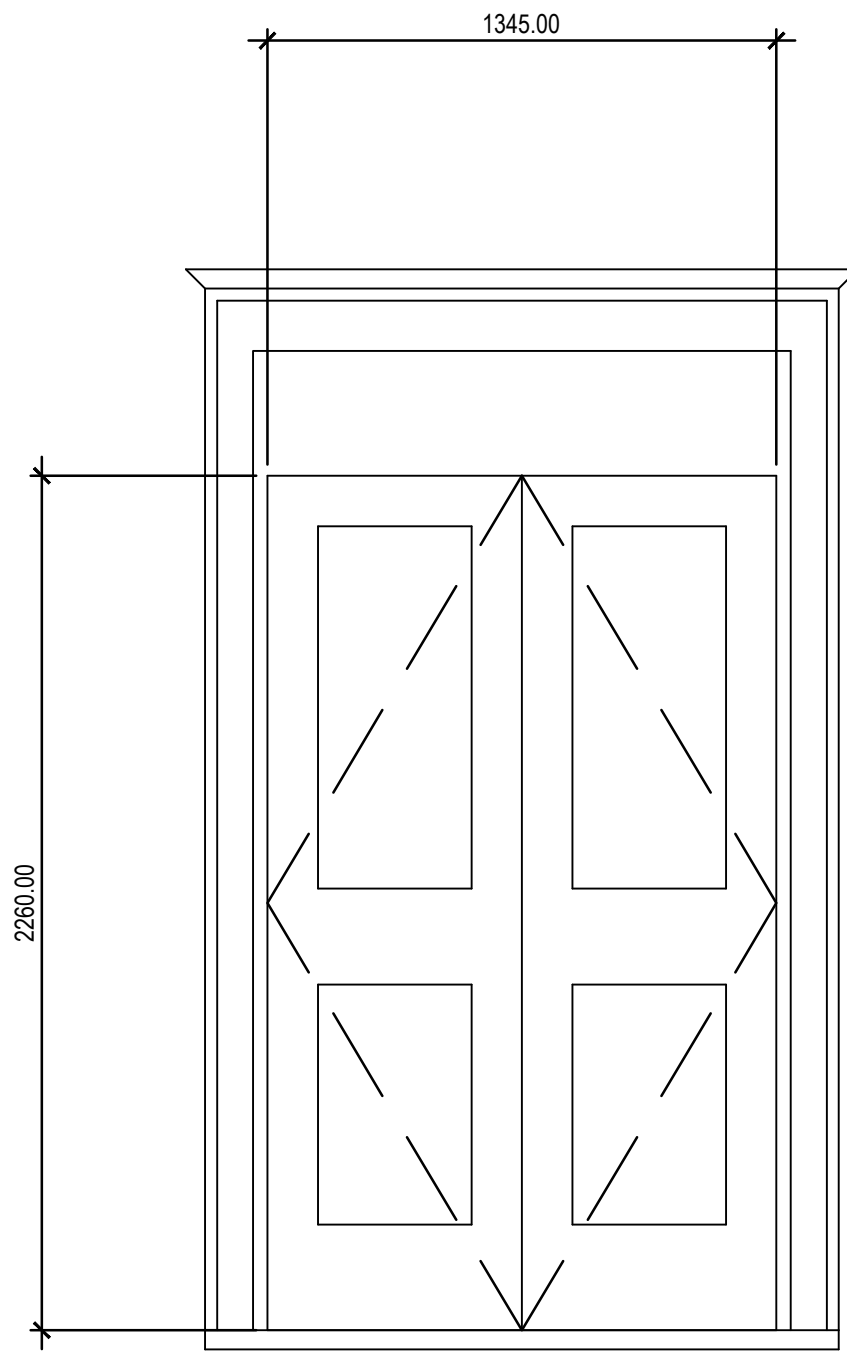
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Drawing Set No./N° de série du dessin

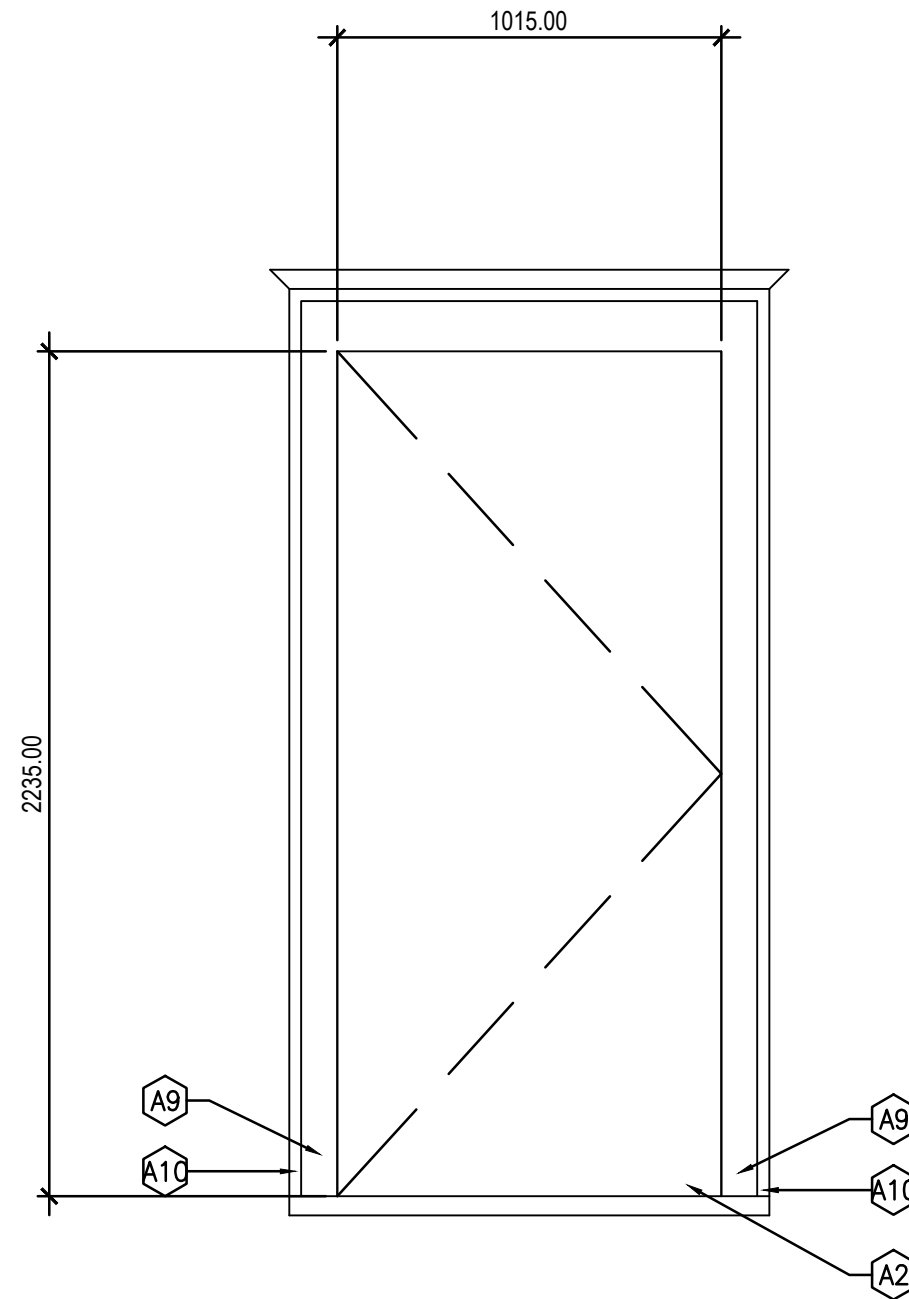
A4-600



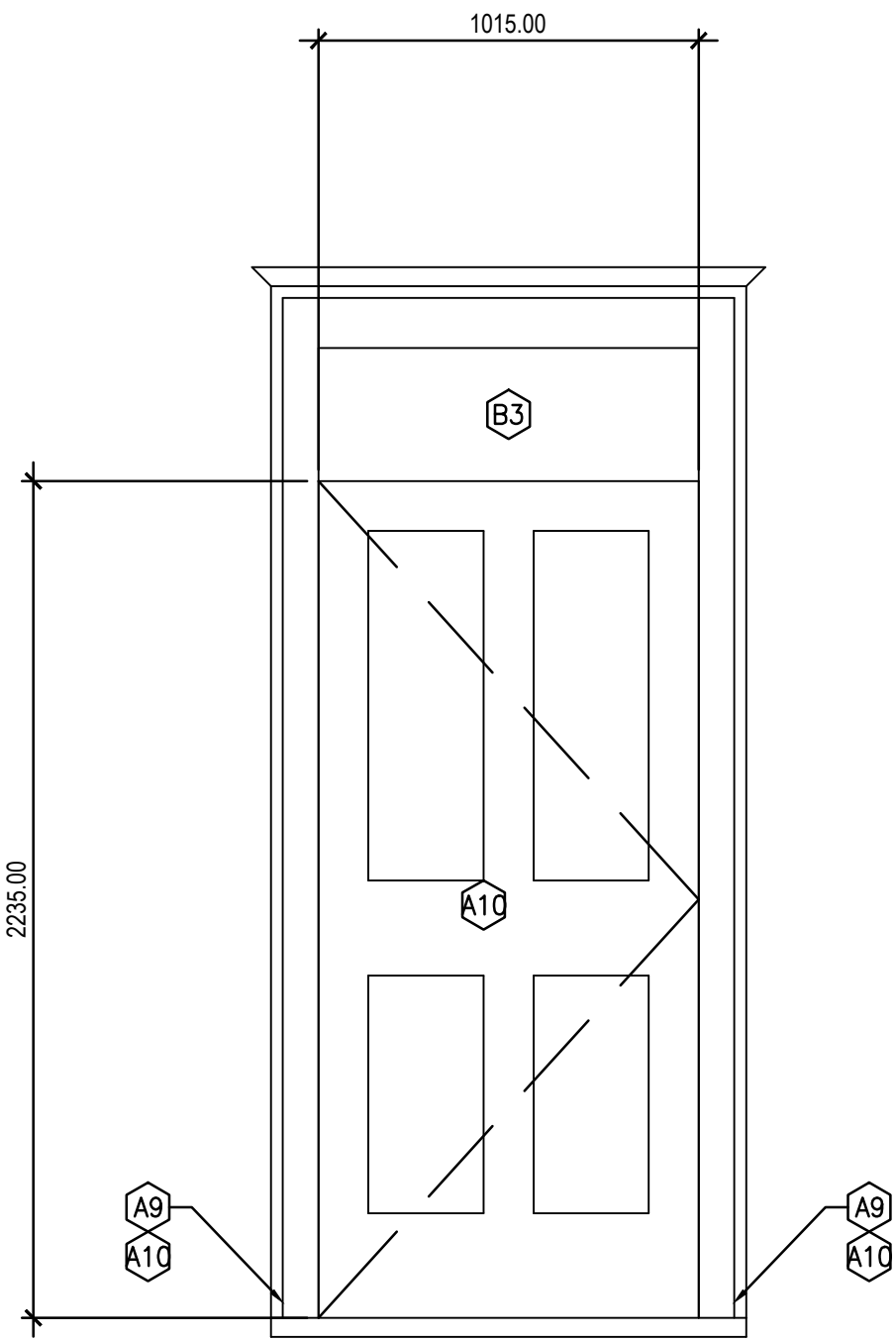
1 EXTERIOR DOOR
A4-200 | A4-650 1:20



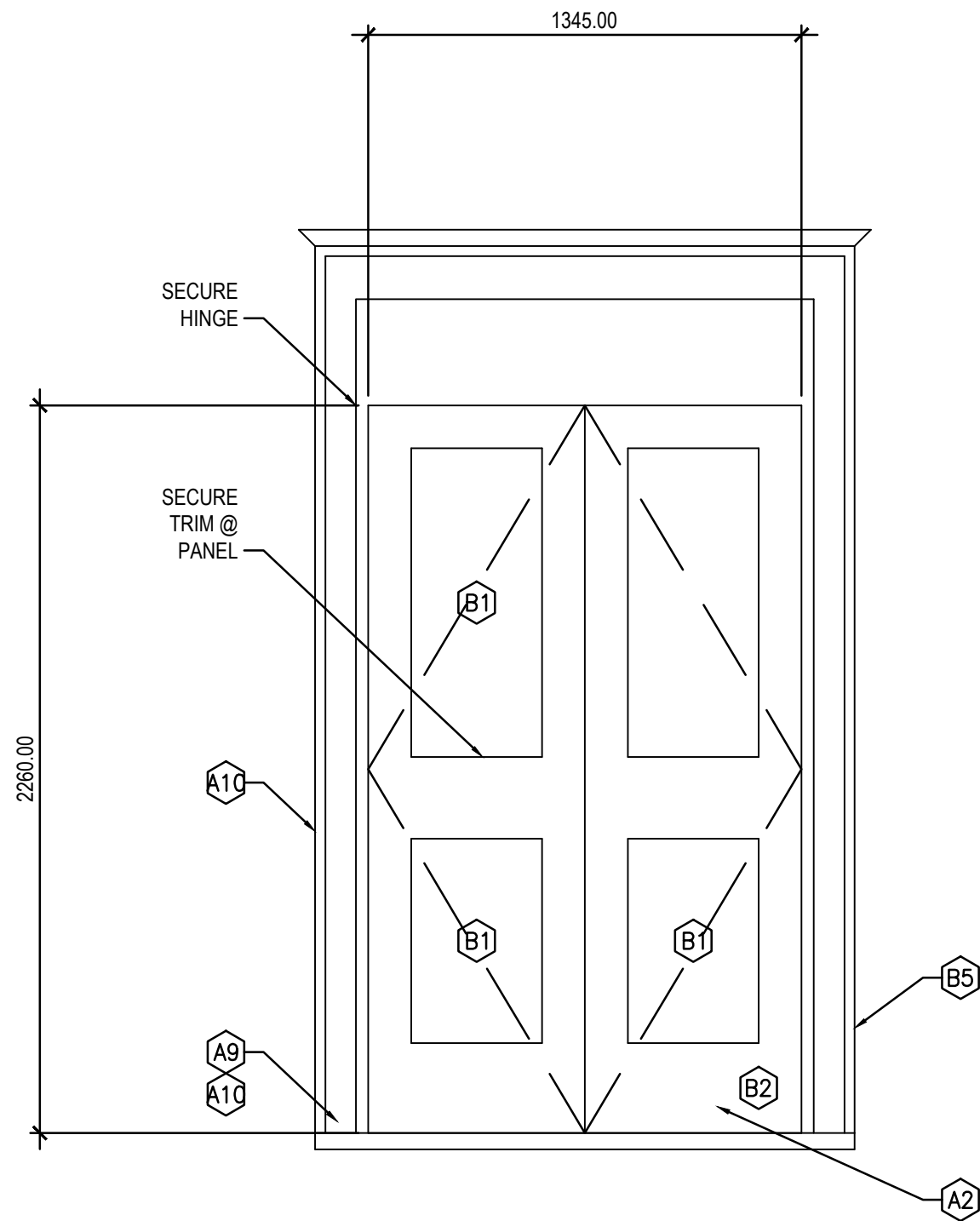
1 DOOR
A4-200 | A4-650 1:20



2 DOOR
A4-200 | A4-650 1:20



3 DOOR
A4-200 | A4-650 1:20



4 DOOR
A4-200 | A4-650 1:20

GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS; DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

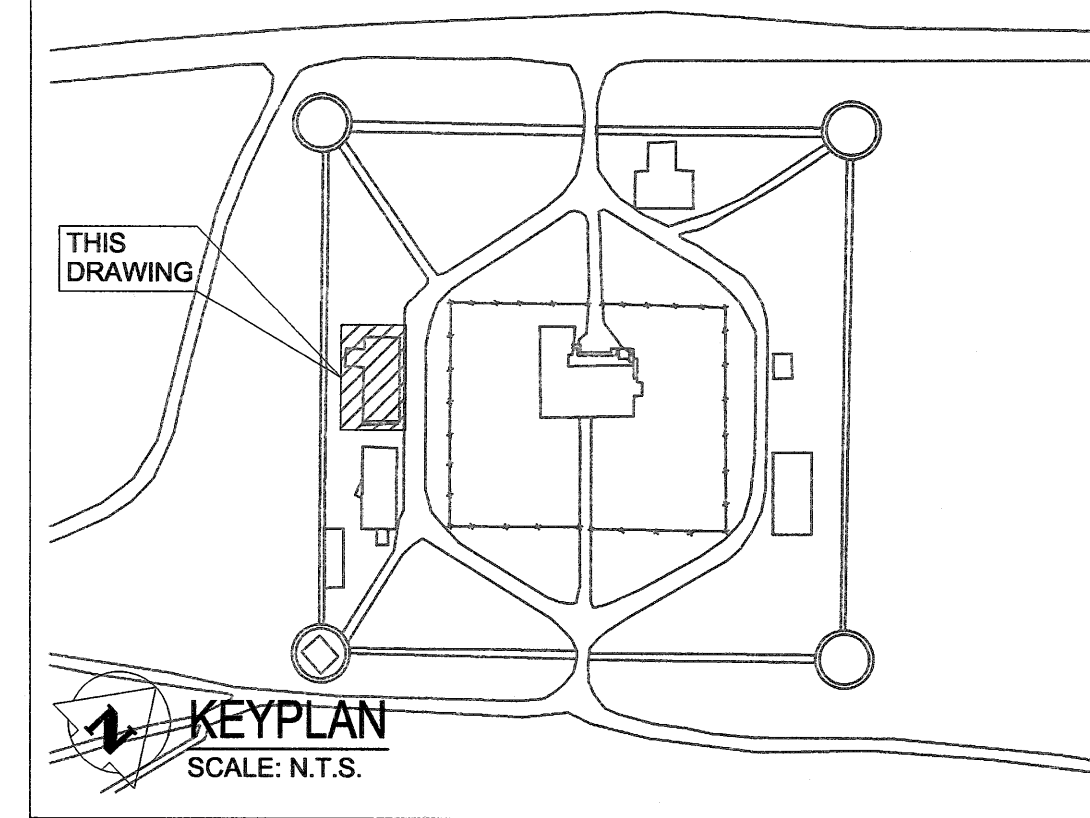
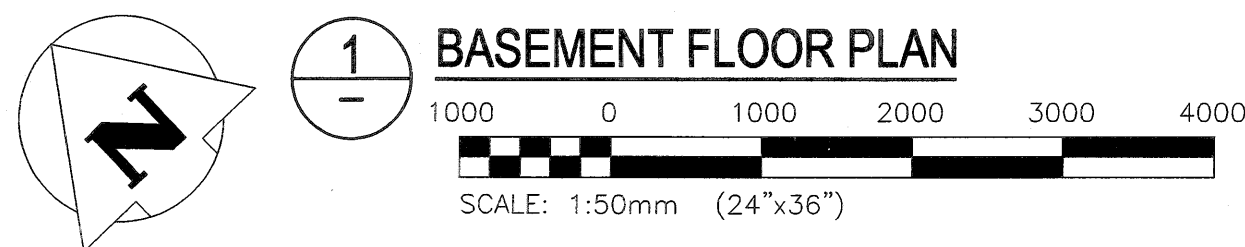
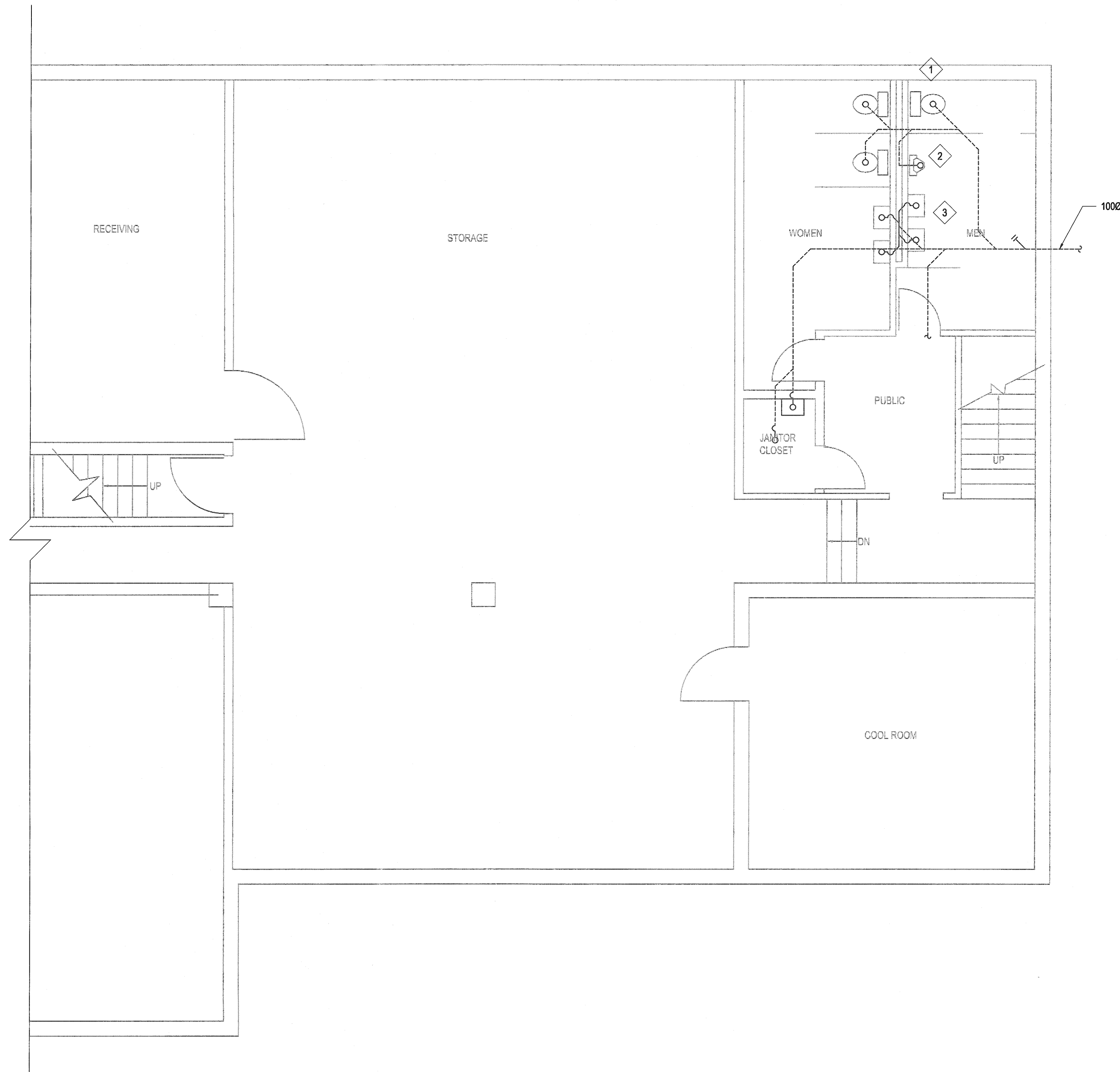
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
- SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

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| 0 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
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| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MUSEUM DOORS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| | AV | 2018/04/27 | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle | | |
| | GL | SEE NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
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| Date | | Date | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille | | |
| R. | R. | | | |
| Drawing Set No./N° de série du dessin | | A4-650 | | |

Filename: P:\Projects\2018\18-0051-001\Dwg\Mech\18-0051-001_M4-100 - Tab:M4-100 Plotted By: DDeroche 18/04/25 [Wed 2:03pm]



GENERAL NOTES:
SEE DRAWING MG-000

KEYNOTES:

- 1 REMOVE EXISTING WATER CLOSETS IN MEN'S AND WOMEN'S WASHROOMS (TYP.)
- 2 REMOVE EXISTING URINAL AND SURFACE MOUNT SUPPLY LINE.
- 3 REMOVE EXISTING COUNTER TOP LAVATORIES IN MEN'S AND WOMEN'S WASHROOMS (TYP.)

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| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur

Certificate of Authorization
KGS Group
No. 245

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant

KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**MUSEUM
BASEMENT FLOOR PLAN
PLUMBING - DEMO**

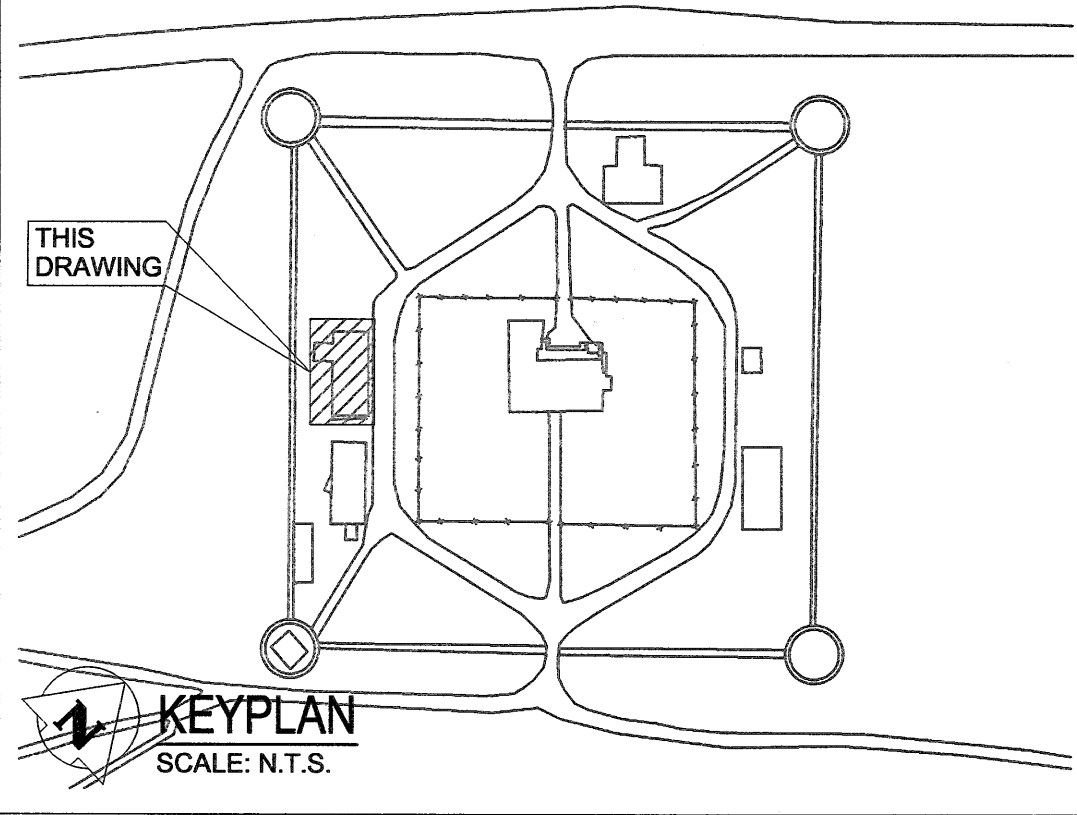
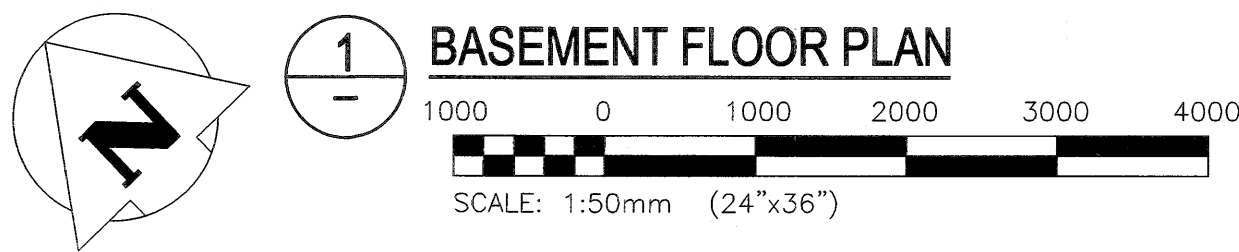
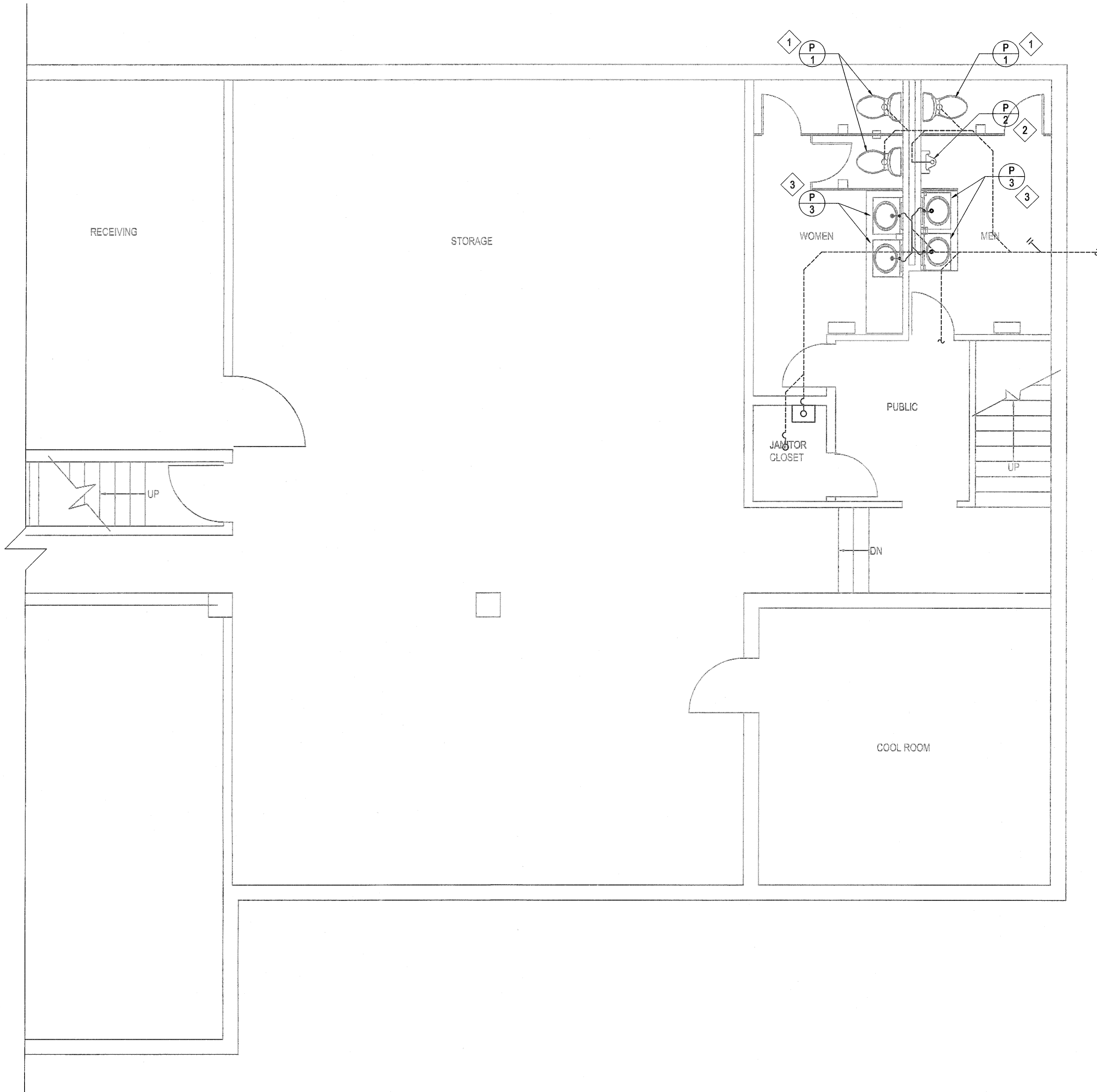
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| Surveyed by/Arpenté par LNLM | Drawn by/Dessiné par LNLM | Date 2018/02/21 |
| Designed by/Concept par LNLM | Reviewed by/Revisé par | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client Date | | Approved by/Approuvé par Date |

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| Project No./N° du projet 1803 | Asset No./N° du bien 1253 | Sheet No./ N° de la feuille M4-100 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |

SCALE VERIFIED BY:

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| PLUMBING FIXTURES | |
|-------------------------------------|------------------------|
| <div><div>P</div><div>1</div></div> | WATER CLOSET |
| <div><div>P</div><div>2</div></div> | URINAL |
| <div><div>P</div><div>3</div></div> | UNDER COUNTER LAVATORY |



GENERAL NOTES:
SEE DRAWING MG-000

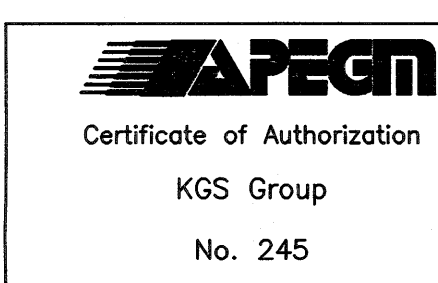
KEYNOTES:

- 1 INSTALL NEW WATER CLOSETS. CONNECT TO DRAIN AND WATER LINES. PROVIDE PIPING MODIFICATIONS TO SUIT. PROVIDE NEW ANGLE STOP VALVES, ESCUTCHEON PLATES, AND S/S BRAIDED SUPPLY HOSES. (TYP.)
- 2 INSTALL NEW URINAL AS SHOWN. PROVIDE DRAIN AND WATER LINE CONNECTIONS. NEW INSULATED WATER LINE TO BE RUN INSIDE PLUMBING SPACE. PROVIDE CHROME PLATED MANUAL FLUSH VALVE. ALL EXPOSED PIPING SHALL BE CHROME PLATED. PROVIDE ESCUTCHEON PLATE AT PIPE PENETRATION.
- 3 INSTALL NEW UNDER COUNTER LAVATORIES AS SHOWN. PROVIDE WATER/DRAIN CONNECTIONS AND FAUCET. PROVIDE NEW ANGLE STOPS, ESCUTCHEON PLATES, AND S/S BRAIDED SUPPLIES. PROVIDE PIPING MODIFICATIONS TO SUIT.

| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNM | |
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
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| Linear dimensions in millimètres | Dimensions linéaires en millimètres |

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Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1000 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com



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Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
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CONSULTING
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Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

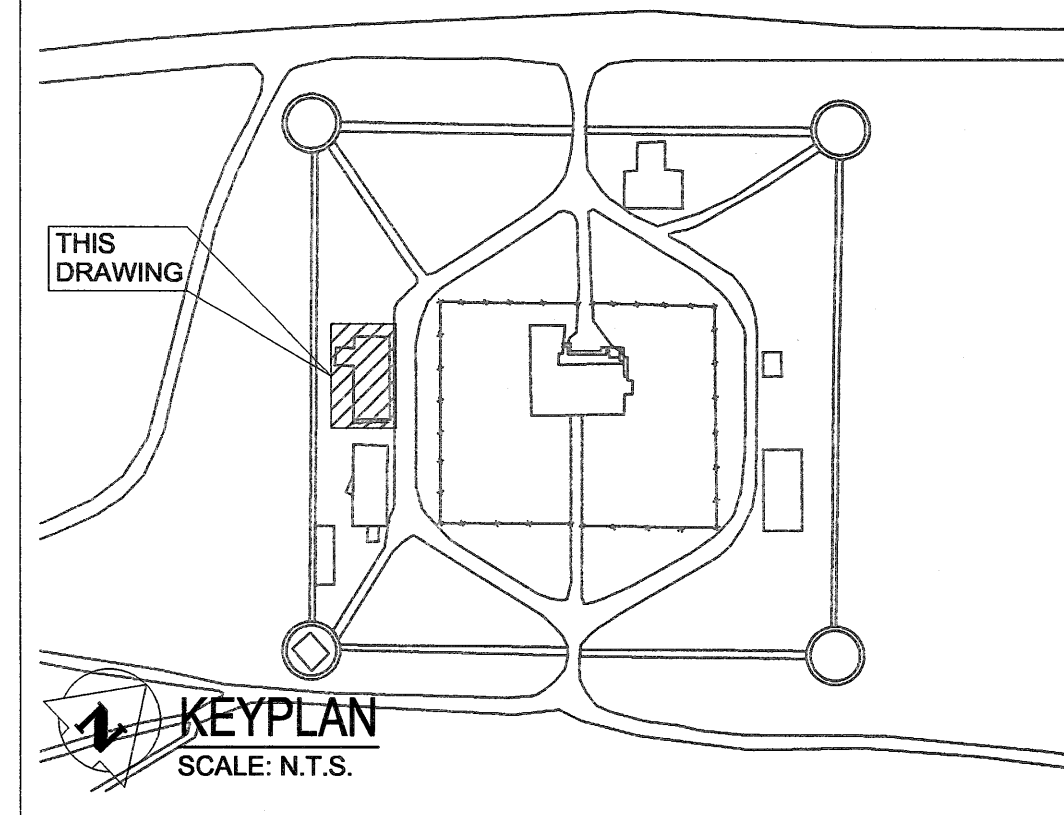
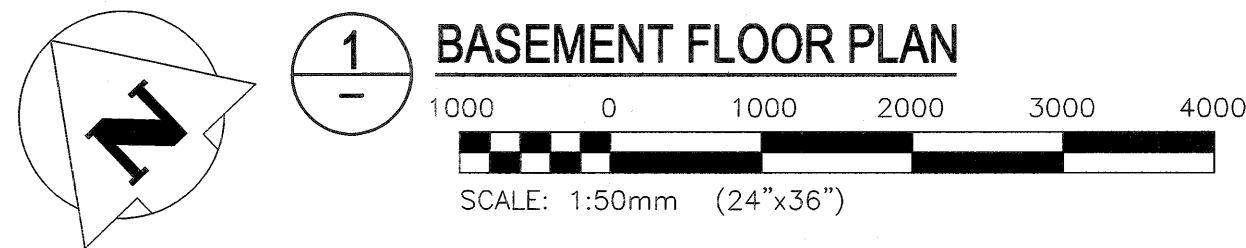
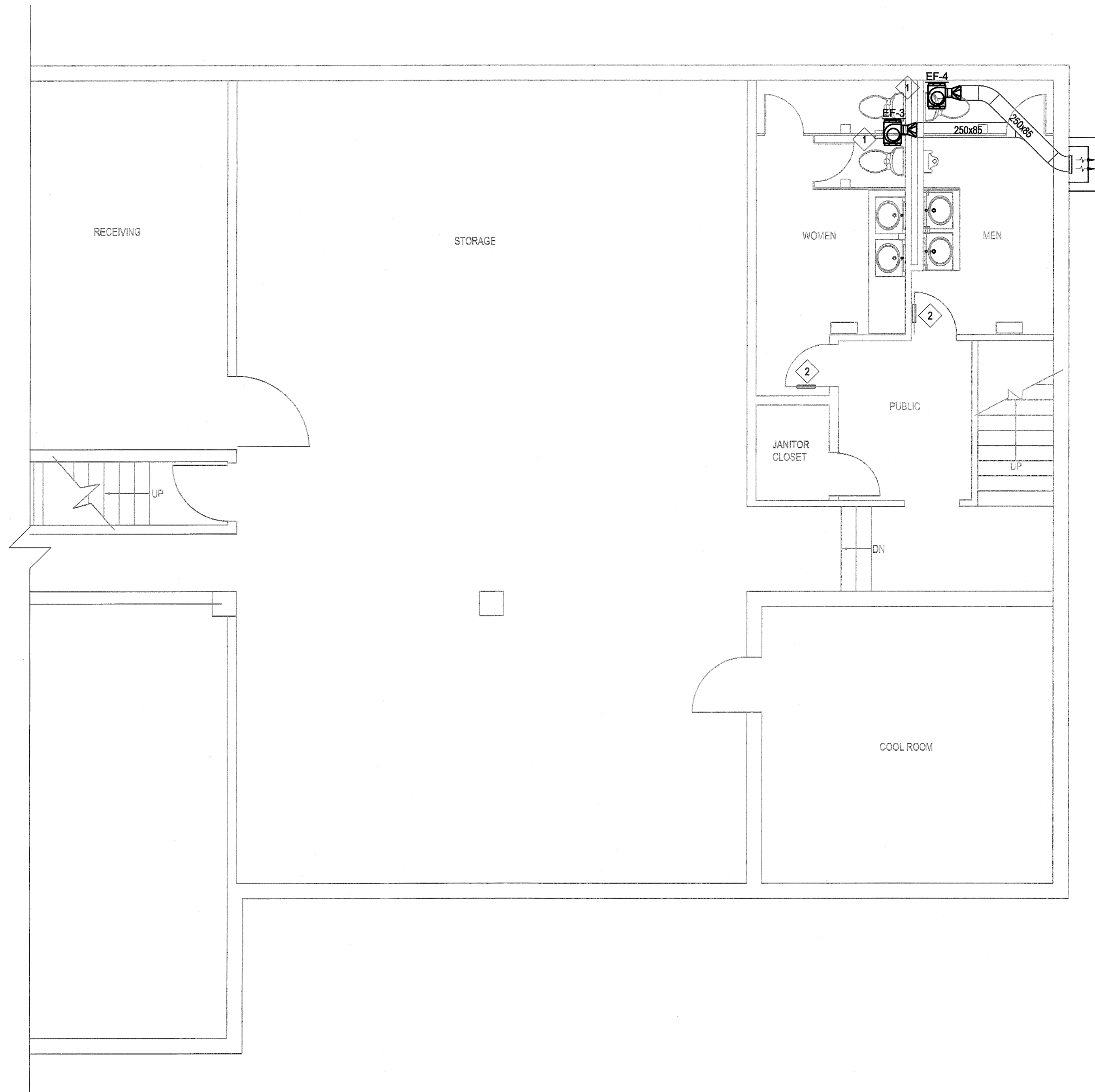
**MUSEUM
BASEMENT FLOOR PLAN
PLUMBING - NEW**

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| LNM | LNM | 2018/02/21 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| LNM | | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

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| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| 1603 | 1253 | M4-101 |
| Drawing Set No./N° de série du dessin | | |
| 18-0051-001 | | |

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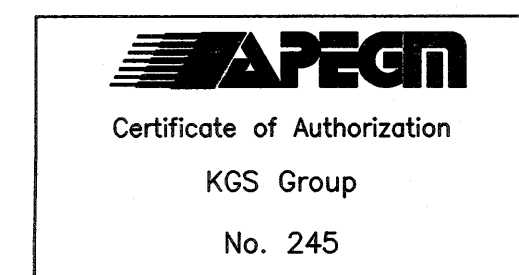
GENERAL NOTES:
SEE DRAWING MG-000

KEYNOTES:

- 1 REPLACE EXISTING EXHAUST FANS EF-3 AND EF-4 WITH NEW EXHAUST FANS. CONNECT TO EXISTING DUCTWORK. PROVIDE INSULATED DUCT TRANSITIONS BETWEEN THE FANS AND EXISTING DUCTWORK TO SUIT.
- 2 EXISTING DOOR GRILLES TO REMAIN.

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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNM | |
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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |

Eng. Stamp
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Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B6
TEL: 204-477-1260 | FAX: 204-477-61 | architecture49.com

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189-00014-00
Sub Consultant Project No.
18-0051-001

Sub Consultant
KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

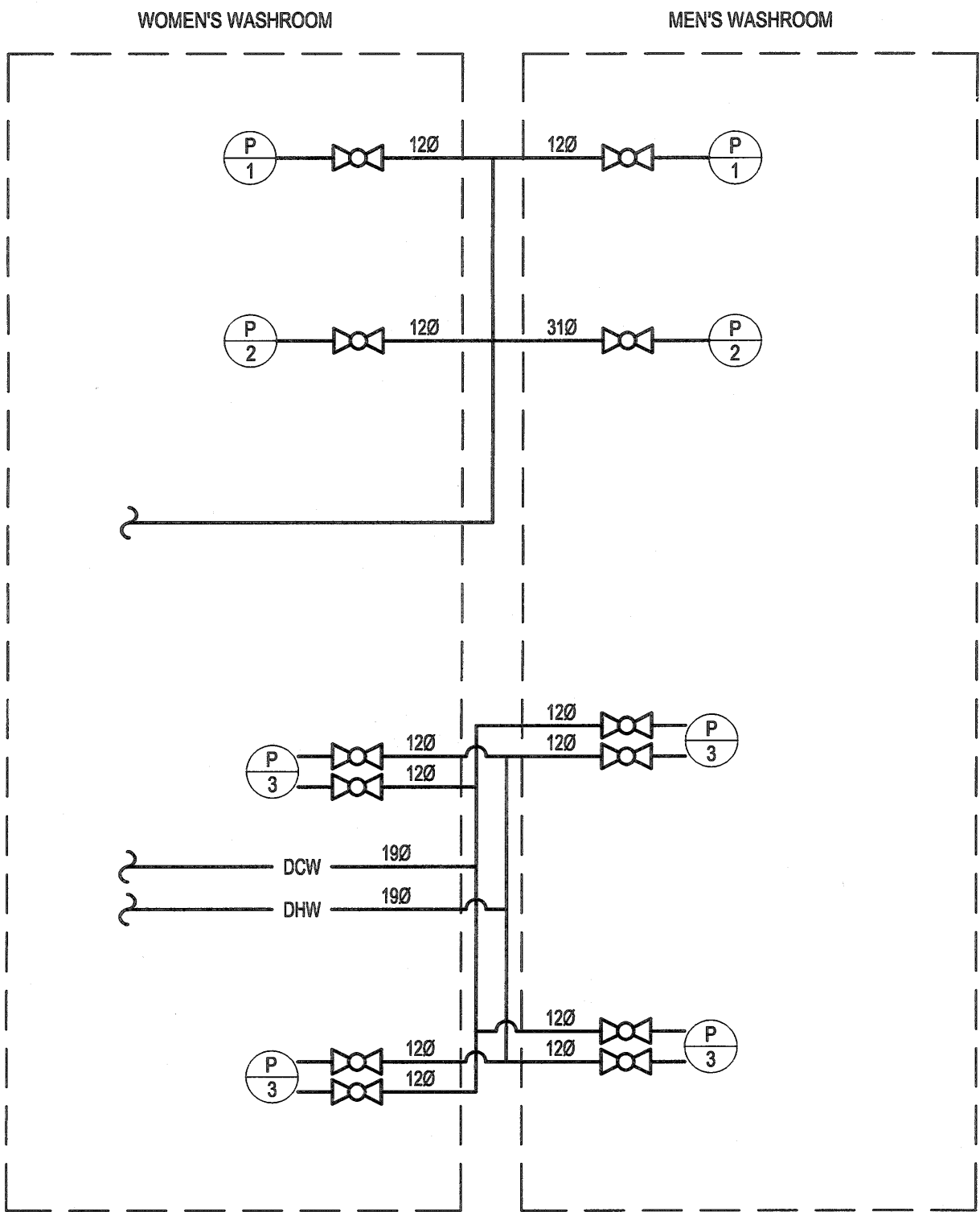
Drawing title/Titre du dessin

**MUSEUM
BASEMENT FLOOR PLAN
HVAC - DEMO**

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | LNM | 2018/02/21 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| LNM | | AS NOTED |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | Date |
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| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| 1603 | 1253 | M4-102 |
| Drawing Set No./N° de série du dessin | | |
| 18-0051-001 | | |

SCALE VERIFIED BY: *SM*



1 DOMESTIC WATER PIPING SCHEMATIC
SCALE: N.T.S.

GENERAL NOTES:

SEE DRAWING MG-000

KEYNOTES:

- 1 PROVIDE NEW PIPING AS REQUIRED TO FACILITATE NEW FIXTURES. UPSIZE BRANCH SERVING THE URINAL TO 31mmØ. RUN NEW BRANCH UP TO CEILING SPACE AND CONNECT TO EXISTING MAIN. EXACT LOCATIONS OF TIE IN POINTS ARE TO BE CONFIRMED IN THE FIELD.

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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur



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No. 245



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-61 | architecture49.com



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189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

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LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

MUSEUM
PLUMBING SCHEMATIC

Surveyed by/Arpenté par

Drawn by/Dessiné par

Date

LNM

LNM

2018/02/21

Designed by/Concept par

Reviewed by/Revisé par

Scale/Echelle

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AS NOTED

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Approved by/Approuvé par

Date

Date

Project No./N° du projet

Asset No./N° du bien

Sheet No./

1603

1253

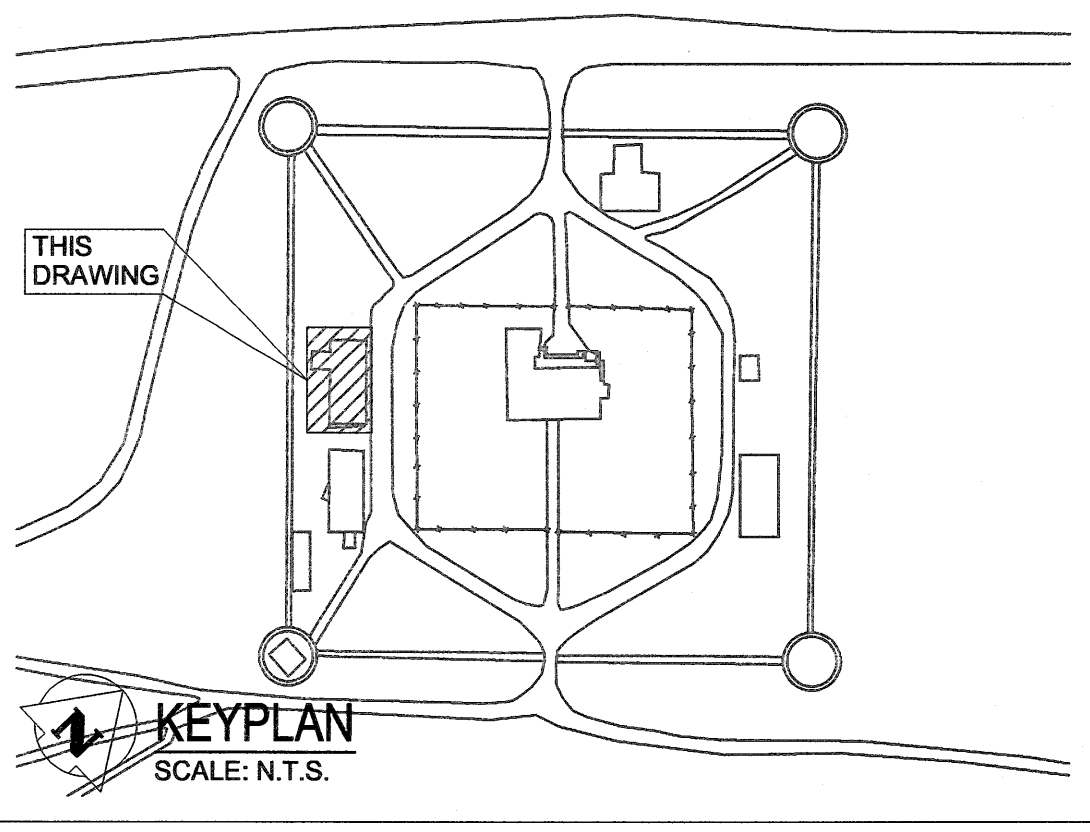
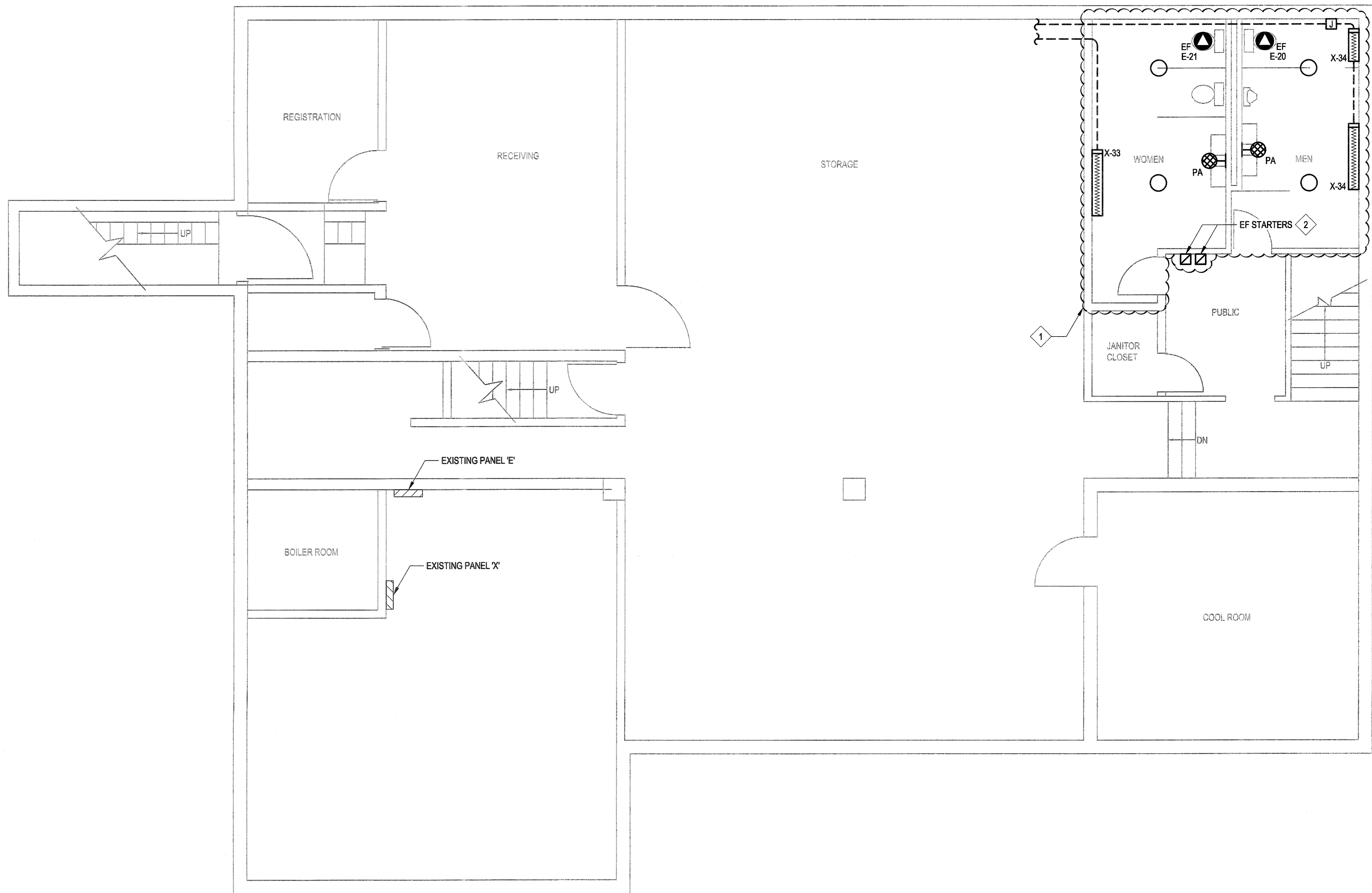
N° de la feuille

Drawing Set No./N° de série du dessin

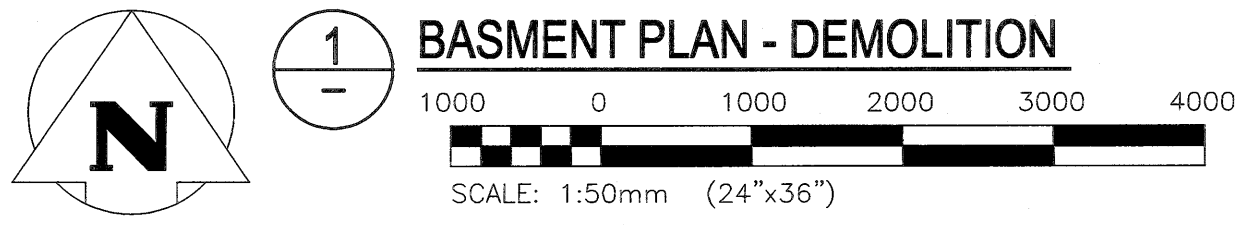
18-0051-001

M4-500

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- KEYNOTES:**
- 1 DISCONNECT AND REMOVE THE EXISTING CONDUIT, WIRING, EXHAUST FANS, BASEBOARD HEATERS AND PA SPEAKERS IN THE WASHROOMS.
 - 2 DISCONNECT THE EXISTING EXHAUST FAN STARTERS AND BLANK-OFF WITH A STAINLESS STEEL COVER PLATE



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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | SDC | CLS |
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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | | Dimensions linéaires en millimètres | |

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Sceau de l'ingénieur

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KGS Group
No. 245

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com

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| Sub Consultant | |
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Project title/Titre du projet

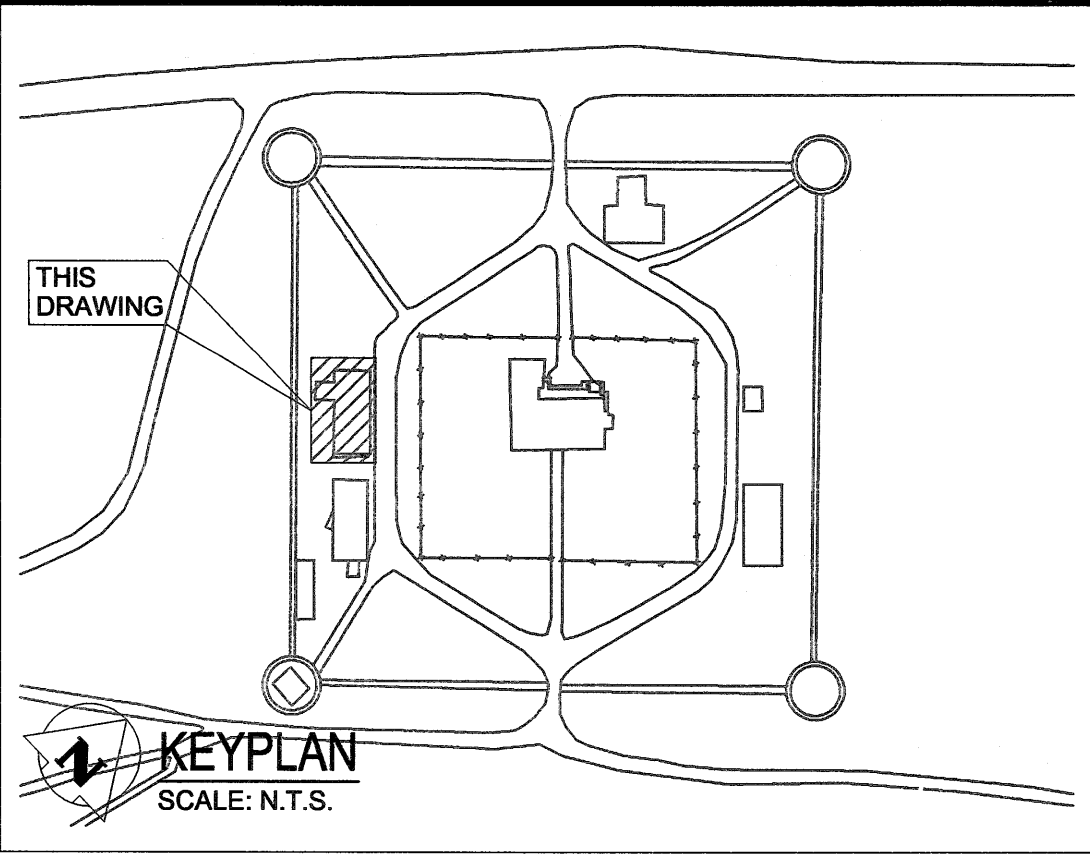
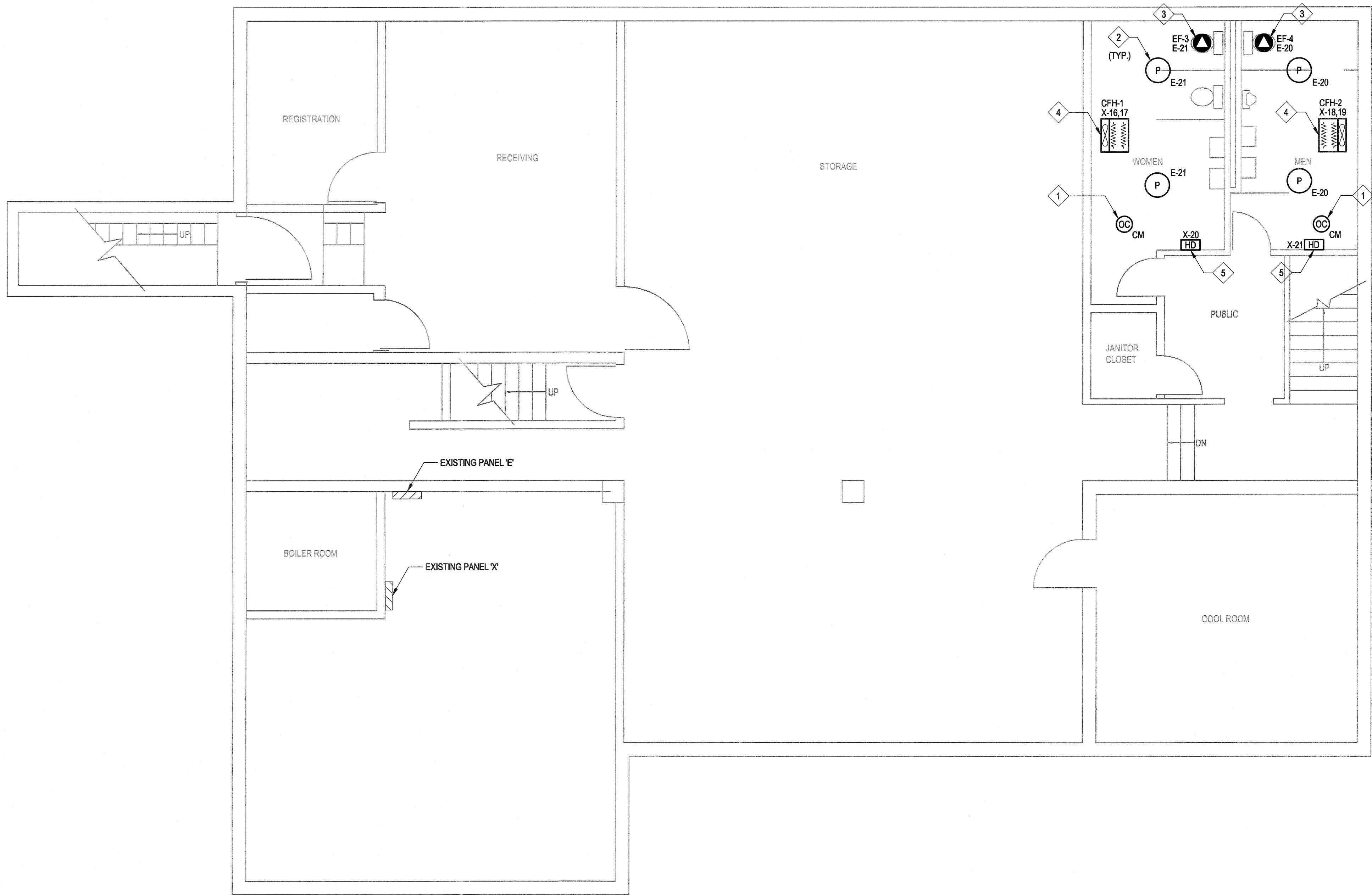
**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**MUSEUM
BASEMENT
FLOOR PLAN - DEMOLITION**

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| Surveyed by/Arpenté par | Drawn by/Dessiné par SDC | Date 2018/03/26 |
| Designed by/Concept par CLS | Reviewed by/Revisé par CLS | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./N° du projet 1803 | Asset No./N° du bien 1252 | Sheet No./ N° de la feuille E4-100 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |

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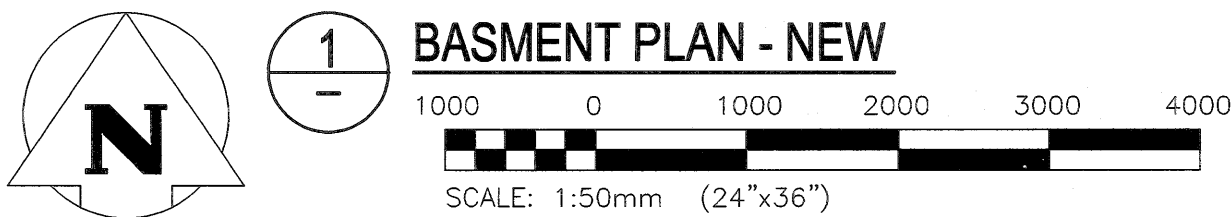


GENERAL NOTES:

1. REFER TO DRAWING EG-801 FOR THE LUMINAIRE SCHEDULE.

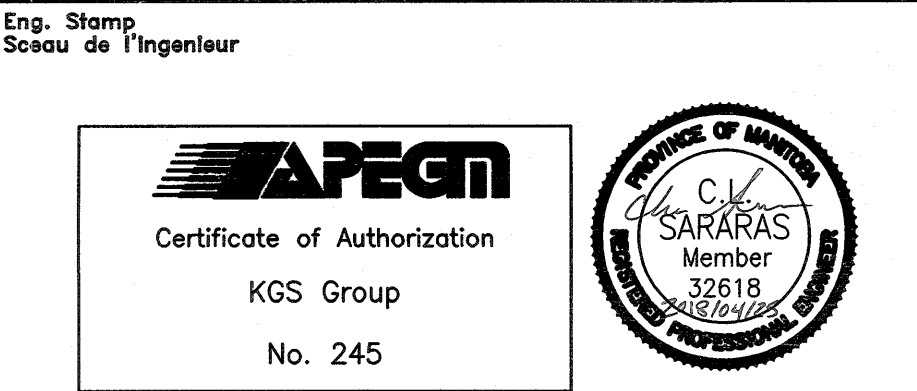
KEYNOTES:

1. PROVIDE NEW CEILING MOUNTED LINE VOLTAGE OCCUPANCY SENSORS TO CONTROL THE WASHROOM LIGHTING AND EXHAUST FAN. SET OCCUPANCY SENSORS TO 30 MINUTES.
2. PROVIDE FOUR (4) NEW TYPE 'P' LUMINAIRES.
3. PROVIDE POWER TO THE NEW EXHAUST FANS FROM THE LOCAL SWITCHED LIGHTING CIRCUIT.
4. PROVIDE TWO (2) NEW 3000W, 208V SURFACE MOUNTED CEILING FAN HEATERS FOR THE WASHROOMS COMPLETE WITH NEW 20A-2P BREAKER, CONDUIT AND WIRING AS REQUIRED.
5. PROVIDE RECESSED ELECTRICAL CONNECTIONS FOR THE NEW HAND DRYERS COMPLETE WITH WIRING, CONDUIT AND 15A-1P BREAKERS. FISH NEW ARMORED CABLING THROUGH THE EXISTING WALL CAVITY TO A NEW RECESSED RETROFIT JUNCTION BOX. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT ELEVATION.



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| Revision / Revision | Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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| Consultant's Name Nom de l'expert-conseil | ARCHITECTURE 49 |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6161 architecture49.com | |

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| Canada | |

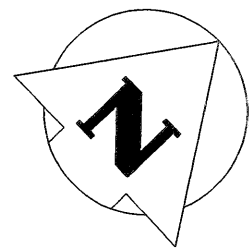
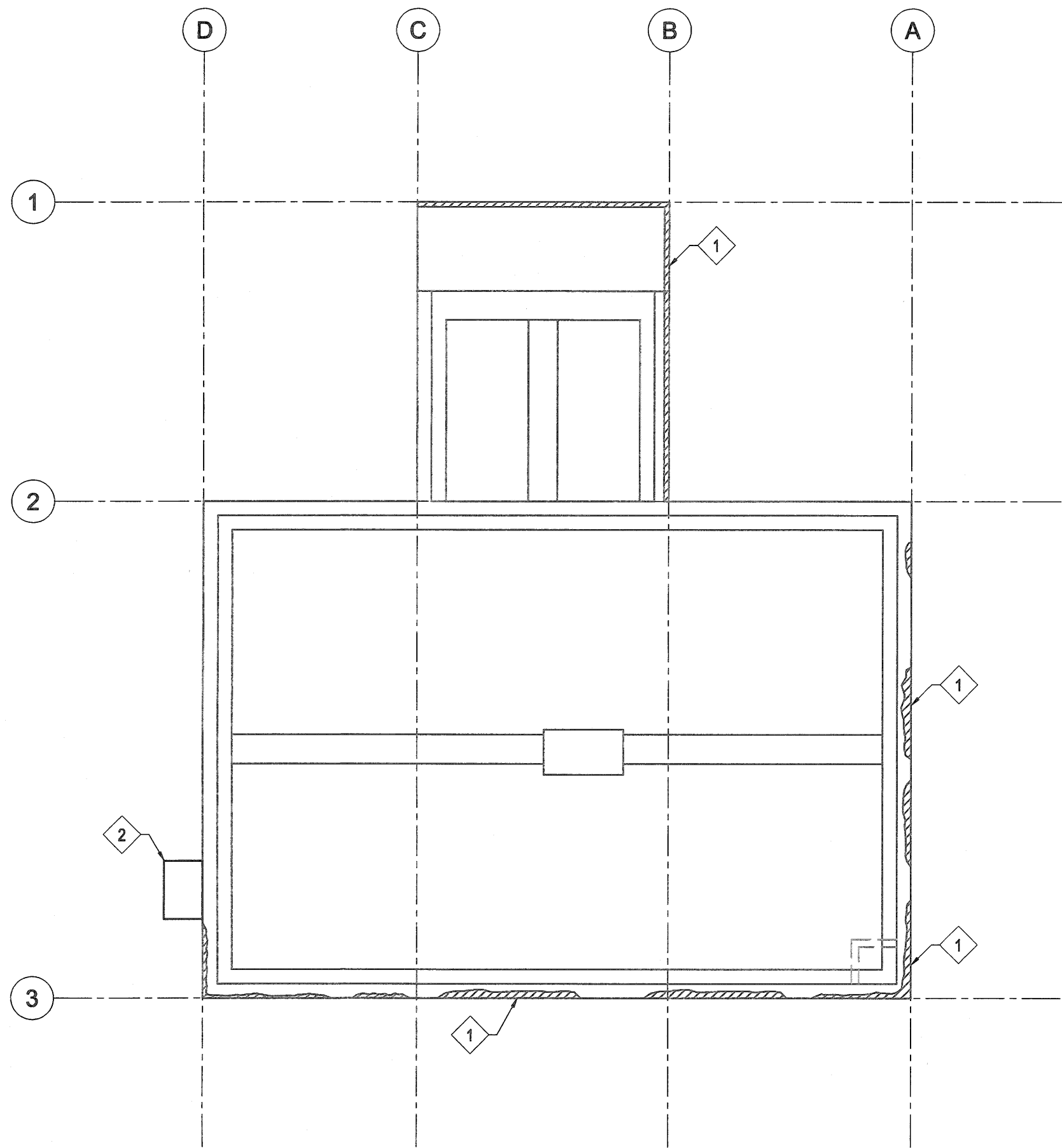
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| Sub Consultant | |
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| Project title/Titre du projet | LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |
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| Drawing title/Titre du dessin | MUSEUM BASEMENT FLOOR PLAN - NEW |
|-------------------------------|--|

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| SDC | SDC | 2018/03/26 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| CLS | CLS | AS NOTED |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| Date | Date | Date |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| 1603 | 1252 | E4-101 |
| Drawing Set No./N° de série du dessin | | |
| 18-0051-001 | | |



CRAWL SPACE PLAN
SCALE: 1:100

KEY NOTES:

- 1 REPOINT EXTERIOR SECTIONS OF MASONRY.
APPROXIMATE QUANTITY OF 4 SQUARE METERS.
- 2 REMOVE AND RE-SEAT LIMESTONE STEP.
EXCAVATE EXISTING SOIL AND INSTALL 200mm
THICK COMPACTED GRANULAR BASE BELOW
STEP.

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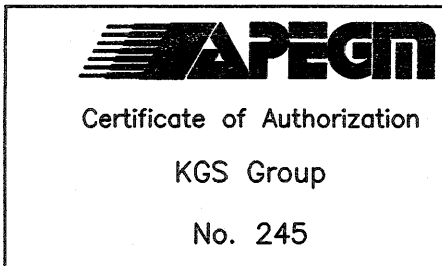
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



Parks Canada

Strategic Asset
Management,
Western and Northern
Region

Parcs Canada

Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

MEN'S HOUSE
STRUCTURAL
CRAWL SPACE PLAN

| | | |
|-------------------------|----------------------|------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| MBB | MBB | 2018/02/21 |

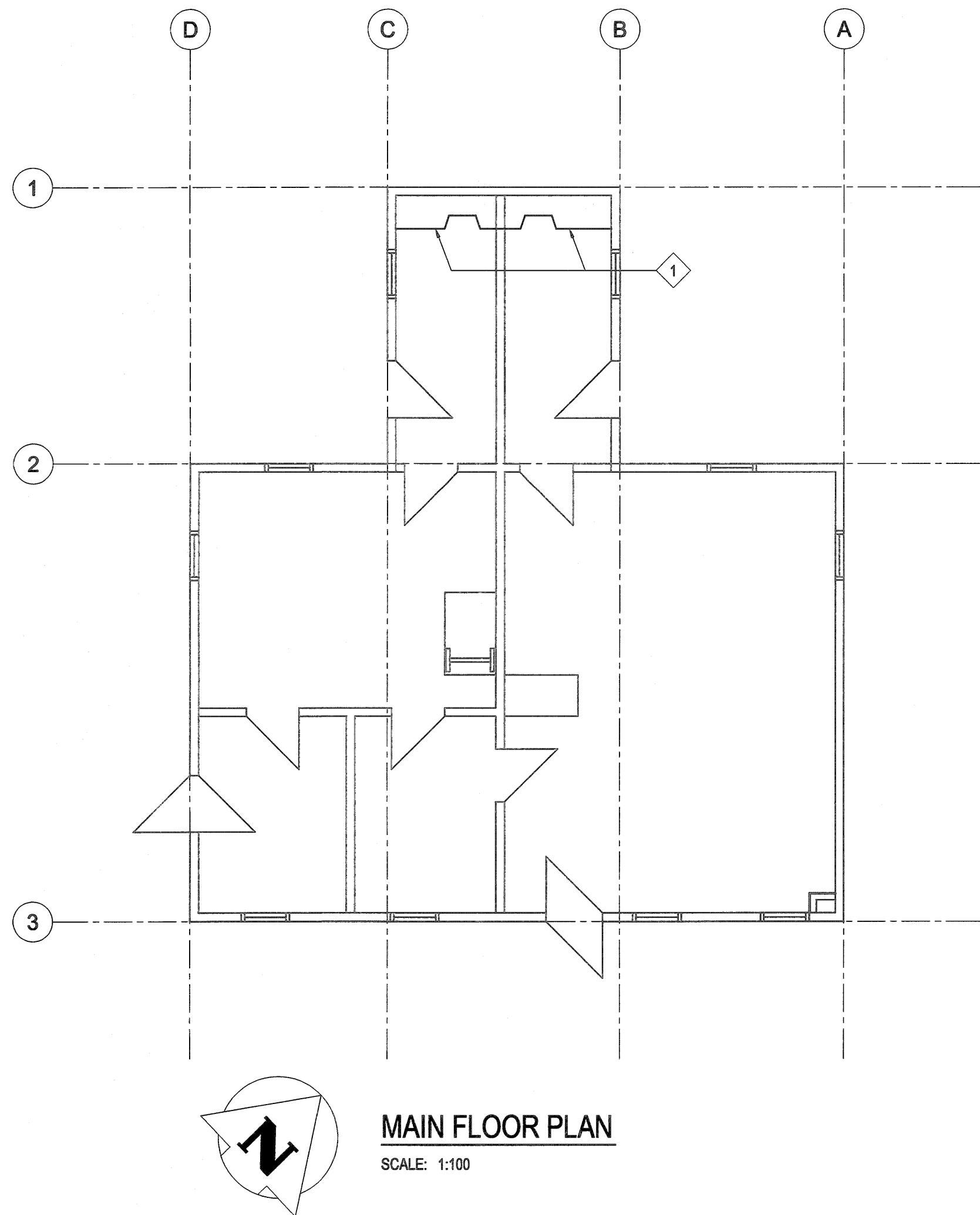
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| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| KRD | | AS NOTED |

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| Client Acceptance/Acceptation du client | Approved by/Approuvé par |
| Date | Date |

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|--------------------------|----------------------|--------------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| 1803 | 1254 | S5-100 |

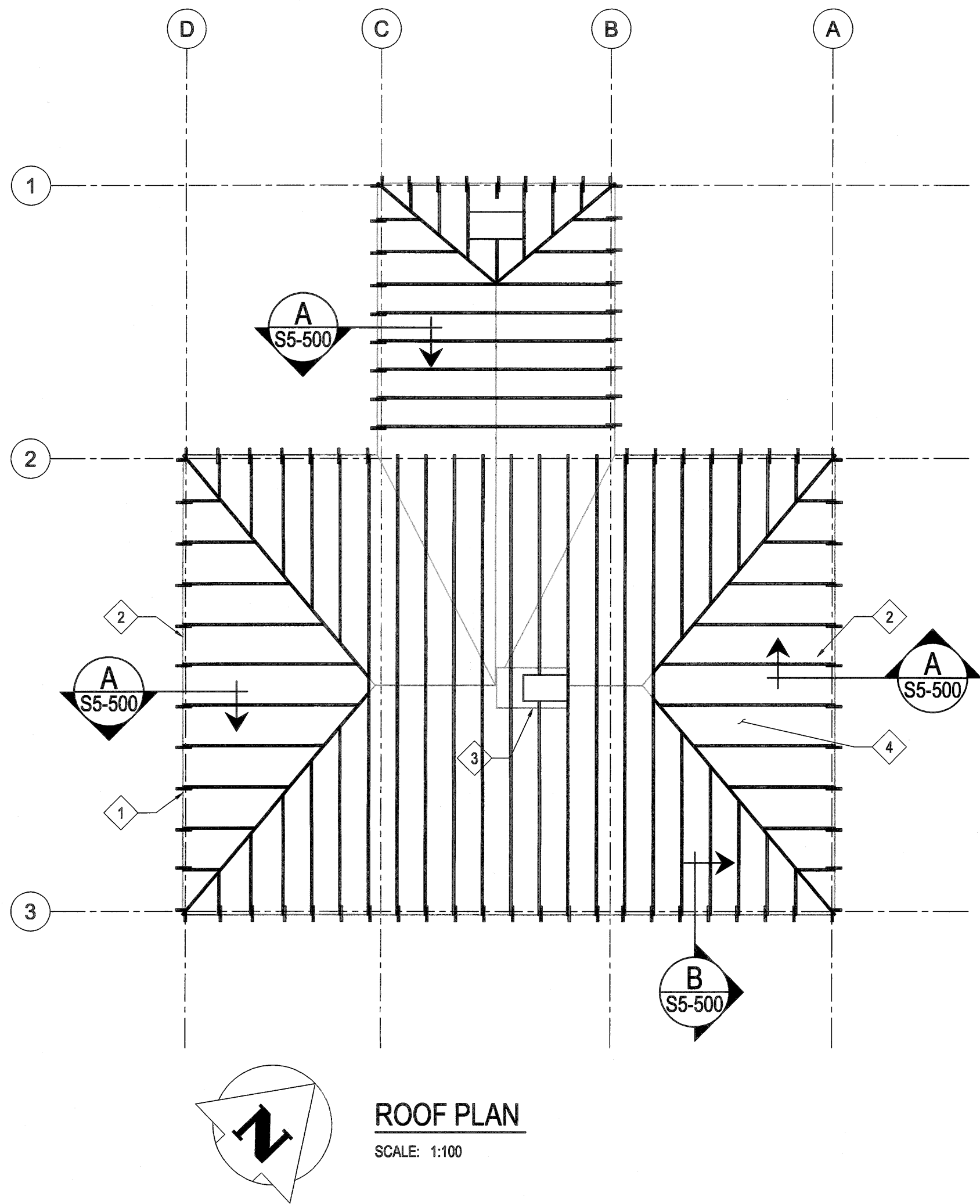
Drawing Set No./N° de série du dessin
18-0051-001

Filename: P:\Projects\2018\18-0051-001\Draw\Struct\18-0051-001_SS-110 - Tab:SS-110 Plotted By: DDeroche 18/04/25 [Wed 2:28pm]



KEY NOTES:
1 REPOINT AND REPAIR (AS REQUIRED) IN SELECT AREAS OF FIREPLACE/OVEN AND REPAINT (AS REQUIRED), APPROXIMATE QUANTITY OF 5 SQUARE METERS.

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| Certificate of Authorization KGS Group No. 245 | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1000 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-61 architecture49.com | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | | | |
| Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
| | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE STRUCTURAL MAIN FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| | MBB | 2018/02/21 | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle | | |
| KRD | | AS NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille | | |
| 1603 | 1254 | S5-110 | | |
| Drawing Set No./N° de série du dessin | | | | |
| 18-0051-001 | | | | |



KEY NOTES:

- 1 REPLACE SELECT RAFTER OUTRIGGERS.
APPROXIMATE QUANTITY OF 20. REPLACE ALL
ROOF DECKING ON OVERHANG TO MATCH EXIST.
- 2 REPAIR RAFTERS ADJACENT TO DORMERS TO
FACILITATE DRAINAGE CONCERNS.
- 3 REPOINT EXTERIOR MASONRY OF CHIMNEY
APPROX QUANTITY OF 5 SQUARE METERS.
- 4 REPLACE SELECT DETERIORATED ROOF
DECKING (AS DIRECTED BY DEPARTMENTAL
REPRESENTATIVE AFTER SHAKE REMOVAL).
APPROXIMATE QUANTITY OF 30 LINEAR METERS.

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sciau de l'ingenieur

Certificate of Authorization
KGS Group
No. 245

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1600 BUFFALO PLACE
WINNIPEG, MB (CANADA) R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6100 | architecture49.com

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des Biens,
Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant

KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

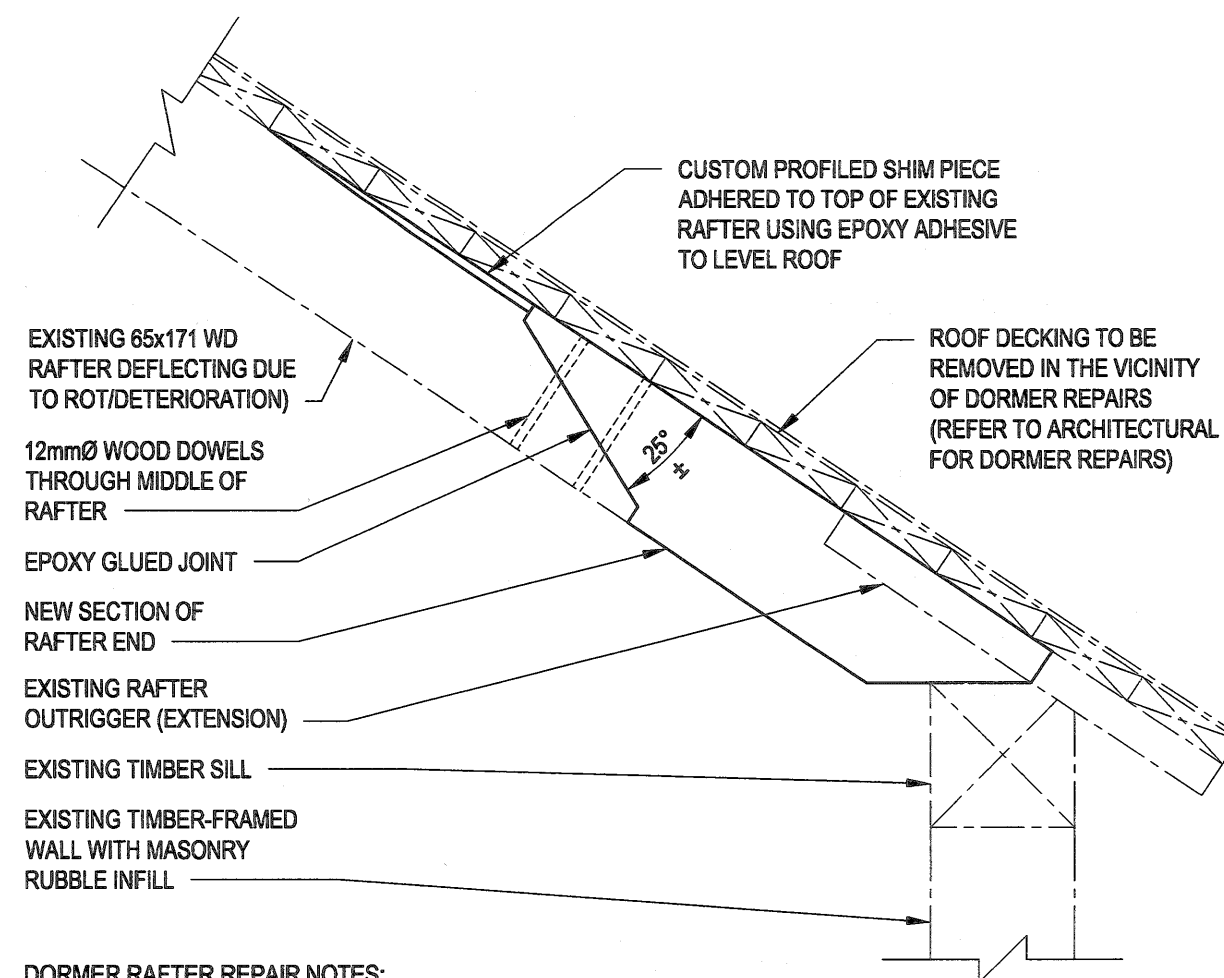
Drawing title/Titre du dessin

**MEN'S HOUSE
STRUCTURAL
ROOF PLAN**

| | | |
|---|-----------------------------|---------------------------|
| Surveyed by/Arpenté par MBB | Drawn by/Dessiné par MBB | Date 2018/02/21 |
| Designed by/Concept par KRD | Reviewed by/Revisé par | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

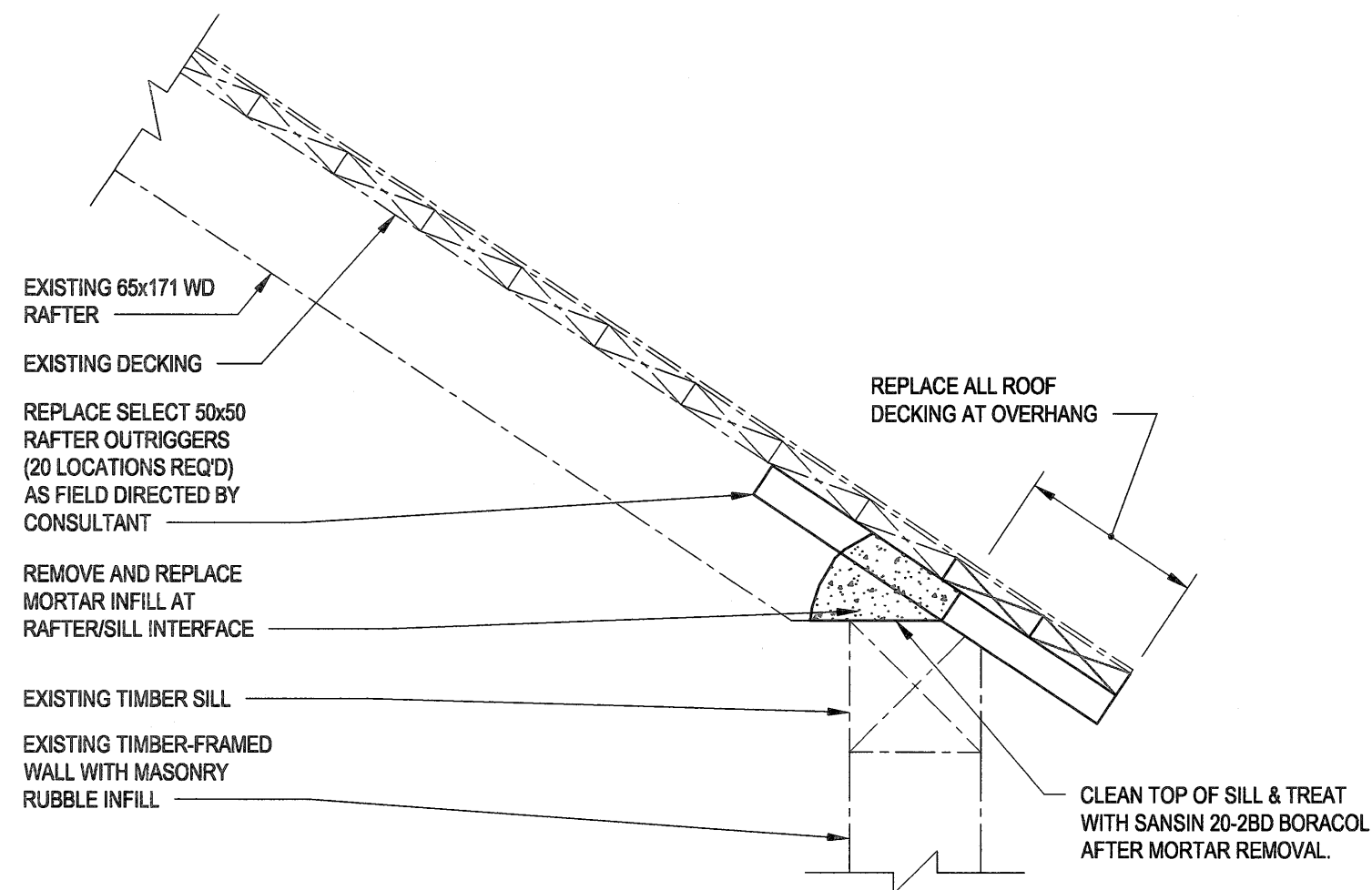
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|--|----------------------|--------------------------------|
| Project No./N° du projet 1603 | Asset No./N° du bien | Sheet No./ N° de la feuille |
| Drawing Set No./N° de série du dessin 18-0051-001 | | S5-130 |

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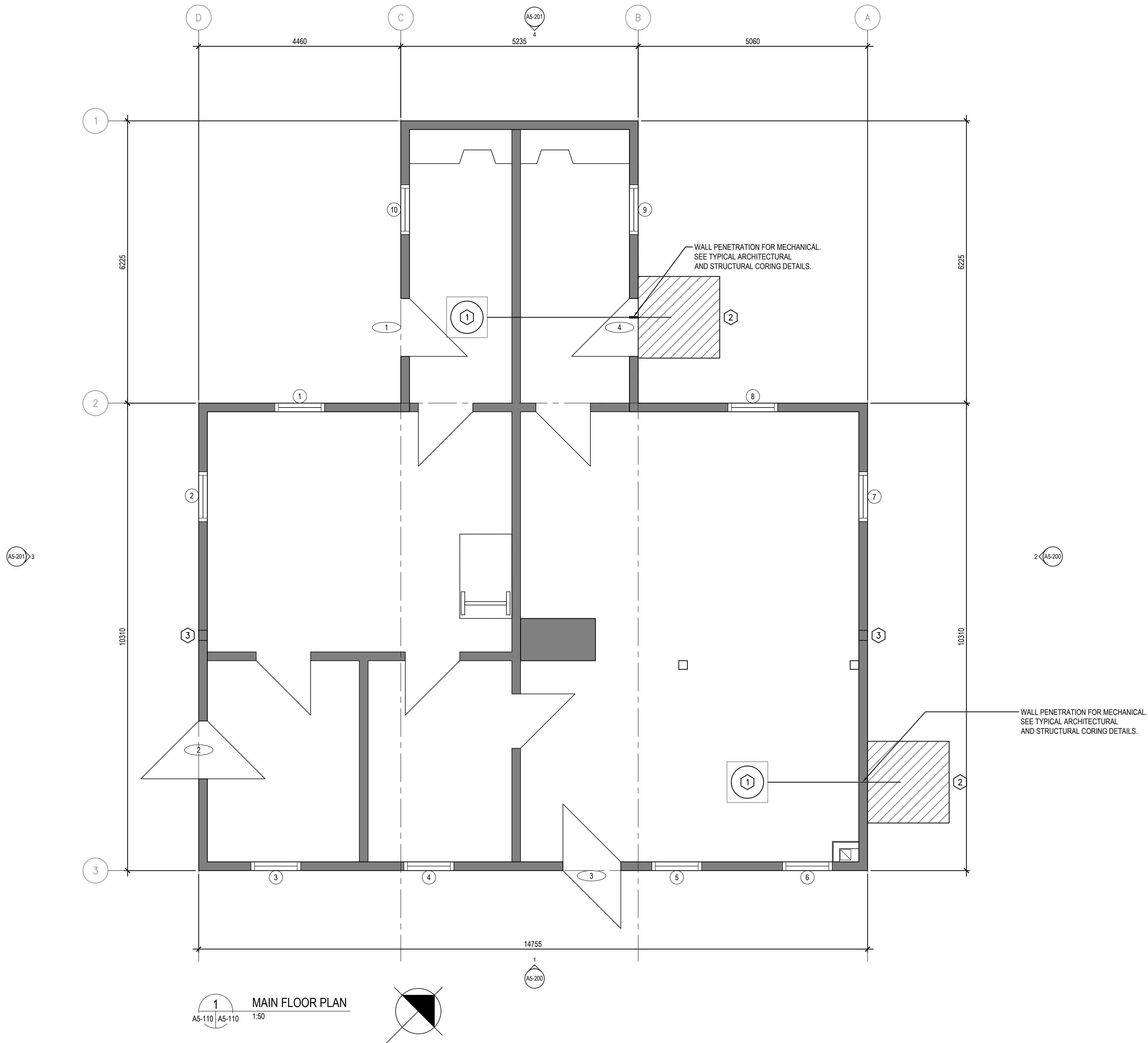


DORMER RAFTER REPAIR NOTES:

1. REPAIR ENDS OF RAFTERS ADJACENT TO DORMERS USING A SCARF JOINT TECHNIQUE TO REMOVE ALL ROTTED PORTIONS OF RAFTERS.
2. PERFORM A SURVEY OF TOP OF RAFTERS TO DETERMINE AVERAGE TOP OF RAFTER. INCLUDE TWO BAYS OF RAFTERS ADJACENT TO EACH DORMER RAFTER. SURVEY TOP OF DORMER RAFTERS TO DETERMINE SHIM THICKNESS REQUIRED.
3. PROFILE A CUSTOM SHIM PIECE TO SUIT AND APPLY TO TOP OF DORMER RAFTERS TO ENSURE THE FINISHED ROOF PROFILE IS FLAT AND DOES NOT SAG TOWARDS THE DORMER FRAMING.



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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Révision | | | | |
| Linear dimensions In millimètres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| Certificate of Authorization KGS Group No. 245 | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | | | |
| Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
| Project title/Titre du projet LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin MEN'S HOUSE STRUCTURAL SECTIONS & DETAILS | | | | |
| Surveyed by/Arpenté par MBB | | Drawn by/Dessiné par MBB | | Date 2018/03/14 |
| Designed by/Concept par KRD | | Reviewed by/Revisé par | | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client Date | | Approved by/Approuvé par Date | | |
| Project No./N° du projet 1803 | | Asset No./N° du bien | | Sheet No./ N° de la feuille S5-500 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | |







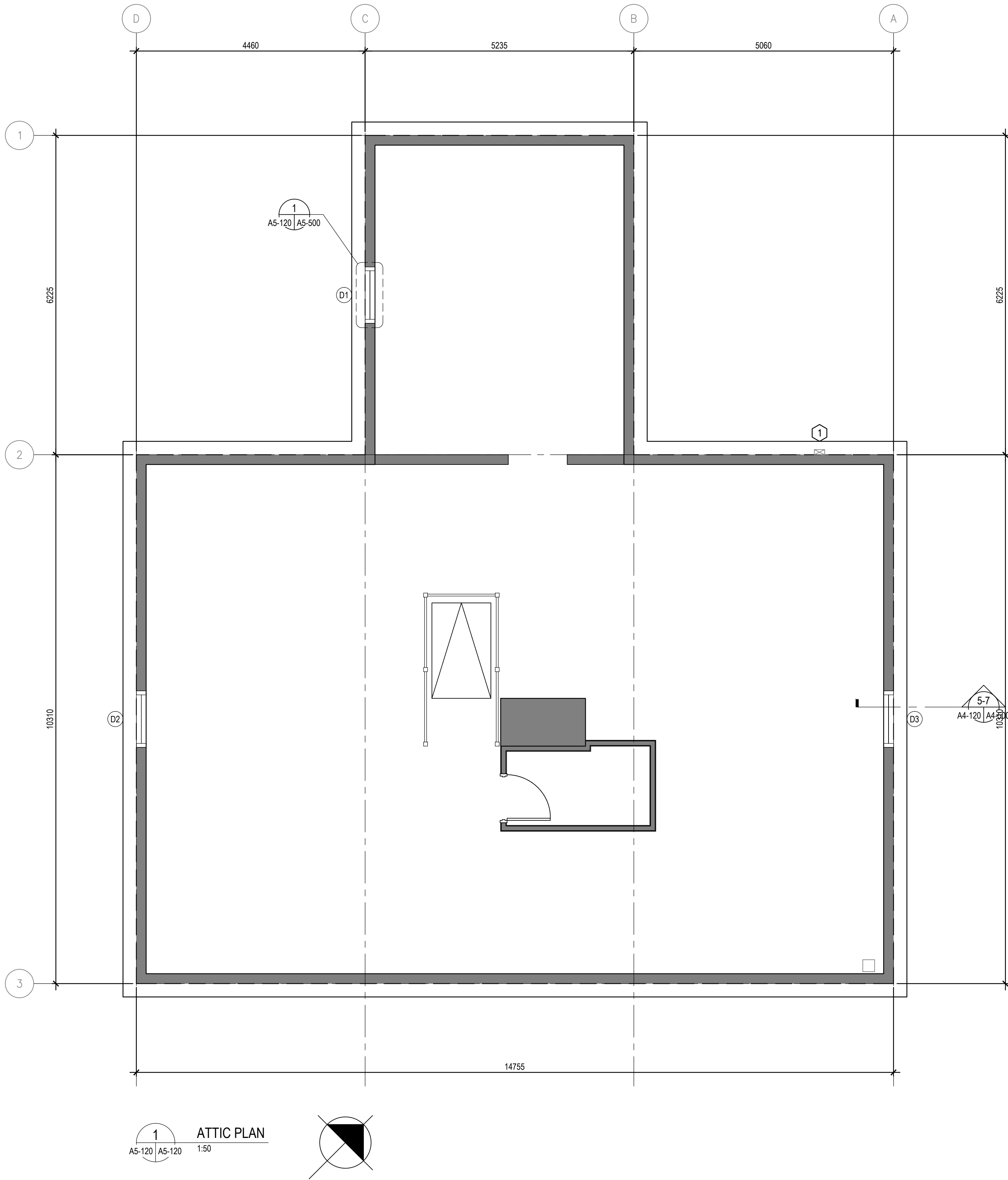
GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS, DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

- NEW SUMP PUMP IN CRAWLSPACE, OPEN FLOOR FOR MECHANICAL INSTALLATION, APPROXIMATELY 900x900mm. SEE AG002-1 FOR TYPICAL FLOOR ACCESS HATCH. SALVAGE MATERIALS FOR CONSTRUCTION OF PERMANENT ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- EXCAVATE TO DEPTH SUITABLE FOR SUMP PUMP INSTALLATION. PROVIDE WALL PENETRATION TO CONNECT NEW SUMP PUMP DISCHARGE TO EXISTING DRAINAGE ON SITE. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- COORDINATE W/ MECHANICAL. PROVIDE FRICTION FIT 38x38 WOOD FRAME INSERT TO ATTACH TO NEW MECHANICAL DUCT. PROVIDE SECURELY FASTENED METAL BIRDSCREEN @ EACH OPENING. PAINT ALL SURFACES FLAT BLACK.

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| <div>Eng. Stamp Sceau de l'ingénieur</div> <div></div> | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| <div> Parks Canada</div> <div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div> | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | |  | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE MAIN FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
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| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
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| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A5-110 |
| Drawing Set No./Nº de série du dessin | | | | |



GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAIR REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS. DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

- SELECT OPENING AT RAFTER FOR EXHAUST OUTLET. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
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Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

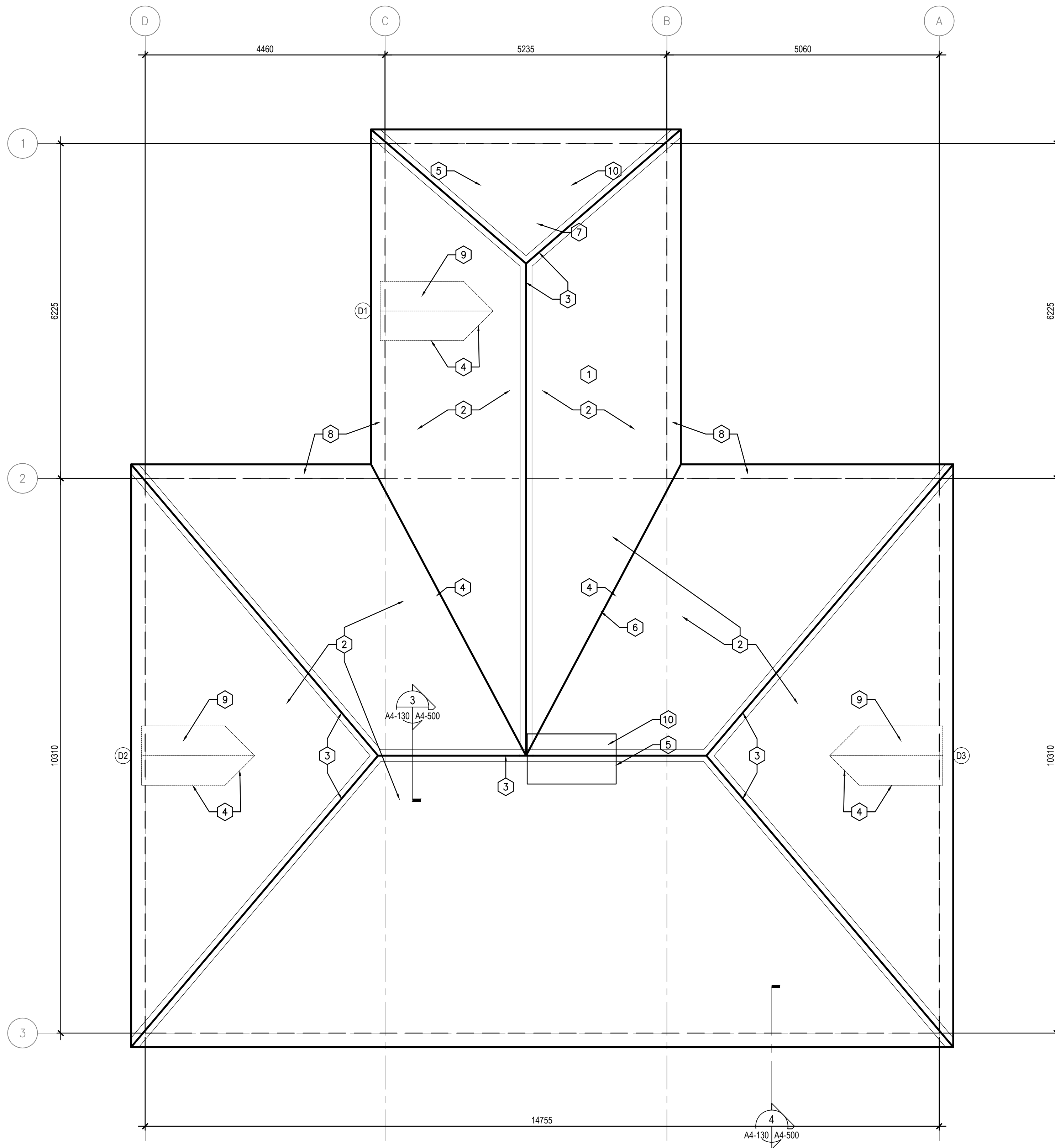
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

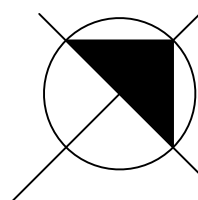
Drawing title/Titre du dessin

MEN'S HOUSE
SECOND FLOOR PLAN

| | | |
|---|--------------------------|----------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| Drawing Set No./Nº de série du dessin | | A5-120 |



1 ROOF PLAN
A5-130 A5-130 1:50



GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS. DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

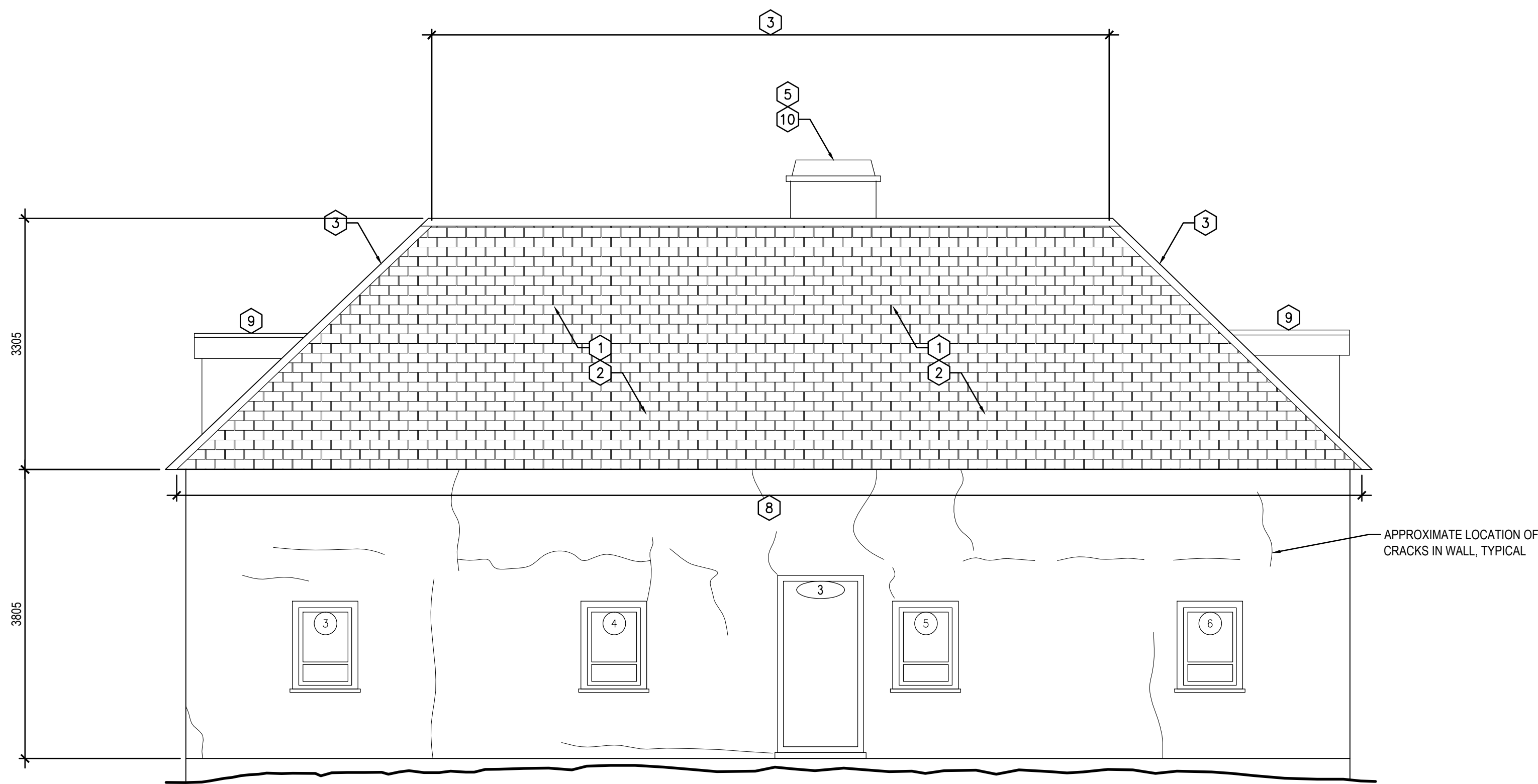
REMOVAL KEYNOTES:

- REMOVE EXISTING WOOD SHINGLE ROOF SYSTEM TO SHEATHING. INCLUDING, BUT NOT LIMITED TO: SHINGLES, RIDGEBOARDS, UNDERLAYMENT, FLASHING, ETC, EAVESTROUGH.
- REMOVE REMAINING FASTENERS. DO NOT DRIVE INTO SHEATHING.
- PERFORM DETAILED INSPECTION OF BOARD SHEATHING. REMOVE DAMAGED, DETERIORATED OR COMPROMISED BOARDS. REMOVE ALL FASTENERS.
- EXAM WOOD RAFTER OUTRIGGERS. REATTACH LOOSE OUTRIGGERS. REPLACE DETERIORATED OUTRIGGERS WITH NEW MEMBERS TO MATCH EXISTING.

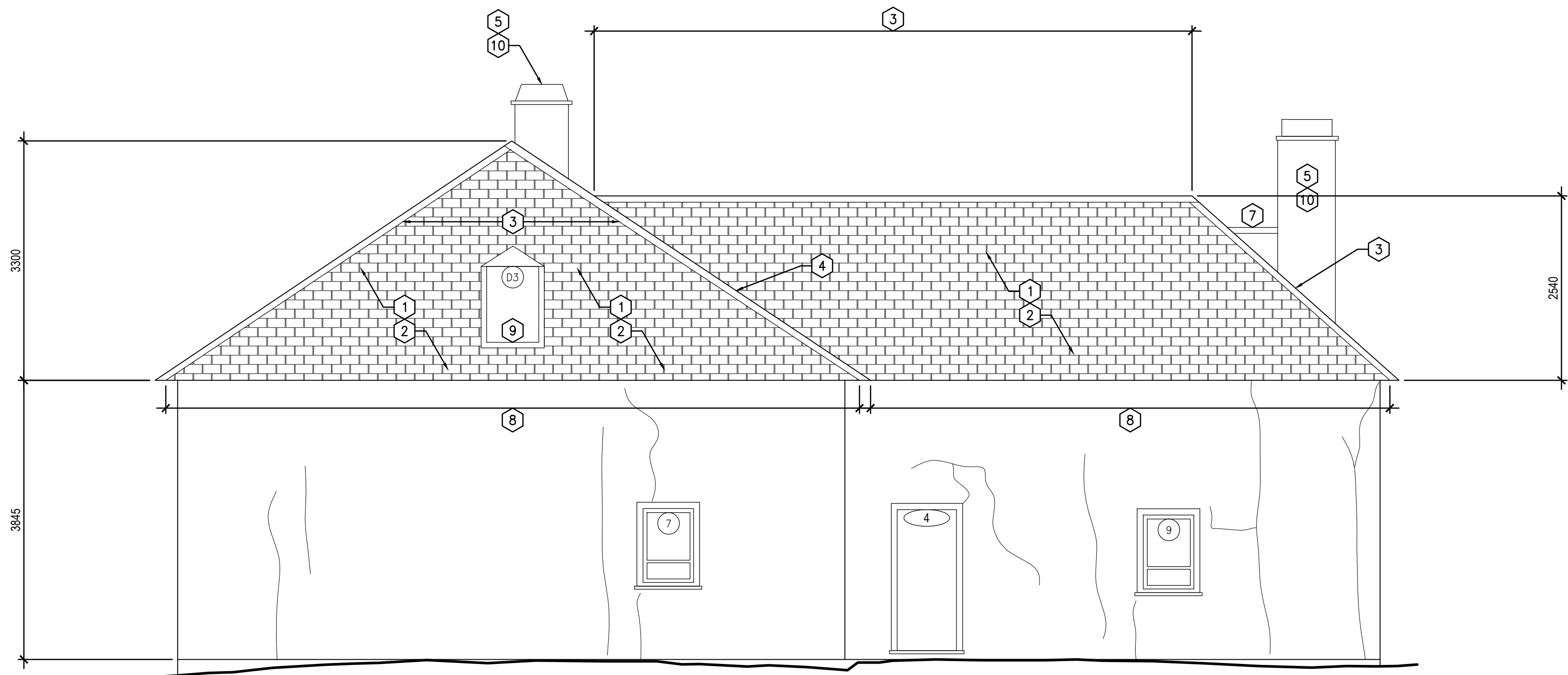
DRAWING KEYNOTES:

- REPLACE MISSING OR DAMAGED SHEATHING BOARDS WITH NEW WOOD SHEATHING. TO MATCH EXACTLY WIDTH, THICKNESS, SPACING, AND GAPS BETWEEN BOARDS.
- NEW WOOD SHINGLE ROOF SYSTEM OVER BOARD SHEATHING DECK.
- NEW RIDGE BOARDS AT ROOF RIDGES. SEE DETAIL A5-500-X.
- METAL FLASHING AT VALLEY, TYP.
- NEW MORTAR AND METAL FLASHING AT CHIMNEY.
- EXISTING VENT STACK. PROVIDE METAL FLASHING AND BOOT AT PENETRATION.
- PROVIDE CRICKET AT CHIMNEY.
- PROVIDE NEW METAL-LINED WOOD EAVESTROUGH AND DOWNSPOUT TO MATCH EXISTING EXTENTS, DIMENSIONS, AND CONSTRUCTION.
- RECONSTRUCT EXISTING DORMER. SEE A5-500.
- EXISTING MASONRY CHIMNEY. INSPECT AND REPOINT TO MAINTAIN INTACT MORTAR JOINTS.

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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE ROOF PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./Nº de la feuille |
| R. | | R. | | A5-130 |
| Drawing Set No./Nº de série du dessin | | | | |



1 EAST ELEVATION
A5-110 A5-200 1:50



2 NORTH ELEVATION
A5-110 A5-200 1:50

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS. DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

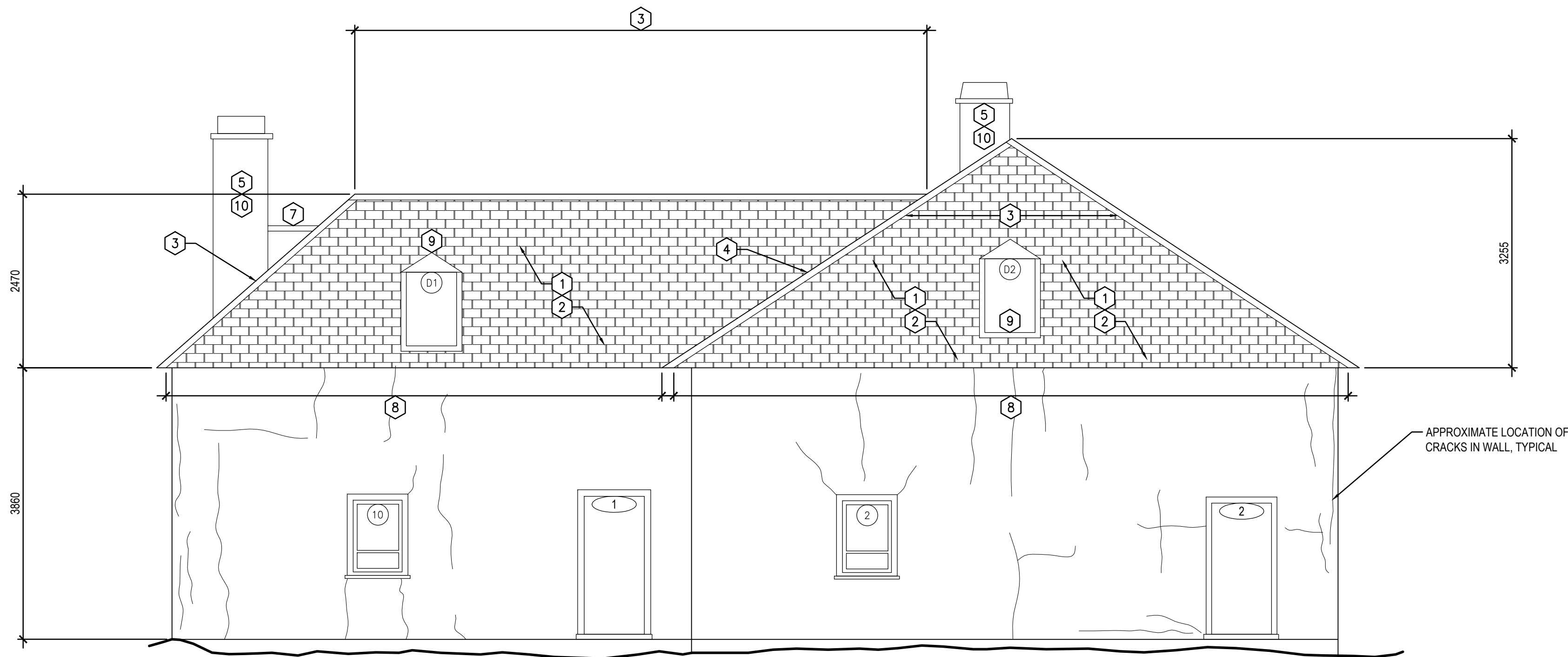
REMOVAL KEYNOTES:

- REMOVE EXISTING WOOD SHINGLE ROOF SYSTEM TO SHEATHING, INCLUDING, BUT NOT LIMITED TO: SHINGLES, RIDGEBOARDS, UNDERLAYMENT, FLASHING, ETC, EAVESTROUGH.
- REMOVE REMAINING FASTENERS, DO NOT DRIVE INTO SHEATHING.
- PERFORM DETAILED INSPECTION OF BOARD SHEATHING. REMOVE DAMAGED, DETERIORATED OR COMPROMISED BOARDS. REMOVE ALL FASTENERS.
- EXAM WOOD RAFTER OUTRIGGERS. REATTACH LOOSE OUTRIGGERS, REPLACE DETERIORATED OUTRIGGERS WITH NEW MEMBERS TO MATCH EXISTING.

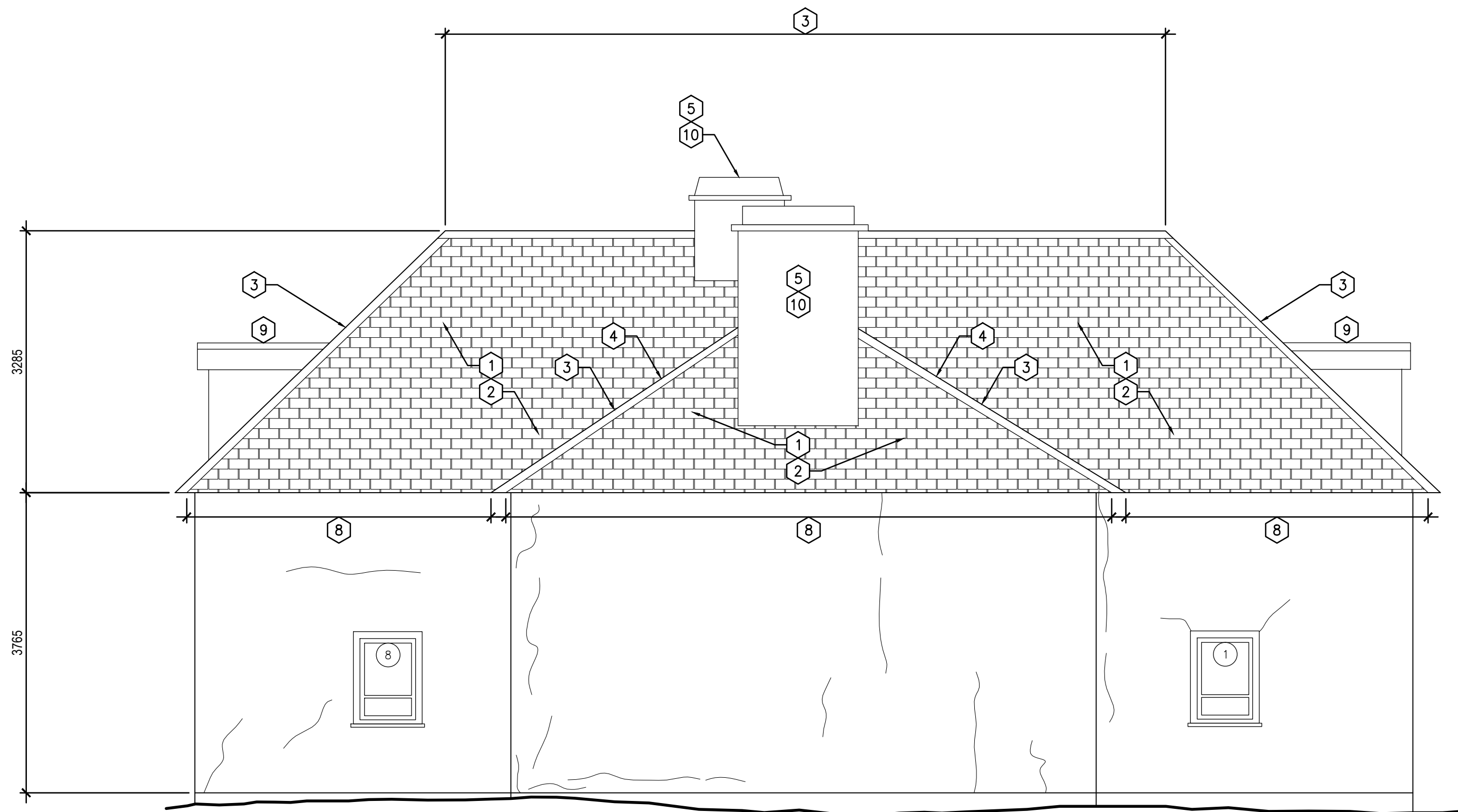
DRAWING KEYNOTES:

- REPLACE MISSING OR DAMAGED SHEATHING BOARDS WITH NEW WOOD SHEATHING, TO MATCH EXACTLY WIDTH, THICKNESS, SPACING, AND GAPS BETWEEN BOARDS.
- NEW WOOD SHINGLE ROOF SYSTEM OVER BOARD SHEATHING DECK.
- NEW RIDGE BOARDS AT ROOF RIDGES. SEE DETAIL A5-500-X.
- METAL FLASHING AT VALLEY, TYP.
- NEW MORTAR AND METAL FLASHING AT CHIMNEY.
- EXISTING VENT STACK. PROVIDE METAL FLASHING AND BOOT AT PENETRATION.
- PROVIDE CRICKET AT CHIMNEY.
- PROVIDE NEW METAL-LINED WOOD EAVESTROUGH AND DOWNSPOUT TO MATCH EXISTING EXTENTS, DIMENSIONS, AND CONSTRUCTION.
- RECONSTRUCT EXISTING DORMER. SEE A5-500.
- EXISTING MASONRY CHIMNEY. INSPECT AND REPOINT TO MAINTAIN INTACT MORTAR JOINTS.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | | | |
| Dimensions linéaires en millimètres | | | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region | | | | |
| Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | | Sub Consultant Project No. 18-0051-001 | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE EXTERIOR ELEVATIONS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| R. | | R. | | A5-200 |
| Drawing Set No./N° de série du dessin | | | | |



1 SOUTH ELEVATION
A5-110 A5-201 1:50



2 WEST ELEVATION
A5-110 A5-201 1:50

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS. DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

REMOVAL KEYNOTES:

- REMOVE EXISTING WOOD SHINGLE ROOF SYSTEM TO SHEATHING, INCLUDING, BUT NOT LIMITED TO: SHINGLES, RIDGEBOARDS, UNDERLAYMENT, FLASHING, ETC., EAVESTROUGH.
- REMOVE REMAINING FASTENERS, DO NOT DRIVE INTO SHEATHING.
- PERFORM DETAILED INSPECTION OF BOARD SHEATHING. REMOVE DAMAGED, DETERIORATED OR COMPROMISED BOARDS. REMOVE ALL FASTENERS.
- EXAM WOOD RAFTER OUTRIGGERS. REATTACH LOOSE OUTRIGGERS, REPLACE DETERIORATED OUTRIGGERS WITH NEW MEMBERS TO MATCH EXISTING.

DRAWING KEYNOTES:

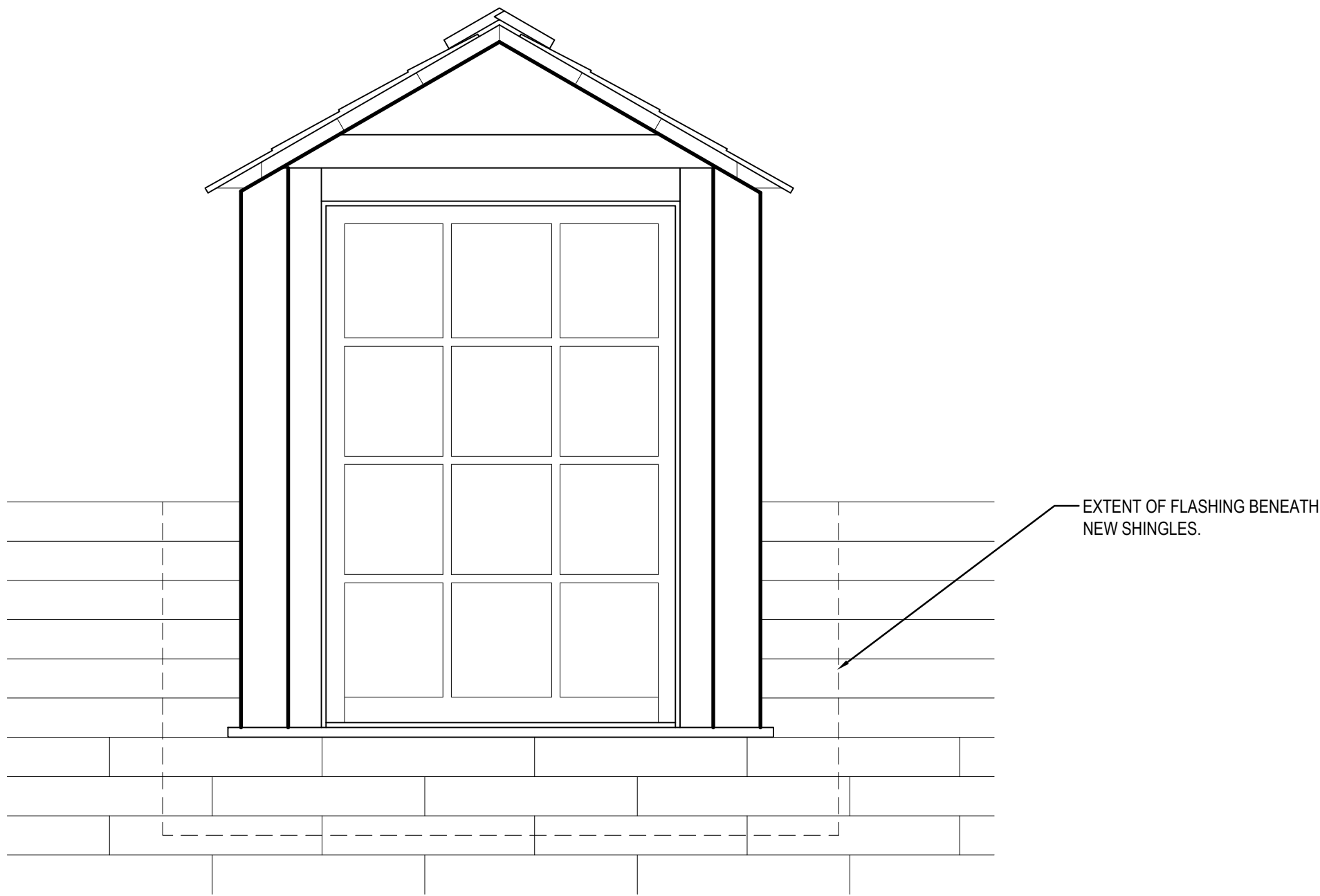
- REPLACE MISSING OR DAMAGED SHEATHING BOARDS WITH NEW WOOD SHEATHING, TO MATCH EXACTLY WIDTH, THICKNESS, SPACING, AND GAPS BETWEEN BOARDS.
- NEW WOOD SHINGLE ROOF SYSTEM OVER BOARD SHEATHING DECK.
- NEW RIDGE BOARDS AT ROOF RIDGES. SEE DETAIL A5-500-X.
- METAL FLASHING AT VALLEY, TYP.
- NEW MORTAR AND METAL FLASHING AT CHIMNEY.
- EXISTING VENT STACK. PROVIDE METAL FLASHING AND BOOT AT PENETRATION.
- PROVIDE CRICKET AT CHIMNEY.
- PROVIDE NEW METAL-LINED WOOD EAVESTROUGH AND DOWNSPOUT TO MATCH EXISTING EXTENTS, DIMENSIONS, AND CONSTRUCTION.
- RECONSTRUCT EXISTING DORMER. SEE A5-500.
- EXISTING MASONRY CHIMNEY. INSPECT AND REPOINT TO MAINTAIN INTACT MORTAR JOINTS.

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| Eng. Stamp Sceau de l'ingénieur | | | | |
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| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE EXTERIOR ELEVATIONS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| | AV | 2018/04/27 | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle | | |
| | GL | SEE NOTED | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille | | |
| R. | R. | A5-201 | | |
| Drawing Set No./N° de série du dessin | | | | |

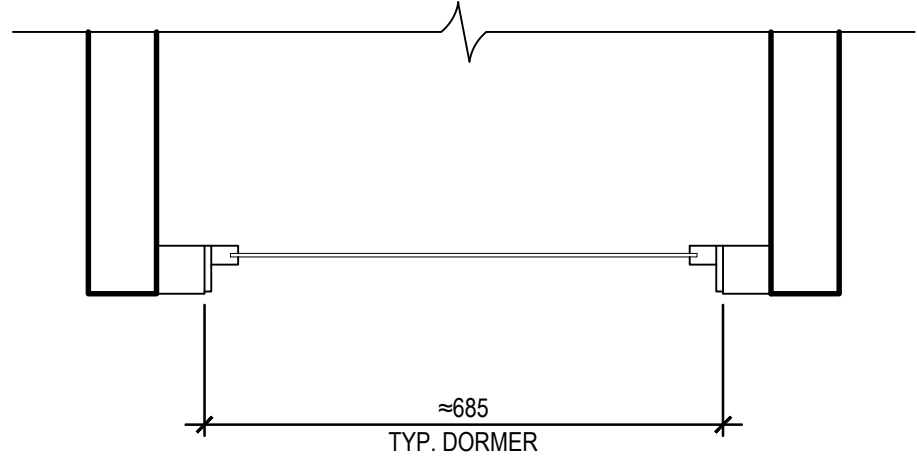
DETAILS ARE SHOWN FOR REFERENCE ONLY. ACTUAL CONDITIONS MAY VARY. DESIGN INTENT IS TO IDENTIFY AND REMOVE DETERIORATED MATERIALS, REPAIR REMAINING EXISTING FRAMING MEMBERS WITH NEW CONSERVATION APPROVED MATERIALS. MAINTAIN ALIGNMENT OF EXISTING REMAINING MATERIALS.

GENERAL NOTES FOR BUILDING:

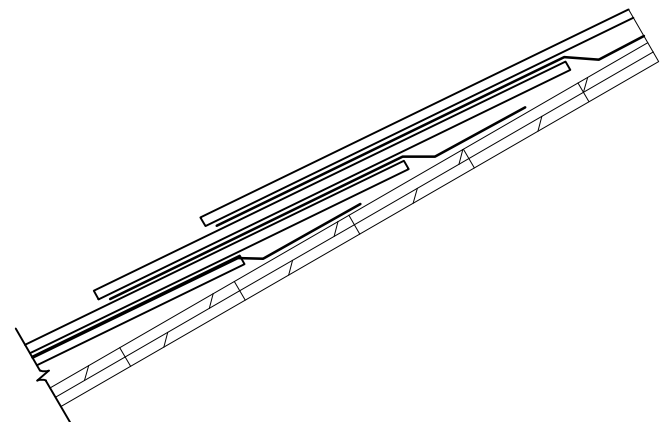
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAIR REPAIRED WALL SURFACE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS. DO NOT DEMOLISH. SALVAGE AND RE-USE MATERIALS WHERE POSSIBLE.
- CLEAN AND REPAINT EXTERIOR STUCCO.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.



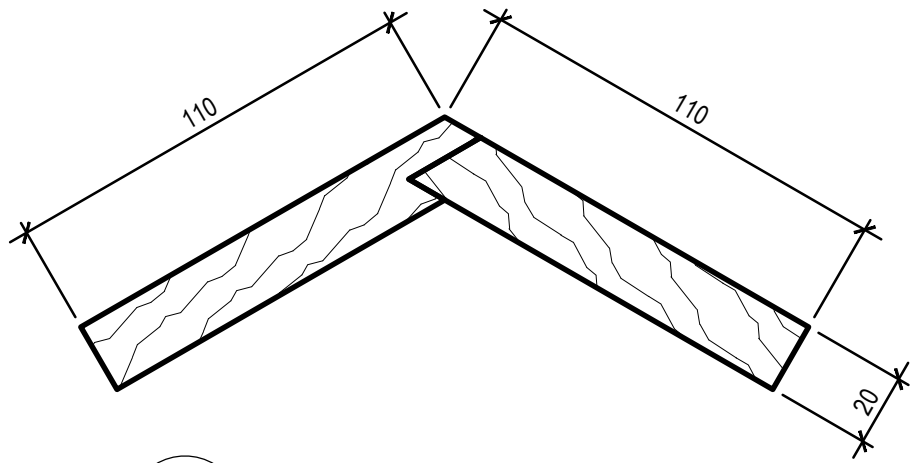
TYPICAL DORMER ELEVATION
A5-120 | A5-500 1:10



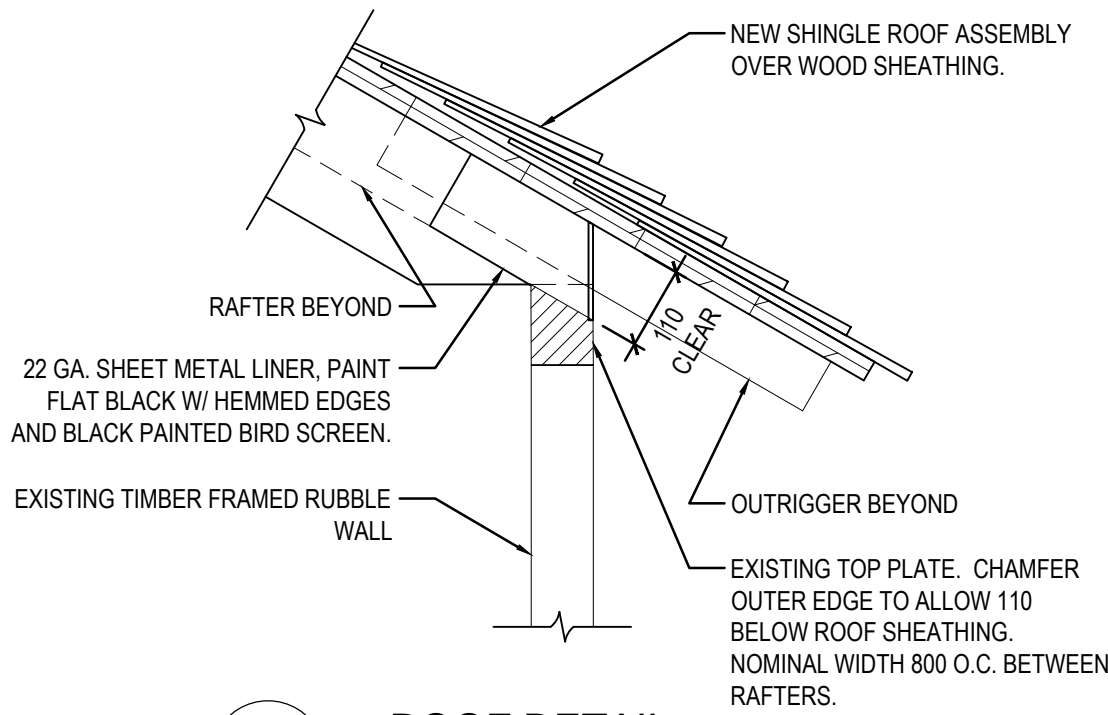
WINDOW PLAN
A5-120 | A5-500 1:10



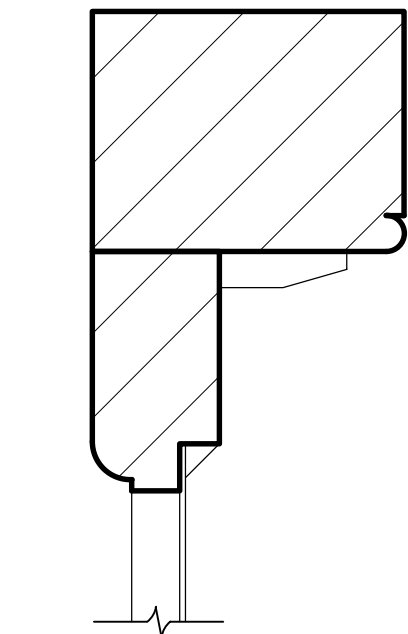
FLASHING DETAIL
A5-120 | A5-500 NTS



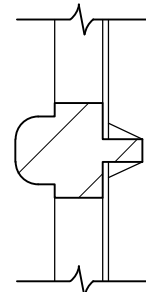
RIDGEBOARD
A5-130 | A5-500 1:2



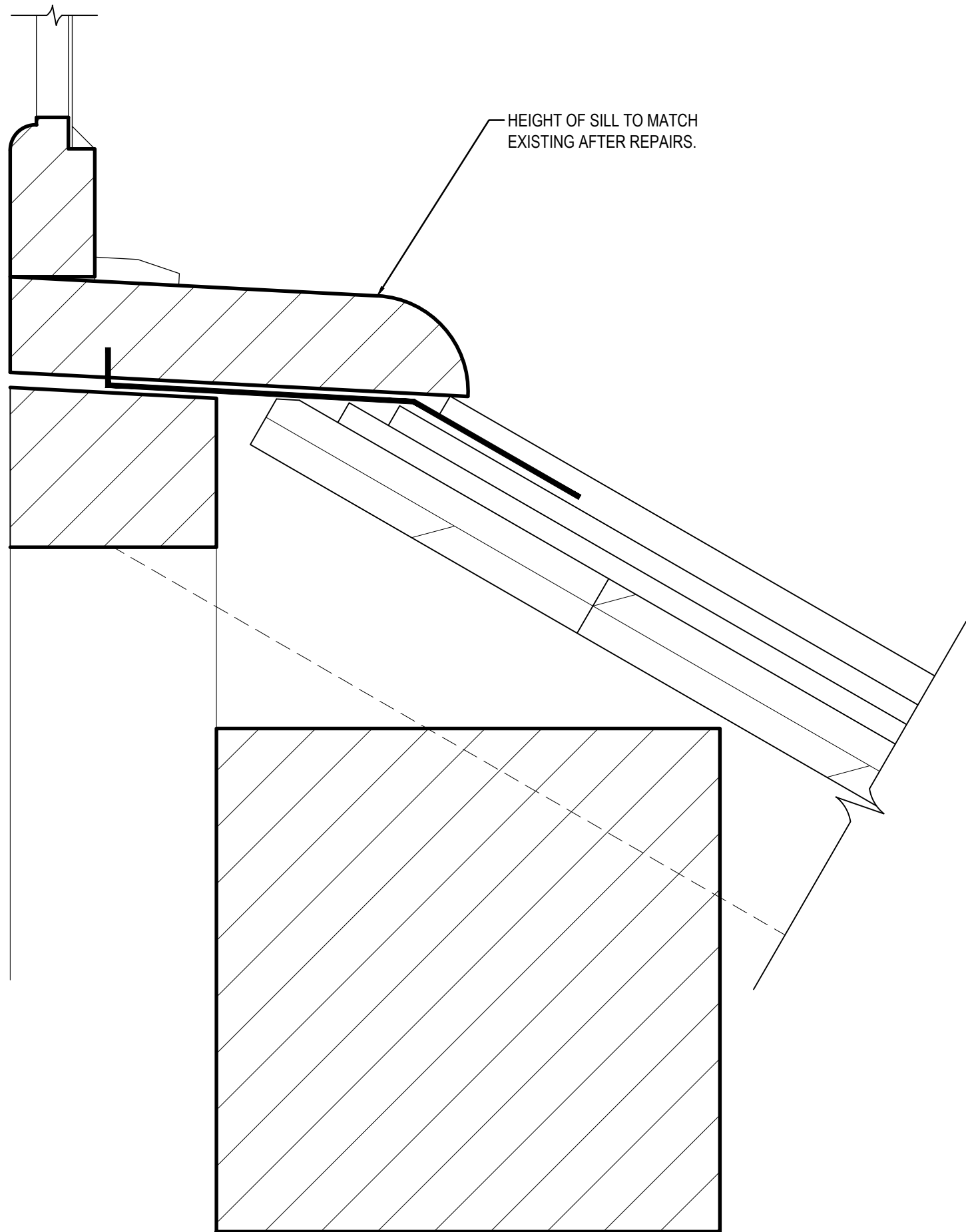
ROOF DETAIL
A5-130 | A5-500 1:10



HEAD & JAMB
A5-120 | A5-500 1:2



MUNTIN
A5-120 | A5-500 1:2



SILL
A5-120 | A5-500 1:2

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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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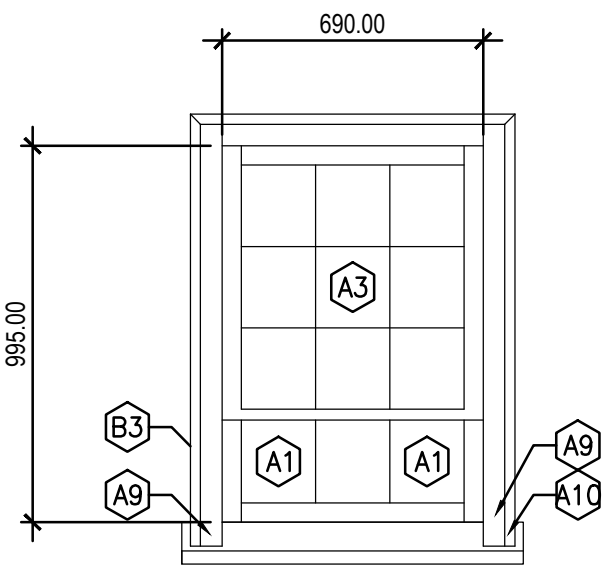
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| Sub Consultant Nom de sous conseil | |
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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|---|
| Drawing title/Titre du dessin |
| MEN'S HOUSE TYPICAL DORMER AND ROOF DETAILS |

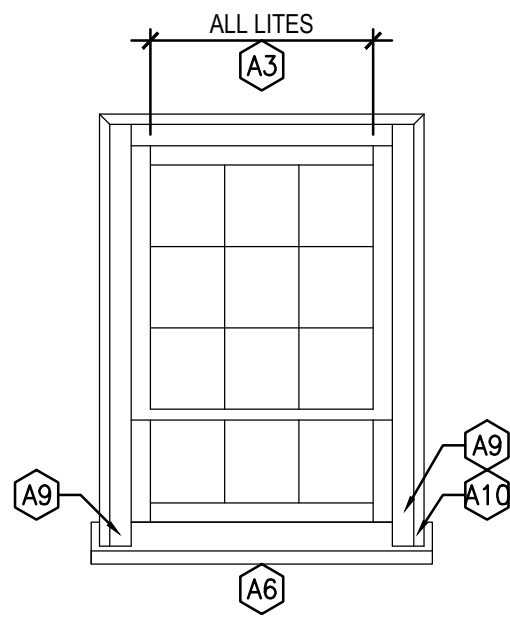
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| KB | KB | 2018/MXX/XX |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| GL | GL | AS NOTED |
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| R. | R. | A5-500 |
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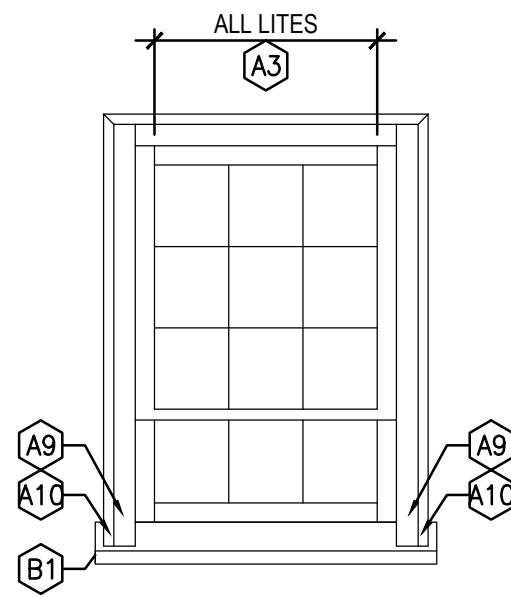
WINDOW TYPE 1
CASEMENT

1
A5-201 A5-600 1:20



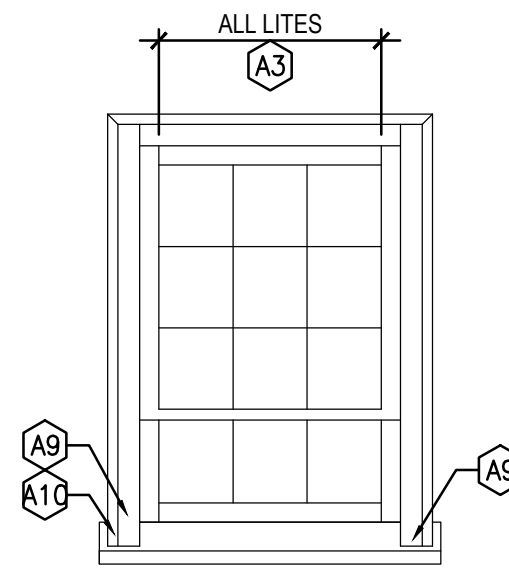
WINDOW TYPE 1
CASEMENT

2
A5-201 A5-600 1:20



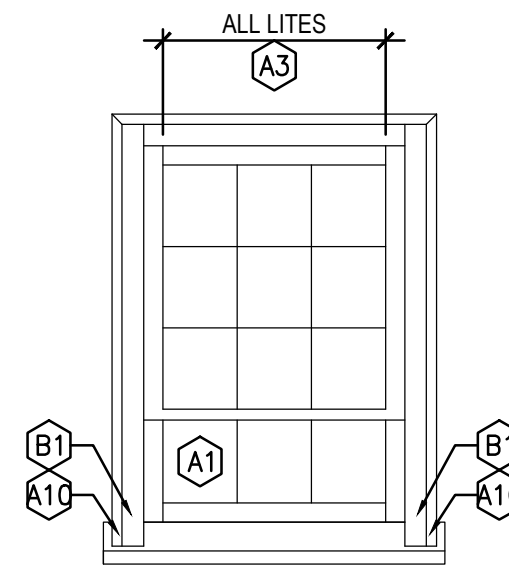
WINDOW TYPE 1
CASEMENT

3
A5-200 A5-600 1:20



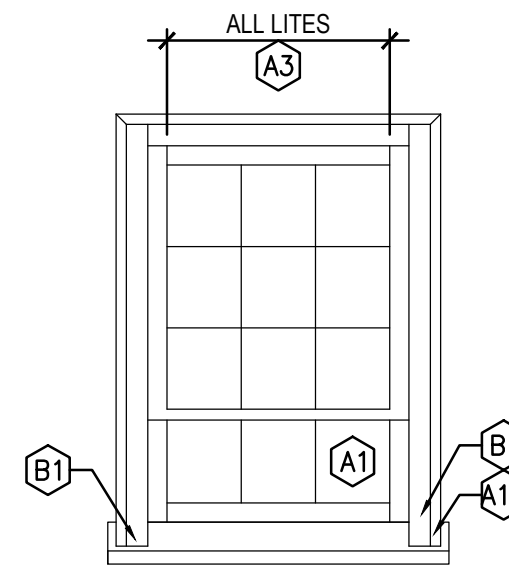
WINDOW TYPE 1
CASEMENT

4
A5-200 A5-600 1:20



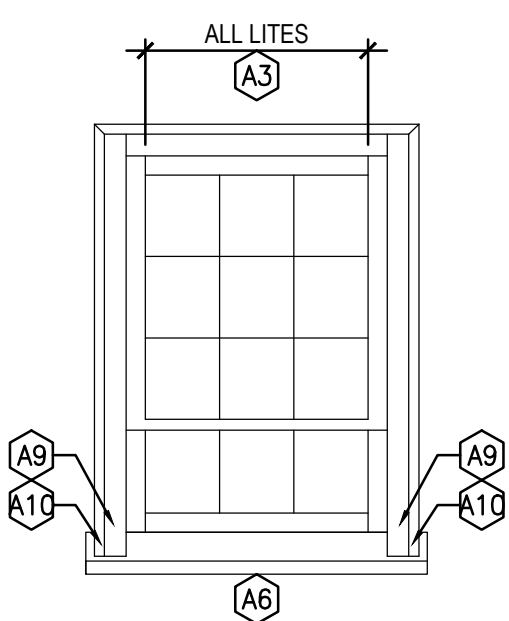
WINDOW TYPE 1
CASEMENT

5
A5-200 A5-600 1:20



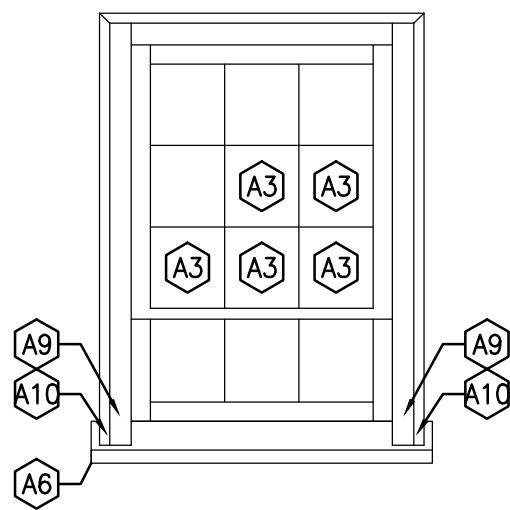
WINDOW TYPE 1
CASEMENT

6
A5-200 A5-600 1:20



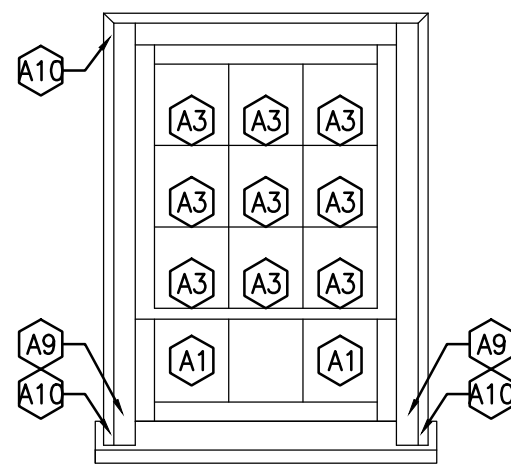
WINDOW TYPE 1
CASEMENT

7
A5-200 A5-600 1:20



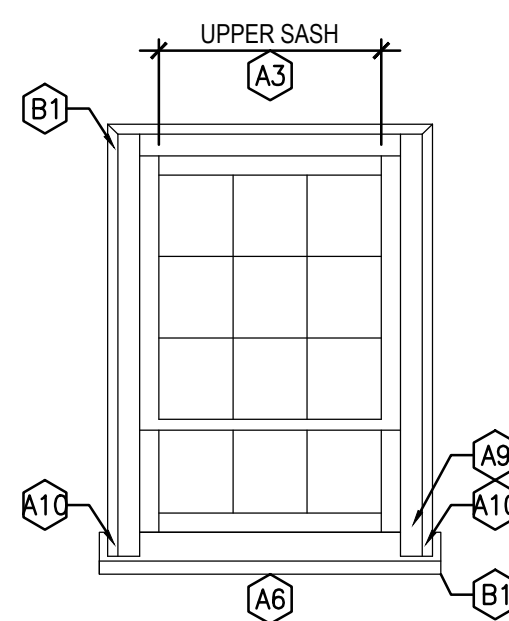
WINDOW TYPE 1
CASEMENT

8
A5-201 A5-600 1:20



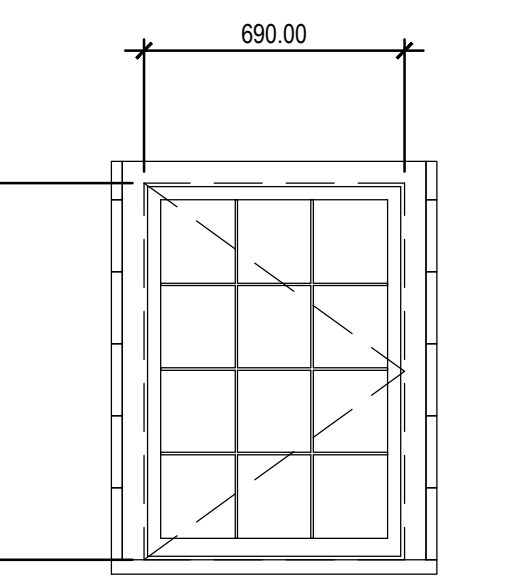
WINDOW TYPE 1
CASEMENT

9
A5-200 A5-600 1:20



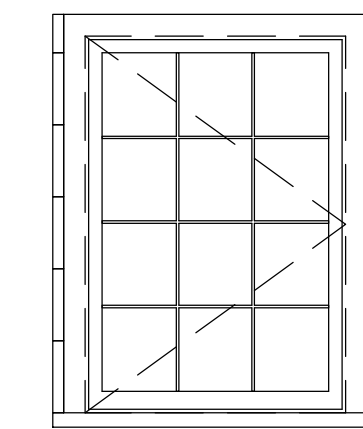
WINDOW TYPE 1
CASEMENT

10
A5-201 A5-600 1:20



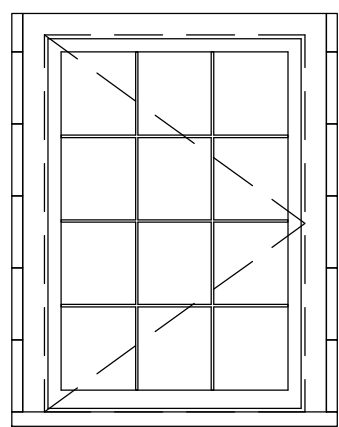
DORMER
CASEMENT

D1
A5-201 A5-600 1:20



DORMER
CASEMENT

D2
A5-201 A5-600 1:20



DORMER
CASEMENT

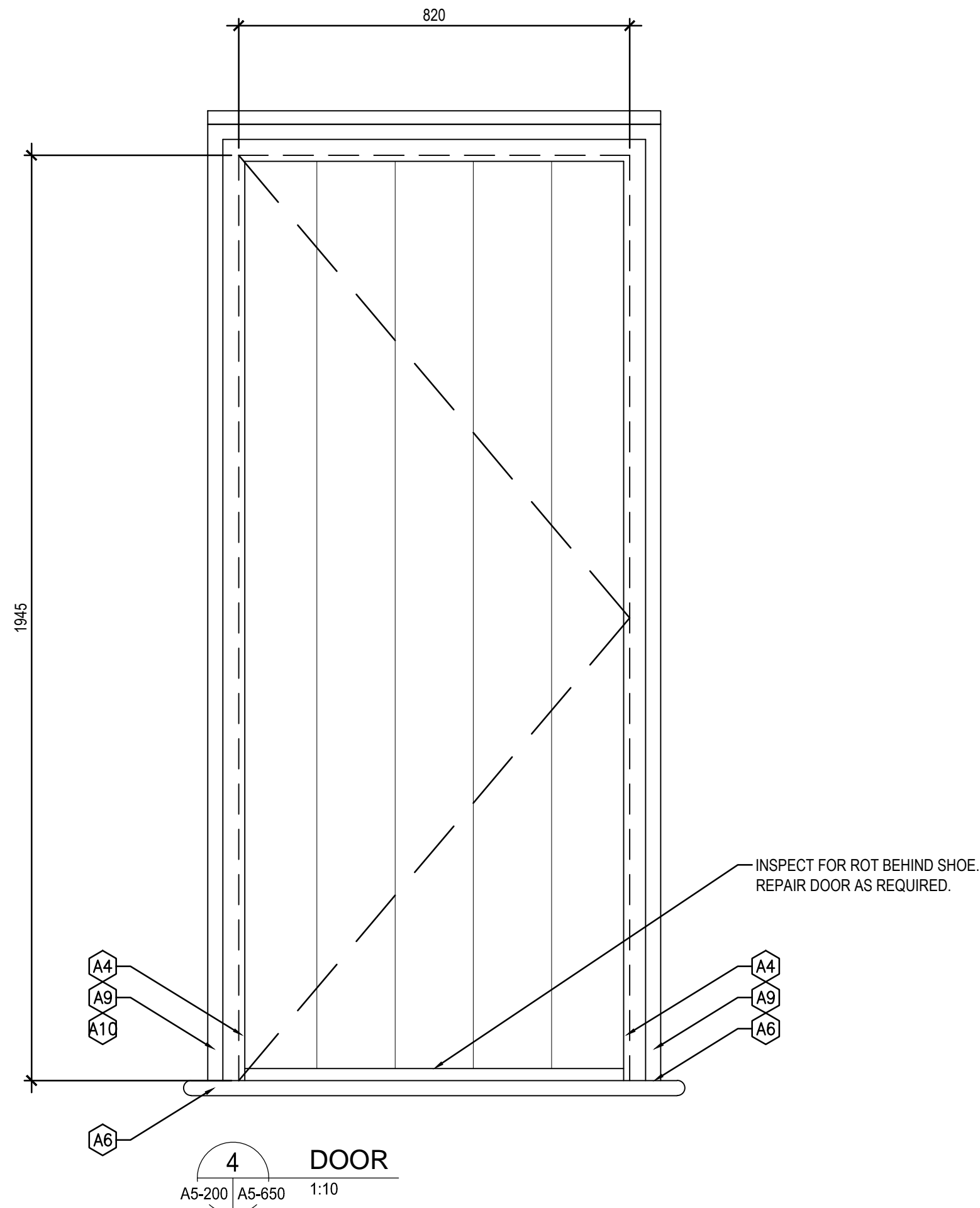
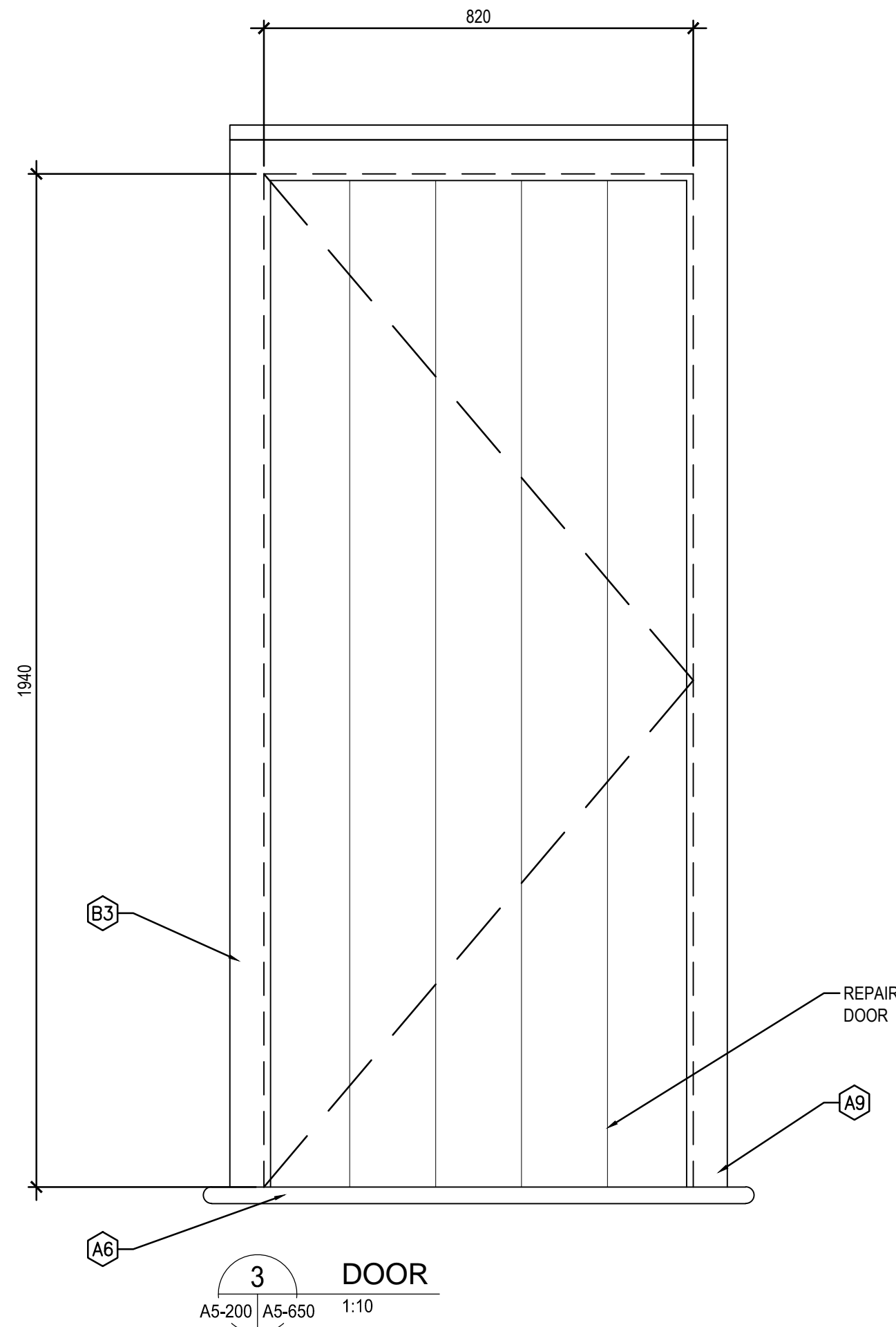
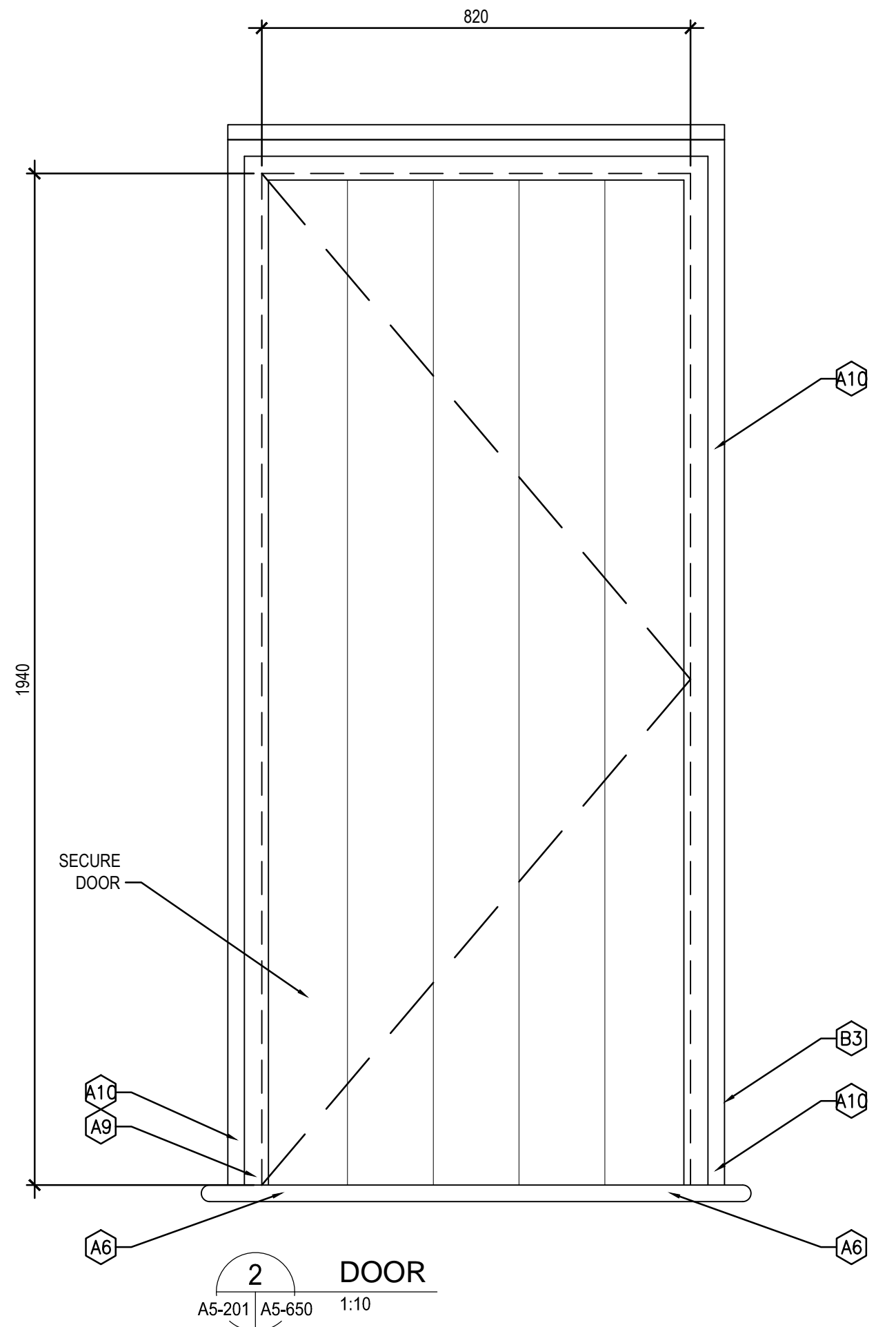
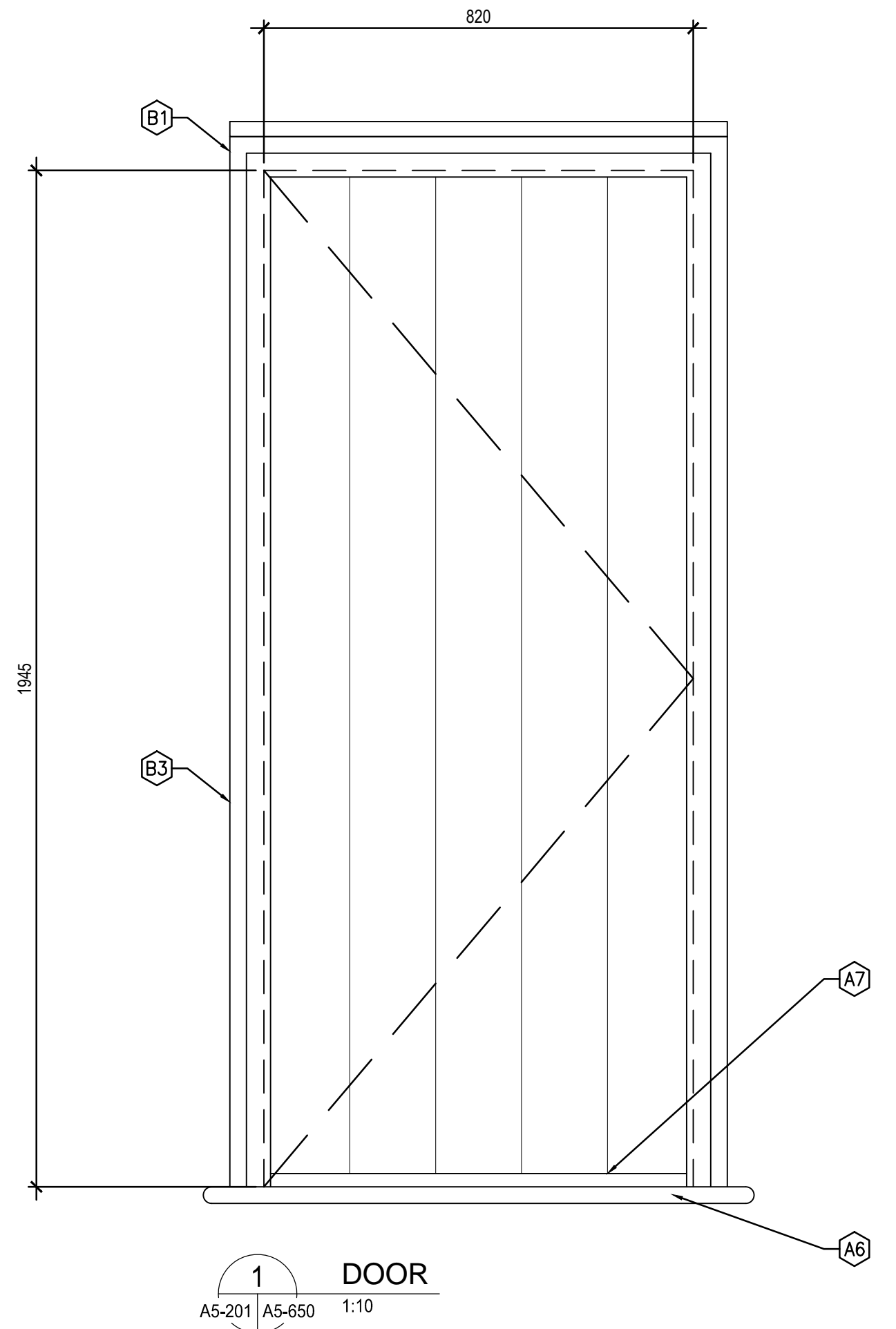
D3
A5-200 A5-600 1:20

GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE. SITE CONDITIONS, WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.



GENERAL NOTES:

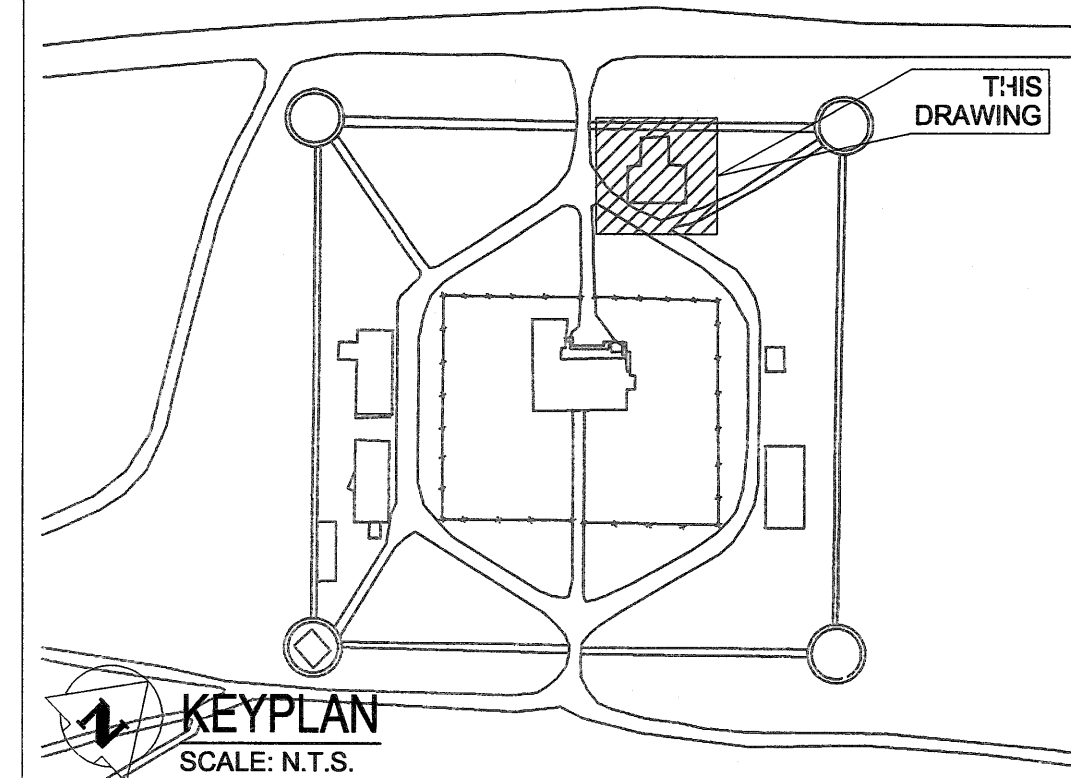
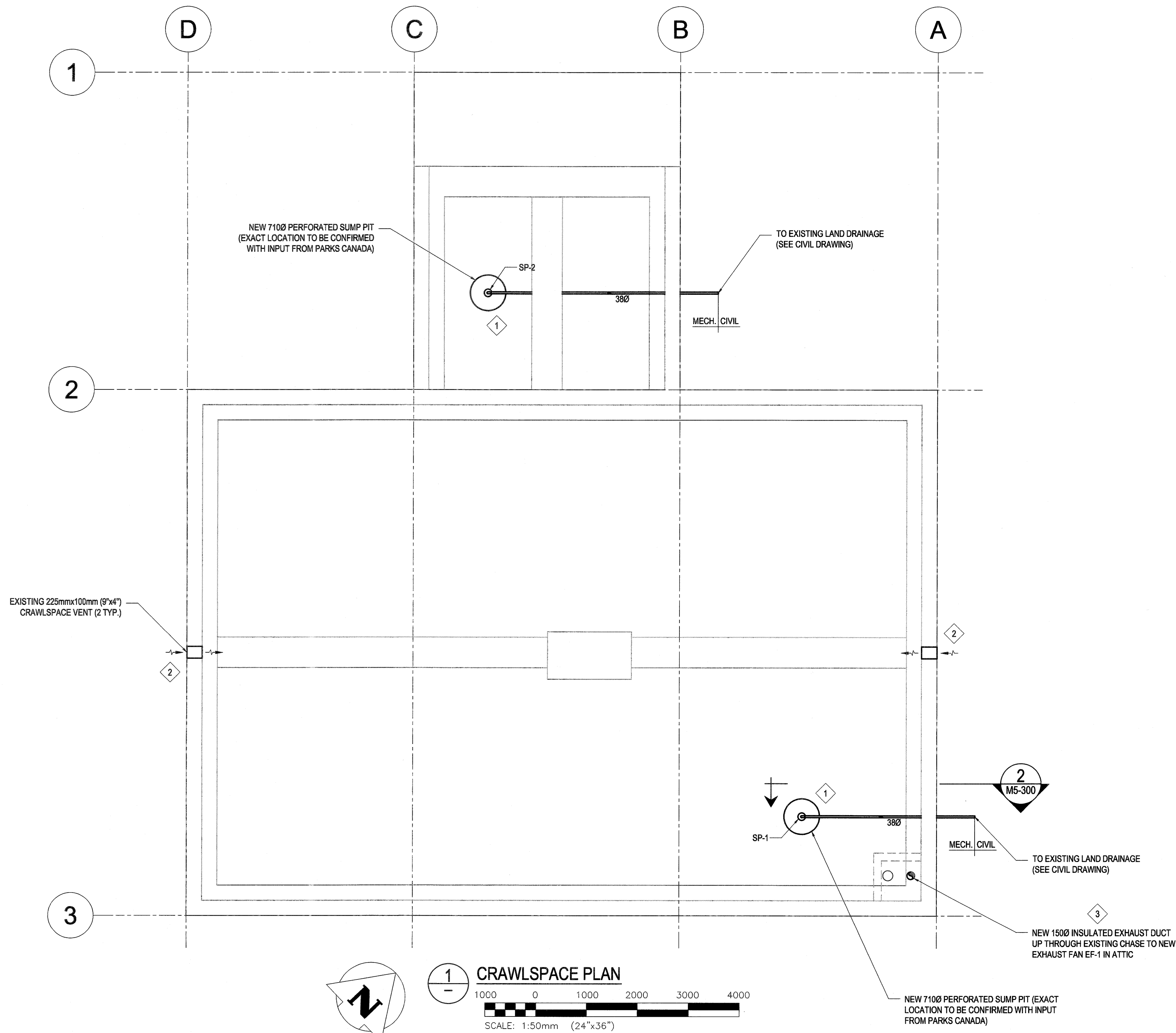
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- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPER, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
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- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
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 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

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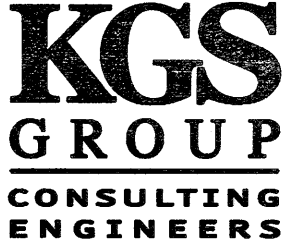


GENERAL NOTES:

SEE DRAWING MG-000

KEYNOTES:

1. INSTALL NEW SABER SUMP PITS, PUMPS (SP-1 & SP-2) AND DISCHARGE PIPING BELOW FLOOR. PROVIDE EXCAVATION, BACK FILLING AND DE-WATERING. COORDINATE REMOVAL OF FLOOR BOARDS WITH ARCHITECTURAL. SEE STRUCTURAL FOR CORING REQUIREMENTS FOR DISCHARGE PIPE. COORDINATE EXTERIOR DISCHARGE LINE WITH CIVIL.
2. ENSURE EXISTING CRAWLSPACE VENTS ARE FREE OF OBSTRUCTION PRIOR TO OPERATION OF EXHAUST FAN EF-1. NEW CRAWLSPACE VENT COVERS TO BE COORDINATED WITH ARCHITECTURAL.
3. TERMINATE NEW EXHAUST DUCT WITHIN CRAWLSPACE CW 12mmx12mm GALV. MESH SCREEN. RUN DUCT UP TO ATTIC SPACE THROUGH MAIN FLOOR CHASE. INSULATE DUCT.

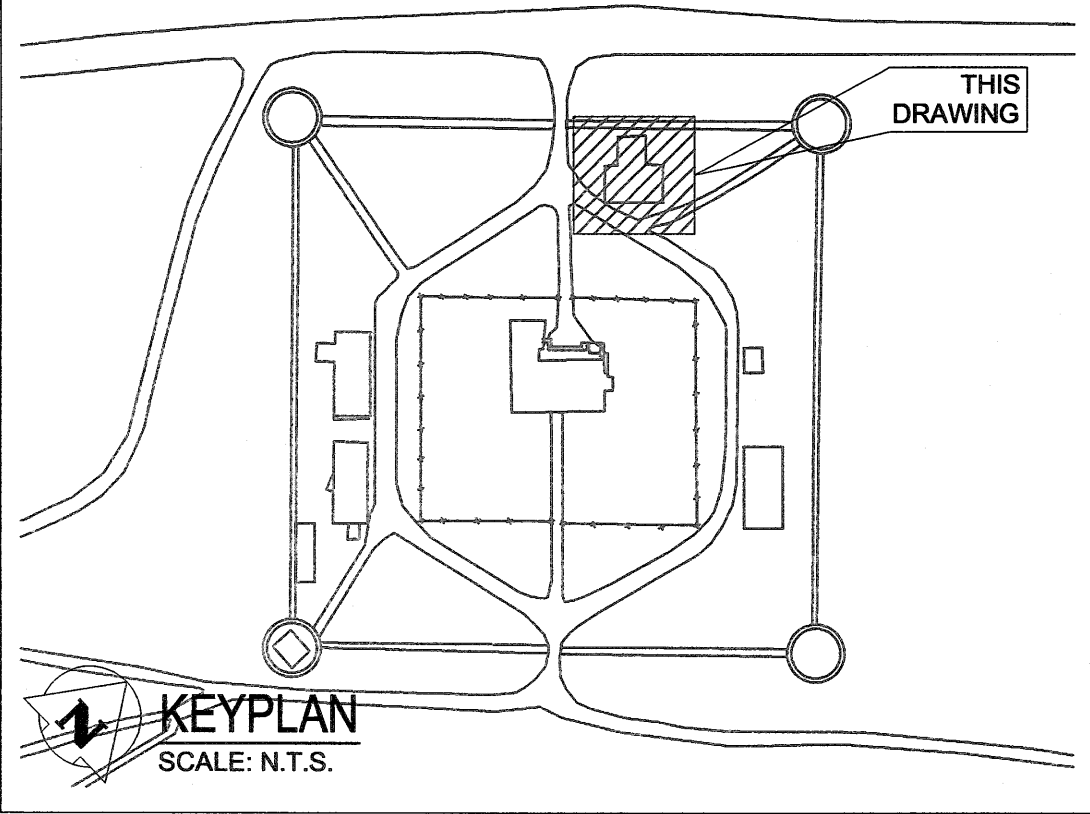
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | | |  | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6S8 TEL: 204-477-1280 FAX: 204-477-4 architecture49.com | | | | |
| Parcs Canada Strategic Asset Management Western and Northern Region | | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant  | | | | |
| Project title/Titre du projet LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin MEN'S HOUSE CRAWLSPACE PLAN PLUMBING & HVAC - NEW | | | | |
| Surveyed by/Arpenté par LNLM | | Drawn by/Dessiné par LNLM | | Date 2018/02/21 |
| Designed by/Concept par LNLM | | Reviewed by/Revisé par | | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet 1803 | | Asset No./N° du bien 1254 | | Sheet No./ N° de la feuille M5-100 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | |

SCALE VERIFIED BY: 

Filename: P:\Projects\2018\18-0051-001\Dwg\Mech\18-0051-001_M5-120 - Tab:M5-120 Plotted By: DDeroche 18/04/25 [Wed 1:59pm]

| EXHAUST FAN SCHEDULE | | | | | | | | | | | | | | | | |
|----------------------|--|----------|----------|--------|------------|---------|-----------|-------|-------|----------|------------|----------|------------|----------|----------|---|
| TAG | DESCRIPTION | AIR FLOW | | E.S.P. | | FAN RPM | | SOUND | | | FAN MOTOR | | DIMENSIONS | | | ACCESSORIES |
| | | (L/s) | (C.F.M.) | (Pa) | (IN. W.G.) | DESIGN | MIN./MAX. | INLET | | RADIATED | POWER (HP) | VOLTS/Ph | LENGTH | WIDTH | HEIGHT | |
| | | | | | | | | (dB) | SONES | (dB) | | | mm (in.) | mm (in.) | mm (in.) | |
| EF-1 | SQUARE INLINE, BACKWARD INCLINED, DIRECT DRIVE C/W VARIABLE SPEED MOTOR AND CONTROLLER | 48 | 100 | 65 | .258 | 1474 | 300/1725 | 44 | 3.5 | 35 | 1/10 | 115/1 | 400 (16) | 300 (12) | 300 (12) | VARIABLE SPEED CONTROL, INSULATED HOUSING |

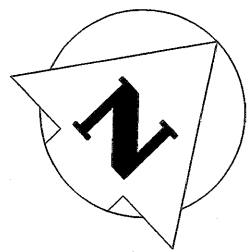
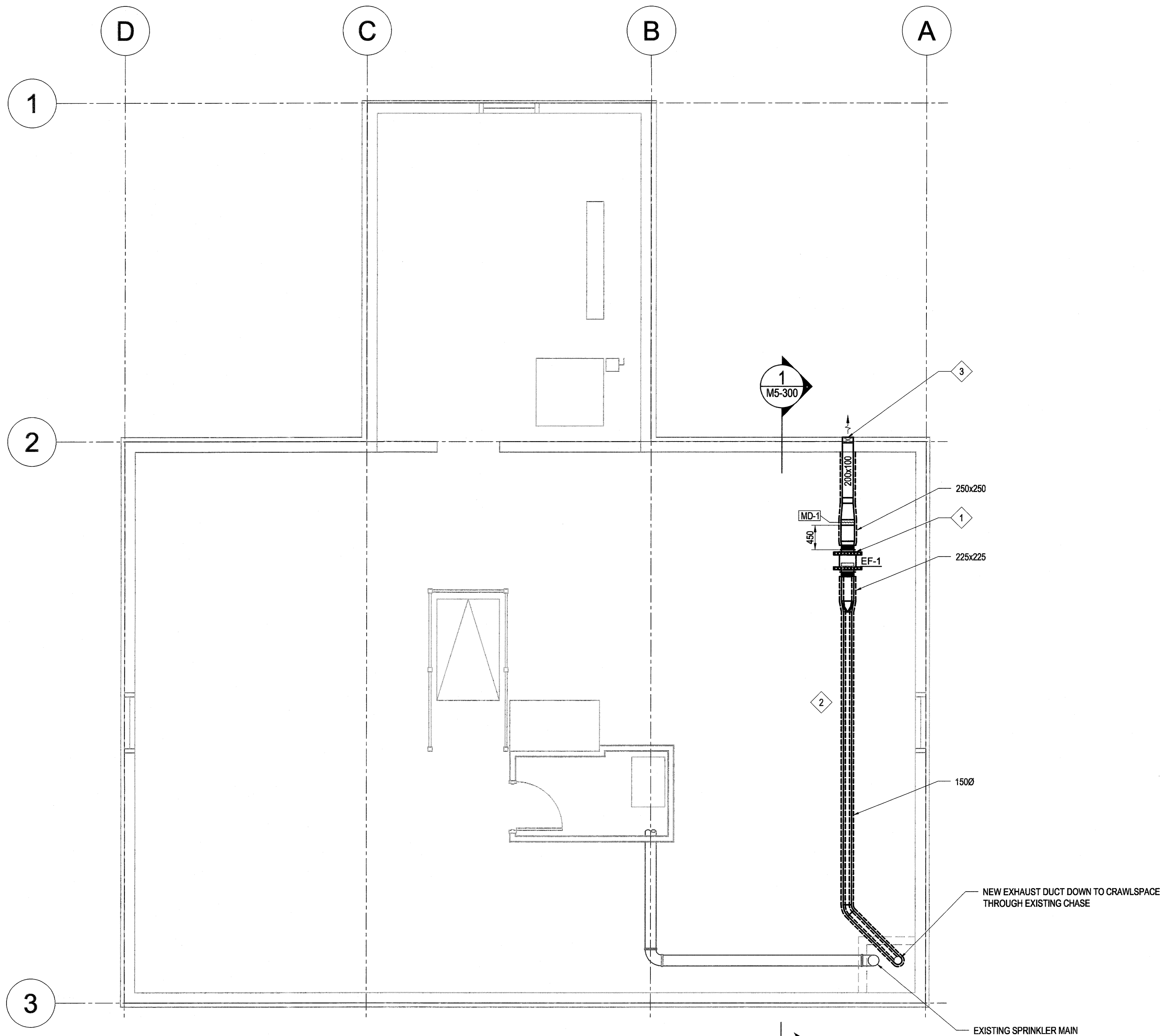
| MOTORIZED DAMPER SCHEDULE | | | | |
|---------------------------|----------------------------|----------|----------|---------------------------------|
| TAG | DESCRIPTION | SIZE | | ACTUATOR |
| | | WIDTH | HEIGHT | |
| | | mm (in.) | mm (in.) | |
| MD-1 | INSULATED MOTORIZED DAMPER | 250 (10) | 250 (10) | 120V, OPEN/CLOSE, SPRING RETURN |



GENERAL NOTES:
SEE DRAWING MG-000

KEYNOTES:

- 1 INSTALL NEW EXHAUST FAN AS SHOWN. PROVIDE FLEXIBLE CONNECTIONS AND SPRING VIBRATION ISOLATION HANGERS (TYP.).
- 2 INSTALL NEW INSULATED DUCTWORK AS SHOWN. ROUTE DUCTWORK TO AVOID INTERFERENCE WITH EXISTING SPRINKLER PIPING. ACOUSTICALLY LINE SUCTION SIDE DUCTWORK FROM THE FAN INLET TO ATTIC FLOOR. (DUCT SIZES SHOWN ARE INSIDE DIMENSIONS. THE SIZE OF ACOUSTICALLY LINED DUCTWORK MUST BE INCREASED BY THE THICKNESS OF LINING (x2)).
- 3 INSTALL NEW 200x100 EXHAUST FAN OUTLET BETWEEN EXISTING RAFTERS. PRIME AND PAINT (BOTH INSIDE AND OUTSIDE) DUCT AND BIRDSCREEN BLACK, MATTE FINISH. EXISTING OPENINGS WOULD HAVE TO BE ENLARGED TO ACCOMMODATE DUCT. COORDINATE WITH ARCHITECTURAL.




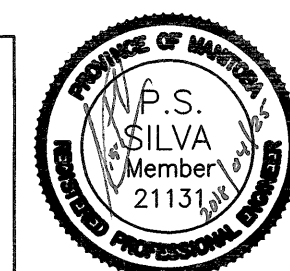


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SECOND FLOOR (ATTIC) PLAN

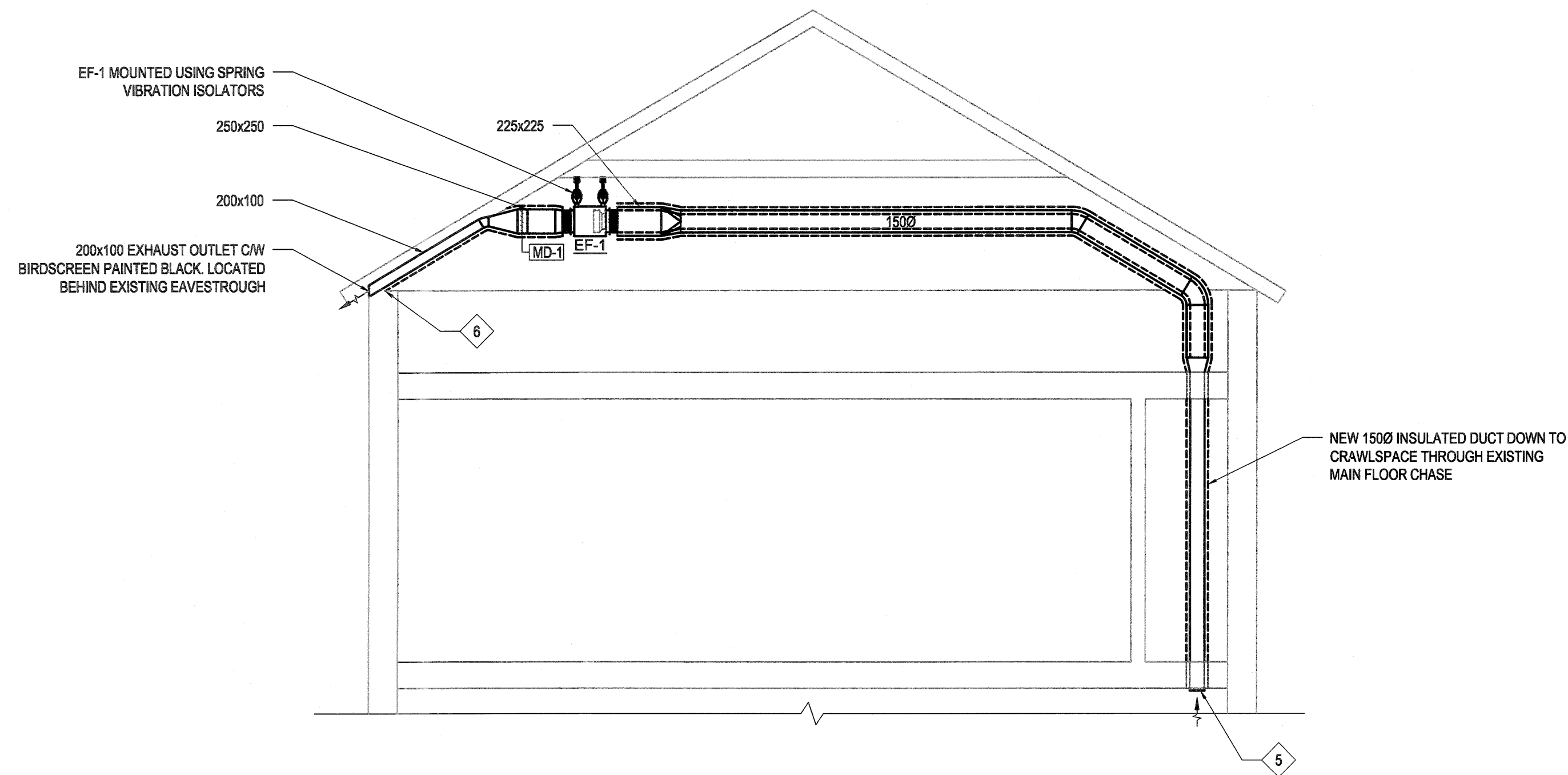
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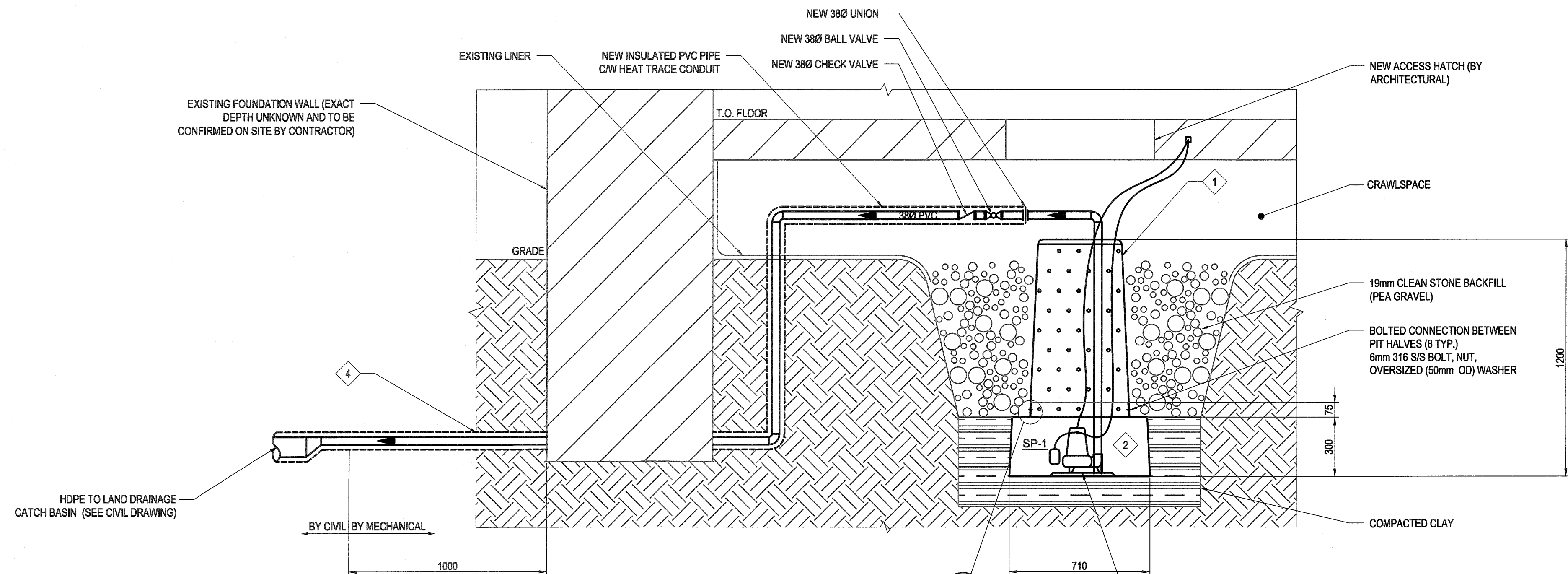
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| Revision / Revision | | | | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | | | | |
| Eng. Stamp Scellum de l'ingénieur | | | | | | | |
| <div><div> Certificate of Authorization KGS Group No. 245</div><div></div></div> | | | | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | | | | |
| ARCHITECTURE 49 | | | | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-6 architecture49.com | | | | | | | |
| <div><div> Parks Canada</div><div>Strategic Asset Management, Western and Northern Region</div></div> <div><div>Parcs Canada</div><div>Gestion Stratégique des Biens, Région de l'Ouest et du Nord</div></div> | | | | | | | |
| Canada | | | | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | | | | |
| Sub Consultant | | | | | | | |
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| Project title/Titre du projet | | | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | | | |
| Drawing title/Titre du dessin | | | | | | | |
| MEN'S HOUSE SECOND FLOOR PLAN HVAC - NEW | | | | | | | |
| Surveyed by/Arpenté par LNM | | Drawn by/Dessiné par LNM | | Date 2018/02/21 | | | |
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| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | | | | |
| | | | Date | | | | |
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| Drawing Set No./N° de série du dessin 18-0051-001 | | | | | | | |

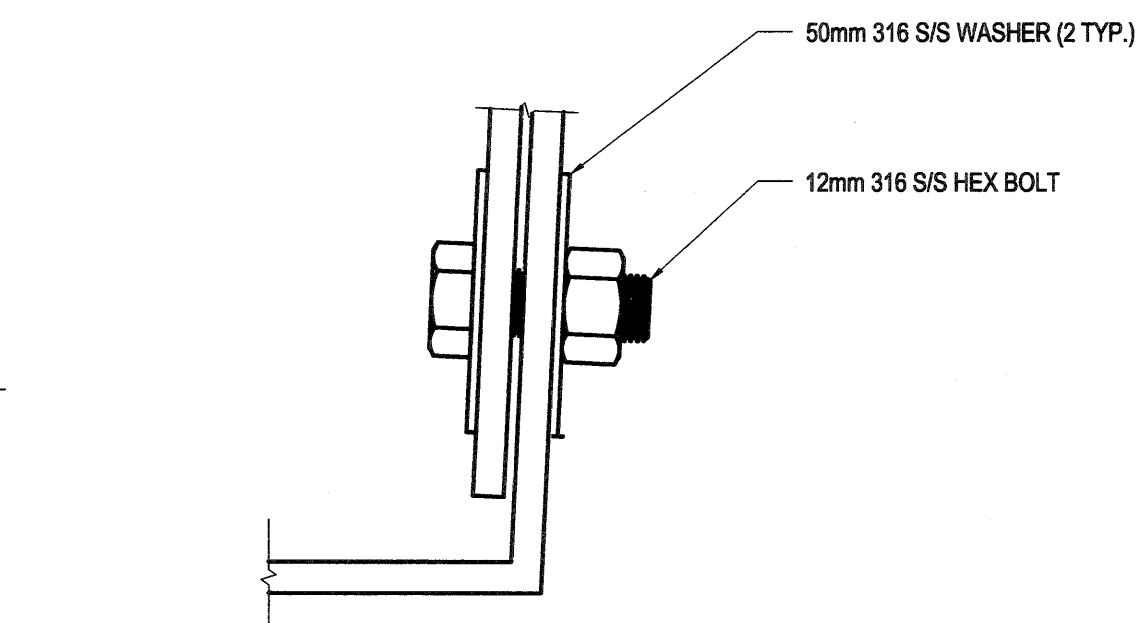
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1 SECTION
M5-120 SCALE: N.T.S.



2 SECTION
M5-100 SCALE: N.T.S.






3 BOLTED CONNECTION DETAIL
SCALE: N.T.S.

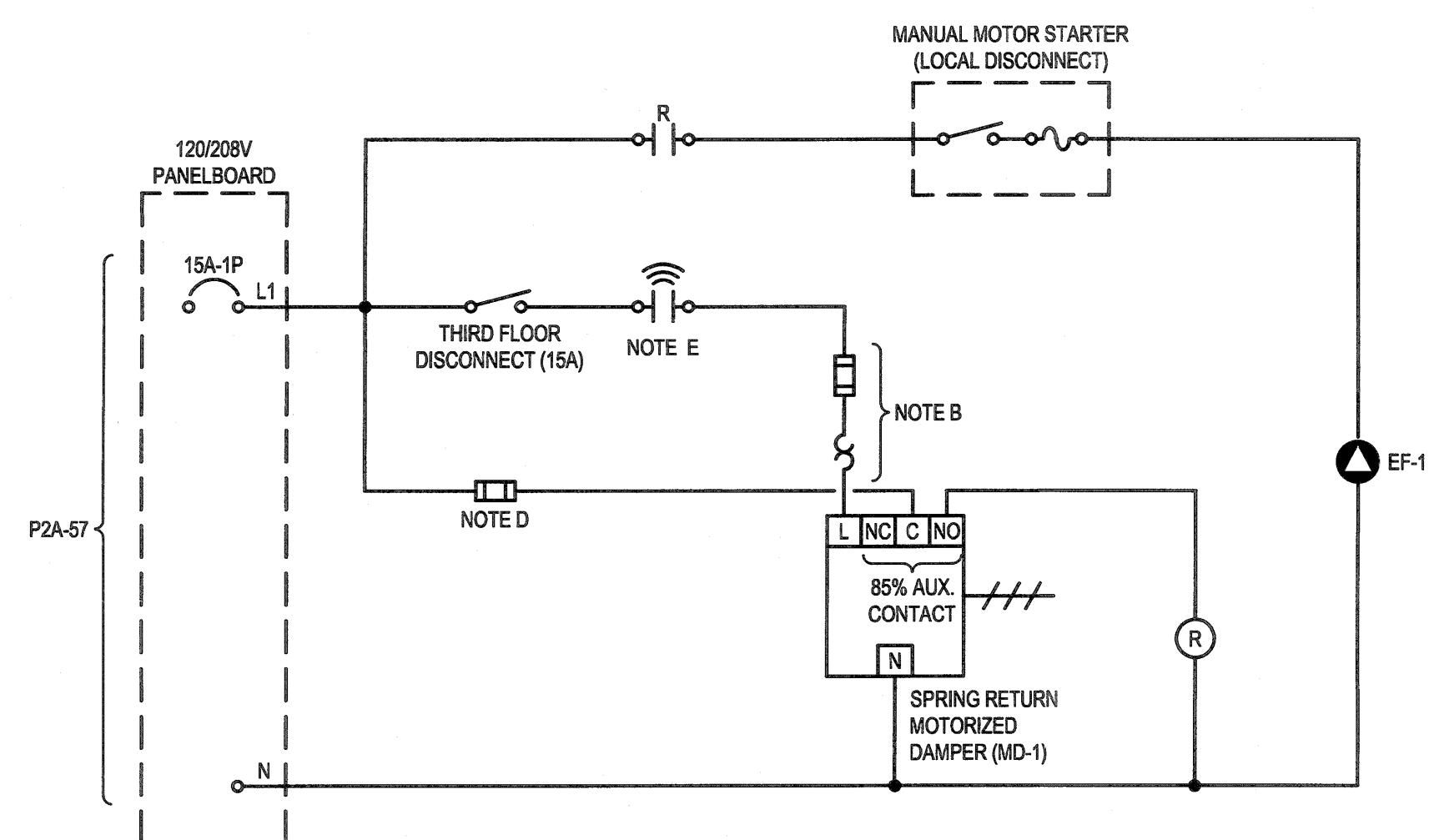
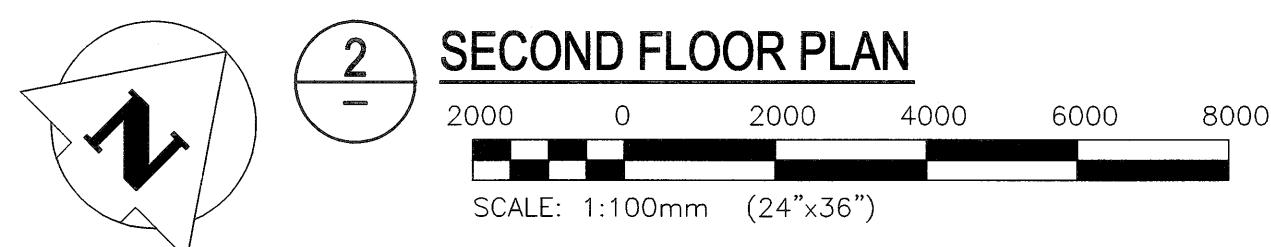
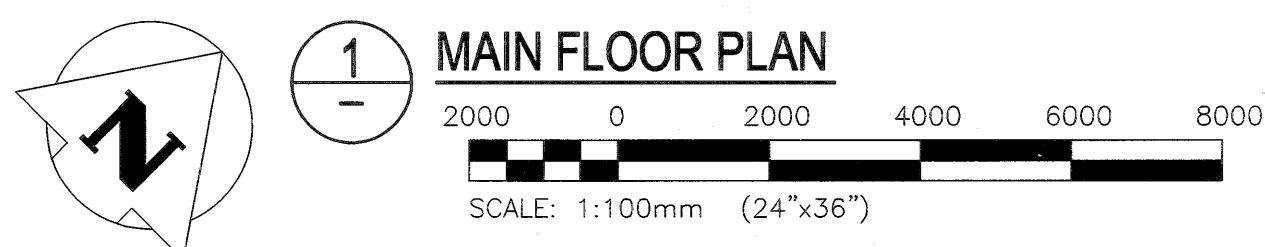
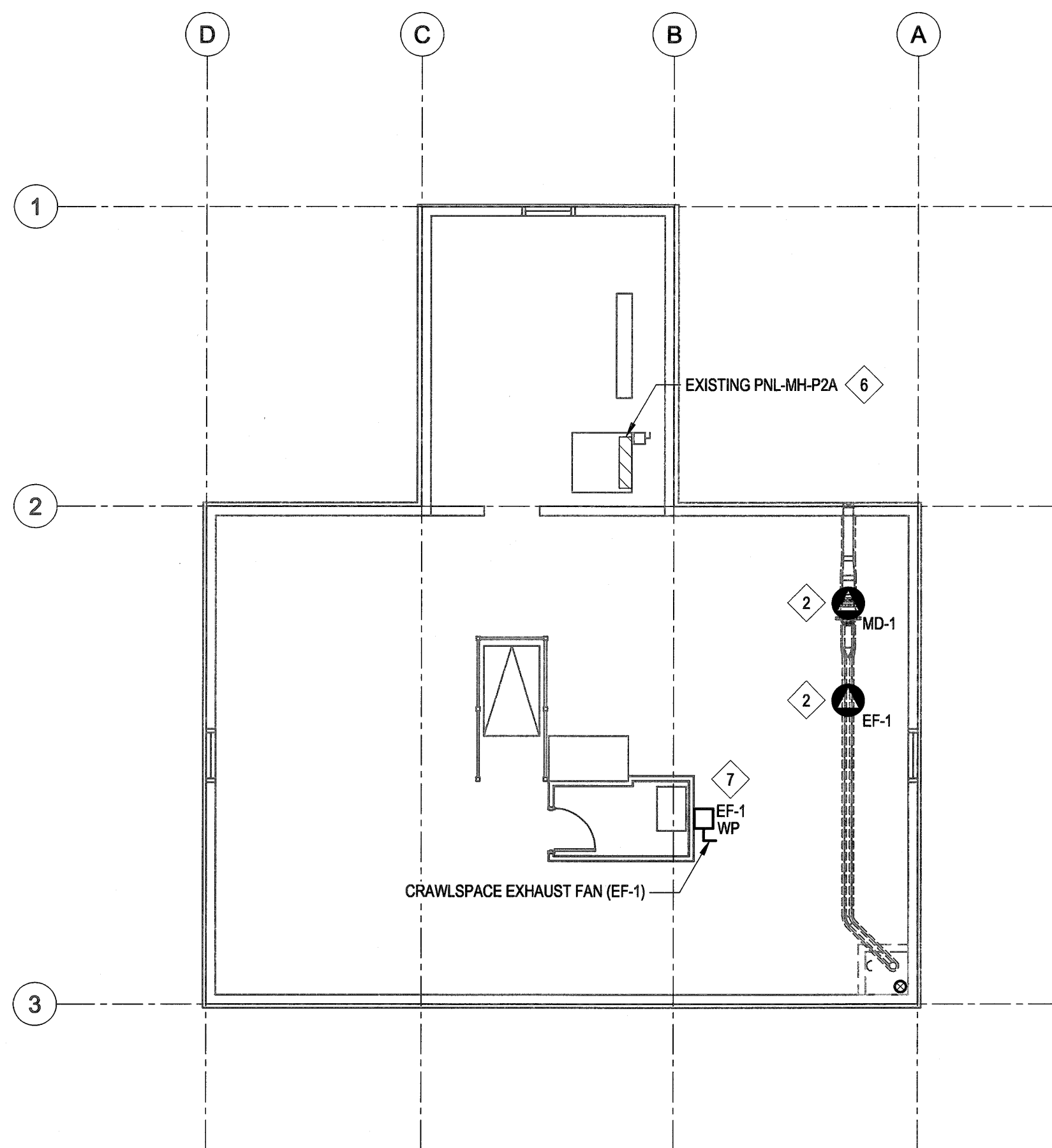
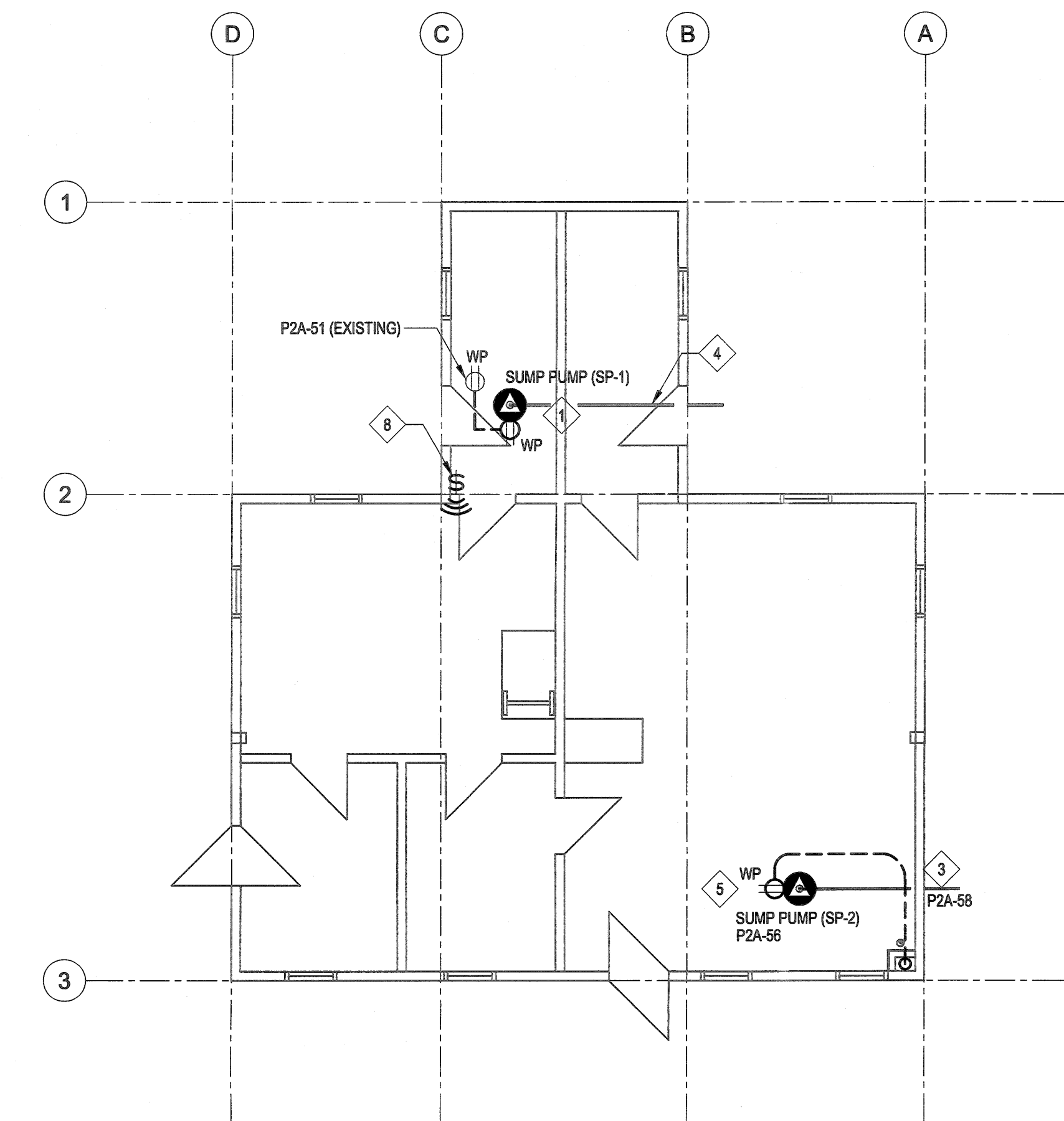
GENERAL NOTES:

SEE DRAWING MG-000

KEYNOTES:

- 1 CUSTOMIZED SABER PIT MADE USING TWO REGULAR PITS. CUT ONE PIT MINIMUM OF 75mm ABOVE BASE (DISCARD TOP PORTION). CUT OTHER PIT AT BASE (DISCARD BASE). INSERT TOP PORTION TO THE BASE ONCE INSIDE CRAWLSPACE AND FASTEN USING 316 STAINLESS STEEL HARDWARE. (THIS IS REQUIRED TO BRING THE PIT INTO THE CRAWLSPACE THROUGH THE FLOOR JOISTS. CUTTING OF FLOOR JOISTS IS NOT ALLOWED.)
- 2 INSTALLATION OF THE PITS SHALL BE DONE BY A CONTRACTOR WHO IS SPECIALIZED IN SABER PIT INSTALLATIONS. WHO SHALL VISIT THE SITE PRIOR TO BIDDING. PROTECT BUILDING FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. (SEE ARCHITECTURAL FOR REQUIREMENTS FOR THE PROTECTION OF HISTORIC BUILDINGS.)
- 3 INSTALL SUMP PUMP IN A MANNER THAT WILL ALLOW FOR EASY REMOVAL IN WINTER. (PUMP WILL BE RE-INSTALLED IN THE SPRING.) PROVIDE ADDITIONAL UNIONS AS REQUIRED.
- 4 PROVIDE CORING FOR PIPE PENETRATION. SEAL PENETRATION WATER TIGHT. SEE STRUCTURAL FOR DETAILS.
- 5 PROVIDE 6mmx6mm MESH SCREEN
- 6 COORDINATE PENETRATION WITH ARCHITECTURAL. SEAL PENETRATION WEATHER TIGHT. PRIME & PAINT INSIDE & OUTSIDE OF DUCT MINIMUM 300mm FROM THE OUTLET AND BIRDSCREEN. FINISH: MATTE BLACK.

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| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-61 architecture49.com | | | | |
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| Sub Consultant | | | | |
| KGS GROUP CONSULTING ENGINEERS | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| MEN'S HOUSE SECTIONS & DETAILS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| LNM | | LNM | | 2018/02/21 |
| Designed by/Concept par | | Reviewed by/Révisé par | | Scale/Echelle |
| LNM | | | | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | Date |
| | | | | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./N° de la feuille |
| 1603 | | 1254 | | M5-300 |
| Drawing Set No./N° de série du dessin | | | | |
| 18-0051-001 | | | | |



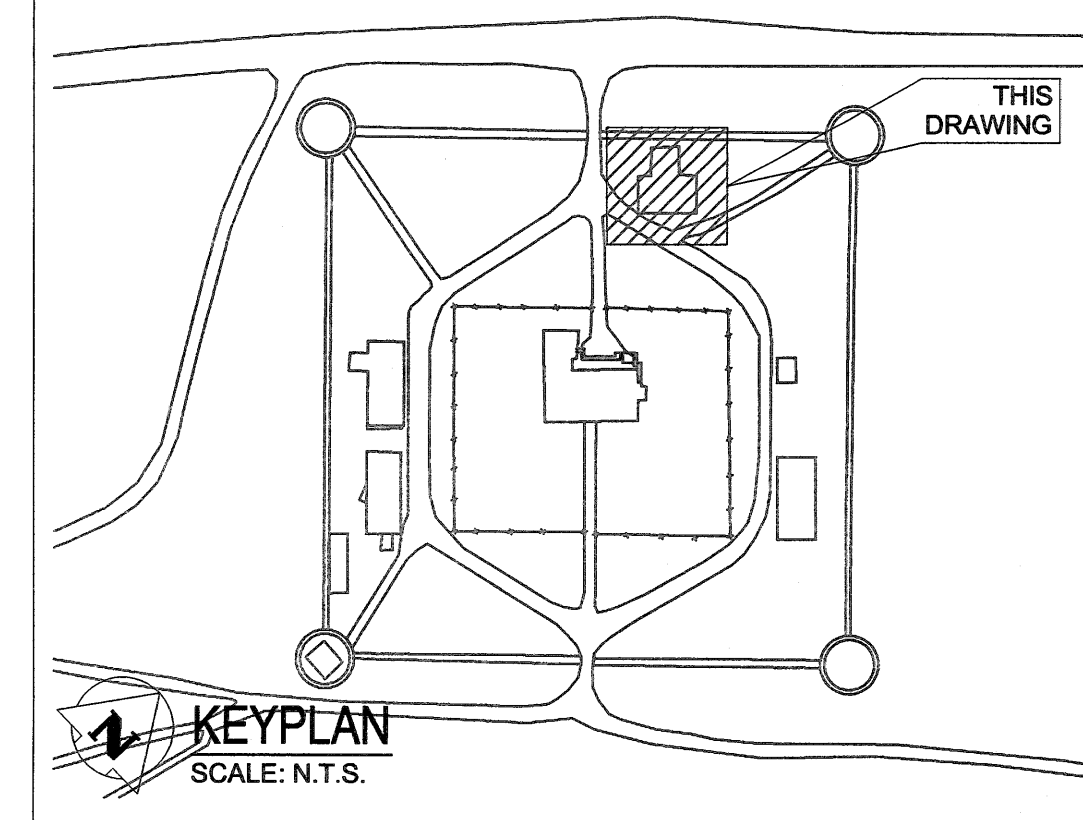
A **EXHAUST FAN CONTROLS DETAIL (MEN'S HOUSE)**
SCALE: N.T.S.

DETAIL NOTES:

- A) THE WIRING SCHEMATIC SHOWN IS DIAGRAMMATIC ONLY. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE SUPPLIED EQUIPMENT INSTALLATION MANUALS FOR THE EXACT CONTROL WIRING REQUIREMENTS.
- B) PROVIDE FUSE AND OVERLOAD PROTECTION AS RECOMMENDED BY THE MOTORIZED DAMPER MANUFACTURER.
- C) INTERLOCK THE EXHAUST FAN TO START AFTER ALL THE MOTORIZED DAMPERS OPEN TO 85%.
- D) SIZE FUSE TO SUIT THE MOTORIZED DAMPER CONTACT RATING.
- E) WIRELESS RECEIVER RELAY.

SEQUENCE OF OPERATION

1. WHEN INITIATED, OPEN MOTORIZED DAMPERS MD-1, MD-2 AND MD-3. ONCE MOTORIZED DAMPERS ARE OPEN TO 85%, START EXHAUST FAN EF-1.
2. WHEN SPACE HUMIDITY FALLS BELOW SET POINT, TURN EF-1 OFF AND CLOSE DAMPERS.








GENERAL NOTES:

1. RUN ALL WIRING FROM THE ATTIC SPACE TO THE CRAWLSPACE VIA THE EXISTING MECHANICAL / ELECTRICAL CHASE IN THE NORTH EAST CORNER OF THE MAIN FLOOR.

KEYNOTES:

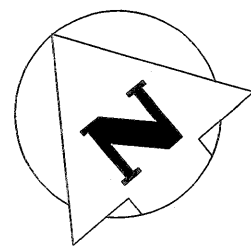
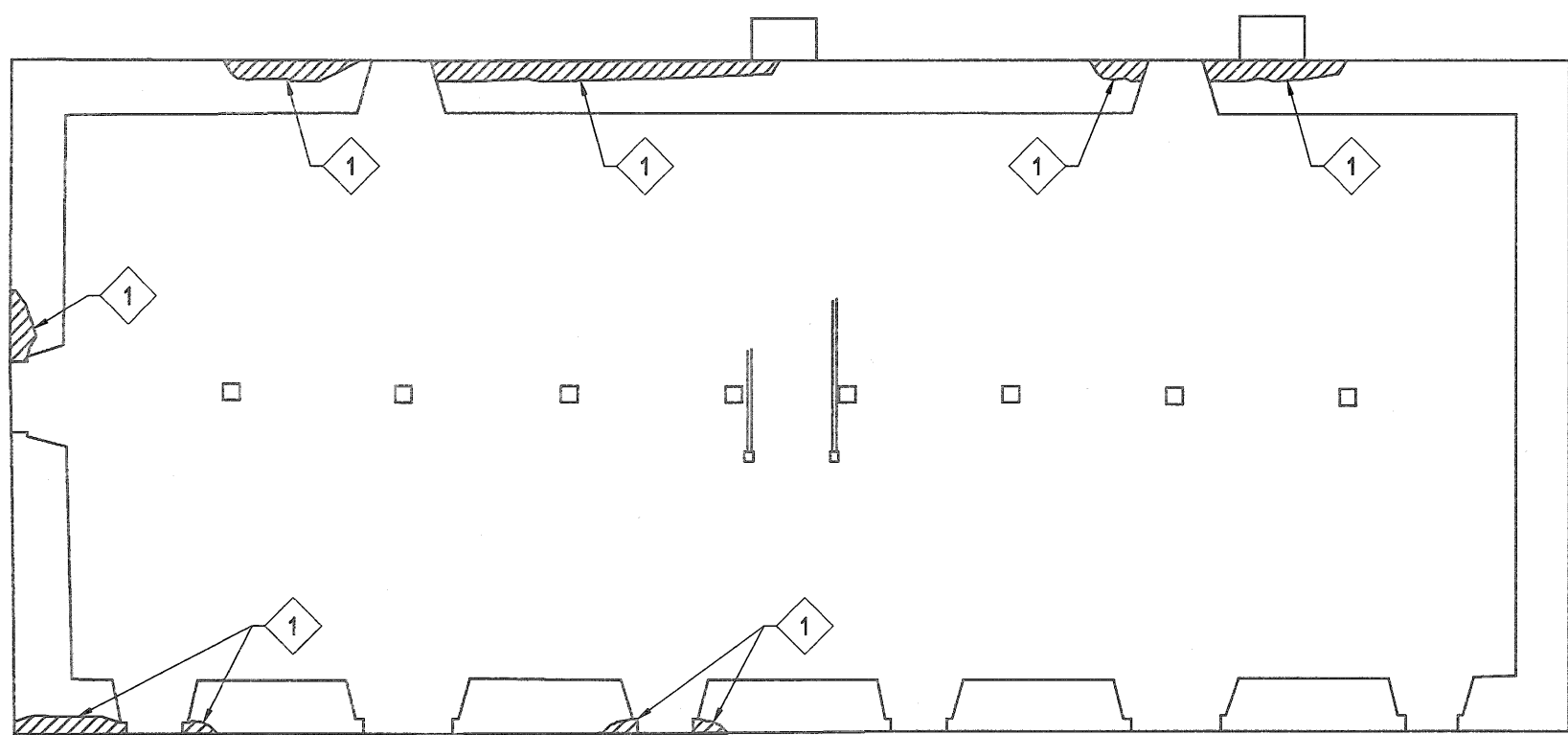
- 1 PROVIDE A NEW 15A DUPLEX RECEPTACLE FOR THE NEW SUMP PUMP UNDERNEATH THE FLOOR BOARDS COMPLETE WITH NEW WIRING FROM THE LOCAL RECEPTACLE CIRCUIT (P2A-S1). THE NEW WIRING SHALL BE #2 #12 AWG CU (+ GROUND) TECK90 CABLE.
- 2 PROVIDE ONE NEW LINE VOLTAGE CONTROLS AND POWER FOR THE NEW EXHAUST FAN SYSTEM INCLUDING THE EXHAUST FAN (EF-1) AND MOTORIZED DAMPER (MD-1) COMPLETE WITH WIRING, LOCAL DISCONNECT SWITCH AND SUMP 15A-1P BREAKER. RUN NEW #2 #12 AWG CU (+ GROUND) TECK90 WIRING AS REQUIRED. REFER TO DETAIL 'A' FOR THE WIRING SCHEMATIC.
- 3 HEAT TREAT ALL MECHANICAL SUMP PUMP PIPING WITHIN THE CRAWLSPACE AND THE FIRST 20m OF EXTERIOR DRAINAGE PIPING. REFER TO DETAIL 'A' ON DRAWING EF-500. PROVIDE POWER FROM THE LOCAL RECEPTACLE CIRCUIT (P2A-S1) COMPLETE WITH (30mA) GFCI PROTECTION. TE-IN NEW #2 #12 AWG CU (+ GROUND) TECK90 CABLE FROM THE NEW RECEPTACLE BACK TO THE ELECTRICAL PANEL VIA THE ELECTRICAL CHASE AND CRAWLSPACE. LOCATE THE COLD LEAD TERMINATIONS IN AN ACCESSIBLE LOCATION UNDERNEATH THE FLOOR BOARDS AND ADJACENT TO A SUMP PIT.
- 4 HEAT TREAT ALL MECHANICAL SUMP PUMP PIPING WITHIN THE CRAWLSPACE AND THE FIRST 40m OF EXTERIOR DRAINAGE PIPING. REFER TO DETAIL 'A' ON DRAWING EF-500. PROVIDE POWER FROM THE LOCAL RECEPTACLE CIRCUIT (P2A-S1) COMPLETE WITH (30mA) GFCI PROTECTION. TE-IN NEW #2 #12 AWG CU (+ GROUND) TECK90 CABLE TO THE EXISTING LOCAL RECEPTACLE. LOCATE THE COLD LEAD TERMINATIONS IN AN ACCESSIBLE LOCATION UNDERNEATH THE FLOOR BOARDS AND ADJACENT TO A SUMP PIT.
- 5 PROVIDE A NEW DEDICATED 15A DUPLEX RECEPTACLE UNDERNEATH THE FLOOR BOARDS FOR SUMP PUMP 'SP-2' COMPLETE WITH NEW WIRING AND NEW DEDICATED SUMP 15A-1P CIRCUIT BREAKERS. RUN A NEW #2 #12 AWG CU (+ GROUND) TECK90 CABLE FROM THE NEW RECEPTACLE BACK TO THE ELECTRICAL PANEL VIA THE ELECTRICAL CHASE AND CRAWLSPACE.
- 6 UPDATE PANEL SCHEDULE FOR CIRCUIT 'P2A-S1' WITH DYNATAPE LABEL TO READ 'REC. MAIN FLOOR AND SUMP PUMP (SP-1)'.
- 7 THE LAMACOID LABEL FOR THE CRAWLSPACE EXHAUST FAN STARTER SHALL READ 'CRAWLSPACE EXHAUST FAN (EF-1)'.
- 8 PROVIDE A BATTERY OPERATED WIRELESS SWITCH COMPLETE WITH RECEIVER RELAY TO SUCCESSFULLY OPERATE THE EXHAUST FAN. LOCATE THE WIRELESS SWITCH ADJACENT TO THE ALARM PANEL BEHIND THE DECORATIVE PANELING AND LOCATE THE RECEIVER RELAY IN THE ATTIC SPACE.

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| Consultant's Name Nom de l'expert-conseil | | | | | |
| ARCHITECTURE | | | 49 | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-81 architecture49.com | | | | | |
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| Sub Consultant | |  | | | |
| Project title/Titre du projet | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | |
| Drawing title/Titre du dessin | | | | | |
| MEN'S HOUSE MAIN AND SECOND FLOOR PLAN | | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par SDC | | Date 2018/02/21 | |
| Designed by/Concept par CLS | | Reviewed by/Revisé par CLS | | Scale/Echelle AS NOTED | |
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| Drawing Set No./N° de série du dessin 18-0051-001 | | | | E5-110 | |

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KEY NOTES:

1 REPOINT EXTERIOR SECTIONS OF MASONRY.
(ABOVE GRADE) APPROX. QUANTITY OF 10
SQUARE METERS.



MAIN FLOOR PLAN

SCALE: 1:100

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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur

Certificate of Authorization
KGS Group
No. 245

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant

KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

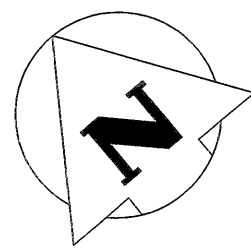
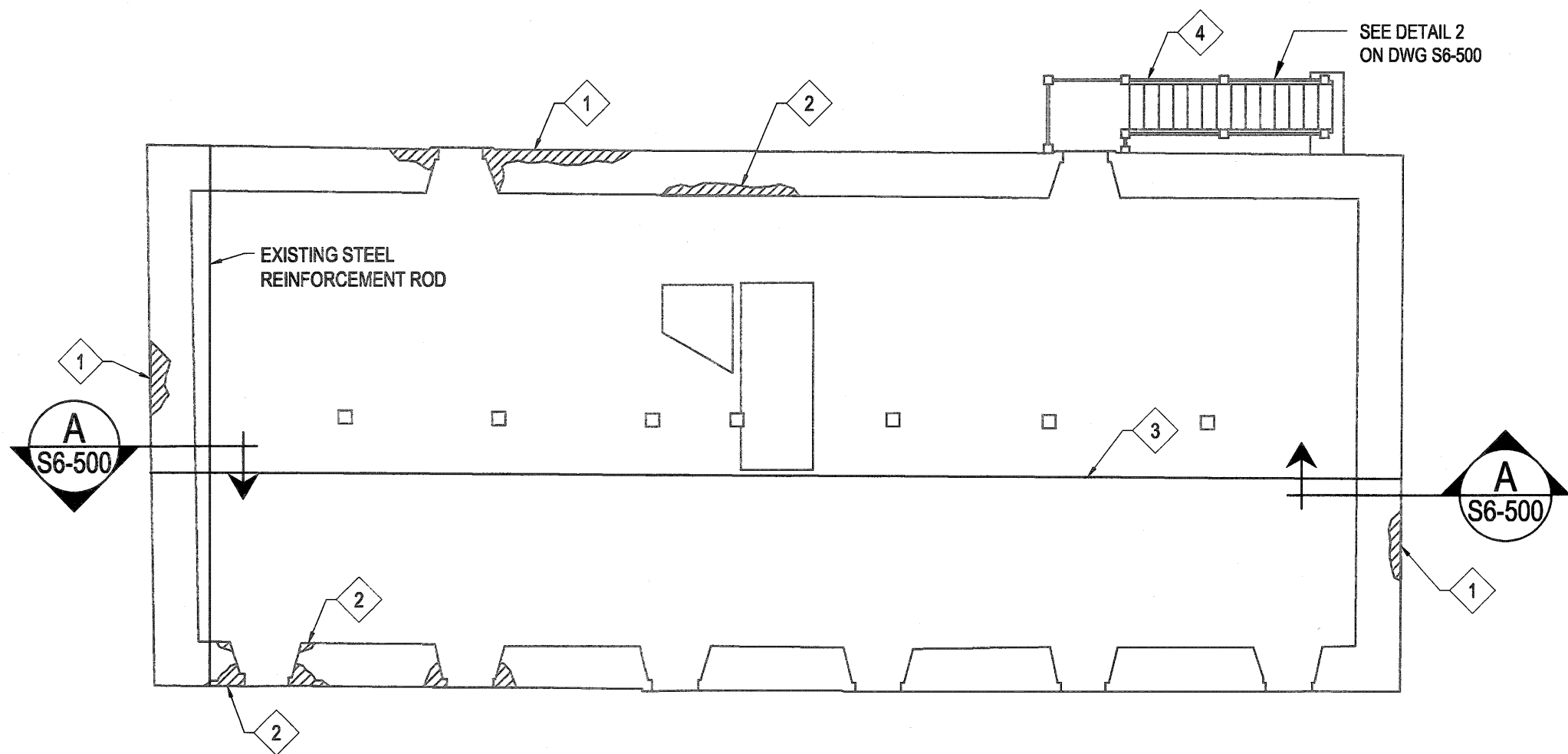
Drawing title/Titre du dessin

**WAREHOUSE
STRUCTURAL
MAIN FLOOR PLAN**

| | | |
|---|-----------------------------|----------------------------------|
| Surveyed by/Arpenté par MBB | Drawn by/Dessiné par MBB | Date 2018/02/21 |
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SECOND FLOOR PLAN
SCALE: 1:100

KEY NOTES:

- 1 REPOINT EXTERIOR SECTIONS OF MASONRY
APPROX QUANTITY OF 20 SQUARE METERS.
- 2 REPOINT INTERIOR MASONRY AND REPAINT
APPROX. QUANTITY OF 5 SQUARE METERS.
- 3 INSTALL REINFORCEMENT ROD BELOW THIRD
FLOOR JOISTS TO STABILIZE EAST AND WEST
WALLS.
- 4 REPLACE STAIR GUARDRAILS & HANDRAILS.
REPLACE WEST SUPPORT BRACE & VERTICAL
MEMBER.

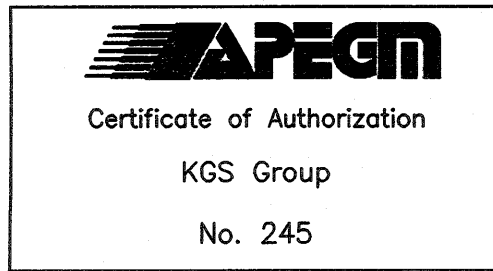
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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG, MB (CANADA) R3T 6B8
TEL: 204-477-1200 | FAX: 204-477-6 | architecture49.com



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Parcs Canada

Strategic Asset
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Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
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Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

WAREHOUSE
STRUCTURAL
SECOND FLOOR PLAN

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| | MBB | 2018/02/21 |
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| KRD | | AS NOTED |
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| Drawing Set No./N° de série du dessin | | |
| 18-0051-001 | | |

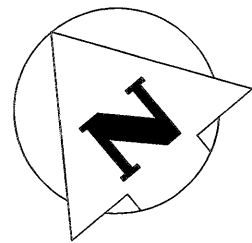
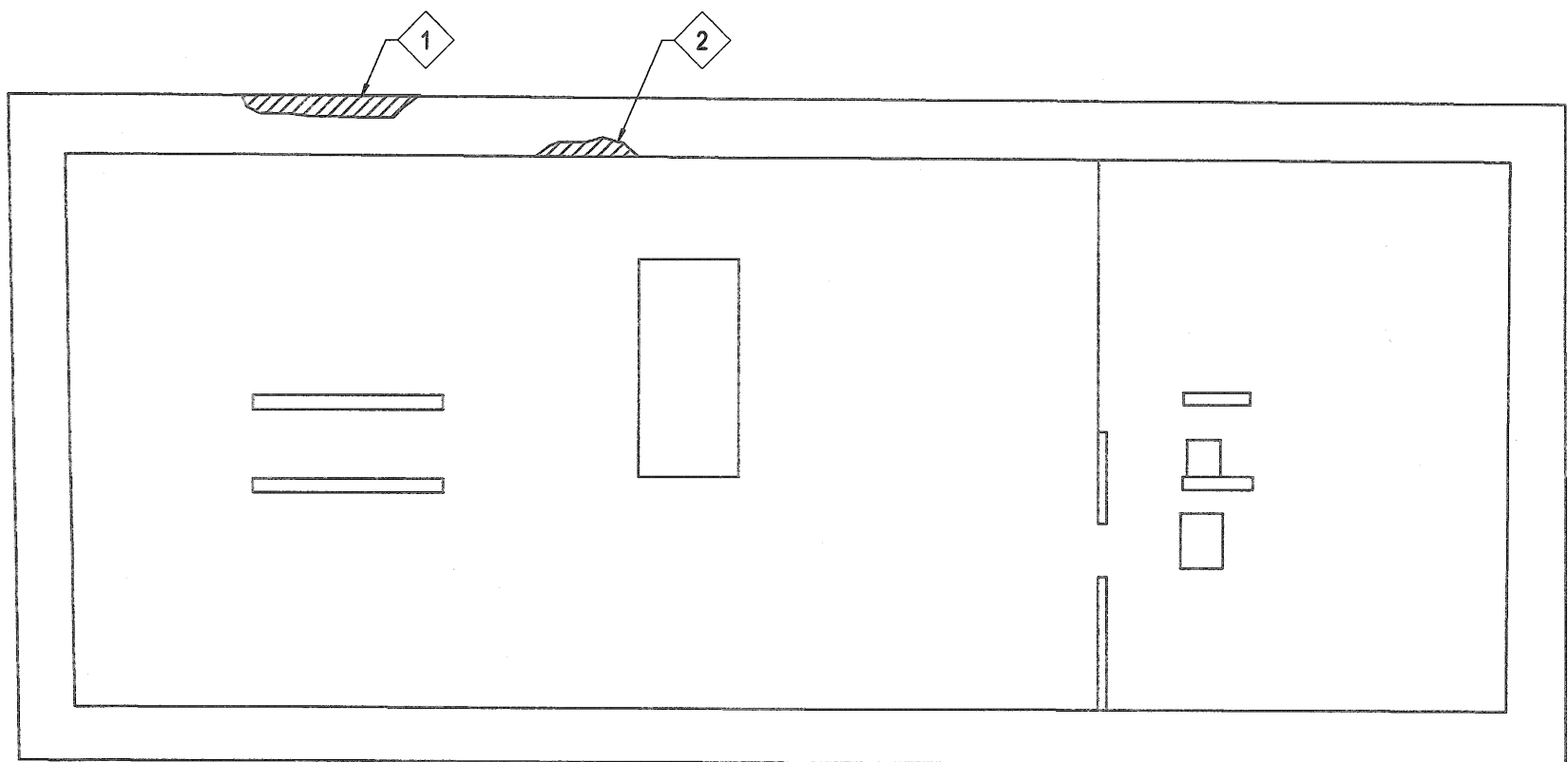
Filename: P:\Projects\2018\18-0051-001\Draw\Struct\18-0051-001_S6-130 - Tab:S6-130 Plotted By: DDeroche 18/04/25 [Wed 2:25pm]

KEY NOTES:

- 1

REPOINT EXTERIOR SECTIONS OF MASONRY.
APPROX. QUANTITY OF 2 SQUARE METERS.
- 2

REPOINT INTERIOR SECTIONS OF MASONRY AND
REPAINT. APPROX. QUANTITY OF 3 SQUARE
METERS.



THIRD FLOOR PLAN
SCALE: 1:100

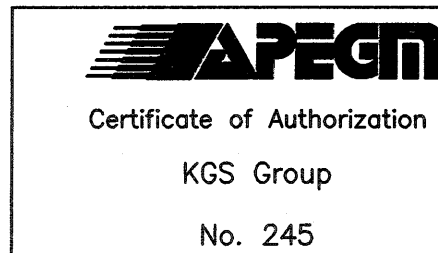
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------|-------------|-------------------------|----------------------|
|-----|------|-------------|-------------------------|----------------------|

Revision / Révision

| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
|-------------------------------------|--|
|-------------------------------------|--|

Eng. Stamp
Scellé de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1600 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



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Strategic Asset
Management,
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Region

Parcs Canada

Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

WAREHOUSE
STRUCTURAL
THIRD FLOOR PLAN

| | | |
|-------------------------|----------------------|------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | MBB | 2018/02/21 |

| | | |
|-------------------------|------------------------|---------------|
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| KRD | | AS NOTED |

| | |
|---|--------------------------|
| Client Acceptance/Acceptation du client | Approved by/Approuvé par |
|---|--------------------------|

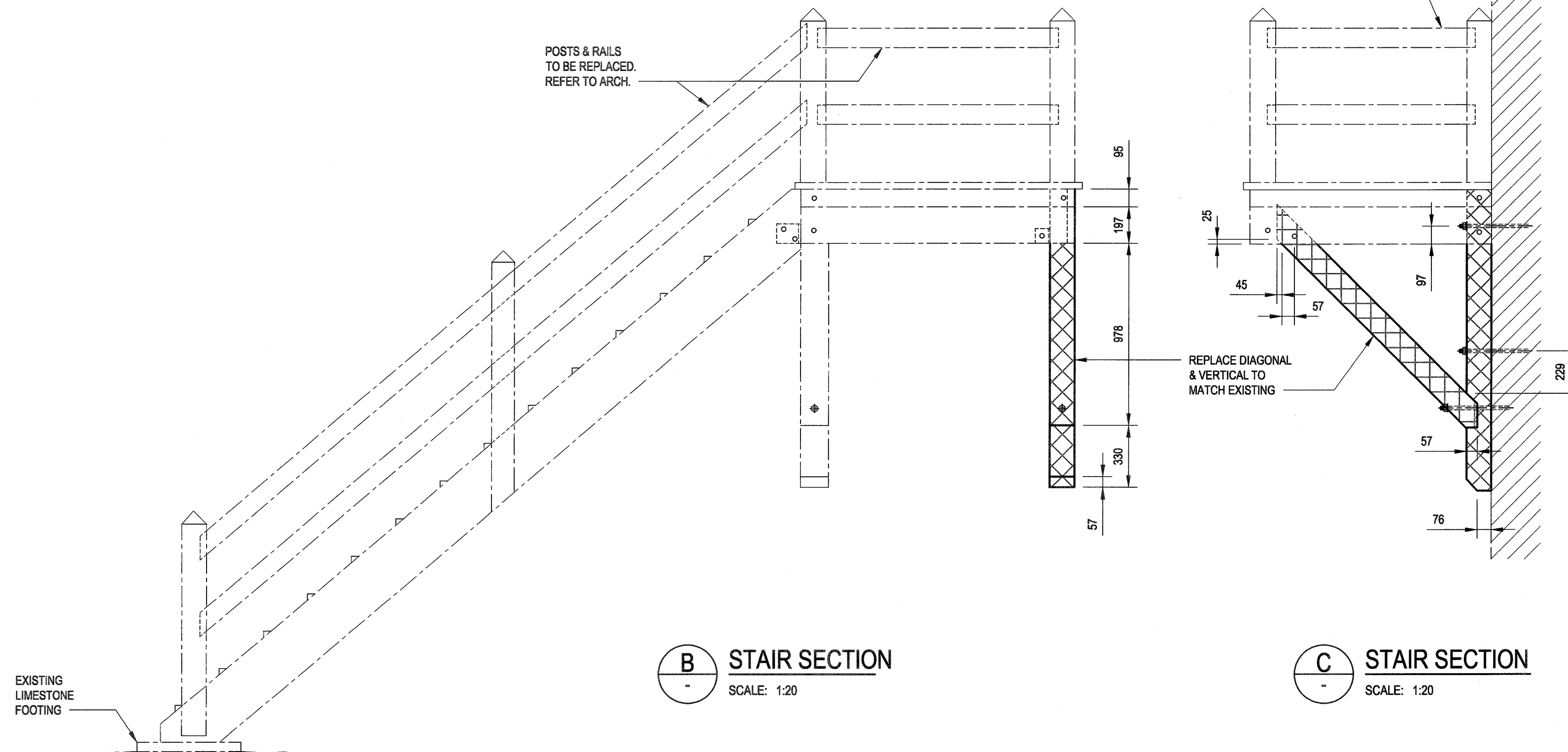
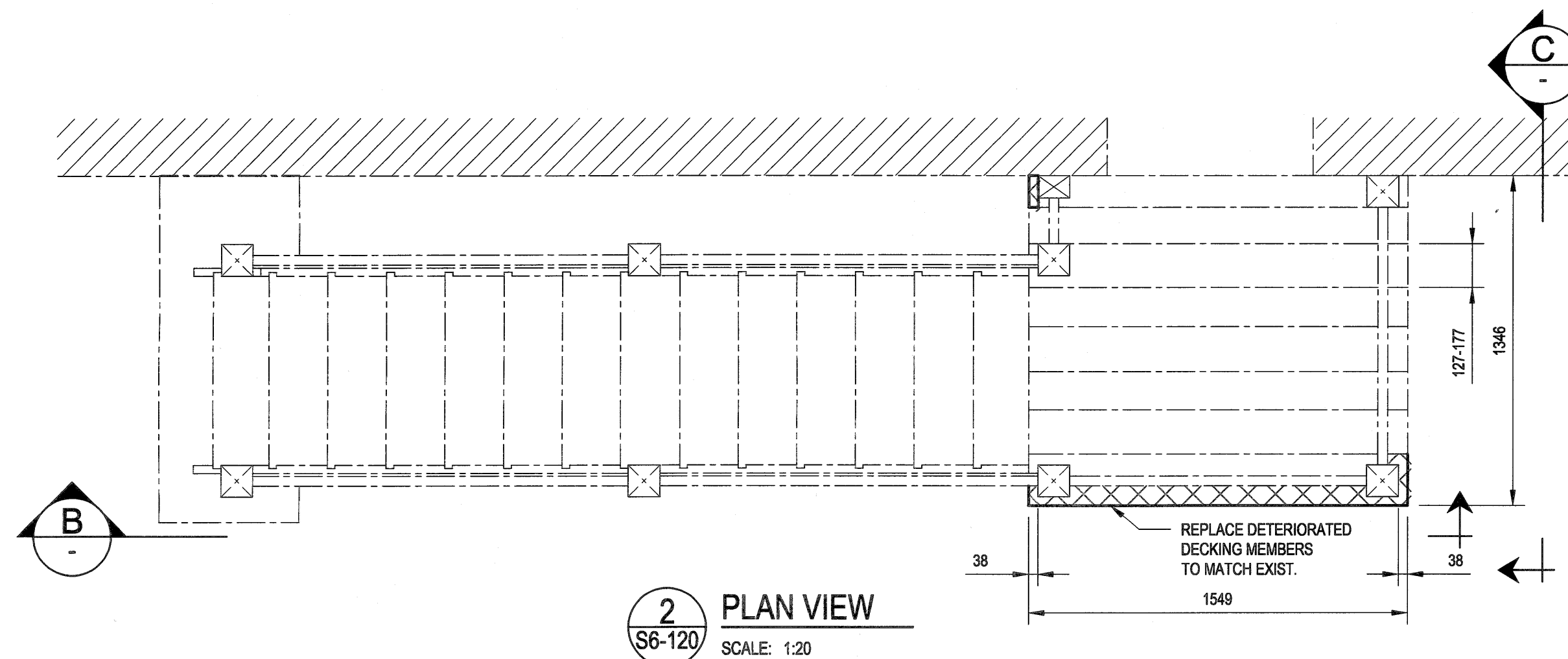
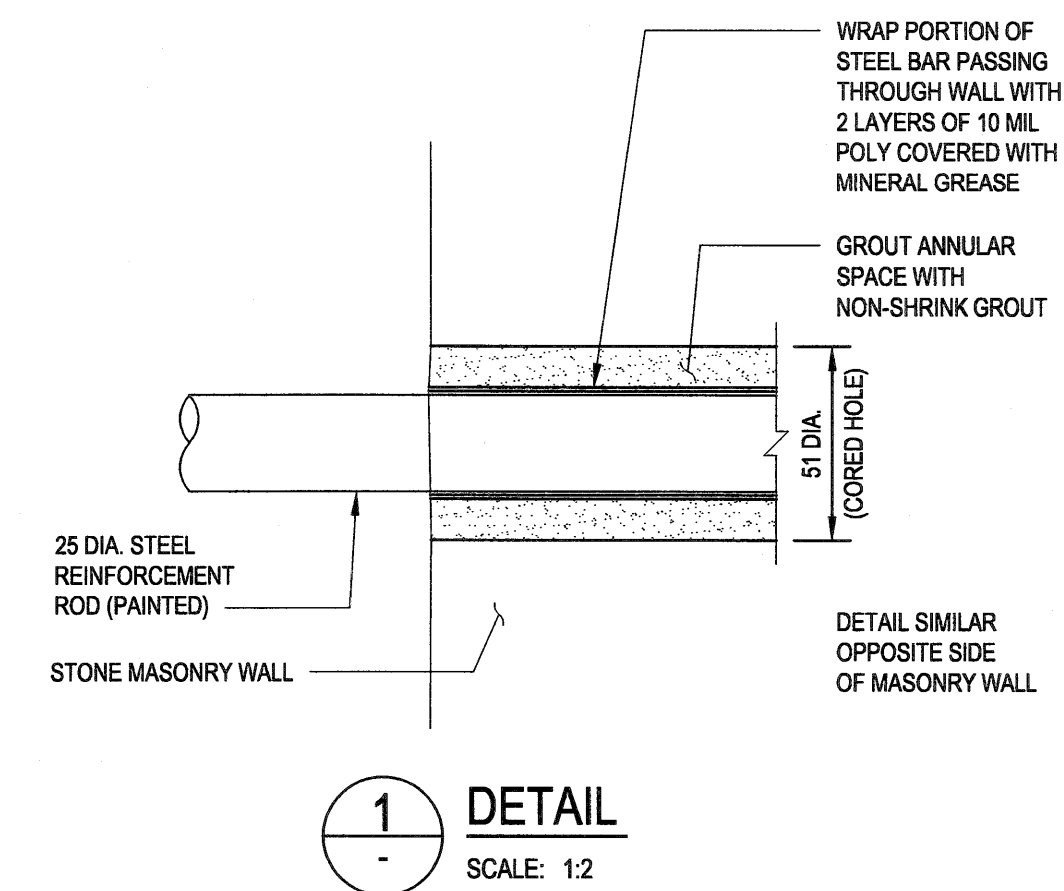
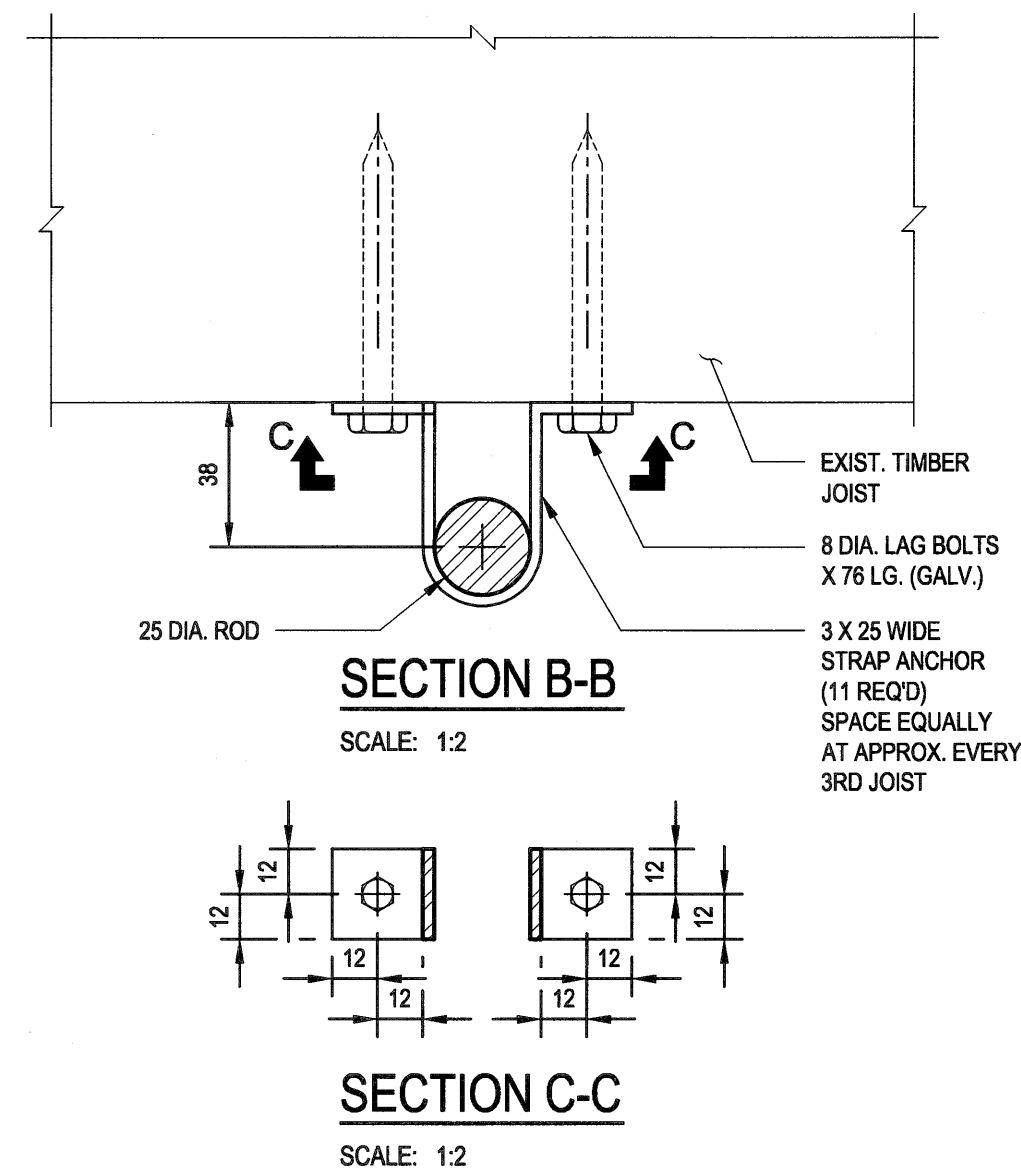
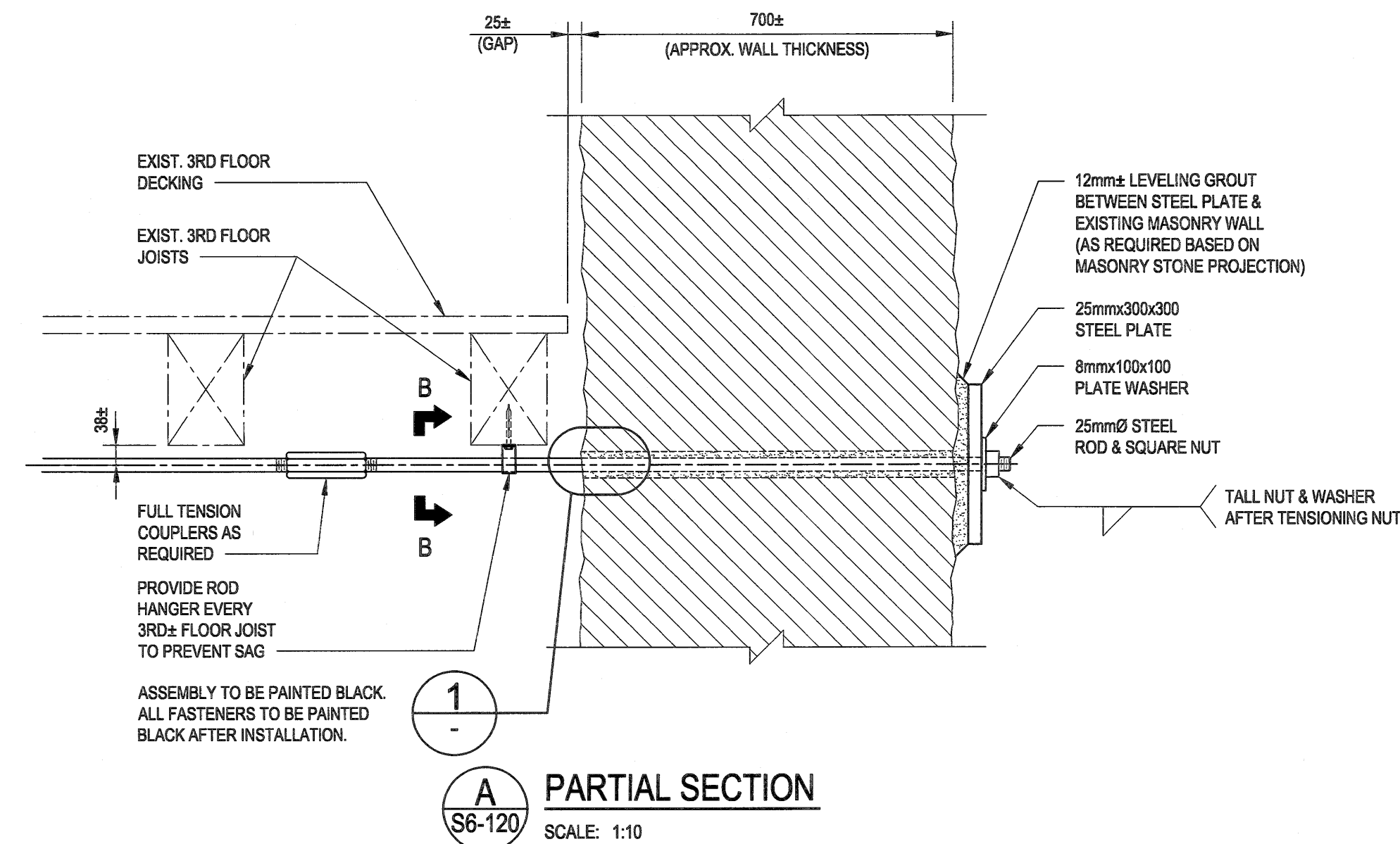
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| Date | Date |
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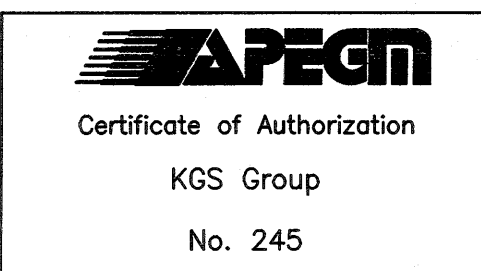



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|--------------------------|----------------------|--------------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./ N° de la feuille |
| 1603 | | |

| |
|---------------------------------------|
| Drawing Set No./N° de série du dessin |
| 18-0051-001 |

S6-130

Filename: P:\Projects\2018\18-0051-001\Drawings\Struct\18-0051-001_S6-500 - Tab:S6-500 Plotted By: DDeroche 18/04/25 [Wed 2:24pm]



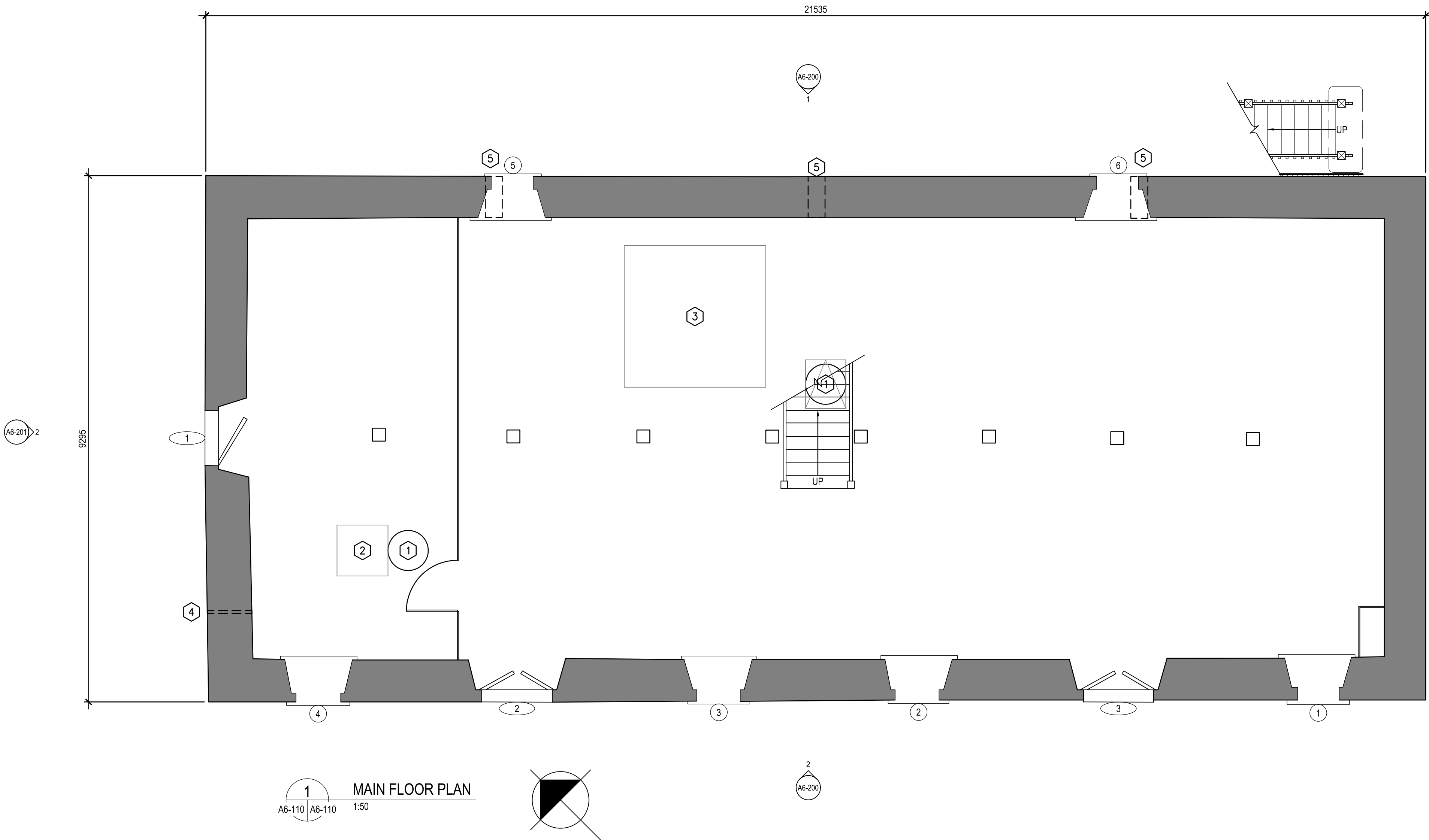
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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | JAR | |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | | | | |
|  D.J. PETRAK Member 24082 REGISTERED PROFESSIONAL ENGINEER | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
|  Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
|  | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| WAREHOUSE STRUCTURAL SECTIONS & DETAILS | | | | |
| Surveyed by/Arpenté par MBB | | Drawn by/Dessiné par MBB | | Date 2018/03/16 |
| Designed by/Concept par KRD | | Reviewed by/Revisé par | | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet 1603 | | Asset No./N° du bien | | Sheet No./N° de la feuille S6-500 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | |

GENERAL NOTES FOR BUILDING:

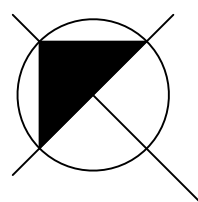
- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

- NEW SUMP PUMP IN CRAWLSPACE. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- OPEN FLOOR FOR SUMP PUMP INSTALLATION, APPROXIMATELY 900x900mm. SEE AG002-1 FOR TYPICAL FLOOR ACCESS HATCH. SALVAGE MATERIALS FOR CONSTRUCTION OF PERMANENT ACCESS HATCH. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- OPEN FLOOR FOR MECHANICAL INSTALLATIONS, APPROXIMATELY 2500mmx2500mm. PATCH AND REPAIR WITH SALVAGED MATERIAL TO MATCH EXISTING. JOINTS SHOULD BE STAGGERED SO AS NOT TO BE NOTICEABLE AND TO MAINTAIN THE LOOKING OF EXISTING FLOORING. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- PROVIDE WALL PENETRATIONS FOR SUMP PIT DISCHARGE. EXACT LOCATION TO BE CONFIRMED WITH INPUT FROM PARKS CANADA ON SITE.
- EXCAVATE AT EXTERIOR FOR PROPER CLEARANCE OF NEW EXHAUST FAN. EXHAUST OUTLETS TO BE FITTED INTO EXISTING OPENINGS IN CRAWLSPACE WALL. C/W BIRDSCREEN PAINTED BLACK.



1 MAIN FLOOR PLAN
A6-110 A6-110 1:50



2
(A6-200)

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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|---|--|
| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

| | | |
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| | Parks Canada | Parcs Canada |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | |
|---------------------------------------|--|

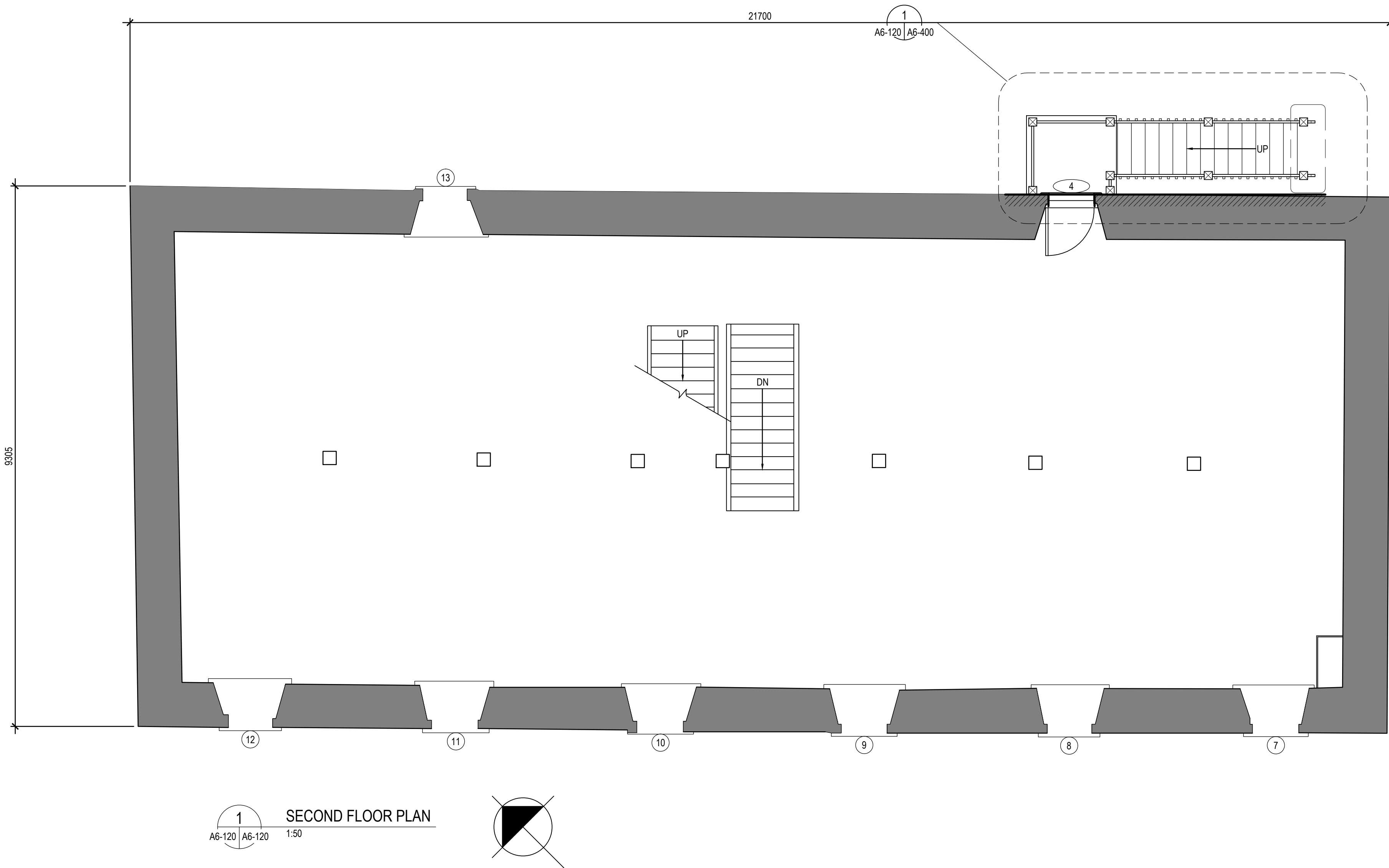
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| WAREHOUSE MAIN FLOOR PLAN |

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| | | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A6-110 |
| Drawing Set No./Nº de série du dessin | | |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
5. CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.



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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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des Biens,
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

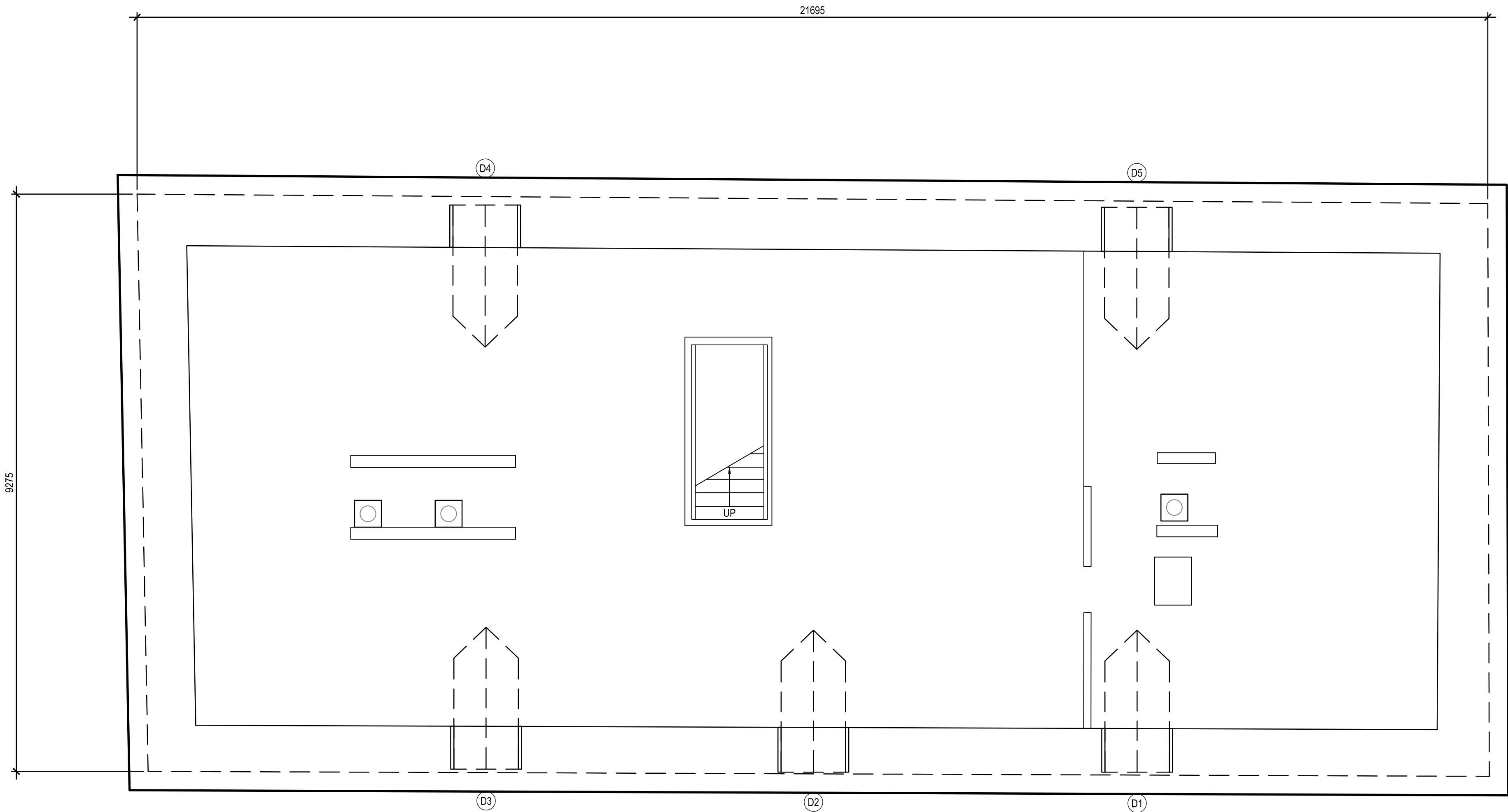
Drawing title/Titre du dessin

WAREHOUSE
SECOND FLOOR PLAN

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| | | |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A6-120 |
| Drawing Set No./Nº de série du dessin | | |

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
5. CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.



1

THIRD FLOOR PLAN

A6-130

A6-130

1:50

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

PROVINCE OF MANITOBA
G. LEE
McCORMICK
April 27, 18
REGISTERED ARCHITECT

PROVINCE OF MANITOBA
ARCHITECTURE49
INC.
No. 176
REGISTERED ARCHITECTURAL CORPORATION

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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des Biens,
Région de l'Ouest et
du Nord

Canada

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|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

KGS

GROUP

CONSULTING
ENGINEERS

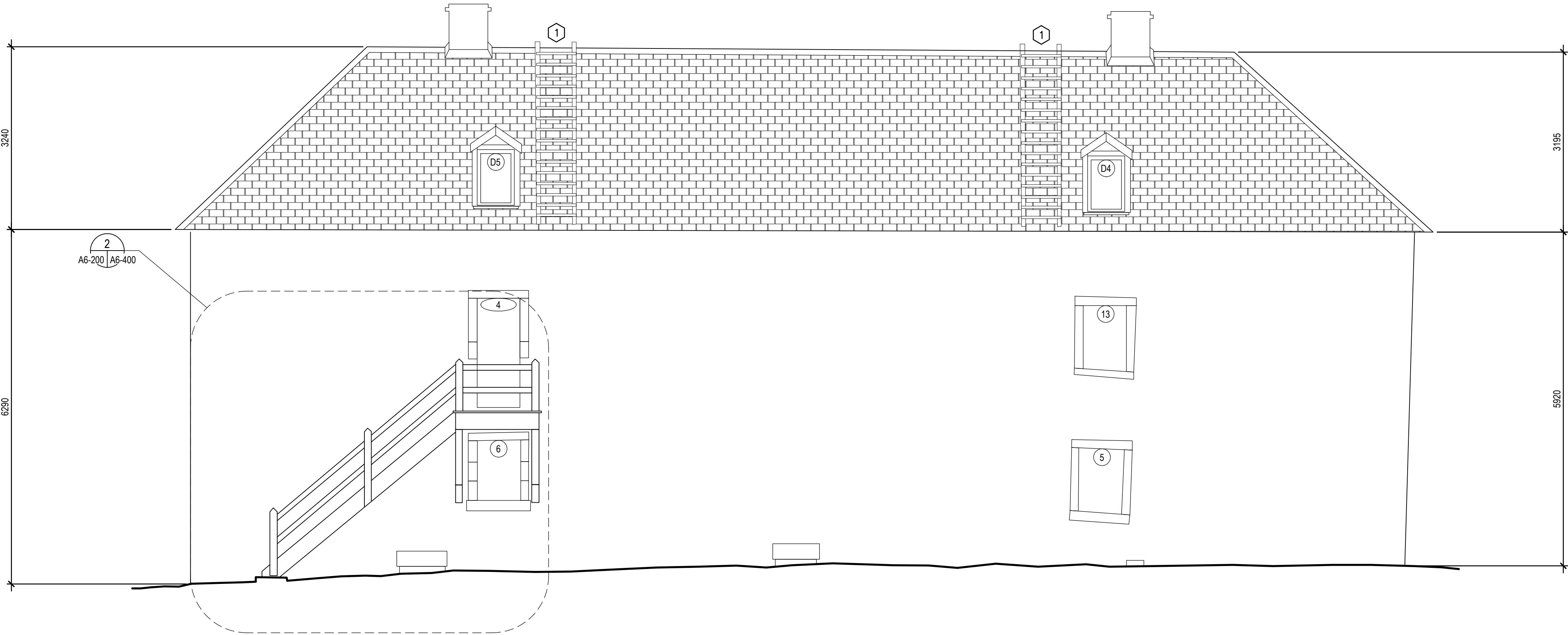
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

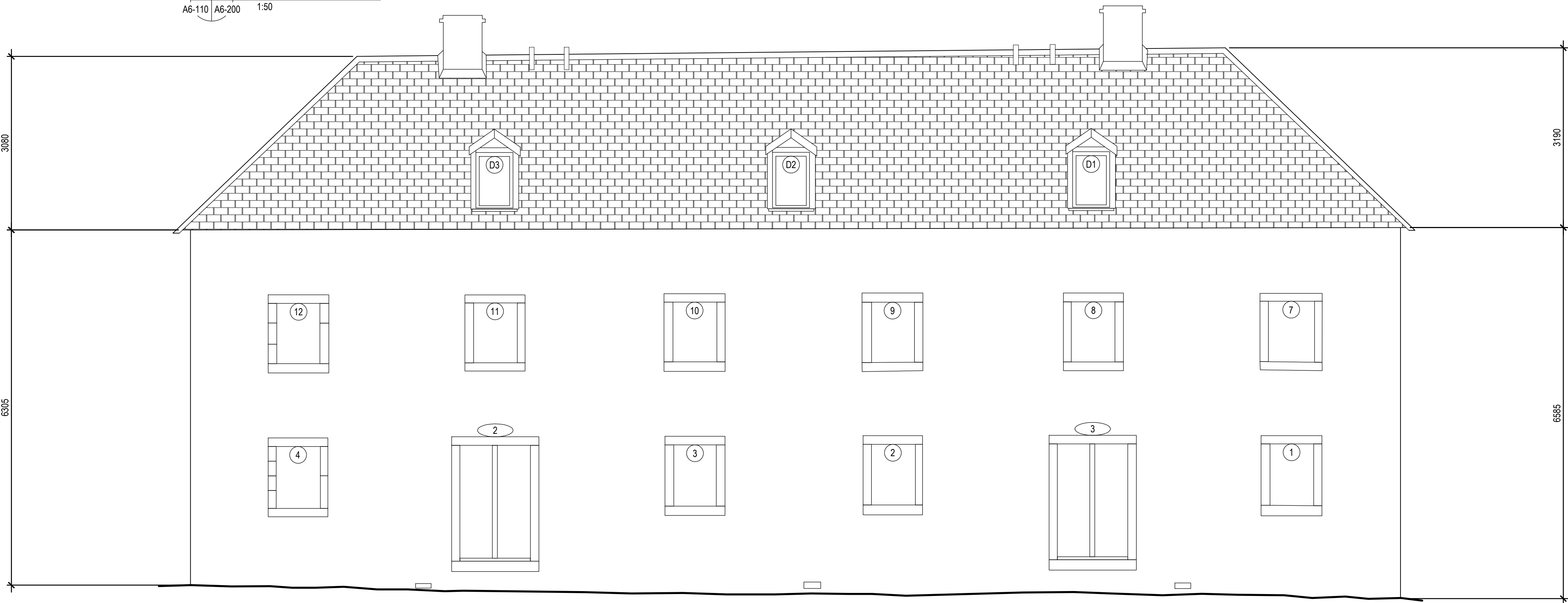
Drawing title/Titre du dessin

WAREHOUSE
THIRD FLOOR PLAN

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A6-130 |
| Drawing Set No./Nº de série du dessin | | |



1 NORTH ELEVATION
A6-110 | A6-200 1:50



2 SOUTH ELEVATION
A6-110 | A6-200 1:50

GRID NORTH
UNIVERSAL TRANSVERSE MERCATOR
NAD83 ZONE 11

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

- REMOVE EXISTING LADDER ON ROOF.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|--|--|
| Linear dimensions in millimetres | |
| Dimensions linéaires en millimètres | |
| Eng. Stamp Sceau de l'ingénieur | |
| | |

| | |
|--|--|
| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

| | | |
|--|--|--------------|
| | Parks Canada | Parcs Canada |
| Strategic Asset Management, Western and Northern Region | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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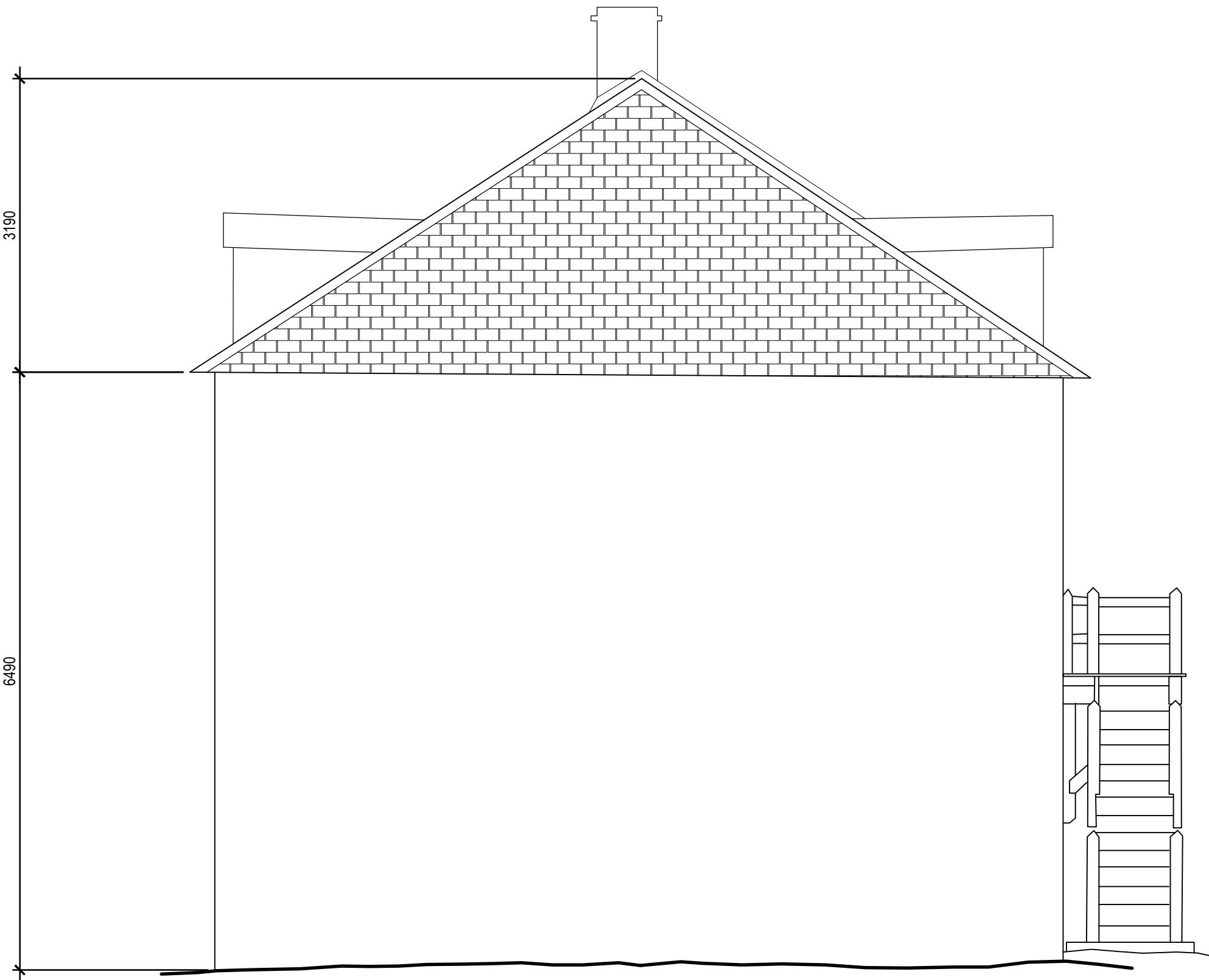
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
|---------------------------------------|--|

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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

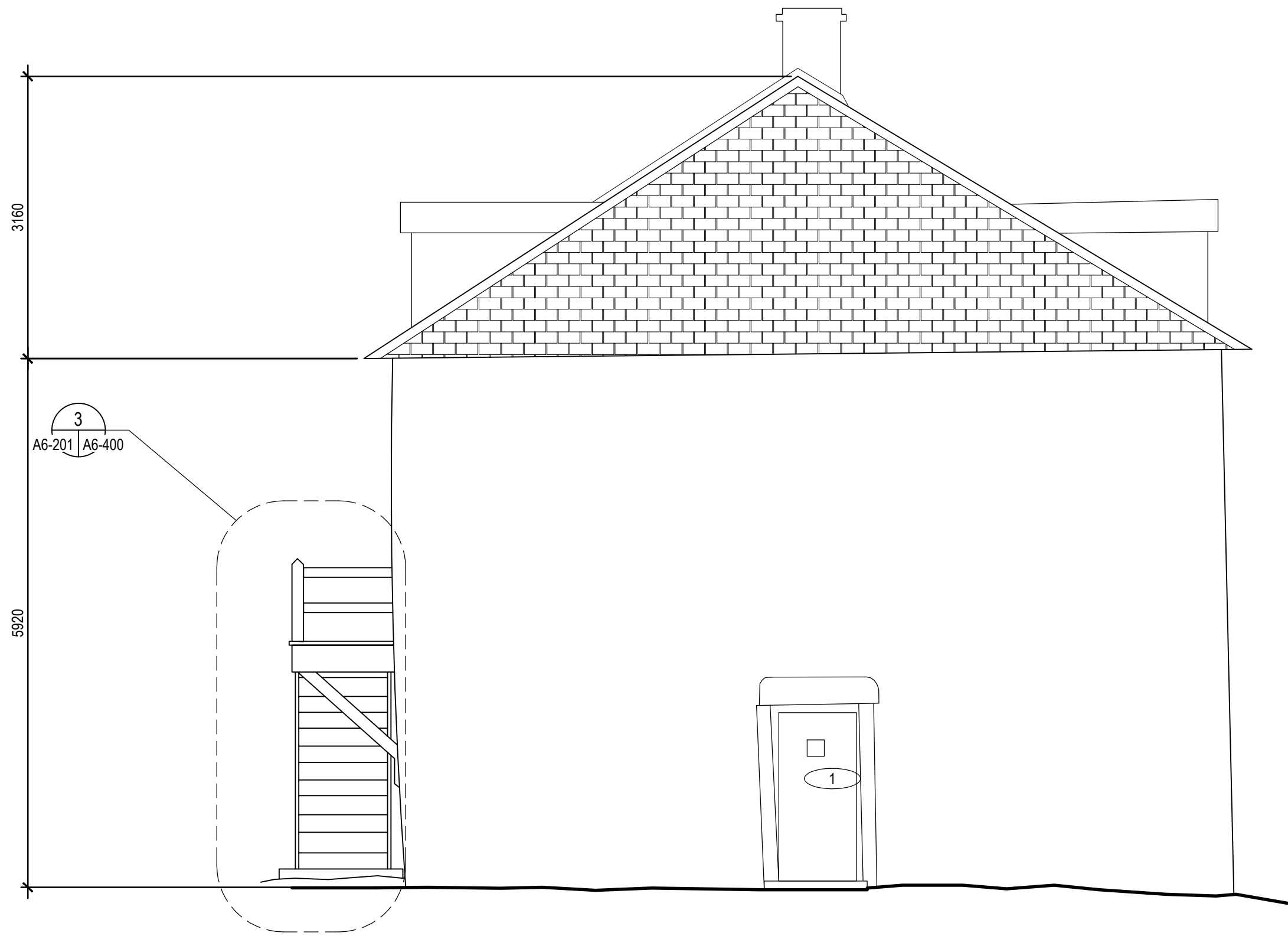
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| Drawing title/Titre du dessin |
| WAREHOUSE EXTERIOR ELEVATIONS |

| | | |
|---|------------------------|--------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| AV | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| GL | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

| | | |
|---------------------------------------|----------------------|----------------------------|
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| R. | R. | A6-200 |
| Drawing Set No./N° de série du dessin | | |



1 EAST ELEVATION
A6-110 | A6-201 1:50



2 WEST ELEVATION
A6-110 | A6-201 1:50

GENERAL NOTES FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
- CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

- REMOVE EXISTING LADDER ON ROOF.

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| Revision / Revision | | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

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WINNIPEG MB | CANADA | R3T 6B8
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Parcs Canada
Gestion Stratégique des Biens, Région de l'Ouest et du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

Project title/Titre du projet

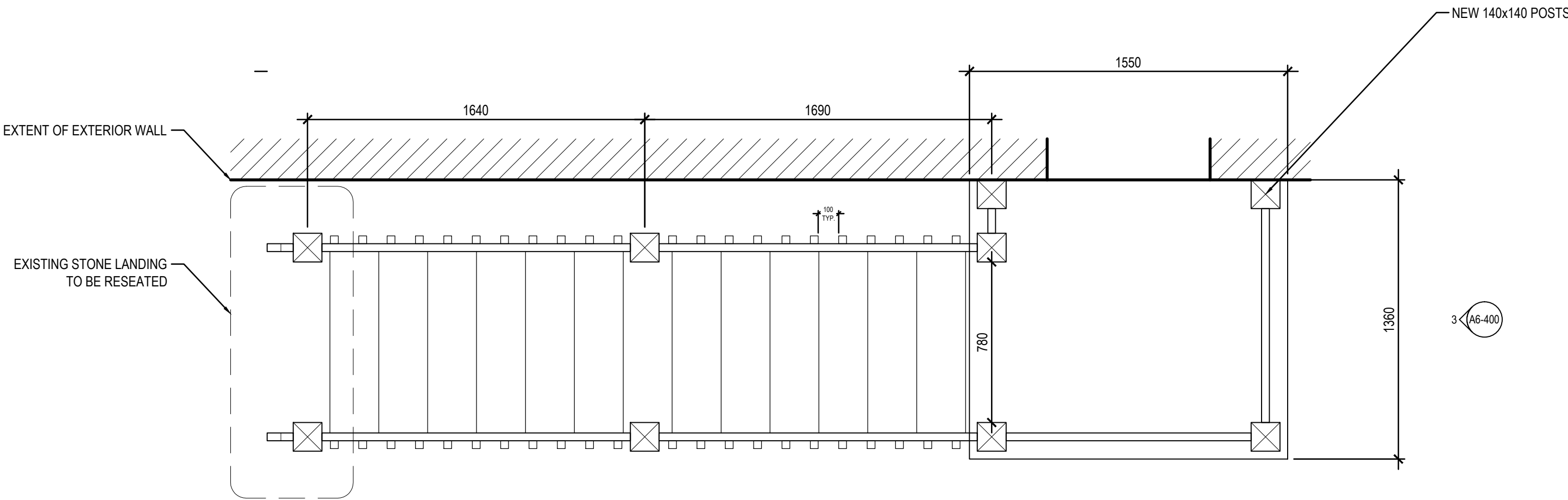
LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

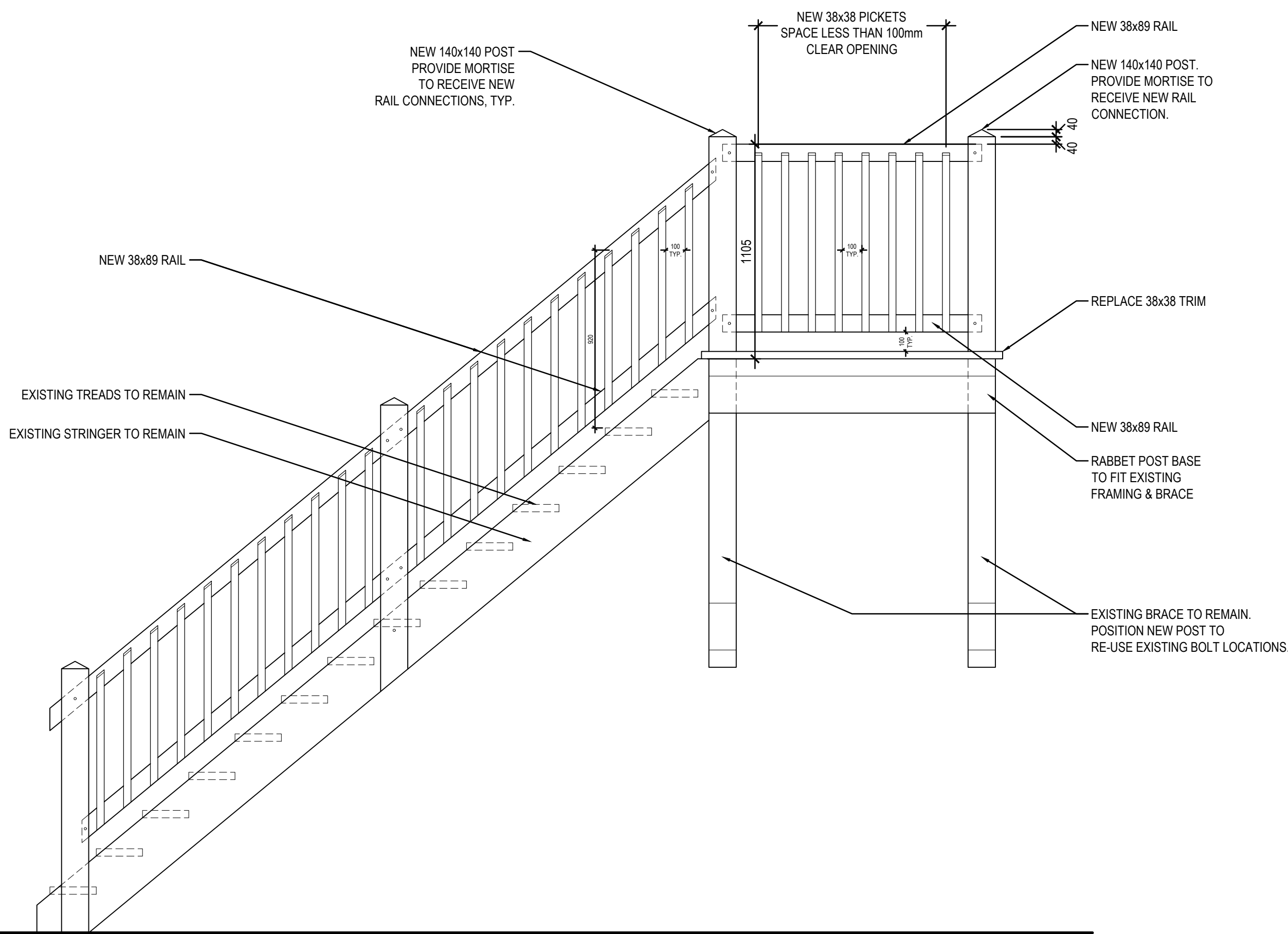
WAREHOUSE
EXTERIOR ELEVATIONS

| | | |
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

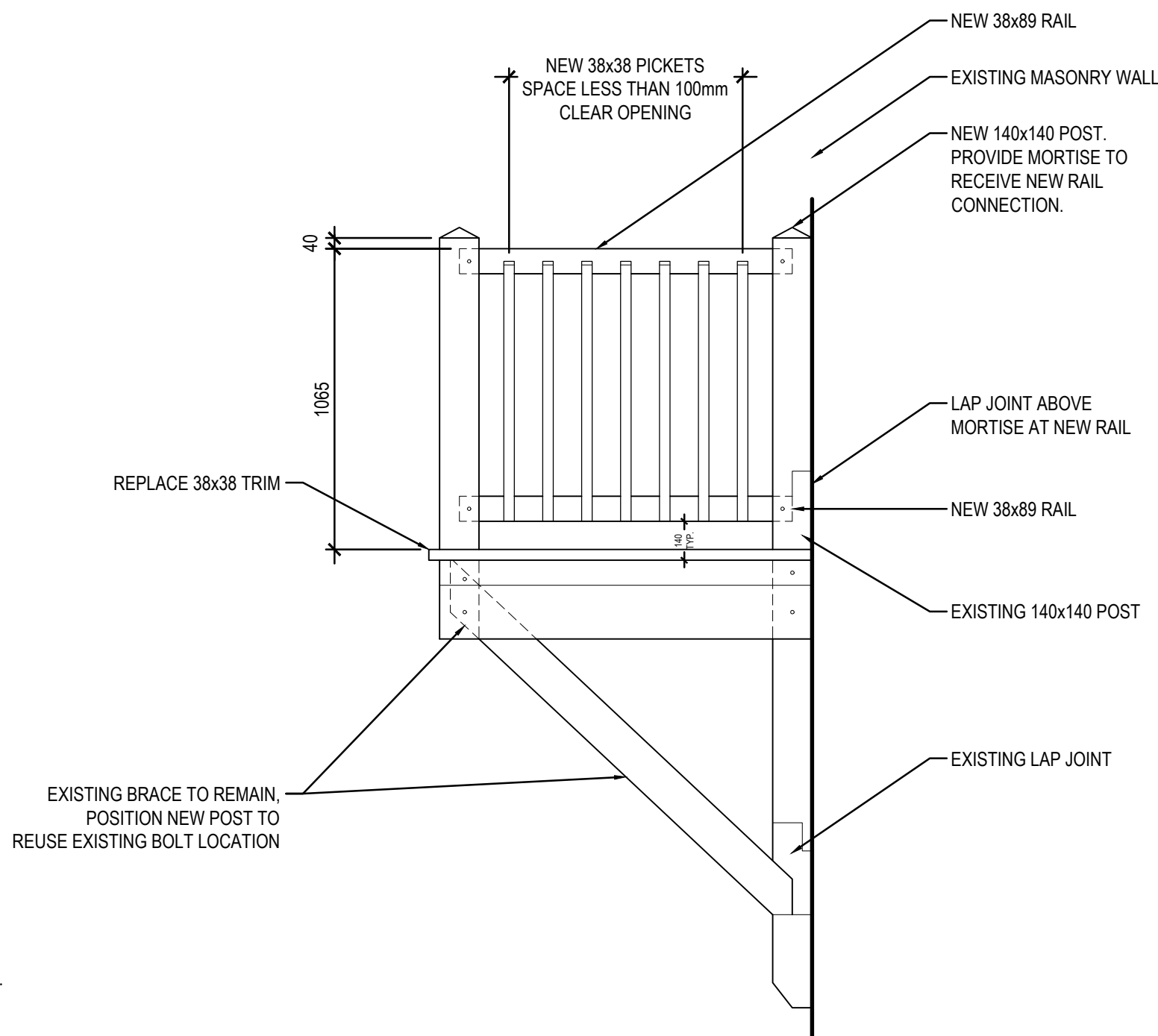
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| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A6-201 |
| Drawing Set No./Nº de série du dessin | | |



1 PLAN
A6-120 A6-400 1:20



2 ELEVATION
A6-400 A6-400 1:20



3 ELEVATION
A6-400 A6-400 1:20

GENERAL NOTES FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR DORMERS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXTERIOR MASONRY. WHITEWASH EXTERIOR UP TO TOP OF WINDOW AND DOOR MASONRY LINTELS (MATCH CURRENT EXTENT ON SITE).
5. CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION. VERIFY LOCATIONS OF CRACKS ON SITE.

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| 0 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|---|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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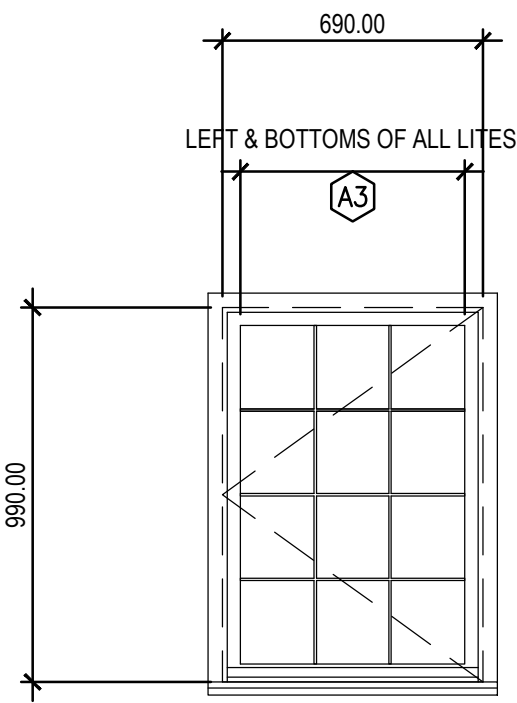
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| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

| | |
|---|--|
| <div><div><div></div><div></div></div><div>Parks Canada</div></div> | <div><div><div></div><div></div></div><div>Parcs Canada</div></div> |
| Strategic Asset Management, Western and Northern Region | Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | |
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
| Sub Consultant Nom de sous conseil | |
| KGS GROUP CONSULTING ENGINEERS | |

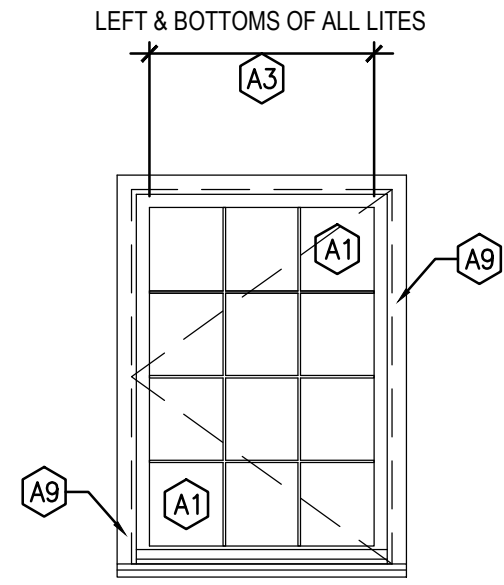
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

| |
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| Drawing title/Titre du dessin |
| WAREHOUSE LARGE SCALE PLANS AND ELEVATIONS |

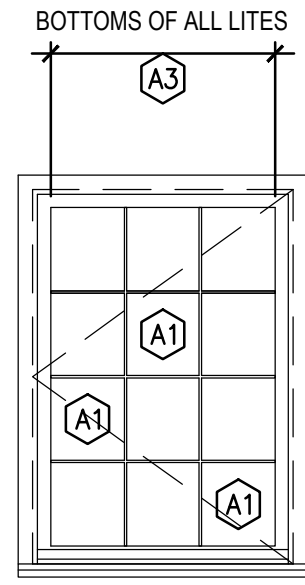
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| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
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| Drawing Set No./N° de série du dessin | | |



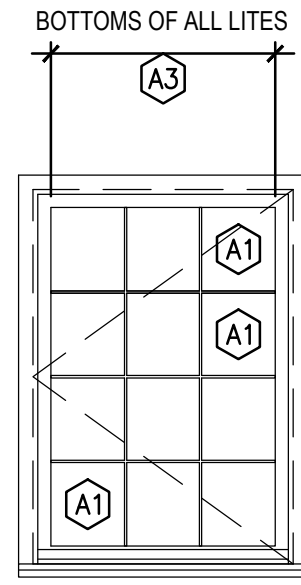
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CASEMENT



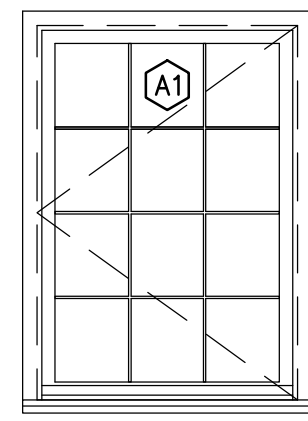
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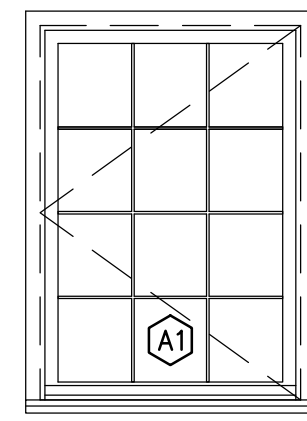
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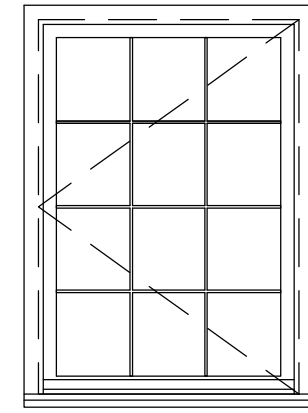
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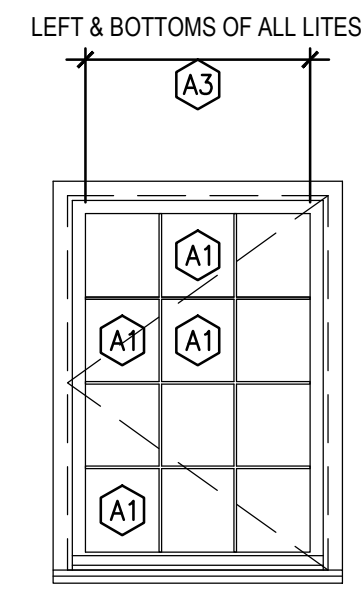
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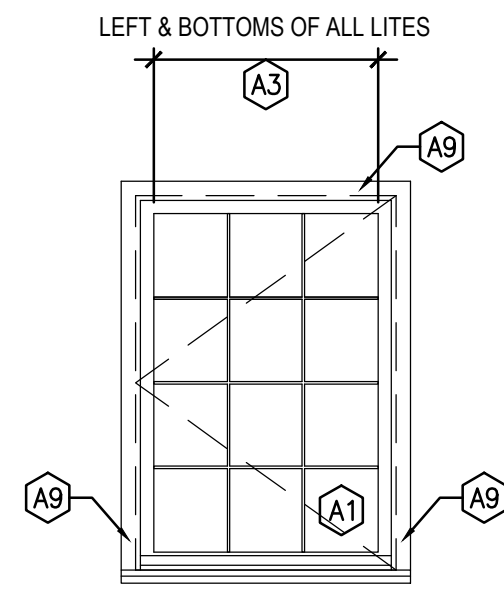
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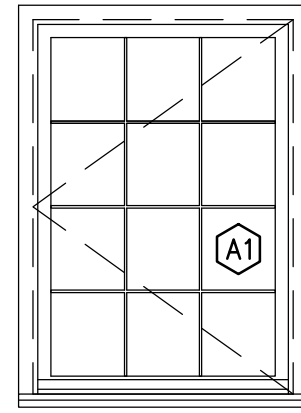
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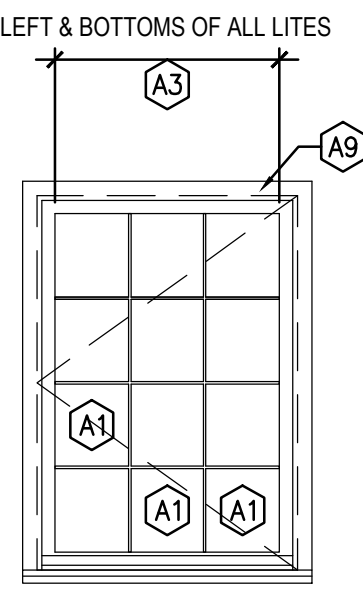
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WINDOW TYPE 1
CASEMENT



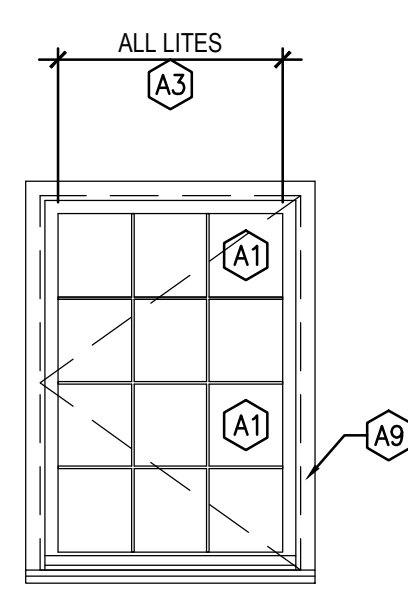
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CASEMENT



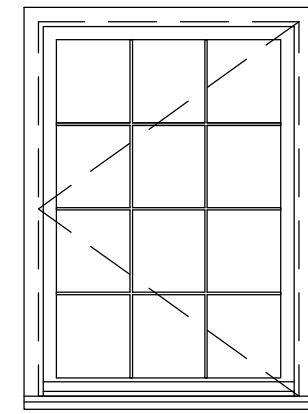
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WINDOW TYPE 1
CASEMENT



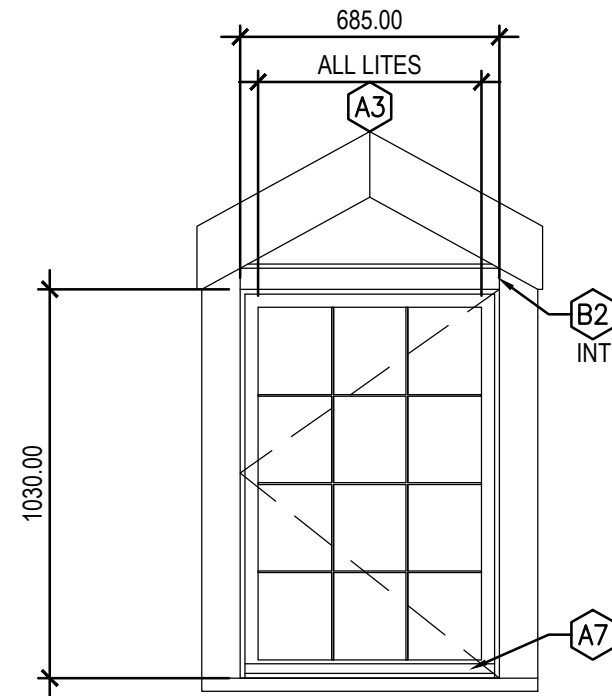
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CASEMENT



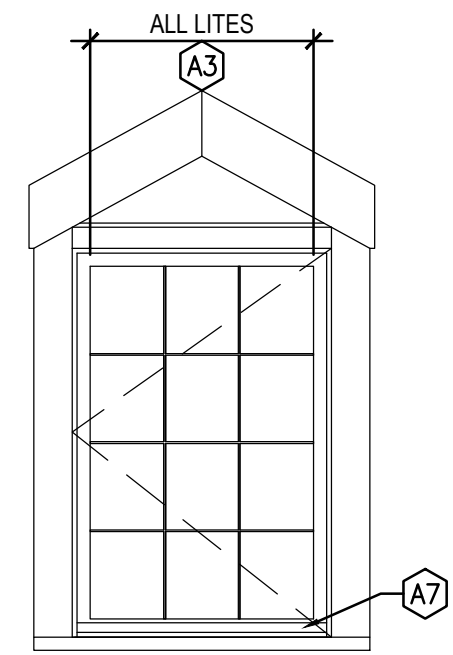
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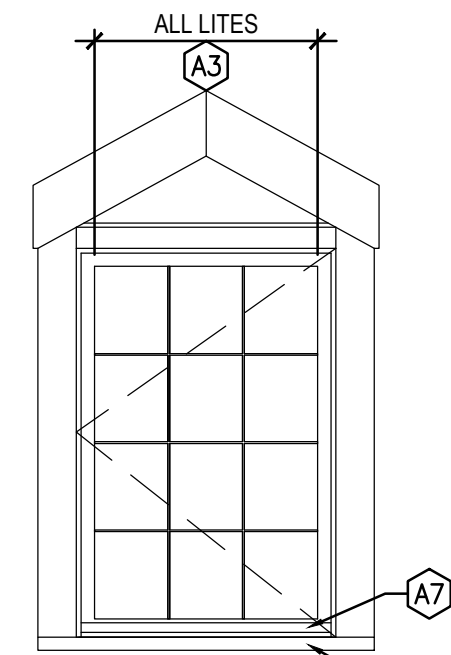
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WINDOW TYPE 1
CASEMENT



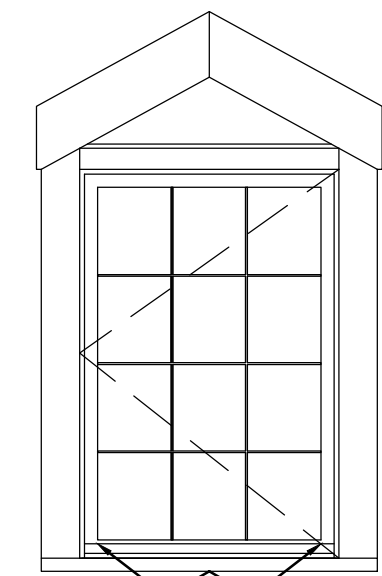
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DORMER
CASEMENT



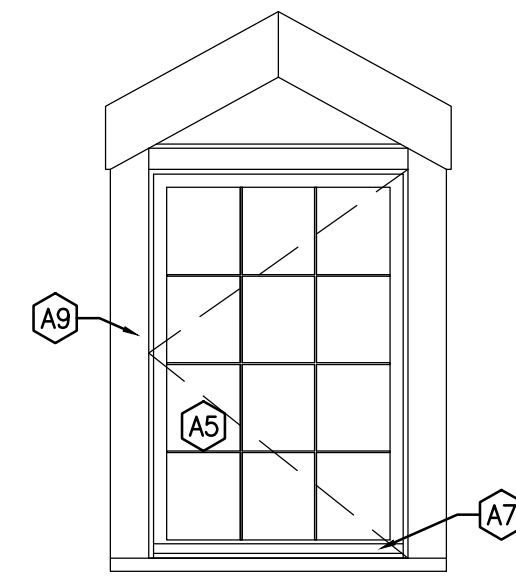
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DORMER
CASEMENT



D3
A6-200 A6-600 1:20
DORMER
CASEMENT



D4
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DORMER
CASEMENT



D5
A6-200 A6-600 1:20
DORMER
CASEMENT

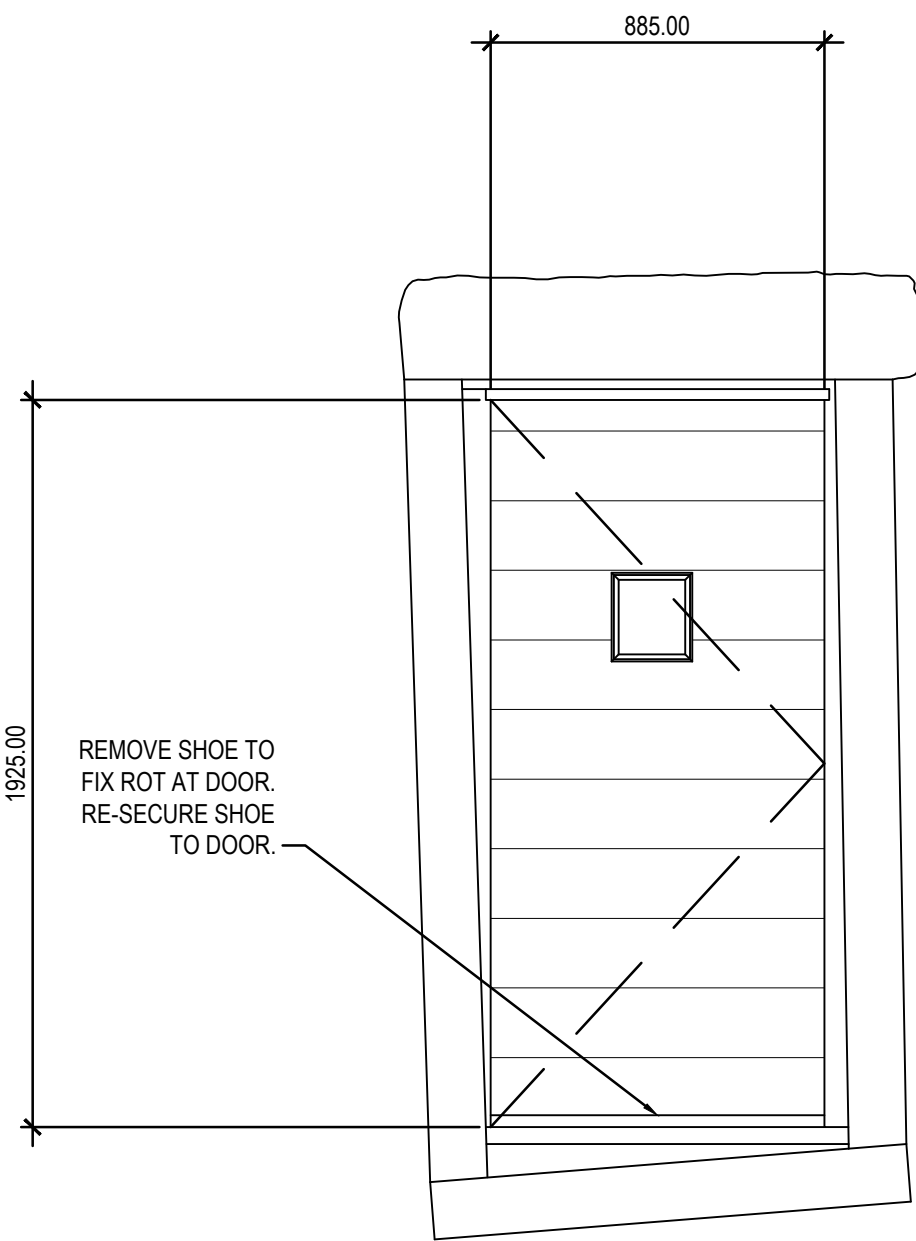
GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

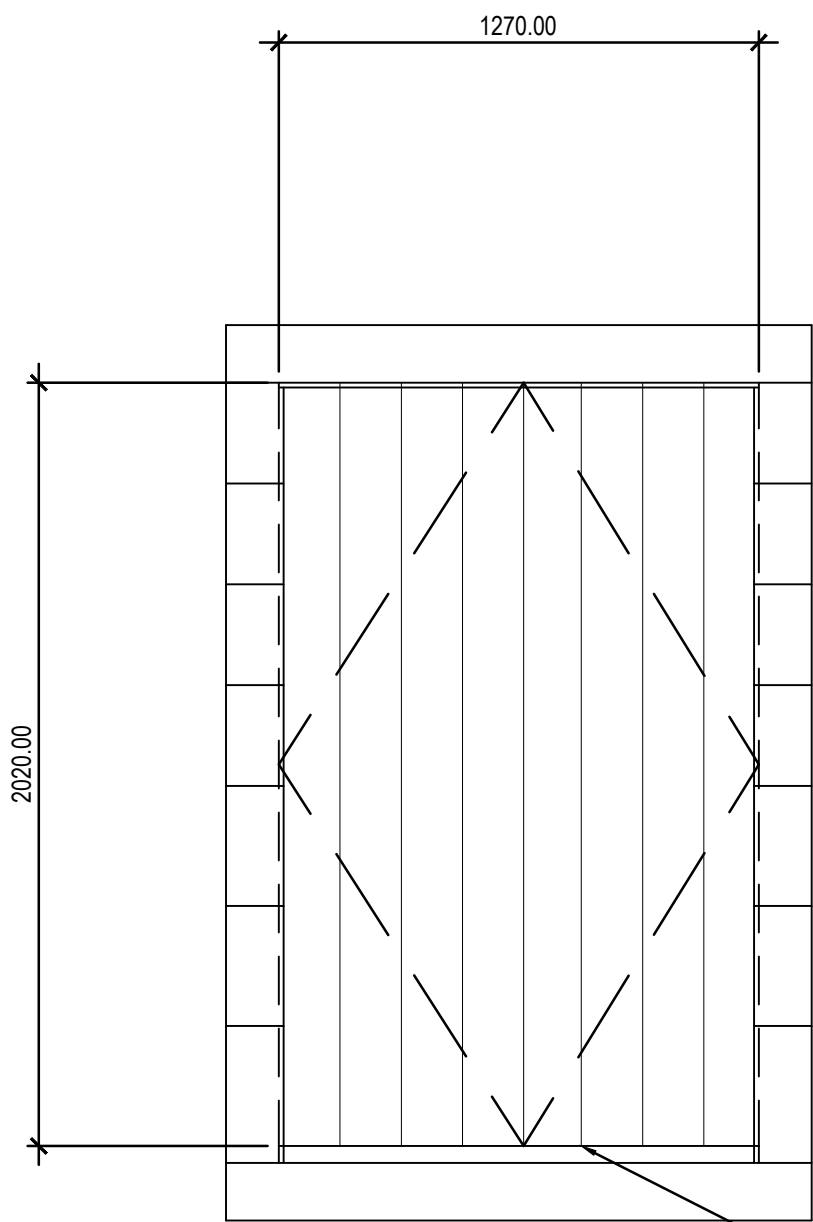
DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

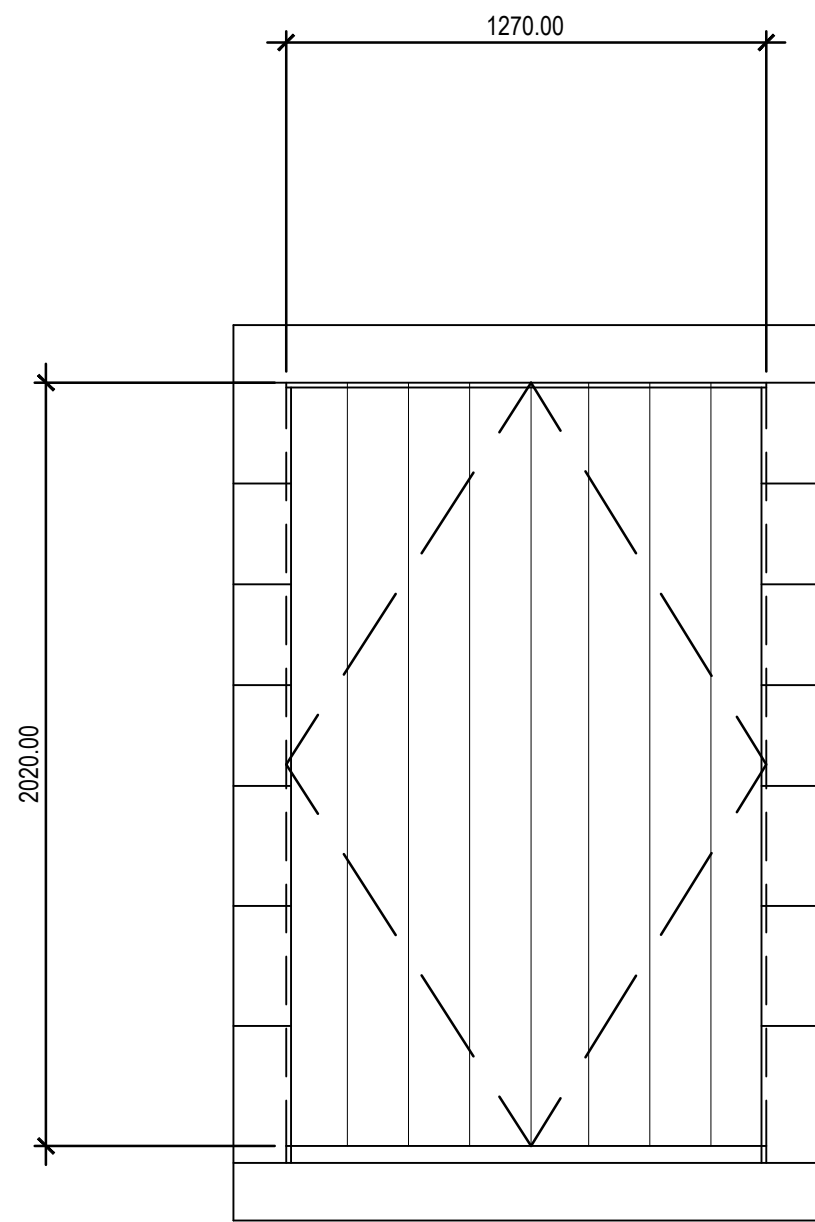
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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | ARCHITECTURE49 INC. No. 176 REGISTERED ARCHITECT PROVINCE OF MANITOBA APPROVED ARCHITECTURAL CORPORATION | | |
| Consultant's Name Nom de l'expert-conseil ARCHITECTURE 49 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord Canada | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil KGS GROUP CONSULTING ENGINEERS | | | | |
| Project title/Titre du projet LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin WAREHOUSE WINDOWS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille | | |
| R. | R. | A6-600 | | |
| Drawing Set No./N° de série du dessin | | | | |



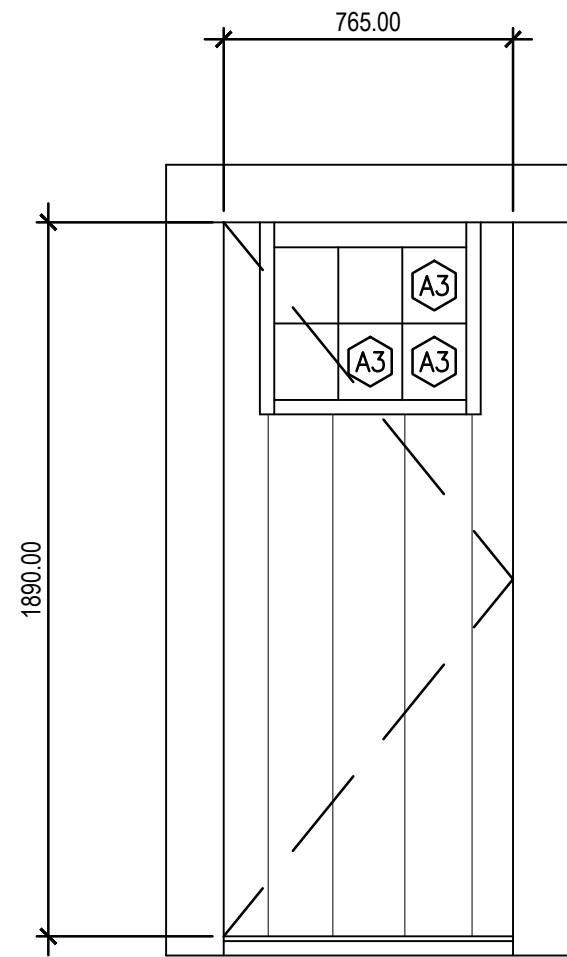
1 DOOR
A6-201 A6-650 1:20



2 DOOR
A6-200 A6-650 1:20



3 DOOR
A6-200 A6-650 1:20



4 DOOR
A6-200 A6-650 1:20

GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).

- SEVERE DECAY/DAMAGE AT JAMBS/TOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

CLASSIFICATION B:

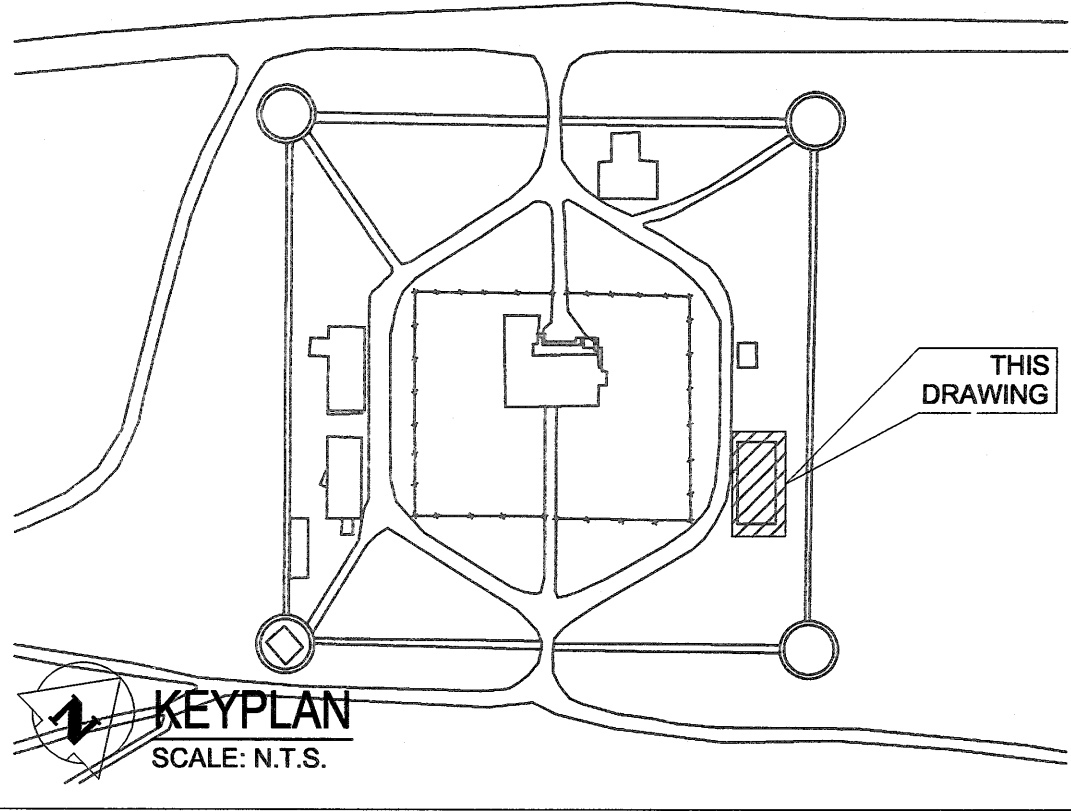
- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada | | Parcs Canada | | |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| WAREHOUSE DOORS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A6-650 |
| Drawing Set No./Nº de série du dessin | | | | |

Filename: P:\Projects\2018\18-0051-001\M6-100 - Tab:M6-100 Plotted By: DDeroche 18/04/25 [Wed 1:58pm]

| EXHAUST FAN SCHEDULE | | | | | | | | | | | | | | | | |
|----------------------|--|----------|----------|--------|------------|---------|-----------|-------|-------|----------|------------|----------|------------|----------|----------|---|
| TAG | DESCRIPTION | AIR FLOW | | E.S.P. | | FAN RPM | | SOUND | | | FAN MOTOR | | DIMENSIONS | | | ACCESSORIES |
| | | (L/s) | (C.F.M.) | (Pa) | (IN. W.G.) | DESIGN | MIN./MAX. | INLET | | RADIATED | POWER (HP) | VOLTS/Ph | LENGTH | WIDTH | HEIGHT | |
| | | | | | | | | (dB) | SONES | (dB) | | | mm (in.) | mm (in.) | mm (in.) | |
| EF-1 | SQUARE INLINE, BACKWARD INCLINED, DIRECT DRIVE C/W VARIABLE SPEED MOTOR AND CONTROLLER | 321 | 680 | 71 | .284 | 879 | 300/1725 | 44 | 3.4 | 35 | 1/2 | 115/1 | 600 (24) | 480 (19) | 480 (19) | VARIABLE SPEED CONTROL, INSULATED HOUSING |

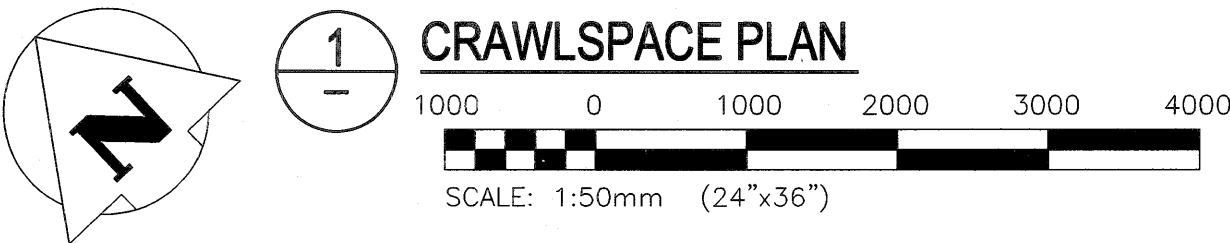
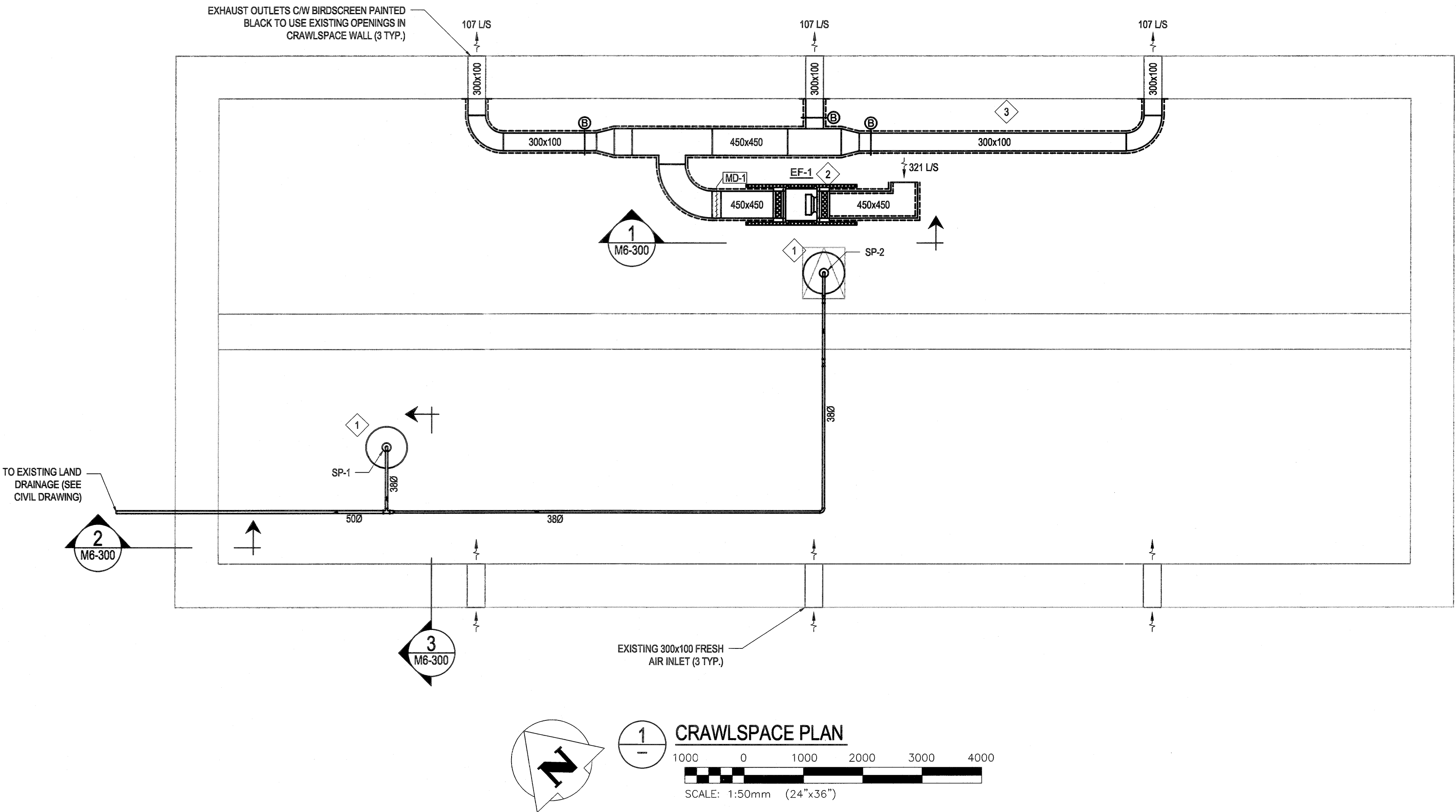
| MOTORIZED DAMPER SCHEDULE | | | | |
|---------------------------|----------------------------|----------|----------|---------------------------------|
| TAG | DESCRIPTION | SIZE | | ACTUATOR |
| | | WIDTH | HEIGHT | |
| | | mm (in.) | mm (in.) | |
| MD-1 | INSULATED MOTORIZED DAMPER | 450 (18) | 450 (18) | 120V, OPEN/CLOSE, SPRING RETURN |



GENERAL NOTES:
SEE DRAWING MG-000






KEYNOTES:

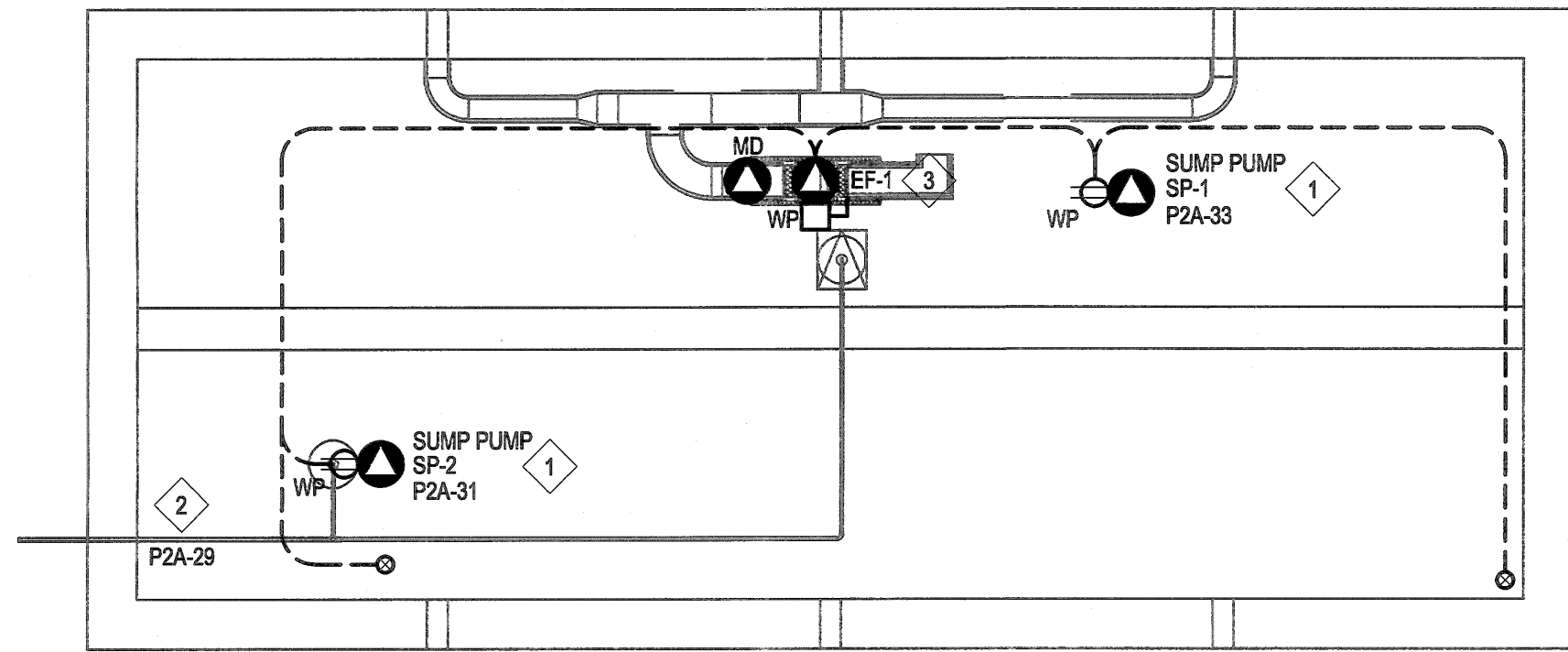
- 1 INSTALL NEW SABER SUMP PITS, PUMPS (SP-1 & SP-2) AND DISCHARGE PIPING BELOW FLOOR. PROVIDE EXCAVATION, BACK FILLING AND DE-WATERING. COORDINATE REMOVAL OF FLOOR BOARDS WITH ARCHITECTURAL. SEE STRUCTURAL FOR CORING REQUIREMENTS FOR DISCHARGE PIPE. COORDINATE EXTERIOR DISCHARGE LINE WITH CIVIL.
- 2 INSTALL NEW EXHAUST FAN AS SHOWN. PROVIDE FLEXIBLE CONNECTIONS AND SPRING VIBRATION ISOLATION HANGERS. (EXCAVATE CRAWLSPACE AS REQUIRED TO FACILITATE FAN AND DUCT INSTALLATION PER ARCHITECTURAL DETAILS)
- 3 INSTALL NEW INSULATED EXHAUST DUCTWORK AS SHOWN. PROVIDE ACOUSTIC LINING WHERE INDICATED (TYP.)



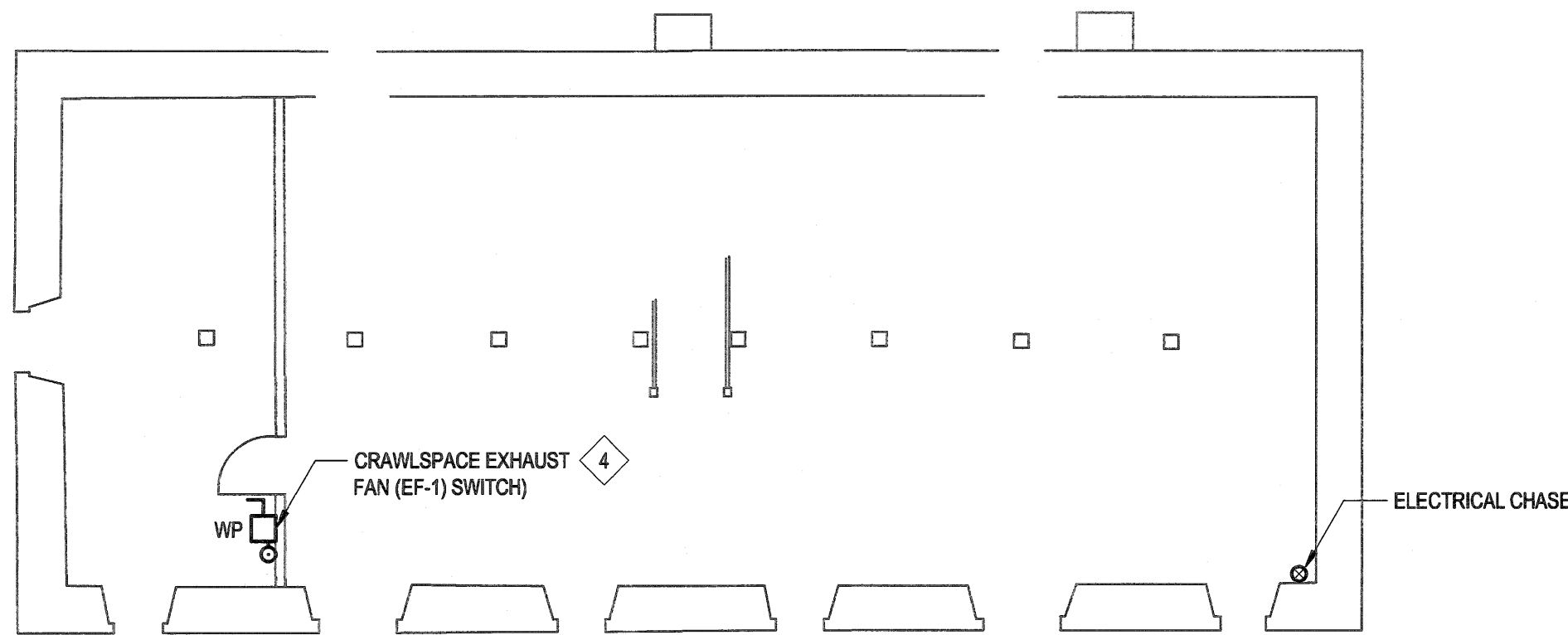
SCALE VERIFIED BY: *SM*

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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé | | | |
| Revision / Revision | | | | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | | | | |
| Eng. Stamp Sciau de l'ingénieur | | | | | | | |
| <div><div> Certificate of Authorization KGS Group No. 245</div><div></div></div> | | | | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | | | | |
| ARCHITECTURE 49 | | | | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | | | | |
| Parks Canada Strategic Asset Management, Western and Northern Region | | | | | | | |
| Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | | | | |
| Canada | | | | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | | | | |
| Sub Consultant KGS GROUP CONSULTING ENGINEERS | | | | | | | |
| Project title/Titre du projet | | | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | | | |
| Drawing title/Titre du dessin | | | | | | | |
| WAREHOUSE CRAWLSPACE PLAN PLUMBING & HVAC - NEW | | | | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | | | | |
| LNM | LNM | 2018/02/21 | | | | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle | | | | | |
| LNM | <i>β</i> | AS NOTED | | | | | |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | | | | |
| | | | | | | | |
| Project No./N° du projet | | Asset No./N° du bien | Sheet No./N° de la feuille | | | | |
| 1803 | | 1256 | M6-100 | | | | |
| Drawing Set No./N° de série du dessin | | 18-0051-001 | | | | | |

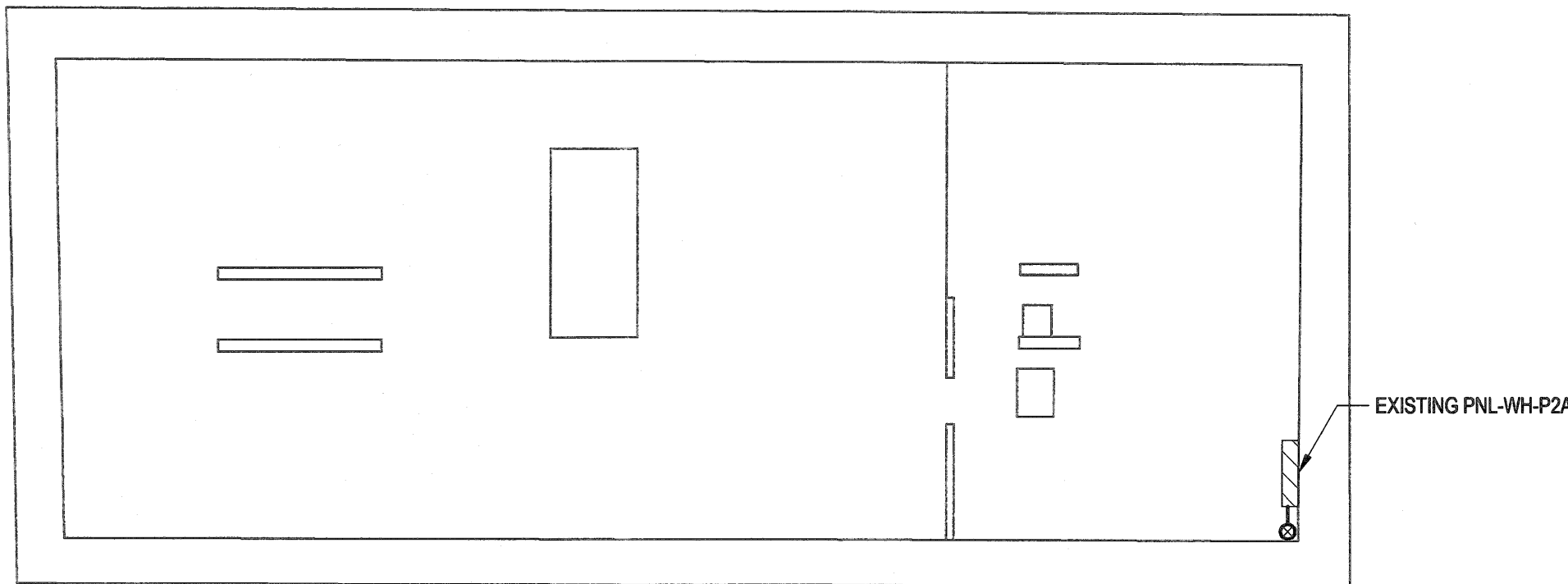
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé | |
| Revision / Revision | | | | | |
| Linear dimensions In millimètres | | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Seau de l'ingénieur | | | | | |
|  Certificate of Authorization KGS Group No. 245 | | |  | | |
| Consultant's Name Nom de l'expert--conseil | | | | | |
| ARCHITECTURE | | | | 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-8 architecture49.com | | | | | |
|  | | Parks Canada | | Parcs Canada | |
| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | |
|  | | | | | |
| Architecture49 Project No. 189-00014-00 | | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | |  | | |
| Project title/Titre du projet | | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | | |
| Drawing title/Titre du dessin | | | | | |
| WAREHOUSE SECTIONS & DETAILS | | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par LNM | | Date 2018/03/02 | |
| Designed by/Concept par LNM | | Reviewed by/Revisé par <i>AK</i> | | Scale/Echelle AS NOTED | |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | | |
| Date | | | Date | | |
| Project No./N° du projet 1803 | | Asset No./N° du bien 1256 | | Sheet No./ N° de la feuille | |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | M6-300 | |



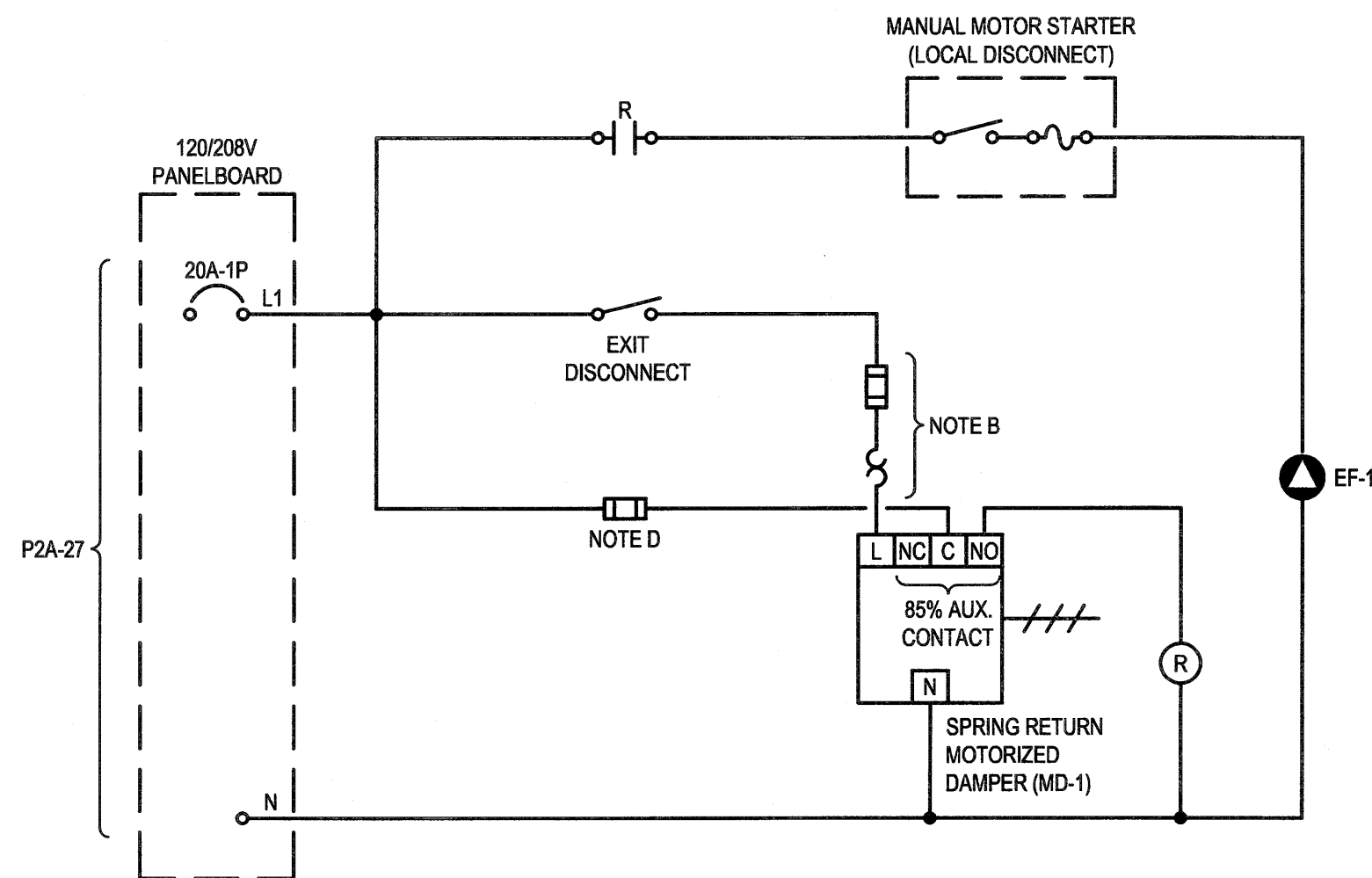
1 CRAWLSPACE FLOOR PLAN
SCALE: 1:100mm (24"x36")



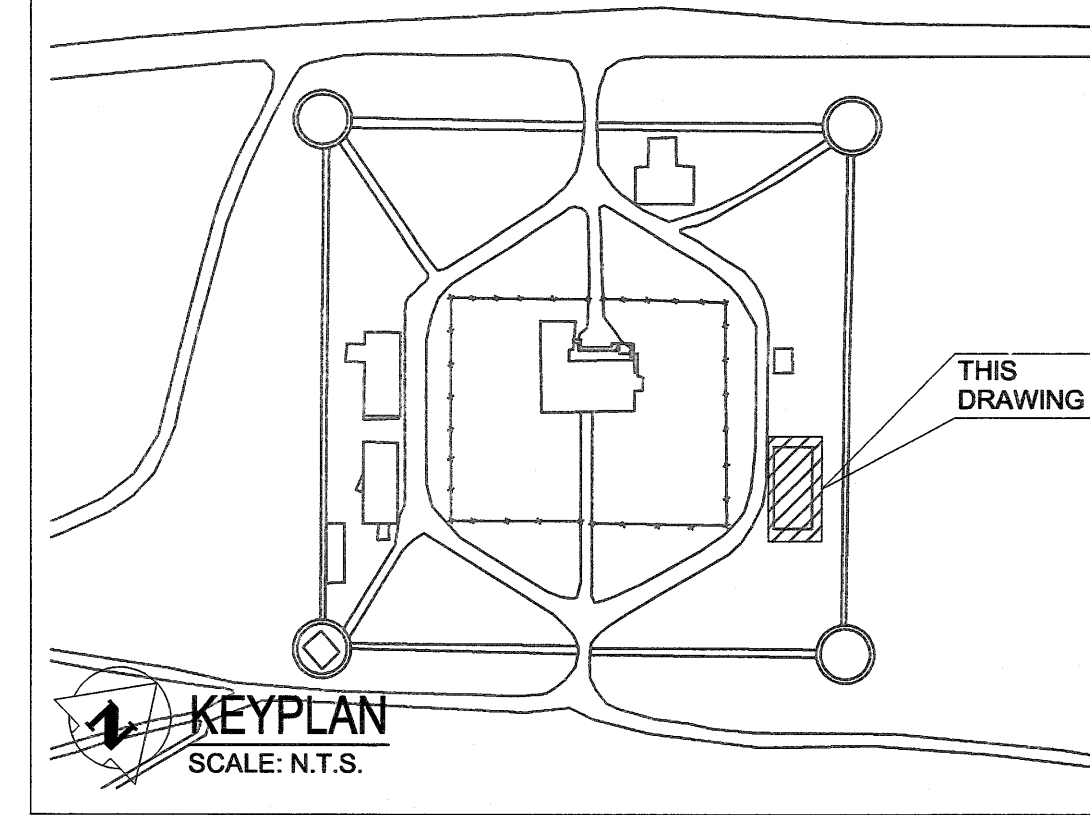
2 FIRST FLOOR PLAN
SCALE: 1:100mm (24"x36")



3 THIRD FLOOR PLAN
SCALE: 1:100mm (24"x36")



A EXHAUST FAN CONTROLS DETAIL (WAREHOUSE)
SCALE: N.T.S.



GENERAL NOTES:

1. RUN ALL WIRING FROM THE ATTIC SPACE TO THE CRAWLSPACE VIA THE EXISTING MECHANICAL / ELECTRICAL CHASE IN THE SOUTH CORNER OF THE MAIN FLOOR.

KEYNOTES:



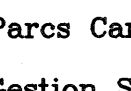

1. PROVIDE NEW DEDICATED 15A DUPLEX RECEPTACLES FOR SUMP PUMPS (SP-1 AND SP-2) UNDERNEATH THE FLOOR. BOARDS COMPLETE WITH NEW WIRING AND NEW DEDICATED SWD 15A-1P CIRCUIT BREAKERS. RUN NEW MULTI-CONDUCTOR #12 AWG CU (+ GROUND) TECK90 CABLE FROM THE NEW RECEPTACLES BACK TO THE ELECTRICAL PANEL VIA THE ELECTRICAL CHASE AND CRAWLSPACE.
2. HEAT TRACE ALL MECHANICAL SUMP PUMP PIPING WITHIN THE CRAWLSPACE AND THE FIRST 30m OF EXTERIOR DRAINAGE PIPING COMPLETE WITH SWD 15A-1P (30mA) GFCI CIRCUIT BREAKER AND WIRING. REFER TO DETAIL 'A' ON DRAWING EG-500. RUN NEW 2C #12 AWG CU (+ GROUND) TECK90 CABLE FROM THE NEW RECEPTACLE BACK TO THE ELECTRICAL PANEL VIA THE ELECTRICAL CHASE AND CRAWLSPACE. LOCATE THE COLD LEAD TERMINATIONS IN AN ACCESSIBLE LOCATION UNDERNEATH THE FLOOR BOARDS AND ADJACENT TO A SUMP PIT.
3. PROVIDE NEW LINE VOLTAGE CONTROLS AND POWER FOR THE NEW EXHAUST FAN SYSTEM INCLUDING THE EXHAUST FAN (EF-1) AND MOTORIZED DAMPER (MD-1) COMPLETE WITH WIRING, LOCAL DISCONNECT SWITCH AND SWD 20A-1P BREAKER. RUN NEW 2C #12 AWG CU (+ GROUND) TECK90 CABLE FROM THE NEW EQUIPMENT BACK TO THE ELECTRICAL PANEL VIA THE ELECTRICAL CHASE AND CRAWLSPACE. REFER TO DETAIL 'A' FOR THE WIRING SCHEMATIC.
4. THE LAMACOID LABEL FOR THE CRAWLSPACE EXHAUST FAN SWITCH SHALL READ "CRAWLSPACE EXHAUST FAN (EF-1)".

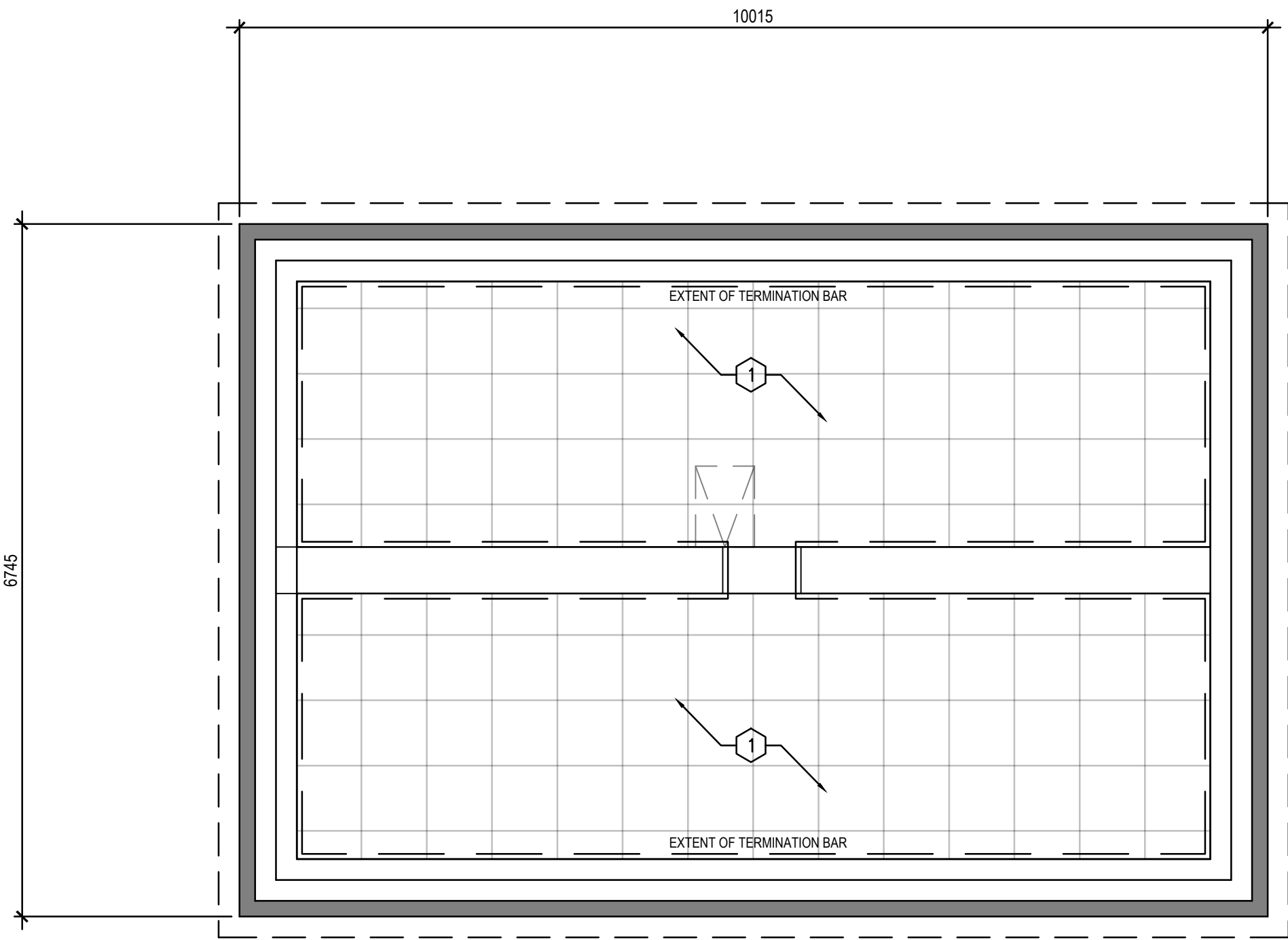
DETAIL NOTES:

- A) THE WIRING SCHEMATIC SHOWN IS DIAGRAMMATIC ONLY. THE ELECTRICAL CONTRACTOR SHALL REFER TO THE SUPPLIED EQUIPMENT INSTALLATION MANUALS FOR THE EXACT CONTROL WIRING REQUIREMENTS.
- B) PROVIDE FUSE AND OVERLOAD PROTECTION AS RECOMMENDED BY THE MOTORIZED DAMPER MANUFACTURER.
- C) INTERLOCK THE EXHAUST FAN TO START AFTER ALL THE MOTORIZED DAMPERS OPEN TO 85%.
- D) SIZE FUSE TO SUIT THE MOTORIZED DAMPER CONTACT RATING.

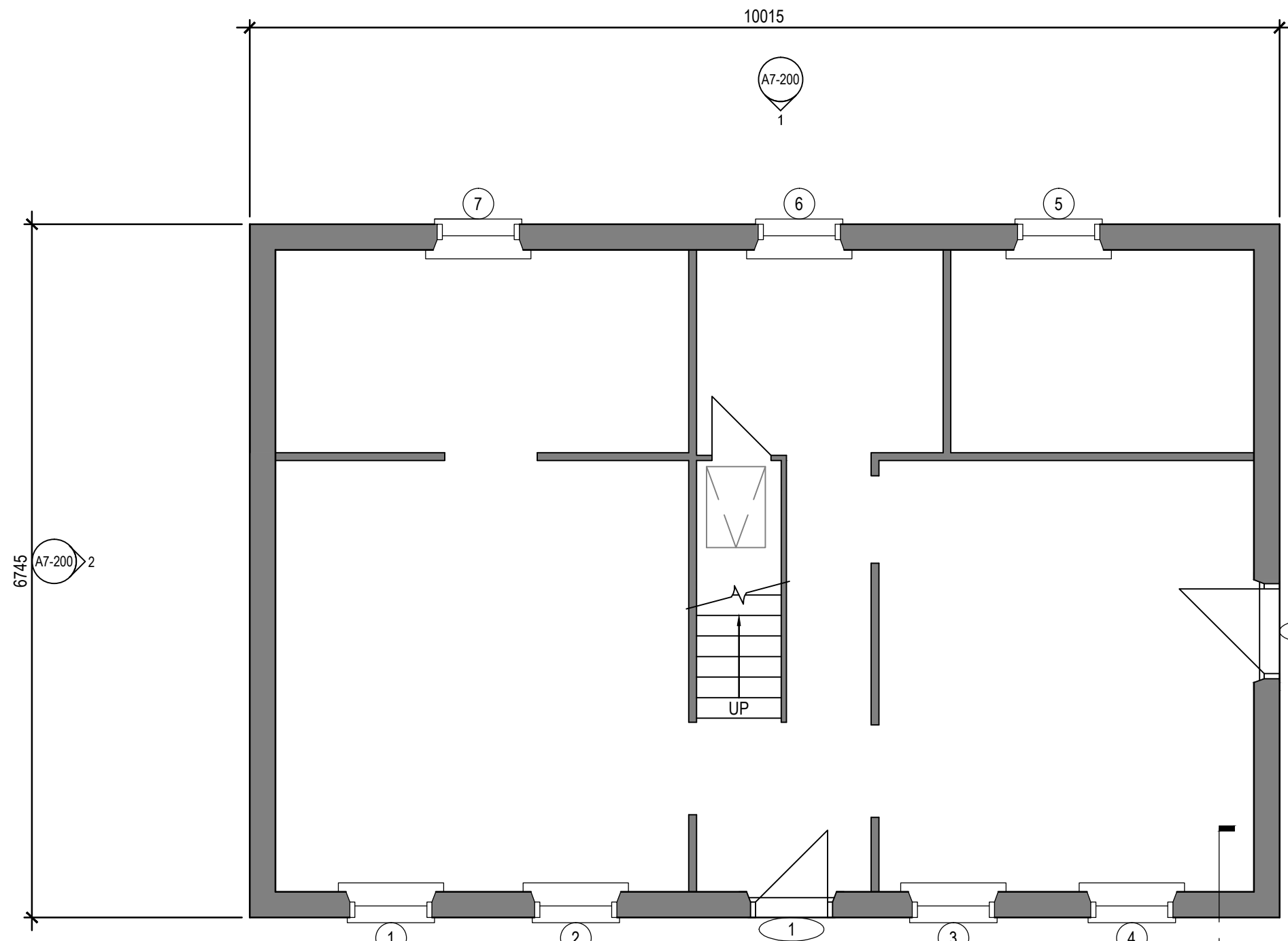
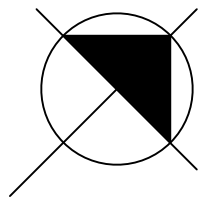
SEQUENCE OF OPERATION

1. WHEN INITIATED, OPEN MOTORIZED DAMPERS MD-1, MD-2 AND MD-3. ONCE MOTORIZED DAMPERS ARE OPEN TO 85%, START EXHAUST FAN EF-1.
2. WHEN SPACE HUMIDITY FALLS BELOW SET POINT, TURN EF-1 OFF AND CLOSE DAMPERS.

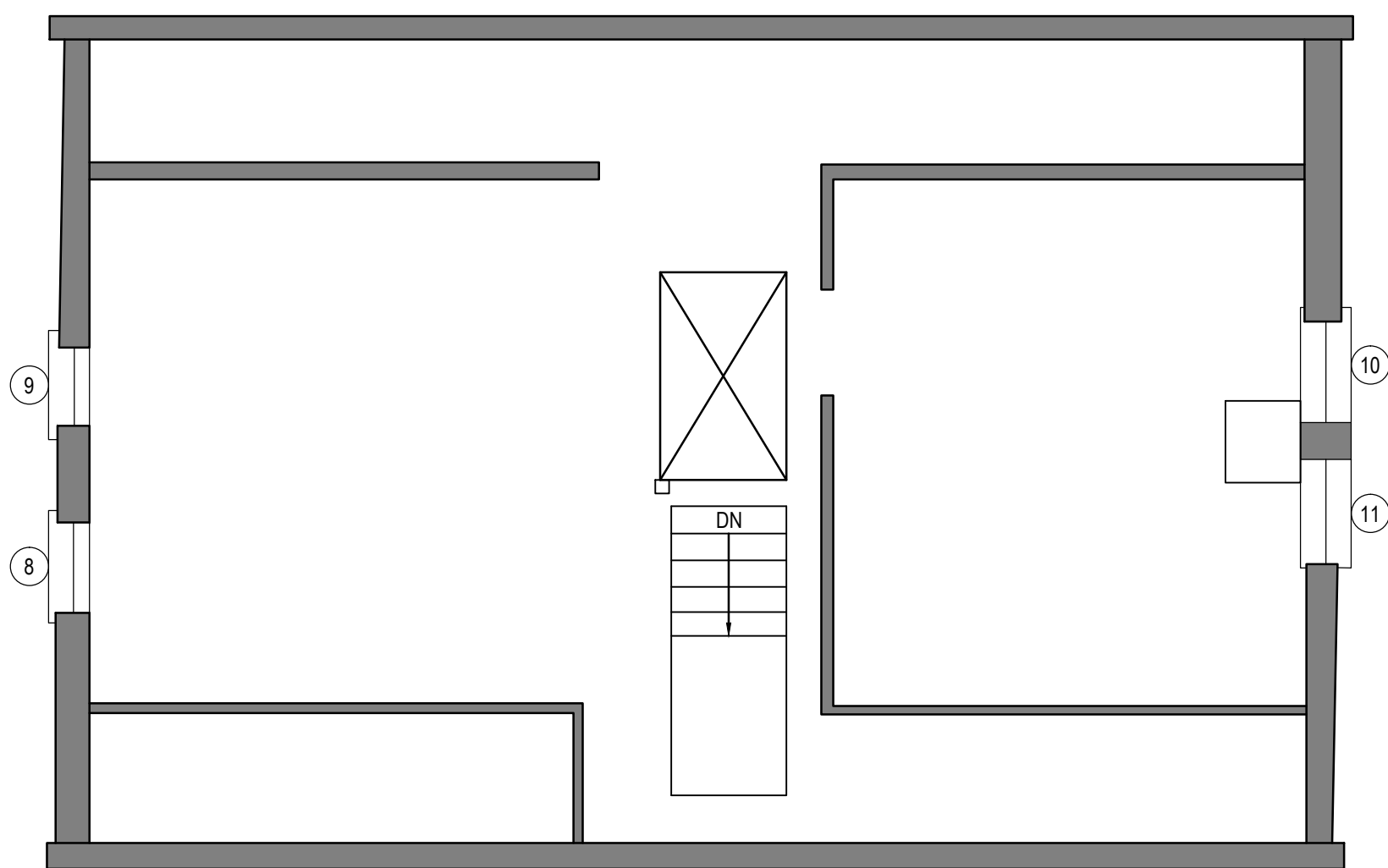
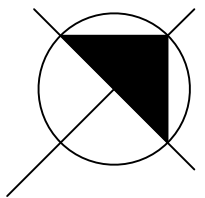
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|--|------------|---|-------------------------|--|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | SDC | CLS |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions In millimètres | | Dimensions linéaires en millimètres | | |
| Erg. Stamp Sceau de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | | | | |
|  | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1280 FAX: 204-477-6 architecture49.com | | | | |
|  Parks Canada Strategic Asset Management, Western and Northern Region | | | | |
|  Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant  | | | | |
| Project title/Titre du projet LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin WAREHOUSE CRAWLSPACE, FIRST AND THIRD FLOOR PLAN | | | | |
| Surveyed by/Arpenté par CLS | | Drawn by/Dessiné par SDC | | Date 2018/02/21 |
| Designed by/Concept par CLS | | Reviewed by/Revisé par CLS | | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
| Date | | Date | | |
| Project No./N° du projet 1803 | | Asset No./N° du bien 1256 | | Sheet No./ N° de la feuille E6-110 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | | | |



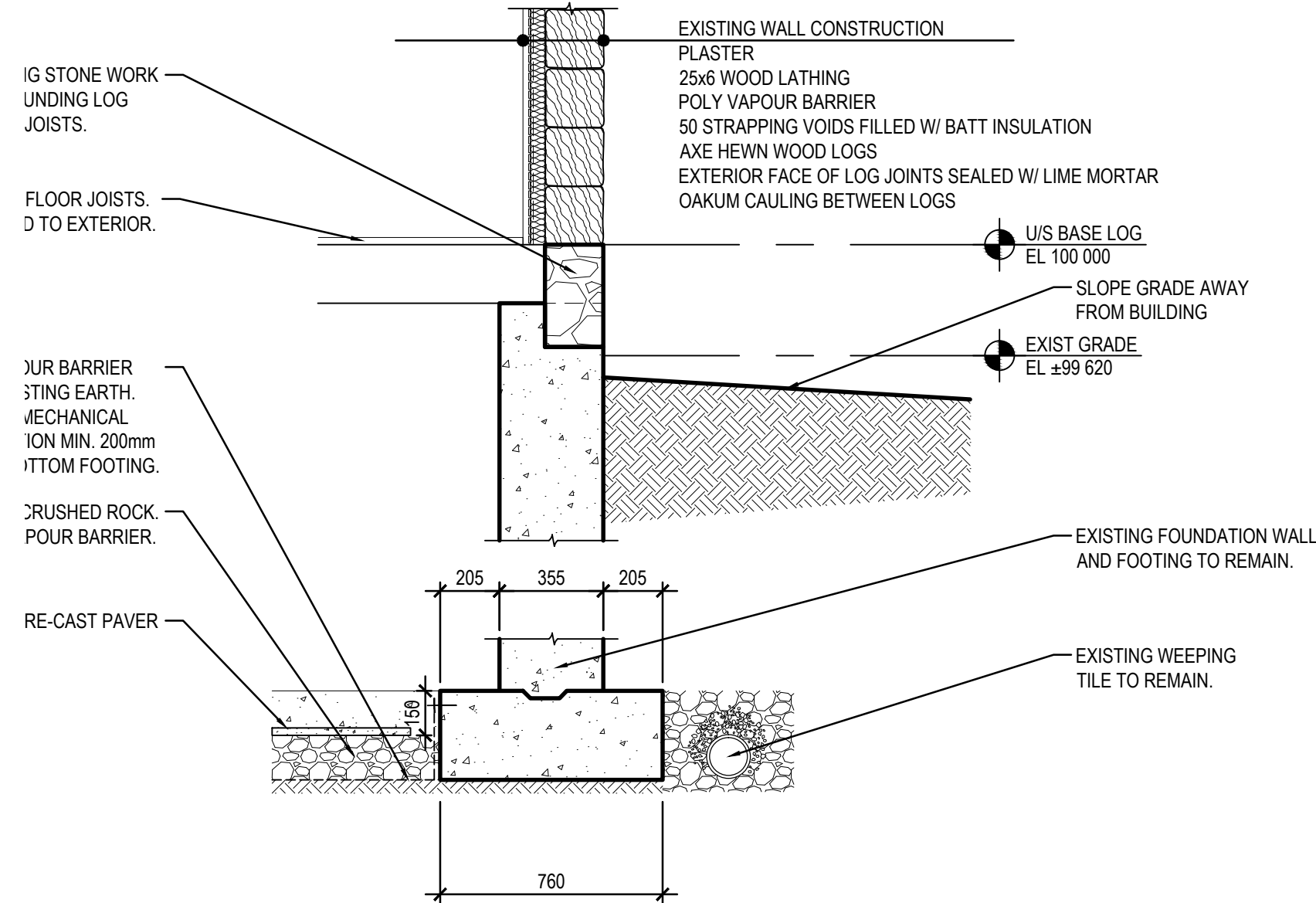
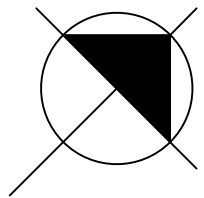
1 BASEMENT PLAN
A7-110 A7-110 1:50



2 MAIN FLOOR PLAN
A7-110 A7-110 1:50



3 ATTIC PLAN
A7-110 A7-110 1:50



4 FOUNDATION DETAIL
A7-110 A7-110 1:20

GENERAL NOTES:FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM.
- REMOVE LOOSE CHINKING, INSTALL NEW OAKUM AND DAUB JOINTS WITH APPROVED DAUBING MIXTURE. PREPARE EXPOSED LOG SURFACES TO RECEIVE WHITEWASH.
- LOOSE FENCE PICKETS, RAILS, AND/OR POSTS TO BE CATALOGUED.
- HAND SCRAPE AND WHITEWASH EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.

DRAWING KEYNOTES:

- RELOCATE EXISTING STONE TEMPORARILY TO FACILITATE THE INSTALLATION OF NEW GEO-TEXTILE FABRIC AND VAPOUR BARRIER WITH TERMINATION BARS @ PERIMETER. PROVIDE MIN. 150mm VERTICAL RETURN @ PERIMETER OF FOOTING. RE-DISTRIBUTE EXISTING STONE TO UNIFORM DEPTH. ARRANGE WHOLE PAVER UNITS IN CENTRE OF EACH ROOM.

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| Revision / Revision |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Eng. Stamp
Sceau de l'ingénieur

PROVINCE OF MANITOBA
G. LEE
McCORMICK
REGISTERED ARCHITECT
APR 27, 18

PROVINCE OF MANITOBA
ARCHITECTURE49
INC.
No. 176
REGISTERED ARCHITECTURAL CORPORATION

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Canada

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant
Nom de sous conseil

KGS GROUP
CONSULTING
ENGINEERS

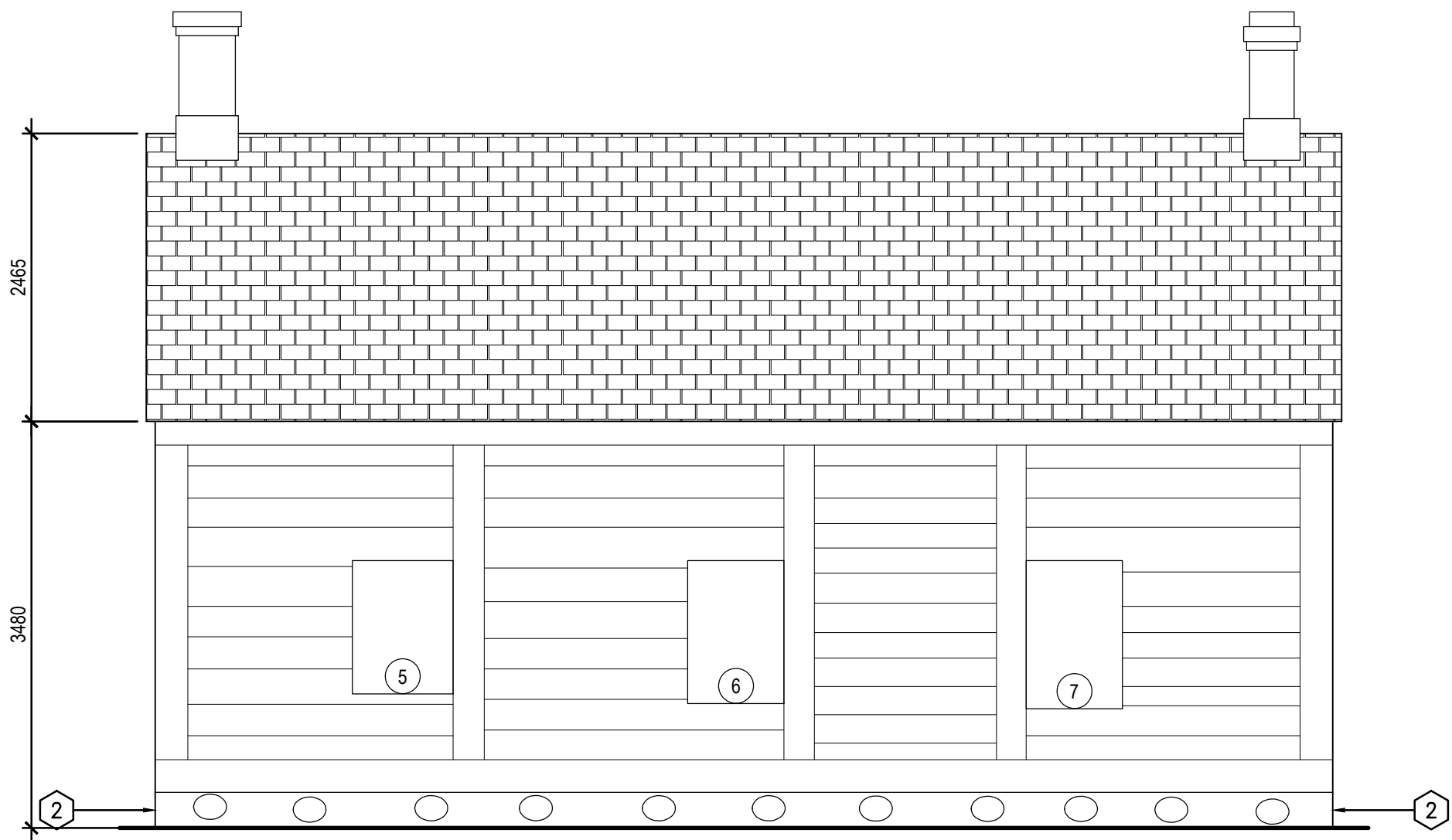
Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

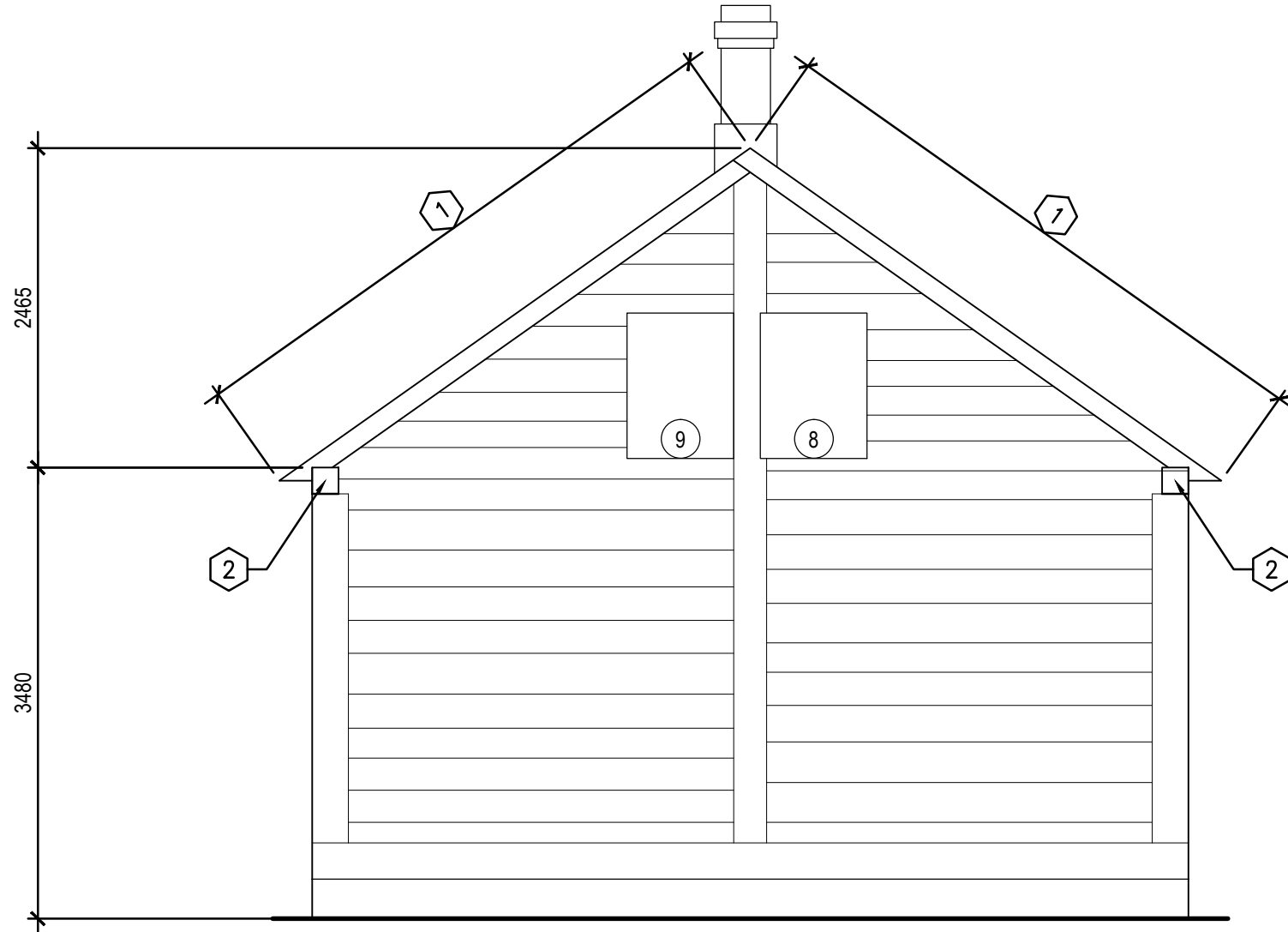
Drawing title/Titre du dessin

**FARM MANAGER'S HOUSE
MAIN AND ATTIC FLOORS,
AND DETAIL**

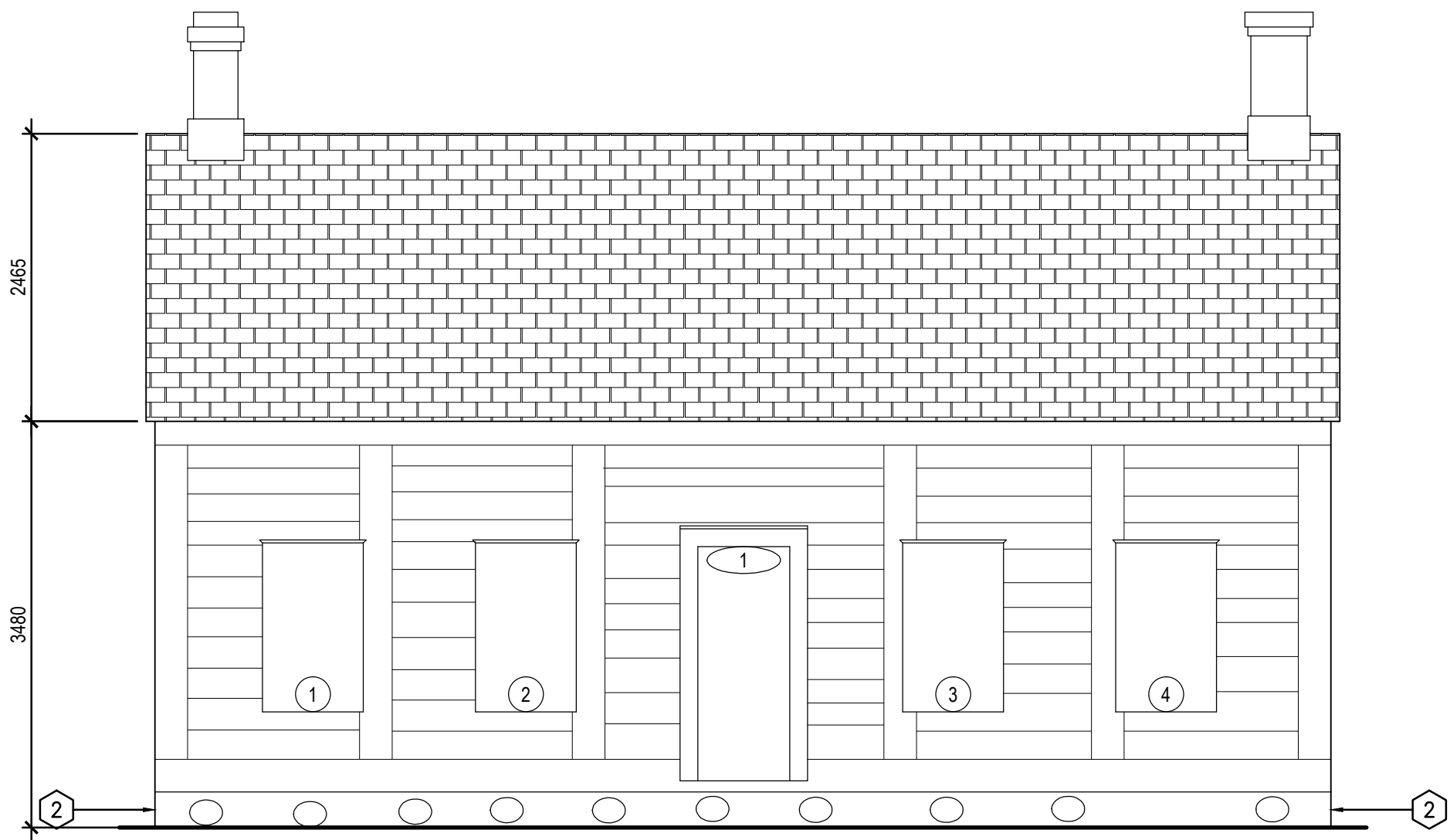
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| AV | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| GL | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| | | |
| Project No./N° du projet | Asset No./N° du bien | Sheet No./N° de la feuille |
| R. | R. | A7-110 |
| Drawing Set No./N° de série du dessin | | |



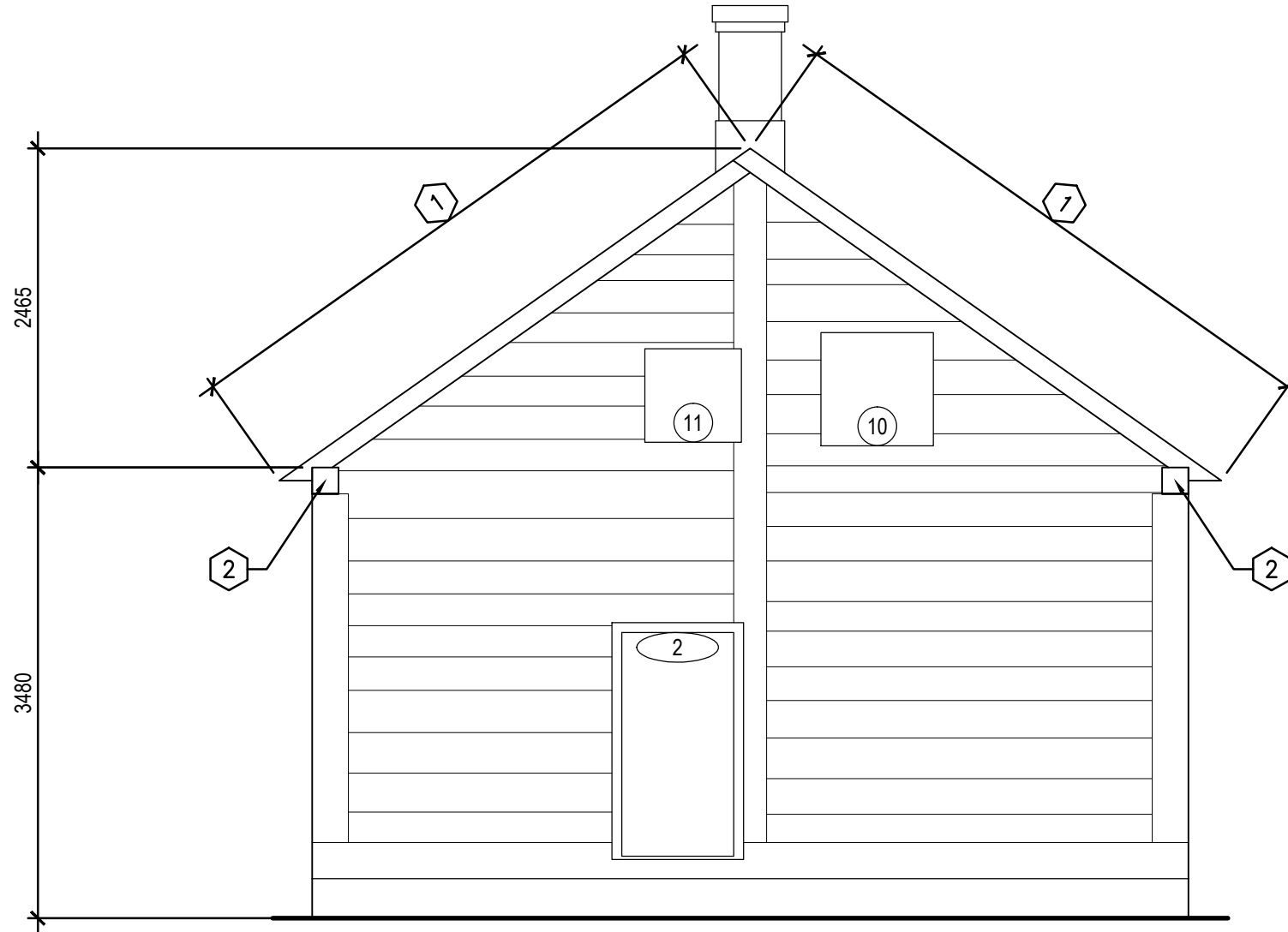
1 EAST ELEVATION
A7-110 A7-200 1:50



2 SOUTH ELEVATION
A7-110 A7-200 1:50



3 WEST ELEVATION
A7-110 A7-200 1:50



4 NORTH ELEVATION
A7-110 A7-200 1:50

GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM.
4. REMOVE LOOSE CHINKING, INSTALL NEW OAKUM AND DAUB JOINTS WITH APPROVED DAUBING MIXTURE. PREPARE EXPOSED LOG SURFACES TO RECEIVE WHITEWASH.
5. LOOSE FENCE PICKETS, RAILS, AND/OR POSTS TO BE CATALOGUED.
6. HAND SCRAPER AND WHITEWASH EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.

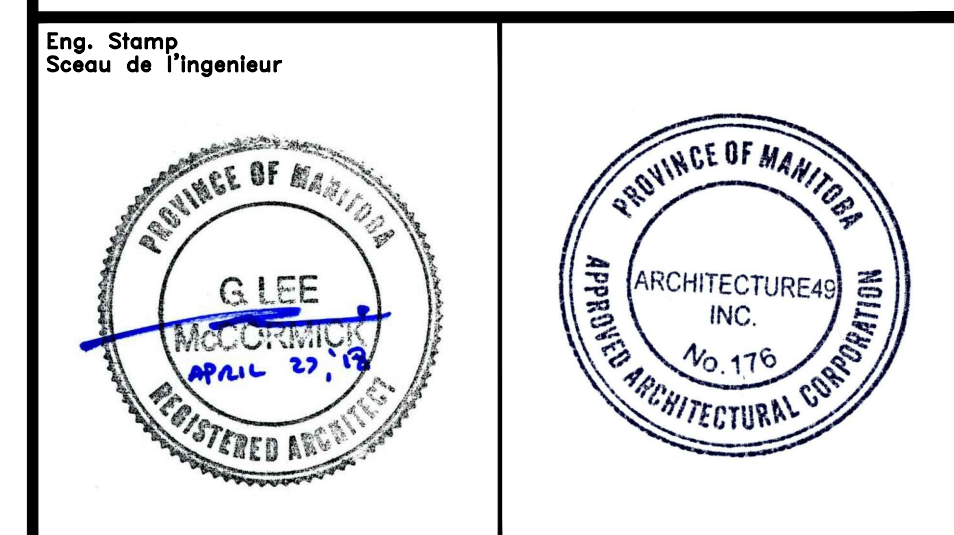
DRAWING KEYNOTES:

1. REMOVE LOOSE AND DETERIORATED TRIM PROFILES AT THE ROOF RAKE, MILL NEW STOCK, MATCHING THE PROFILE OF THE EXISTING STOCK. ATTACH NEW MATERIAL. PREPARE FOR WHITEWASH.
2. DAMAGED TIMBER ENDS, EXPOSED AT TOP SILL AND FLOOR. CUT OUT ROT AND REPLACE AS REQUIRED.

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada **Parcs Canada**

Strategic Asset Management, Western and Northern Region

Gestion Stratégique des Biens, Région de l'Ouest et du Nord

Canada

| | |
|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

KGS GROUP
CONSULTING ENGINEERS

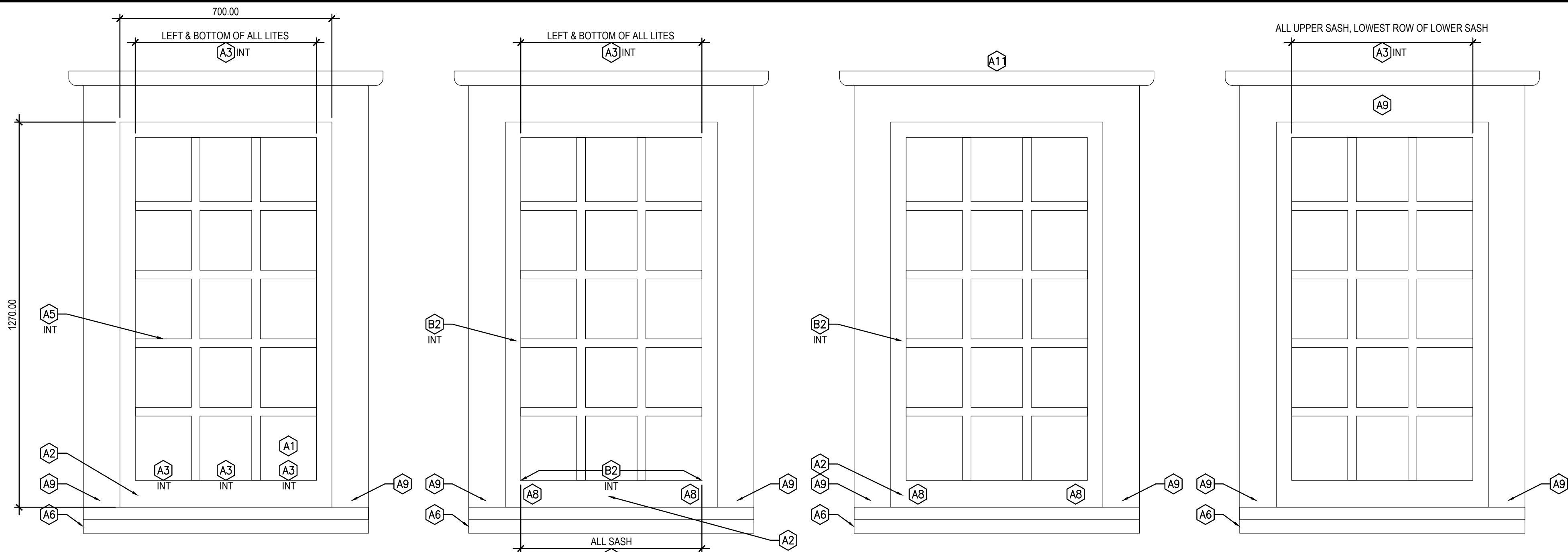
Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**FARM MANAGER'S HOUSE
EXTERIOR ELEVATIONS**

| | | |
|---|--------------------------|----------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| AV | AV | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| GL | GL | SEE NOTED |
| Client Acceptance/Acceptation du client | Approved by/Approuvé par | |
| Date | Date | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A7-200 |
| Drawing Set No./Nº de série du dessin | | |



1 WINDOW TYPE 1
STORM SASH
A7-200 A7-600 1:10

2 WINDOW TYPE 1
STORM SASH
A7-200 A7-600 1:10

3 WINDOW TYPE 1
STORM SASH
A7-200 A7-600 1:10

4 WINDOW TYPE 1
STORM SASH
A7-200 A7-600 1:10

5 WINDOW TYPE 2
STORM SASH
A7-200 A7-600 1:10

6 WINDOW TYPE 2
STORM SASH
A7-200 A7-600 1:10

7 WINDOW TYPE 2
STORM SASH
A7-200 A7-600 1:10

8 WINDOW TYPE 2
DOUBLE HUNG
A7-200 A7-600 1:10

9 WINDOW TYPE 2
DOUBLE HUNG
A7-200 A7-600 1:10

10 WINDOW TYPE 3
FIXED
A7-200 A7-600 1:10

11 WINDOW TYPE 4
FIXED
A7-200 A7-600 1:10

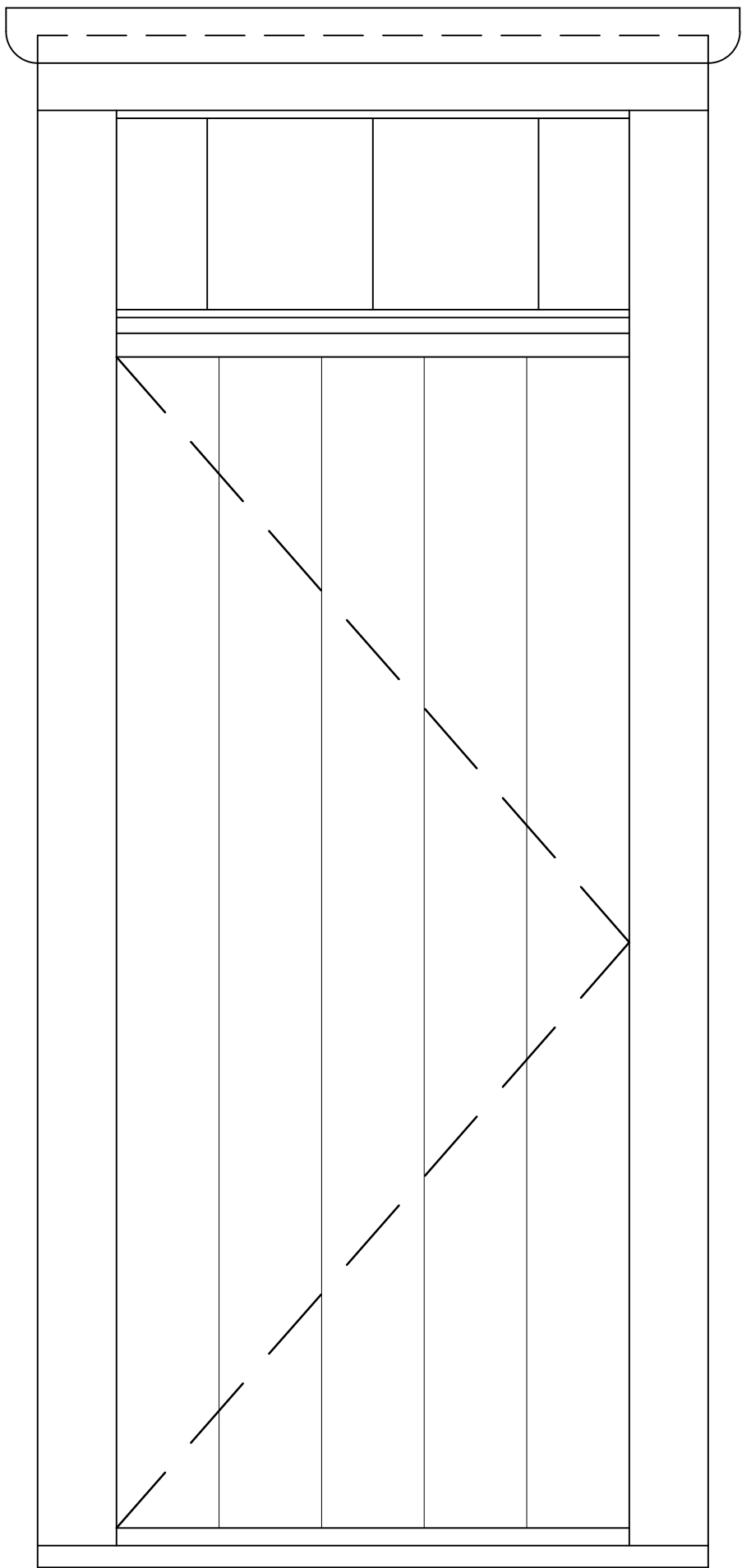
GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAM ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS, WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

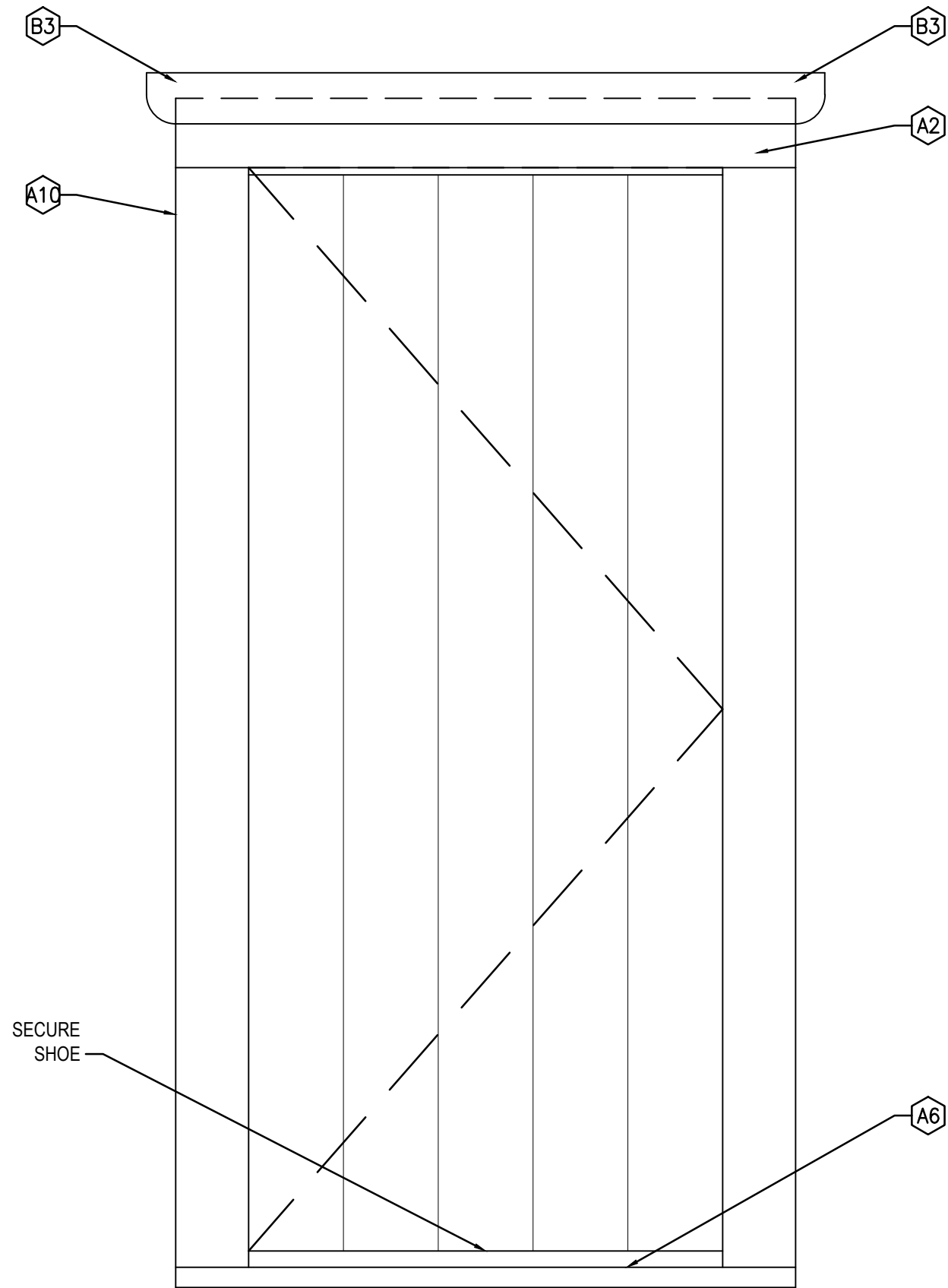
DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/TOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
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| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FARM MANAGER'S HOUSE WINDOWS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| | | | | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./ N° de la feuille |
| R. | | R. | | A7-600 |
| Drawing Set No./N° de série du dessin | | | | |



1 DOOR
A7-200 | A7-650 1:10



2 DOOR
A7-200 | A7-650 1:10

GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS; DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS , HAND SCRAPER, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
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- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS, WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

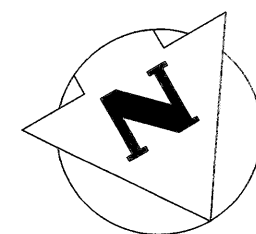
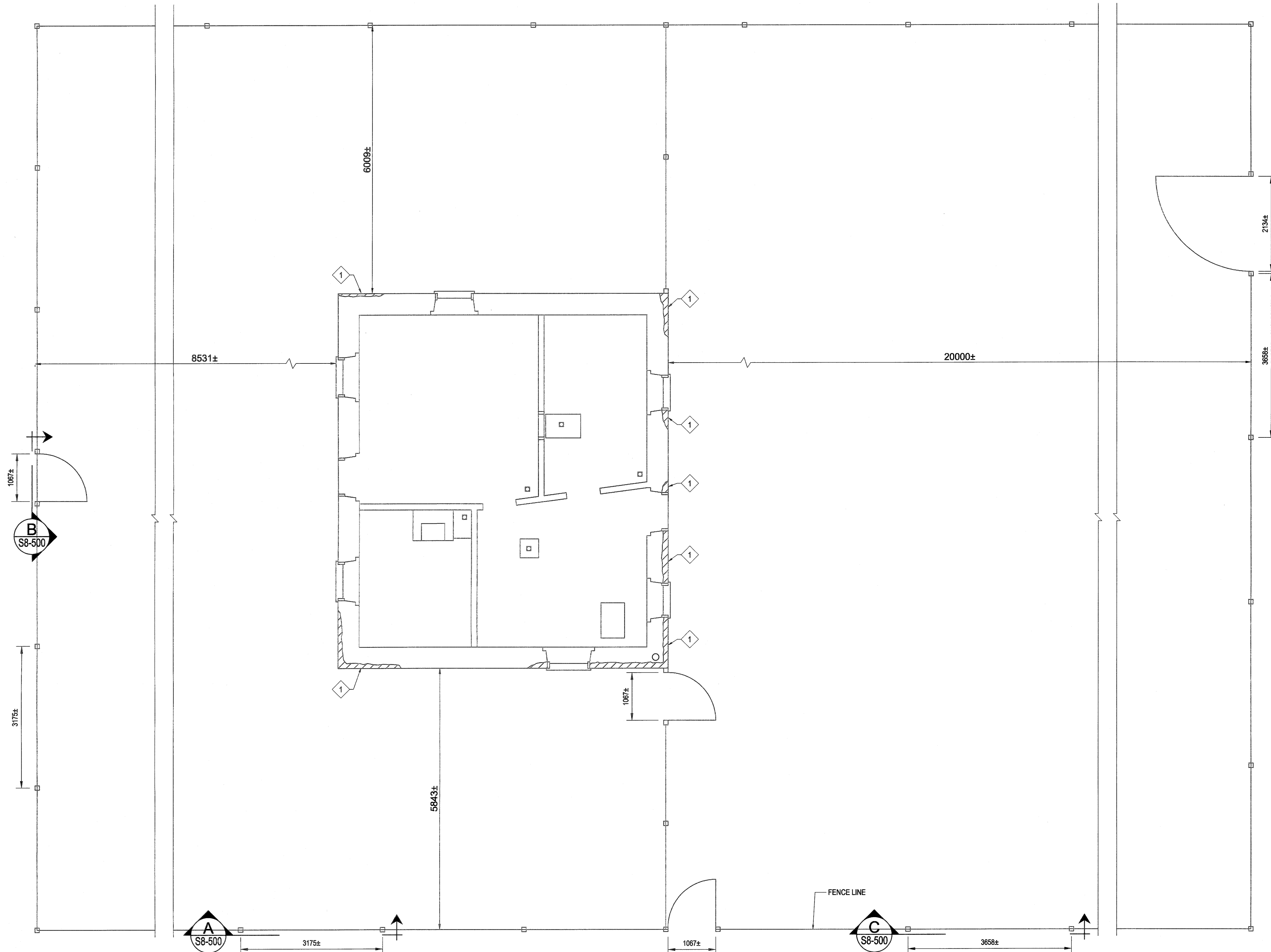
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
- SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.


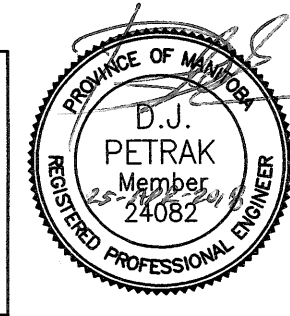


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| 0 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
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| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| FARM MANAGER'S HOUSE DOORS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A7-650 |
| Drawing Set No./Nº de série du dessin | | | | |

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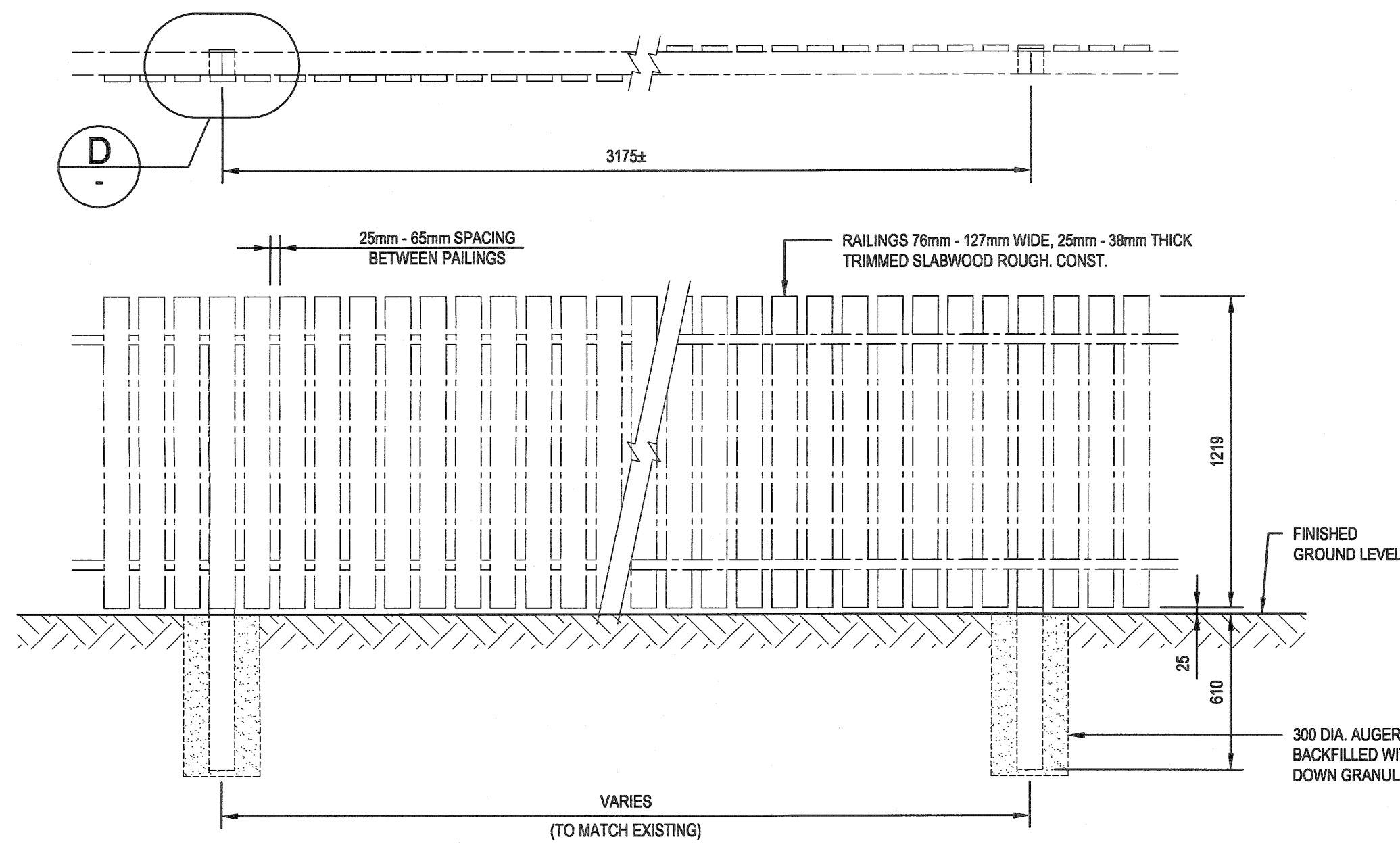


MAIN FLOOR PLAN
SCALE: 1:50

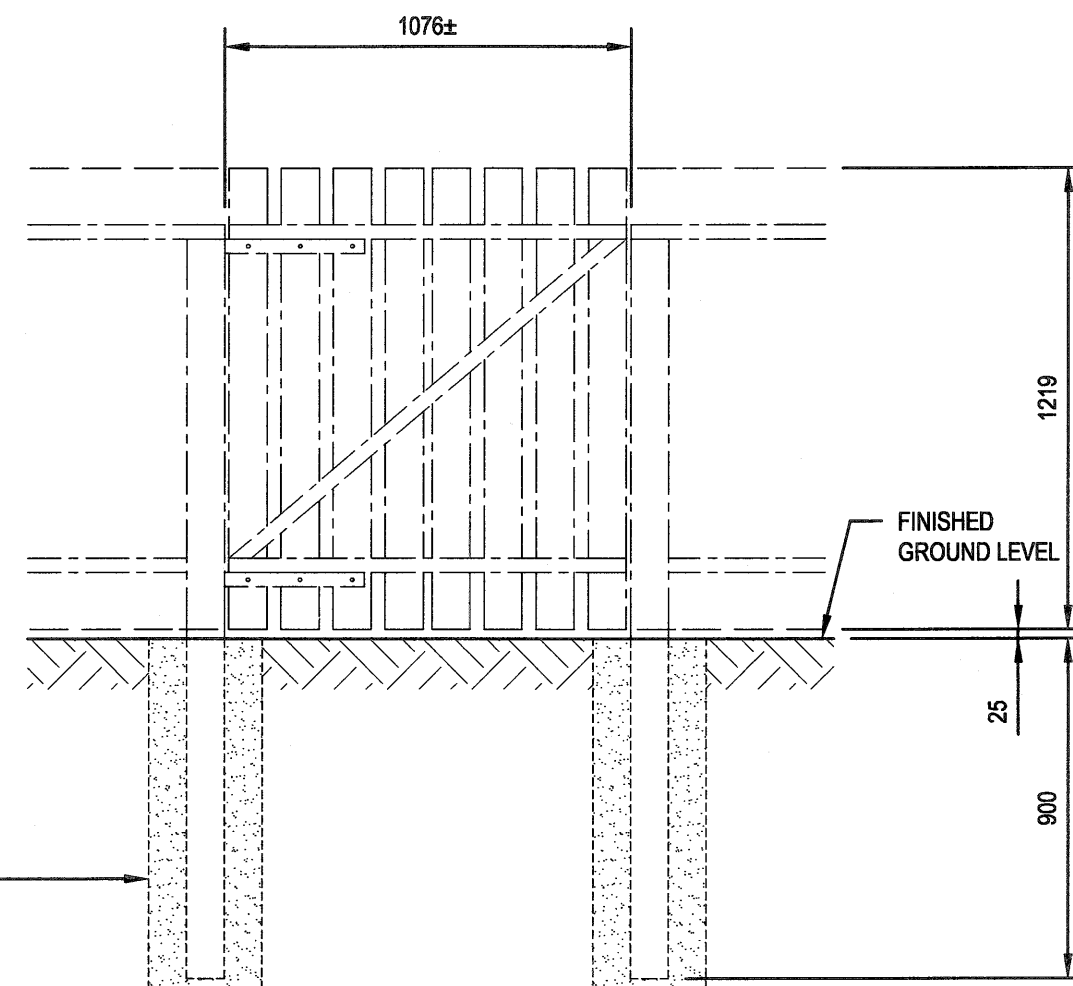
- KEY NOTES:
- 1 REPOINT EXTERIOR MASONRY AND REPAIR. APPROX. QUANTITY OF 20 SQUARE METERS.
 - 2 REPAIR FENCE AS REQUIRED.

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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | JAR | AP |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
|  Certificate of Authorization KGS Group No. 245 | |  | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1600 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
|  Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant | | | | |
|  | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| ROSS COTTAGE STRUCTURAL MAIN FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | MBB | | 2018/02/21 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| KRD | | AS NOTED | | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | | |
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| Date | | Date | | Date |
| | | | | |
| Project No./N° du projet | | Asset No./N° du bien | | Sheet No./N° de la feuille |
| 1603 | | 1262 | | S8-110 |
| Drawing Set No./N° de série du dessin | | | | |
| 18-0051-001 | | | | |

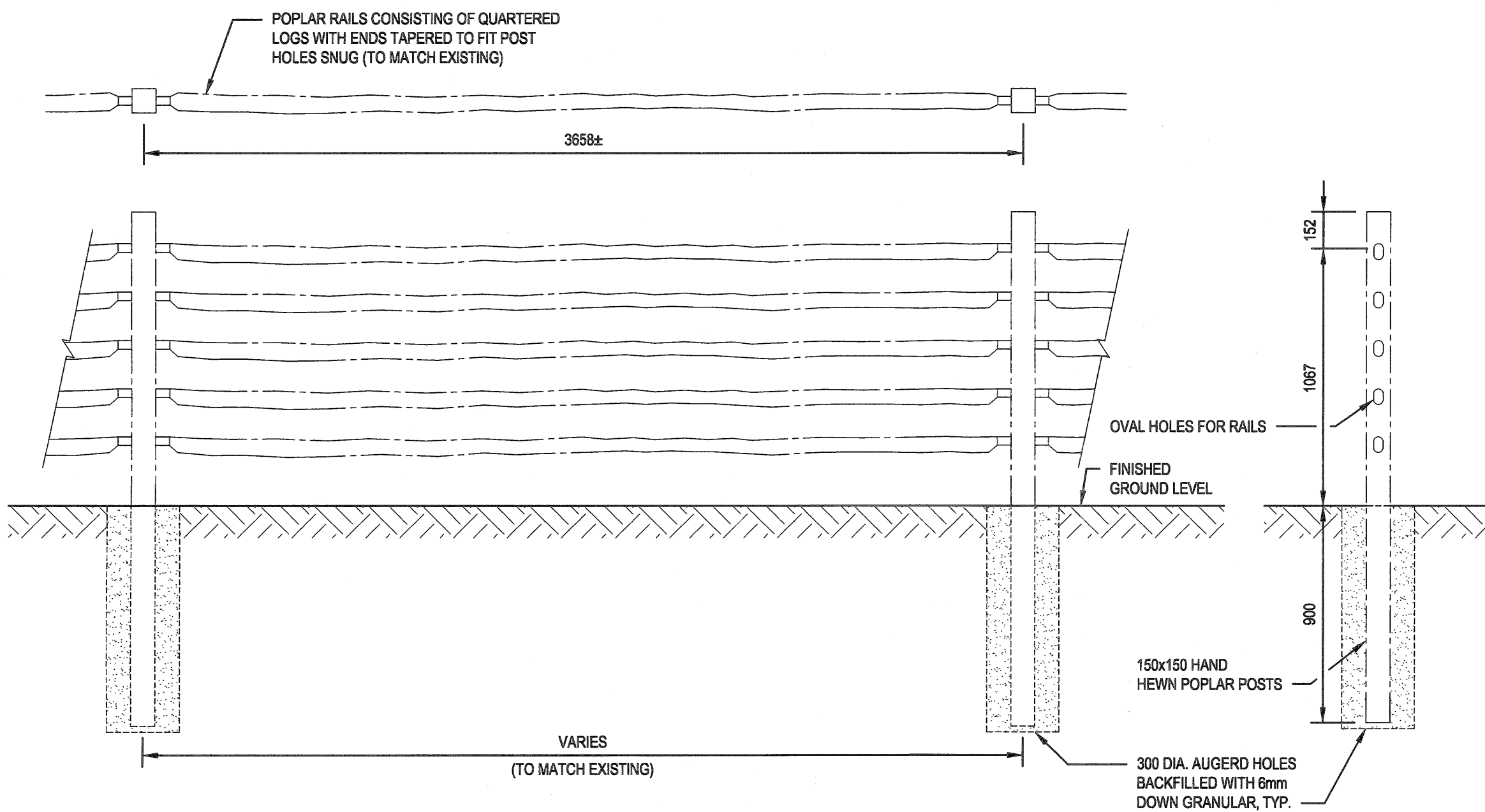
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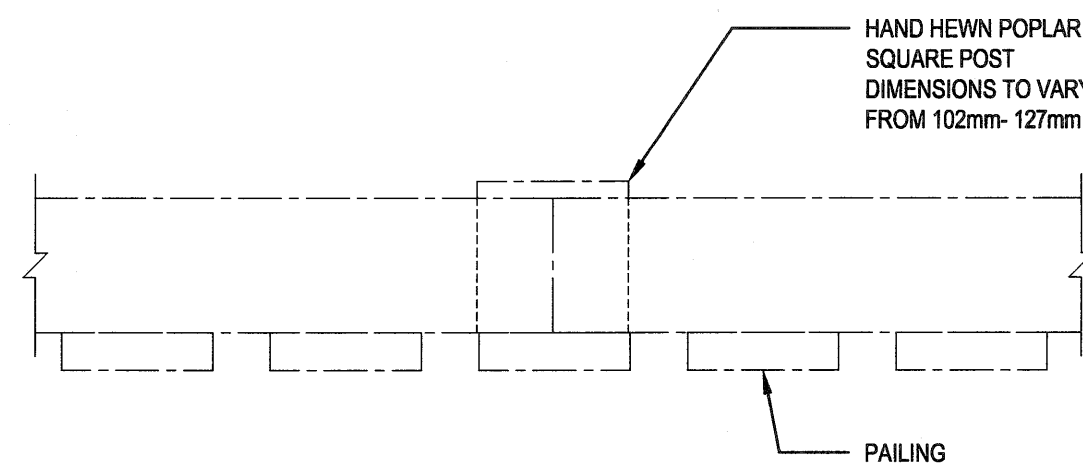
A PARTIAL DETAIL - POPLAR POSTS & PILING FENCE
S8-110 SCALE: 1:20



B PARTIAL DETAIL - PILING GATE-FRONT & SIDE GATEWAY
S8-110 SCALE: 1:20



C PARTIAL DETAIL - MORTISED POSTS & RAIL FENCE
S8-110 SCALE: 1:20



D DETAIL - TYPICAL POST
S8-110 SCALE: 1:5

APPROX. FENCE QUANTITIES;

(FIELD DIRECTED BY DEPARTMENTAL REPRESENTATIVE)

- FRONT FENCE:
POSTS - 12 REQ'D.
RAILINGS & PAILINGS - 20 lin. m.

- BACK FENCE:
POSTS - 10 REQ'D.
RAILING - 40 lin. m.
GATE - 2 REQ'D.

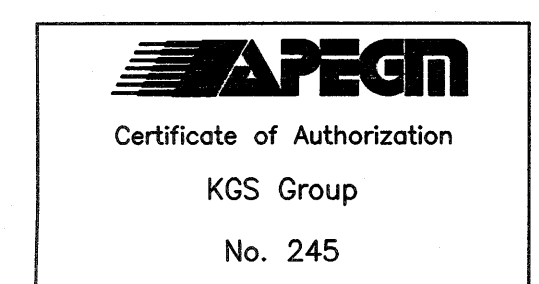
- NO 'PENTA' WOOD TREATMENT PERMITTED

MOCK-UP REQUIREMENT:
CONTRACTOR TO CREATE MOCK-UP SECTION OF EACH TYPE OF FENCE 1000mm LONG FOR REVIEW AND APPROVAL BY THE DEPARTMENTAL REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION & RECONSTRUCTION OF FENCE.

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| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | JAR | |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant
KGS GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

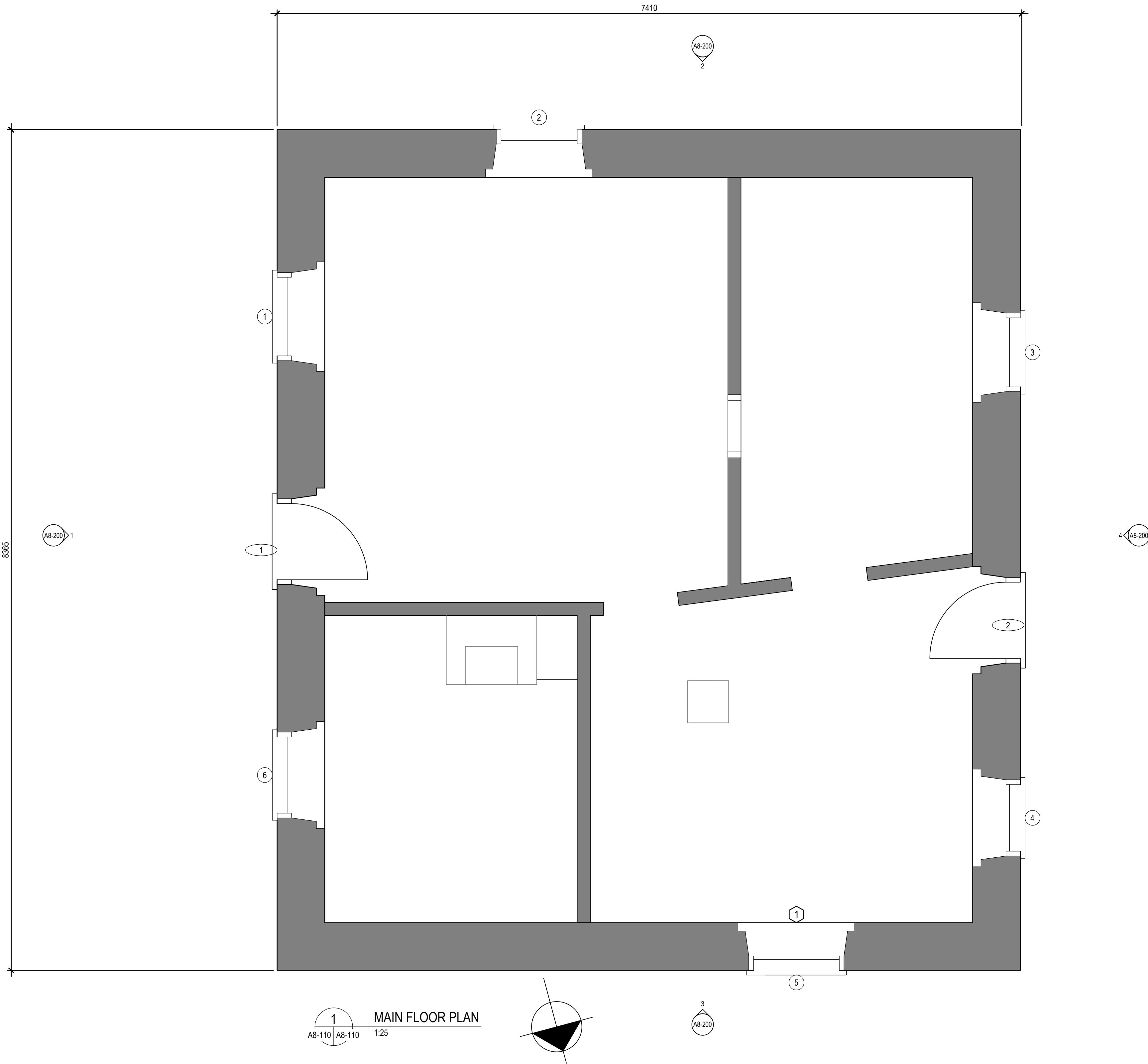
**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**ROSS COTTAGE
STRUCTURAL
SECTIONS & DETAILS**

| | | |
|---|-----------------------------|----------------------------------|
| Surveyed by/Arpenté par FBV | Drawn by/Dessiné par FBV | Date 2018/03/16 |
| Designed by/Concept par KRD | Reviewed by/Revisé par | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client Date | | Approved by/Approuvé par Date |

| | | |
|--|----------------------|---|
| Project No./No du projet 1603 | Asset No./No du bien | Sheet No./ N° de la feuille S8-500 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |



GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
3. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXTERIOR MASONRY. PREPARE AND REPAINT ALL STONE AND WOOD TRIM.
5. LOOSE RAILINGS/ POST TO BE CATALOGUED.
6. REPLACE MISSING PICKETS.
7. CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION, VERIFY LOCATIONS OF CRACKS ON SITE.

DRAWING KEYNOTES:

1. WATER LEAKAGE AT/BEHIND SILL AND CABINET. CUT OUT ROT/DAMAGE, REPAIR, AND WATERPROOF TO PREVENT FURTHER DETERIORATION.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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Strategic Asset
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Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

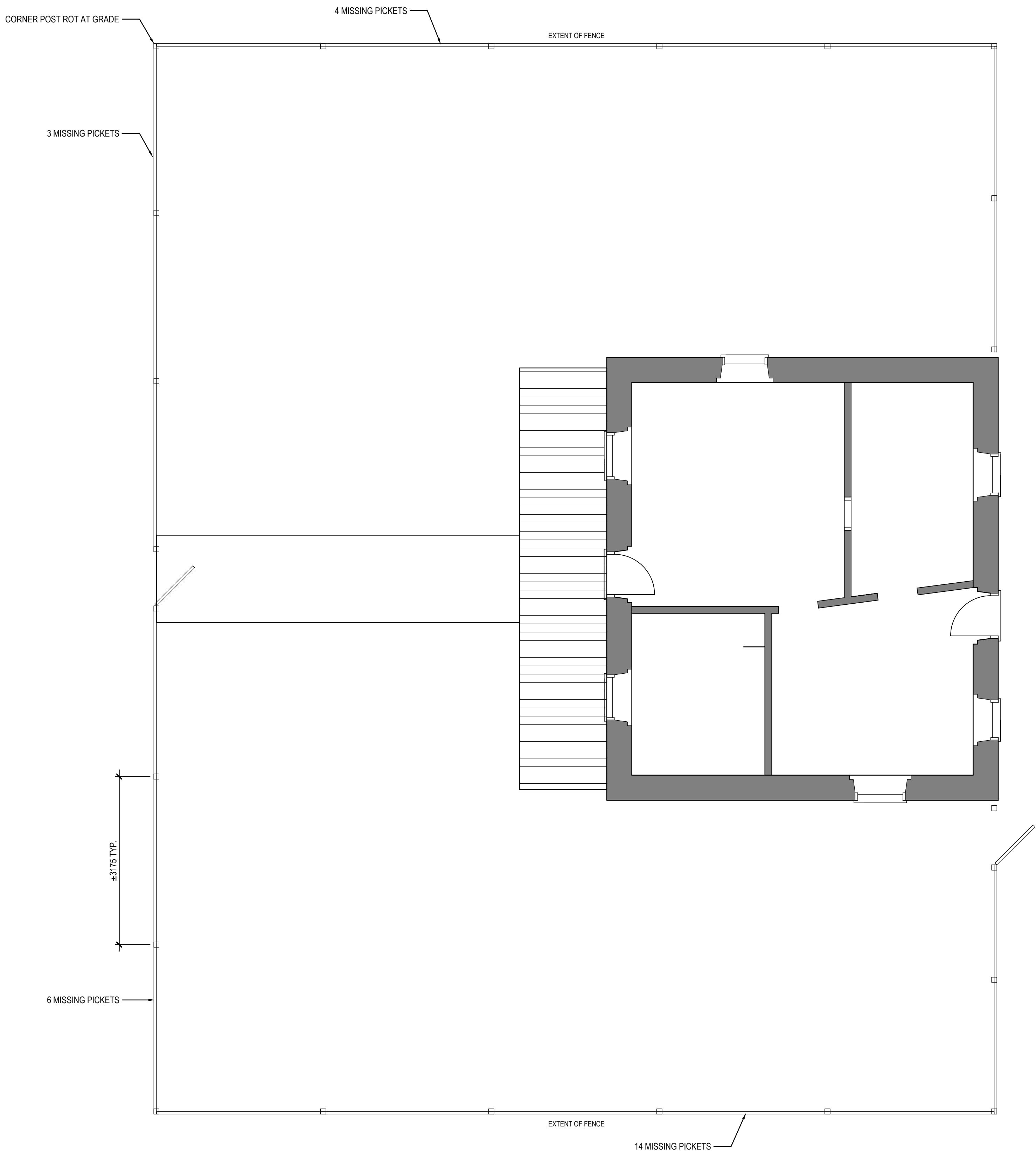
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

ROSS COTTAGE
MAIN FLOOR PLAN

| | | |
|---|------------------------------|--------------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par AV | Date 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par GL | Scale/Échelle SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet R. | Asset No./Nº du bien R. | Sheet No./ Nº de la feuille |
| Drawing Set No./Nº de série du dessin | | A8-110 |



GENERAL NOTES:FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
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- LOOSE RAILINGS/ POST TO BE CATALOGUED.
- REPLACE MISSING PICKETS.
- CONTRACTOR TO REPAIR ALL CRACKS IN ALL WALLS. USE DRAWINGS FOR APPROXIMATE LOCATION, VERIFY LOCATIONS OF CRACKS ON SITE.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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| Revision / Revision | | | | |
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| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
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Eng. Stamp
Sceau de l'ingénieur

ARCHITECTURE49 INC.

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada
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Western and Northern
Region

Parcs Canada
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des Biens,
Région de l'Ouest et
du Nord

Canada

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

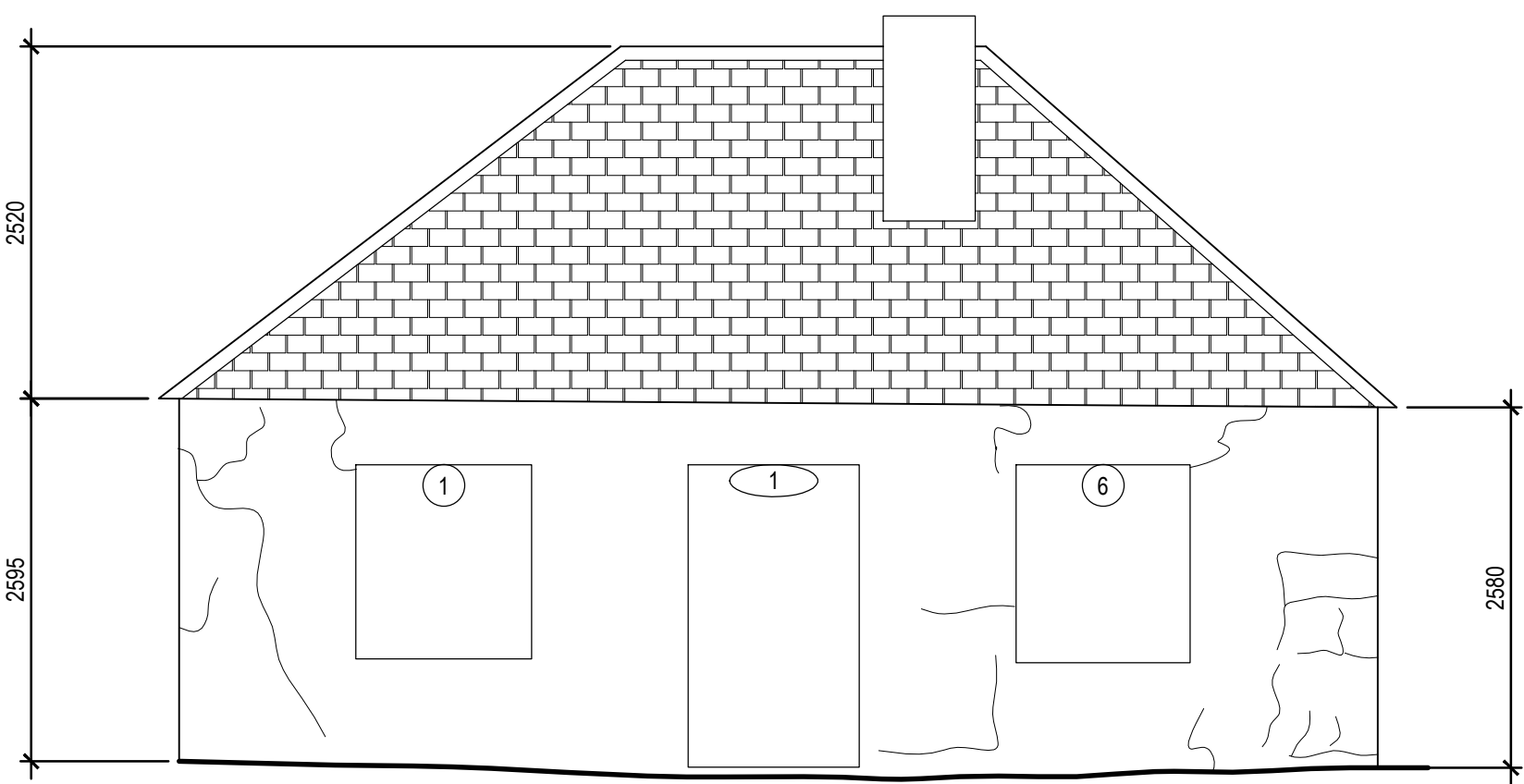
Drawing title/Titre du dessin

ROSS COTTAGE
FENCE PLAN

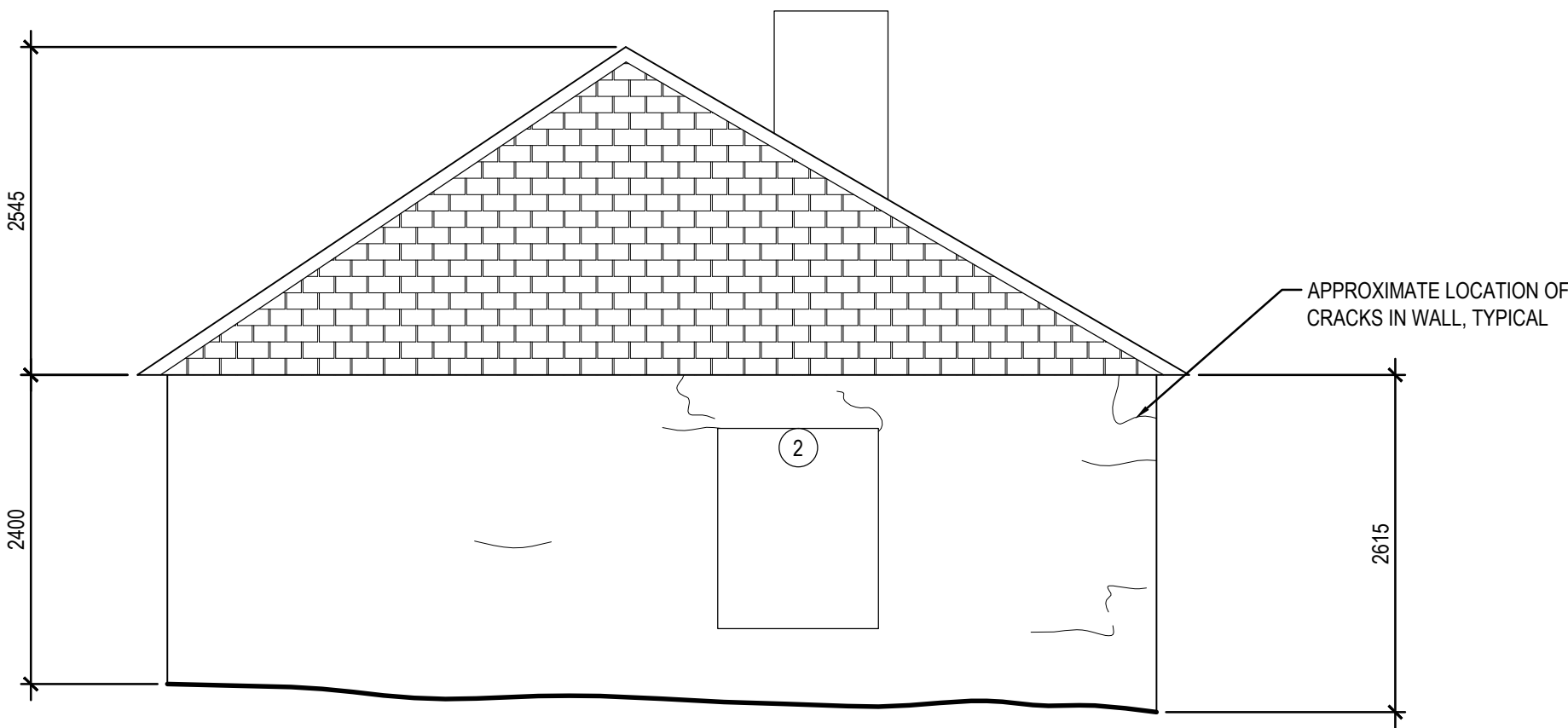
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
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| Client Acceptance/Acceptation du client | | Approved by/Approuvé par | |
| Date | | Date | |

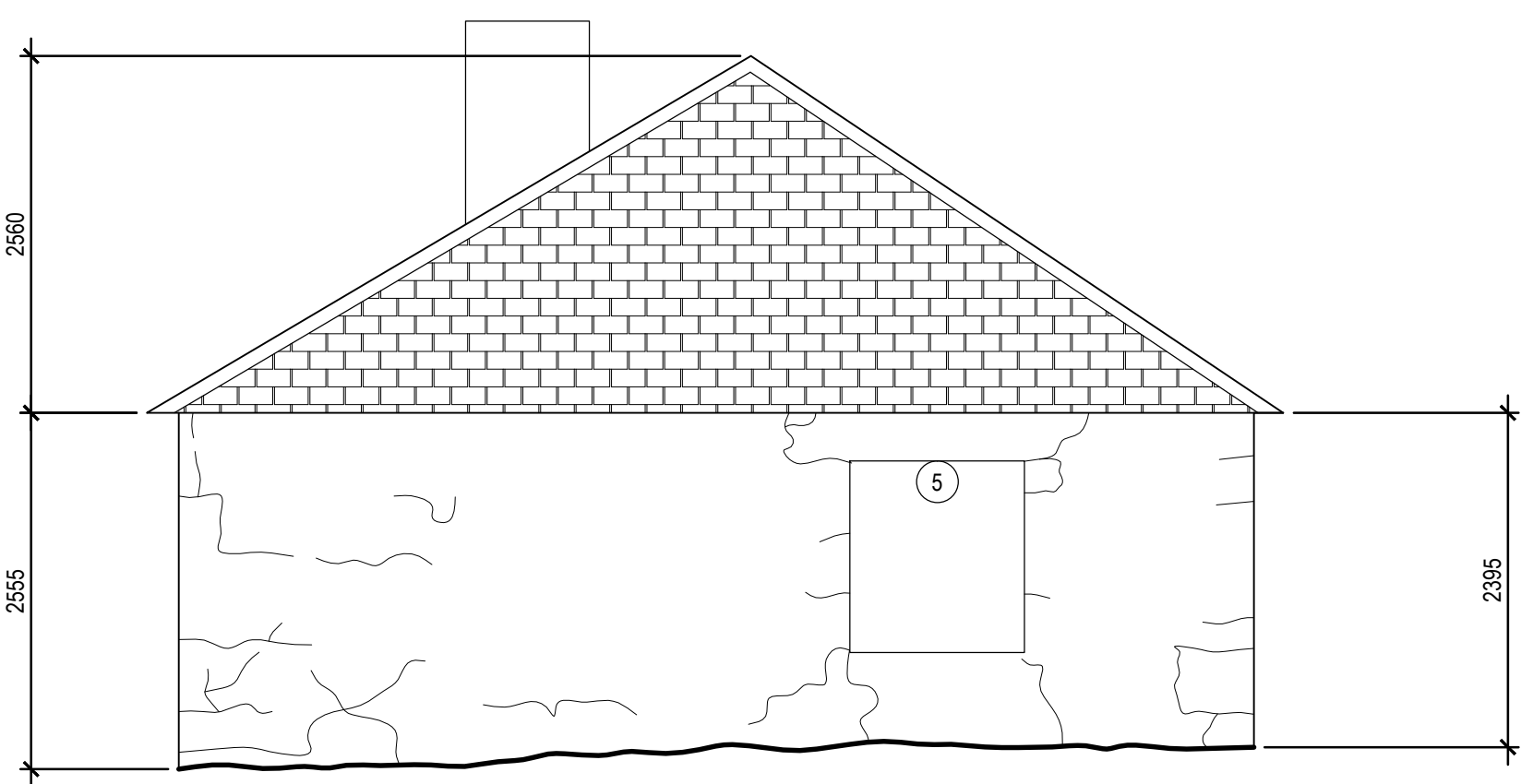
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| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A8-111 |
| Drawing Set No./Nº de série du dessin | | |



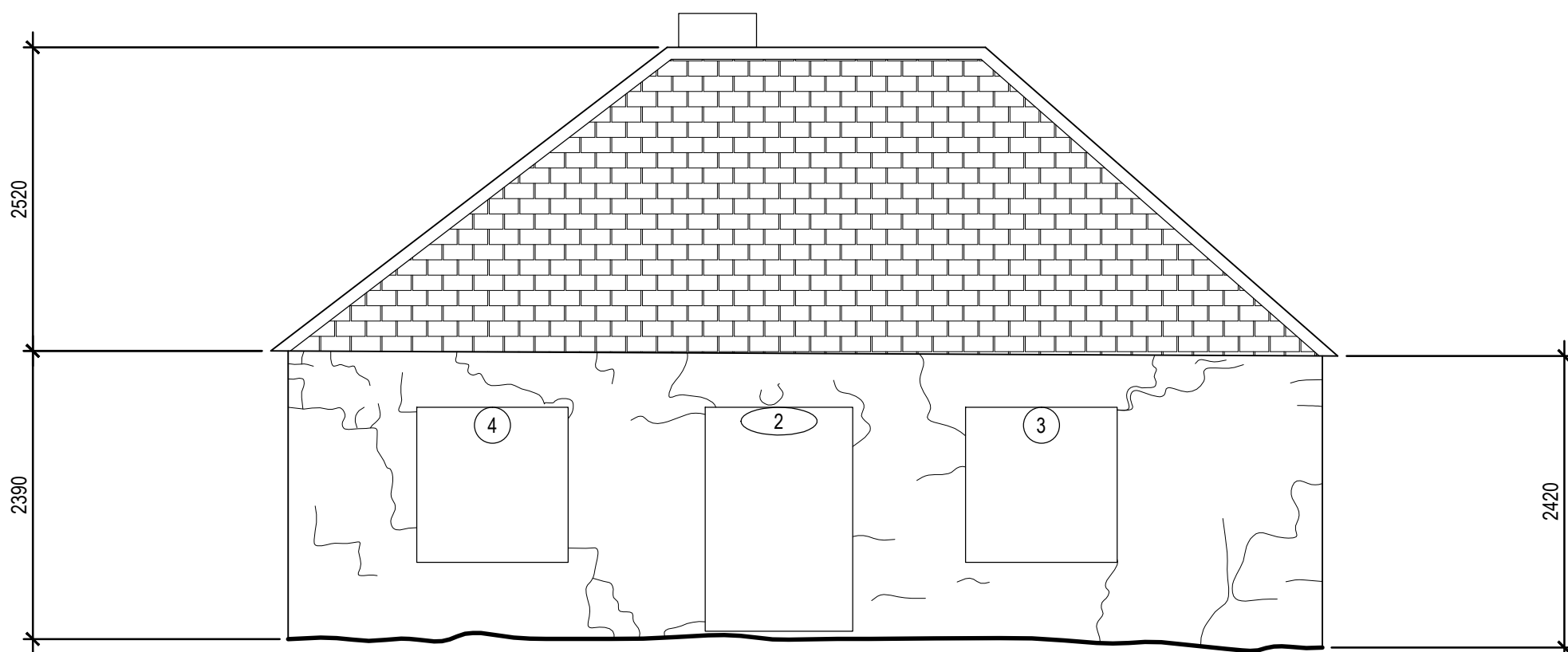
1 EAST ELEVATION
A8-110 A8-200 1:50



2 SOUTH ELEVATION
A8-110 A8-200 1:50



3 NORTH ELEVATION
A8-110 A8-200 1:50



4 WEST ELEVATION
A8-110 A8-200 1:50

GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR INTERIOR CRACKS WIDER THAN 2MM AND LONGER THAN 100MM. REPAINT REPAIRED WALL SURFACE.
3. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
4. CLEAN EXTERIOR MASONRY. PREPARE AND REPAINT ALL STONE AND WOOD TRIM.
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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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|---|--|
| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Canada | | |

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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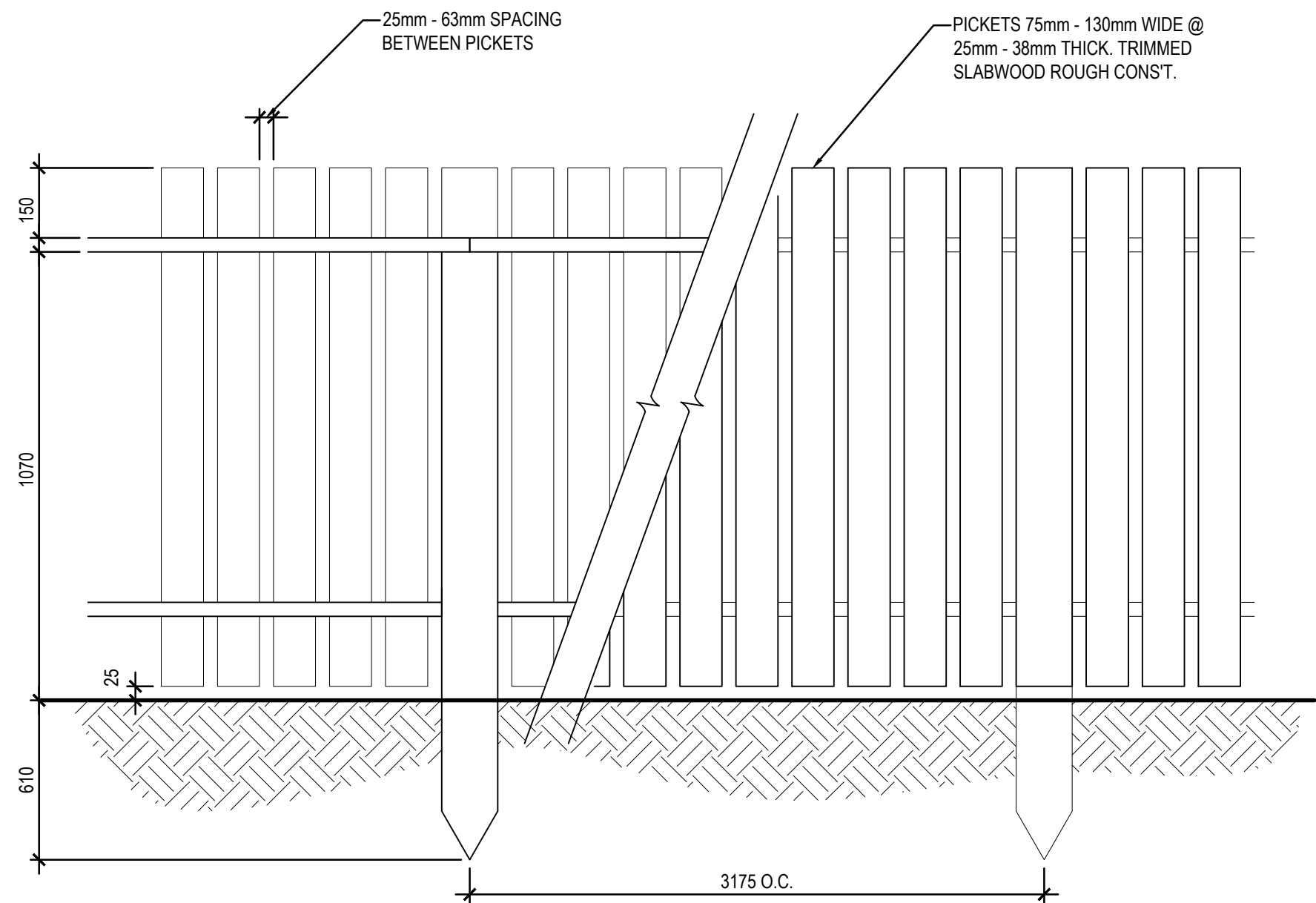
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|---------------------------------------|--|
| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
|---------------------------------------|--|

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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

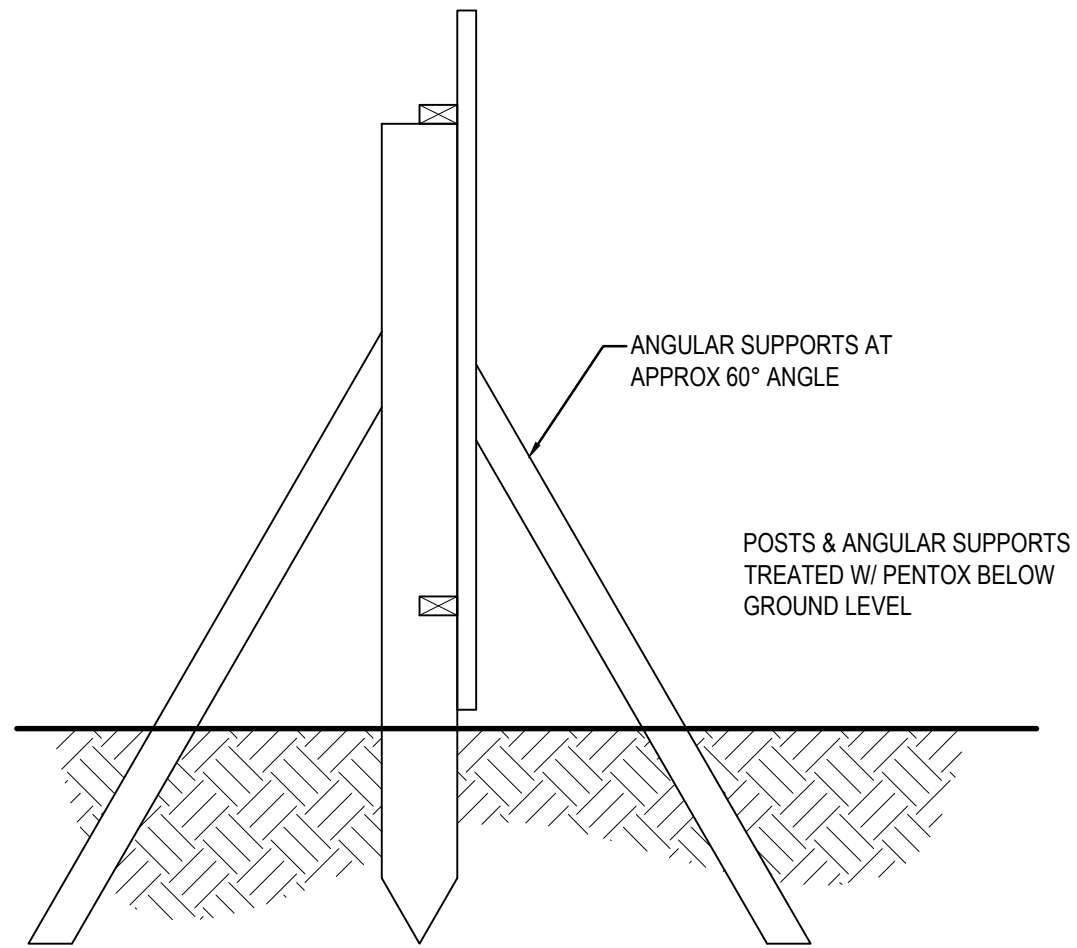
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| Drawing title/Titre du dessin |
| ROSS COTTAGE EXTERIOR ELEVATIONS |

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A8-200 |
| Drawing Set No./Nº de série du dessin | | |

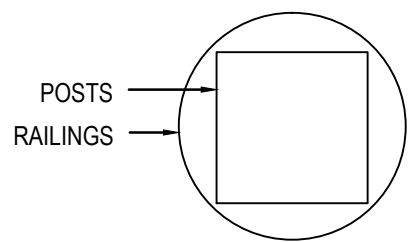
DETAILS ARE SHOWN FOR REFERENCE ONLY. ACTUAL CONDITIONS MAY VARY. DESIGN INTENT IS TO IDENTIFY AND REMOVE DETERIORATED MATERIALS. REPAIR REMAINING EXISTING FRAMING MEMBERS WITH NEW CONSERVATION APPROVED MATERIALS. MAINTAIN ALIGNMENT OF EXISTING REMAINING MATERIALS.



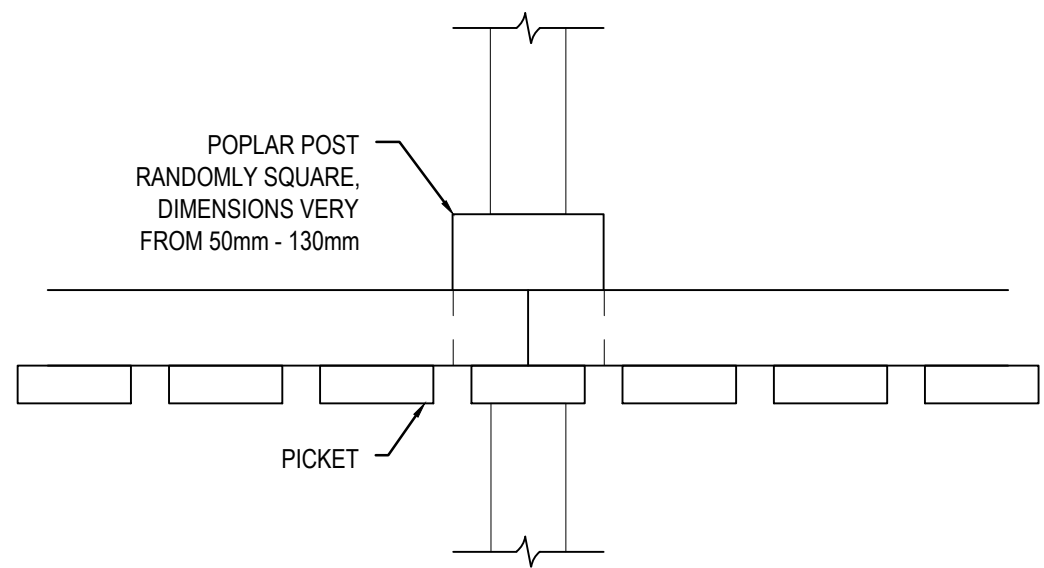
1 POPLAR POST AND RAILING FENCE
A8-110 A8-500 NTS



4 POPLAR POST AND RAILING FENCE
A8-110 A8-500 NTS



2 METHOD OF CUTTING
POSTS & RAILINGS
A8-110 A8-500 NTS



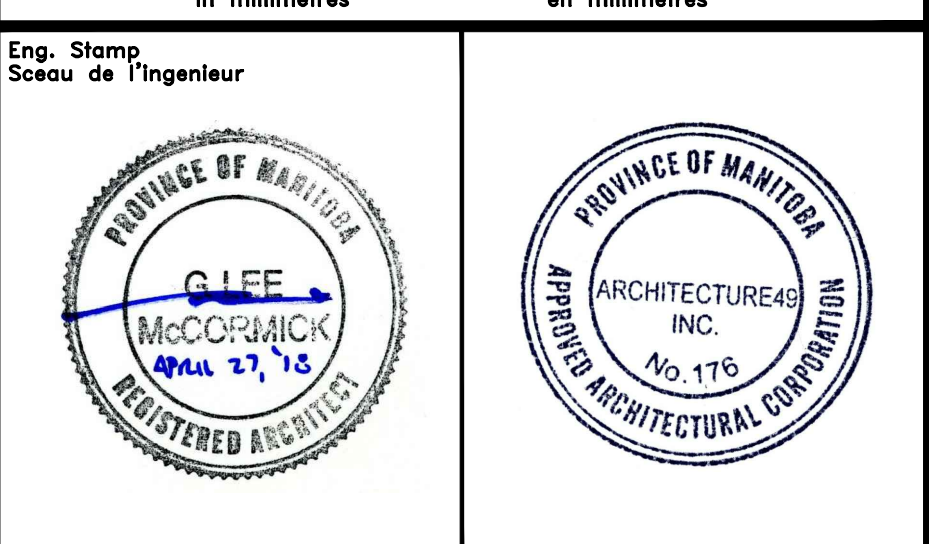
3 TYPICAL
POST DETAIL
A8-110 A8-500 NTS

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|---|------------|---------------------------|----|----|
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| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | KB | GL |
| 0 | 2018-03-20 | ISSUED FOR 70% SUBMISSION | KB | GL |

| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
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| Revision / Revision |
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|---------------------|

| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
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Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

Parks Canada **Parcs Canada**

Strategic Asset Management, Western and Northern Region

Gestion Stratégique des Biens, Région de l'Ouest et du Nord

Canada

| | |
|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant
Nom de sous conseil

KGS GROUP
CONSULTING ENGINEERS

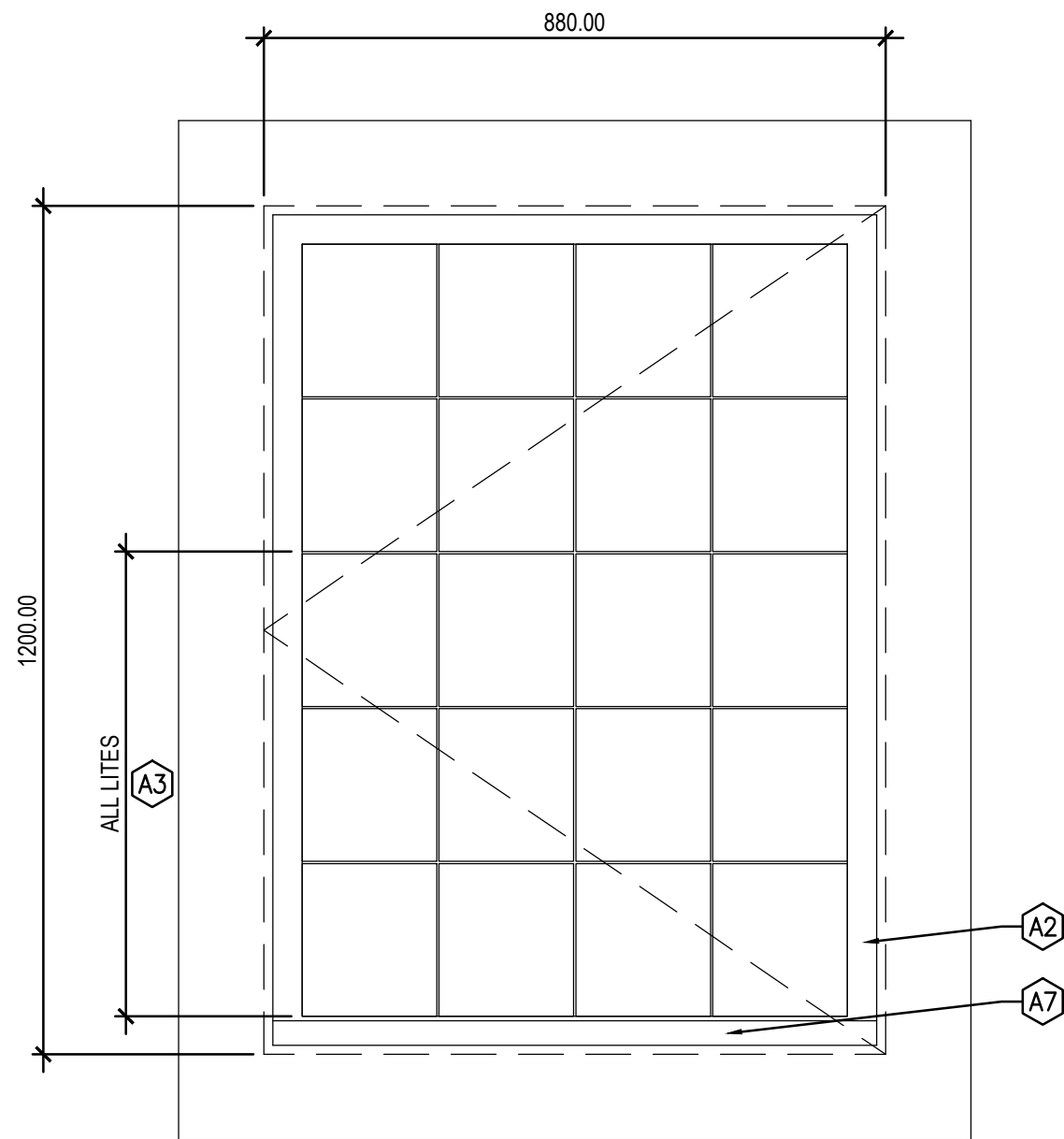
Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

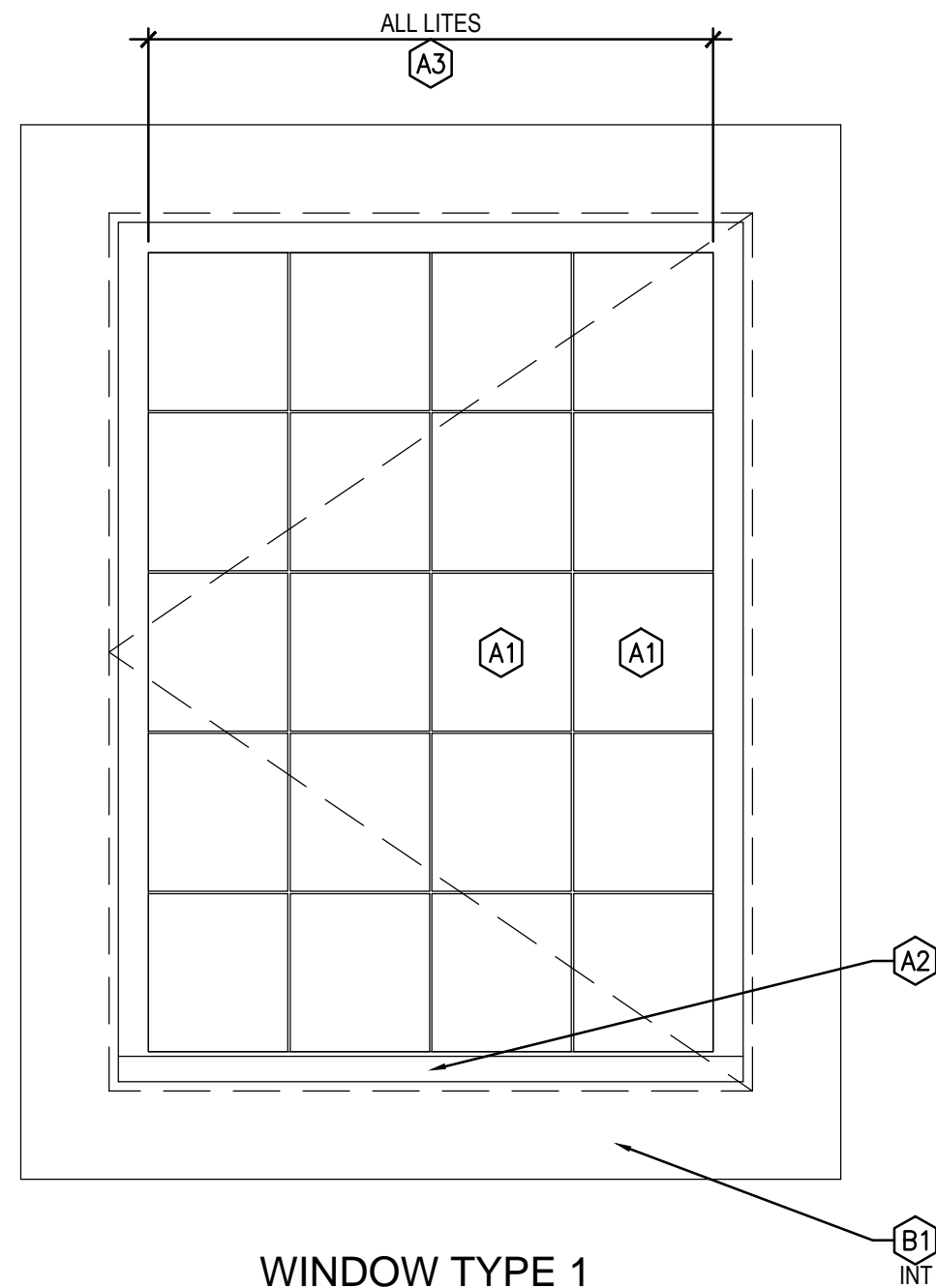
Drawing title/Titre du dessin

**ROSS COTTAGE
DETAILS**

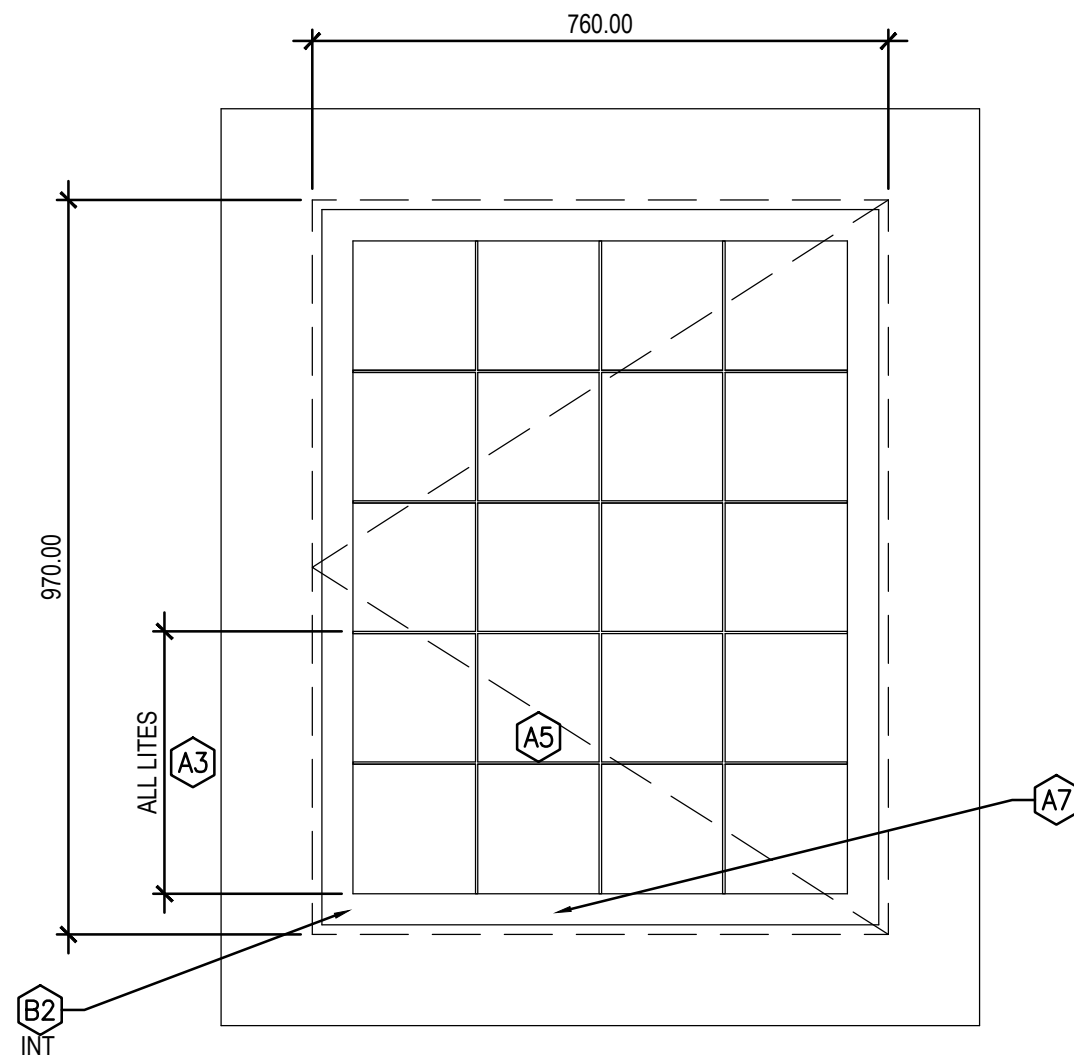
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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| KB | KB | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
| GL | GL | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A8-500 |
| Drawing Set No./Nº de série du dessin | | |



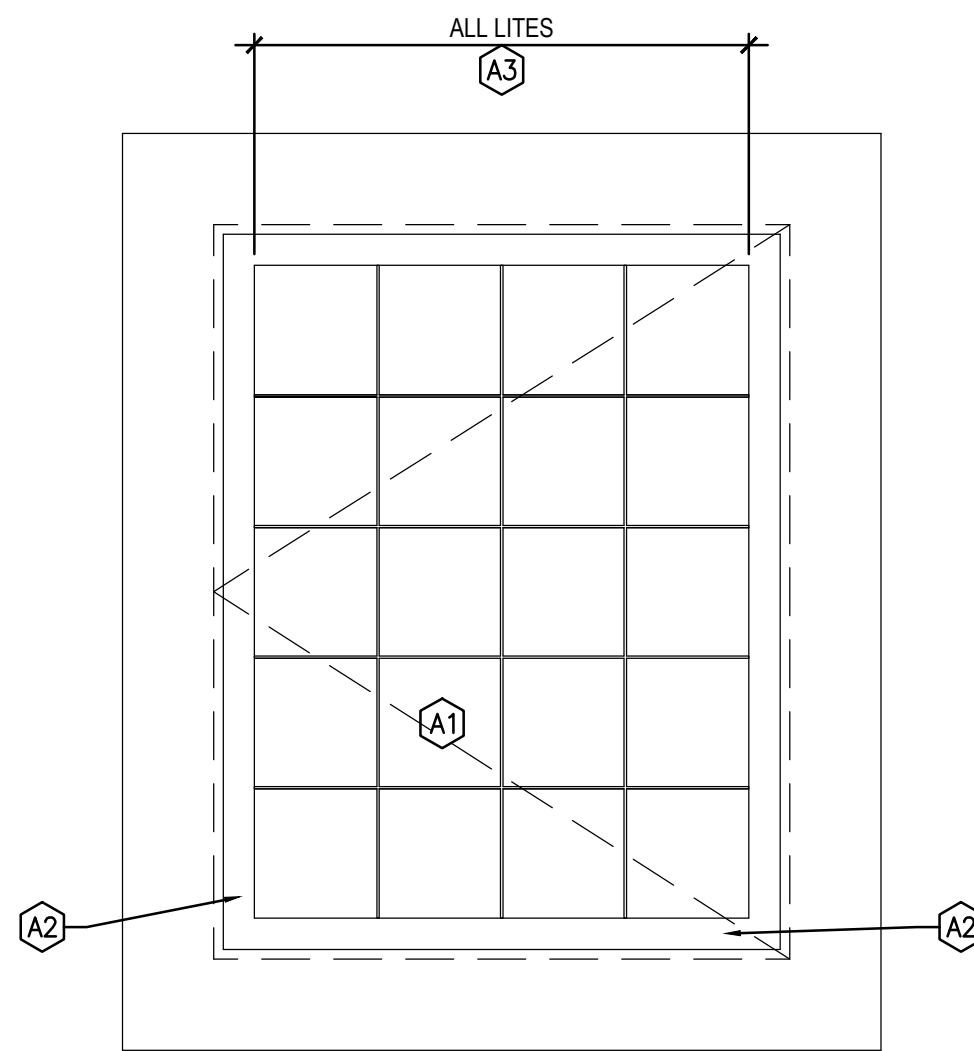
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WINDOW TYPE 1
CASEMENT
A8-200 A8-600 1:10



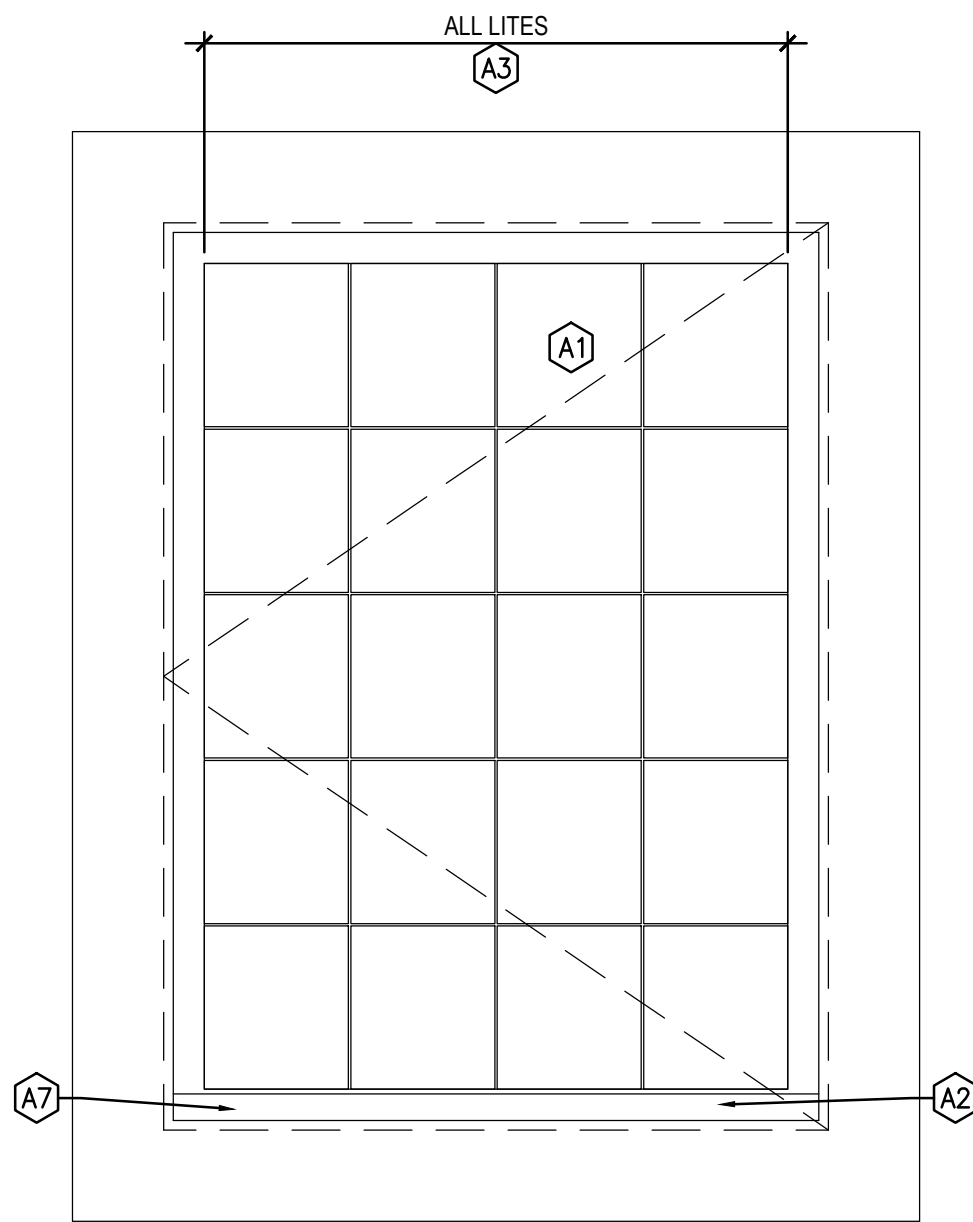
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WINDOW TYPE 1
CASEMENT
A8-200 A8-600 1:10



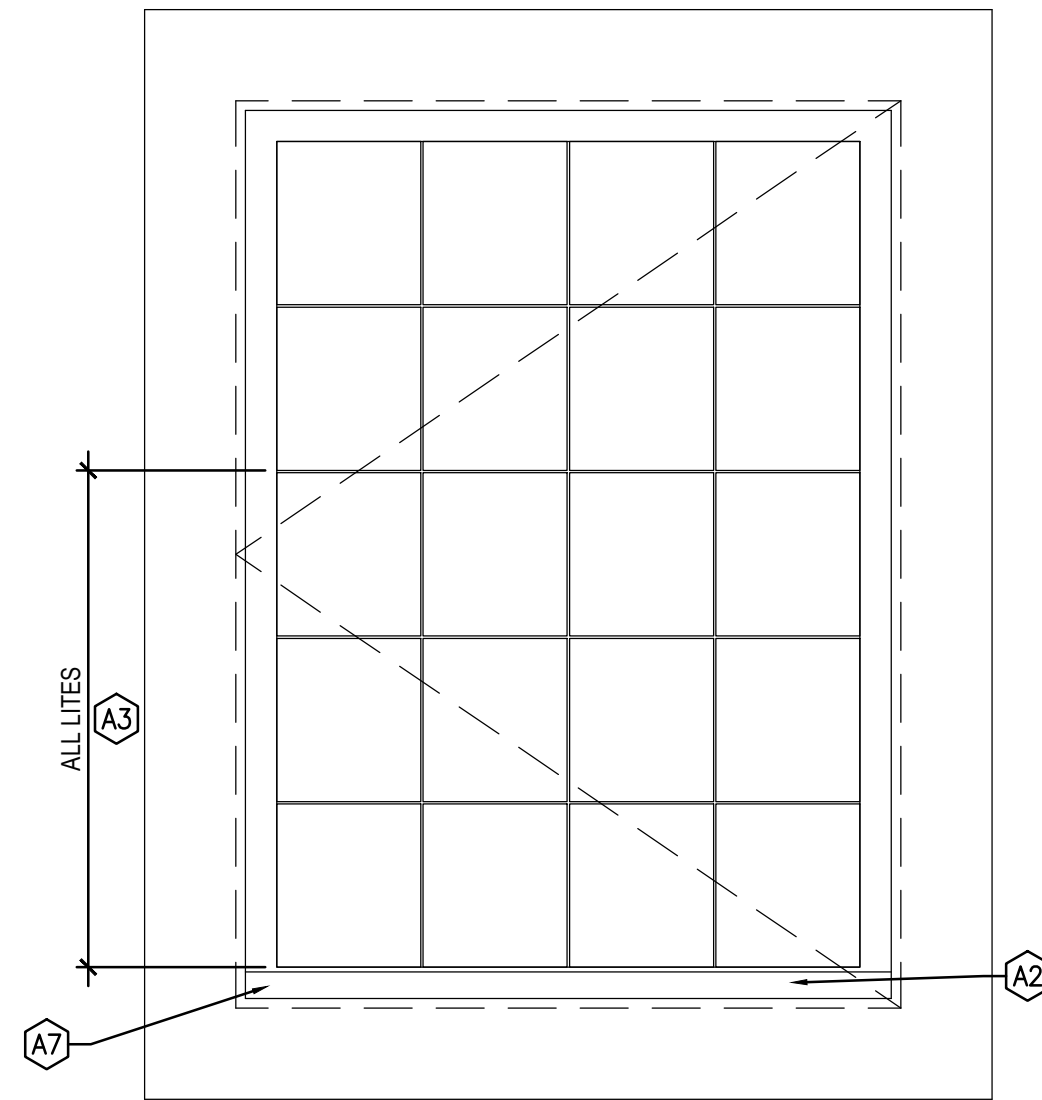
3
WINDOW TYPE 2
CASEMENT
A8-200 A8-600 1:10



4
WINDOW TYPE 2
CASEMENT
A8-200 A8-600 1:10



5
WINDOW TYPE 1
CASEMENT
A8-200 A8-600 1:10



6
WINDOW TYPE 1
CASEMENT
A8-200 A8-600 1:10

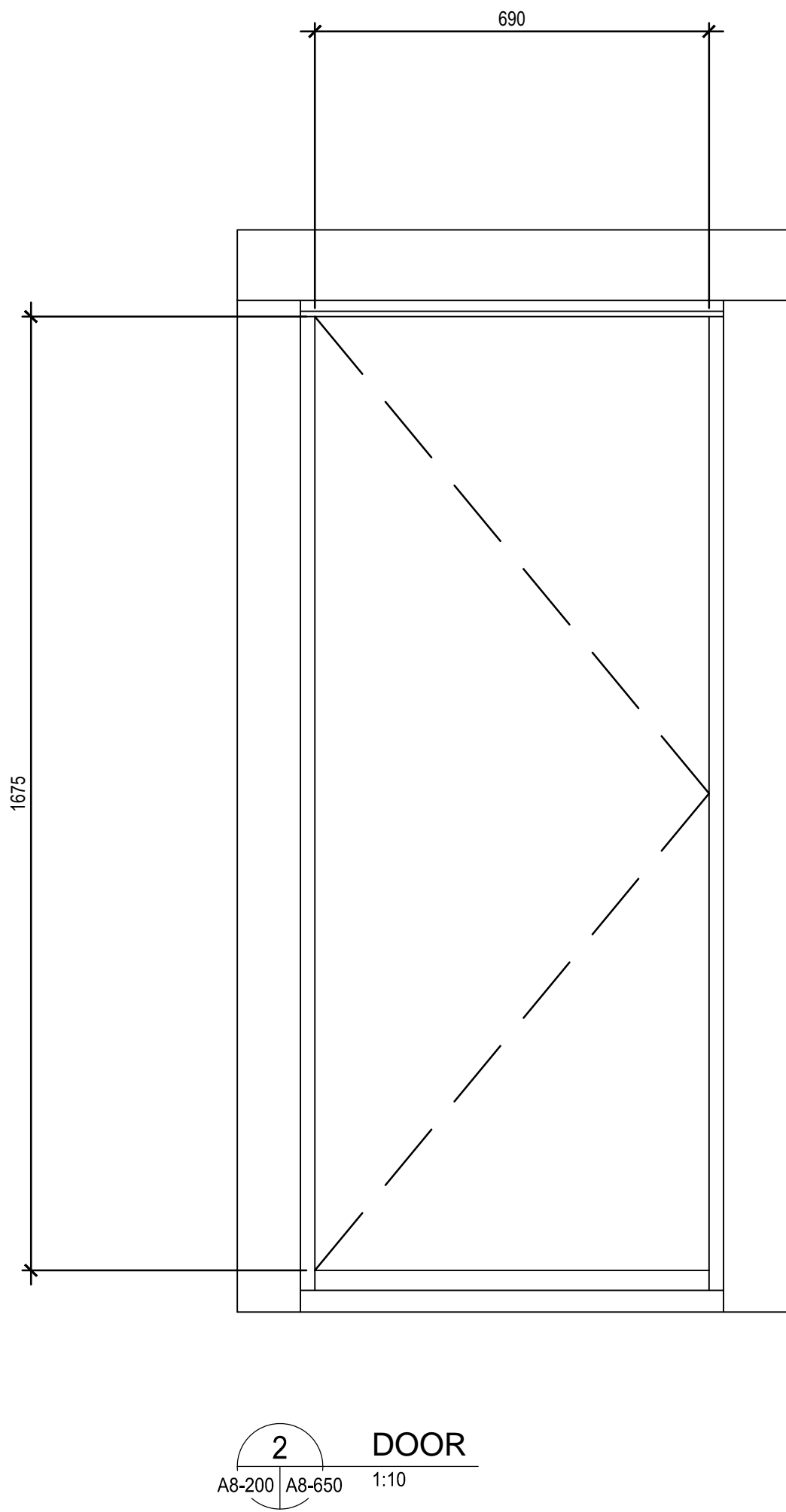
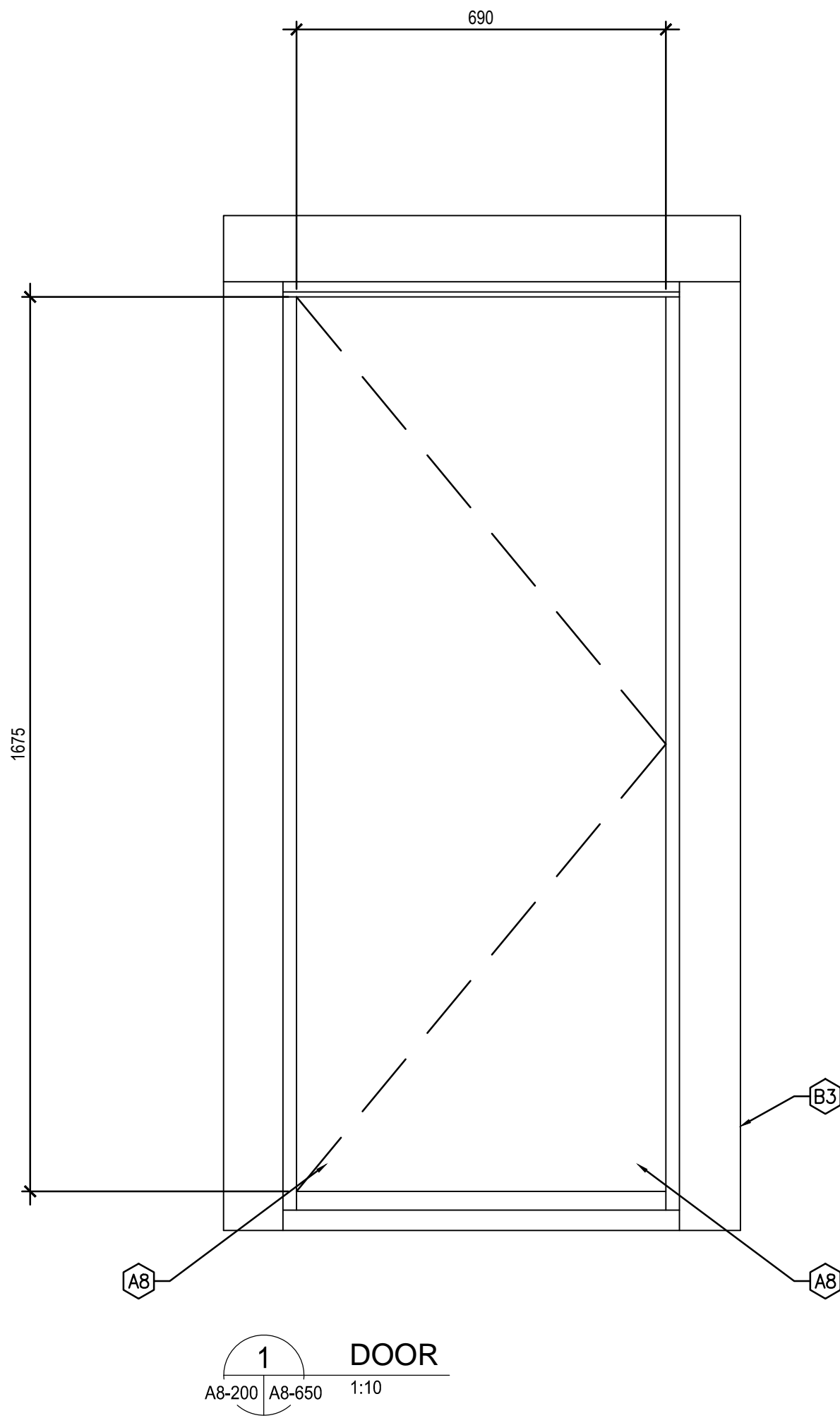
GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS. WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
 - SEVERE DECAY/DAMAGE AT JAMBS/TOPS/HEAD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
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| Strategic Asset Management, Western and Northern Region | | Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| ROSS COTTAGE WINDOWS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
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| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A8-600 |
| Drawing Set No./Nº de série du dessin | | | | |



GENERAL NOTES:

- ALL DOOR DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS; DOOR DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON DOOR ELEMENTS. FILL CHECKS, HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE DOOR (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF DOOR.
- REAPPLY MORTAR BENEATH DOOR FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER DOOR. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO DOOR DIAGRAMS ACCORDING TO OBSERVABLE, SITE CONDITIONS, WHERE A DOOR ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT DOOR ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

CLASSIFICATION A:

- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
- SEVERE DECAY/DAMAGE AT JAMBS/STOPS/HEAD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

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Revision / Revision

| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
|-------------------------------------|--|
| Eng. Stamp Sceau de l'ingénieur | |
| | |

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
WINNIPEG, MB | CANADA | R3T 6B8
TEL: 204-477-1260 | FAX: 204-477-6 | architecture49.com

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Western and Northern Region

Parcs Canada
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des Biens,
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du Nord

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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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Sub Consultant
Nom de sous conseil

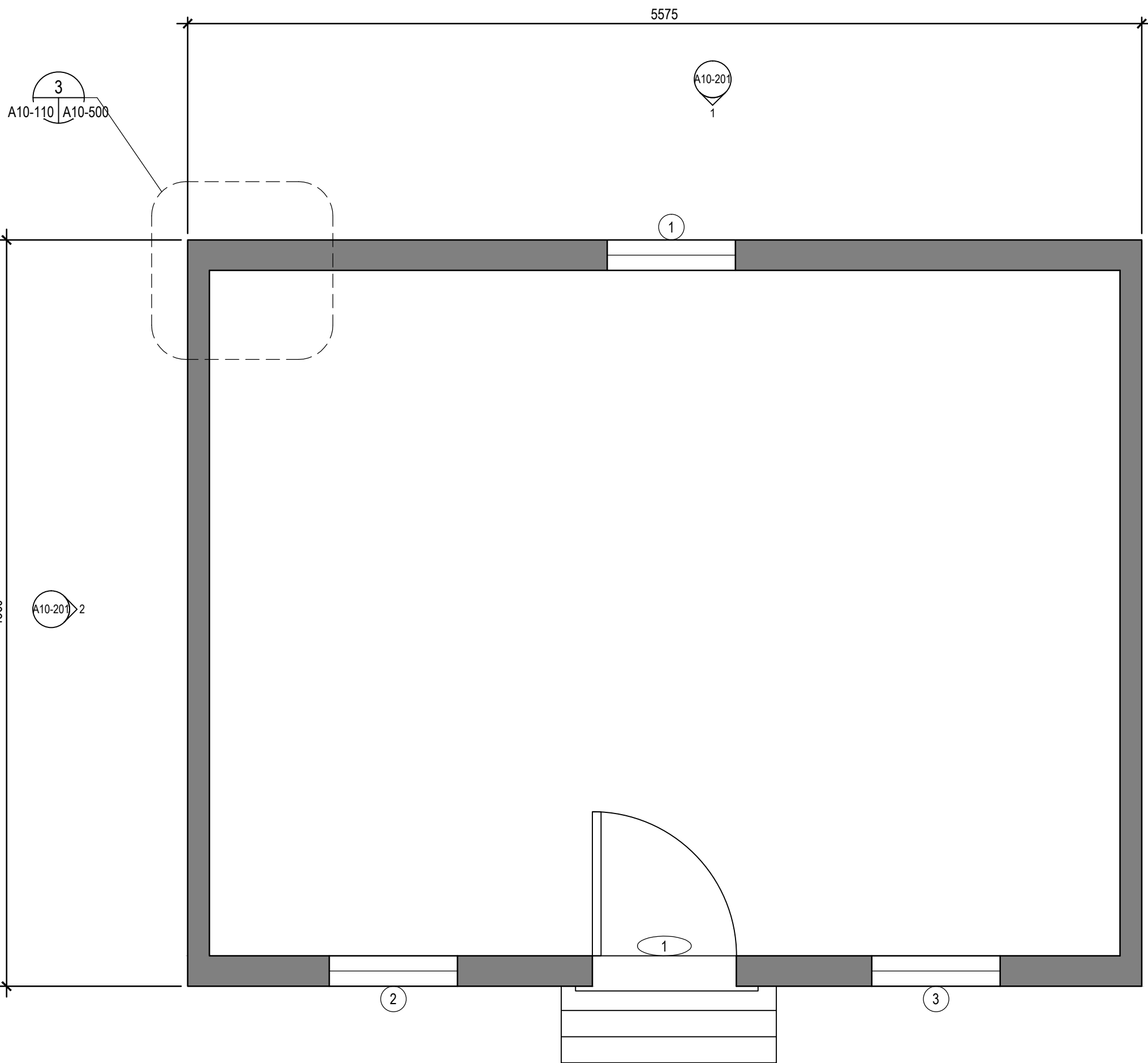
Project title/Titre du projet

LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

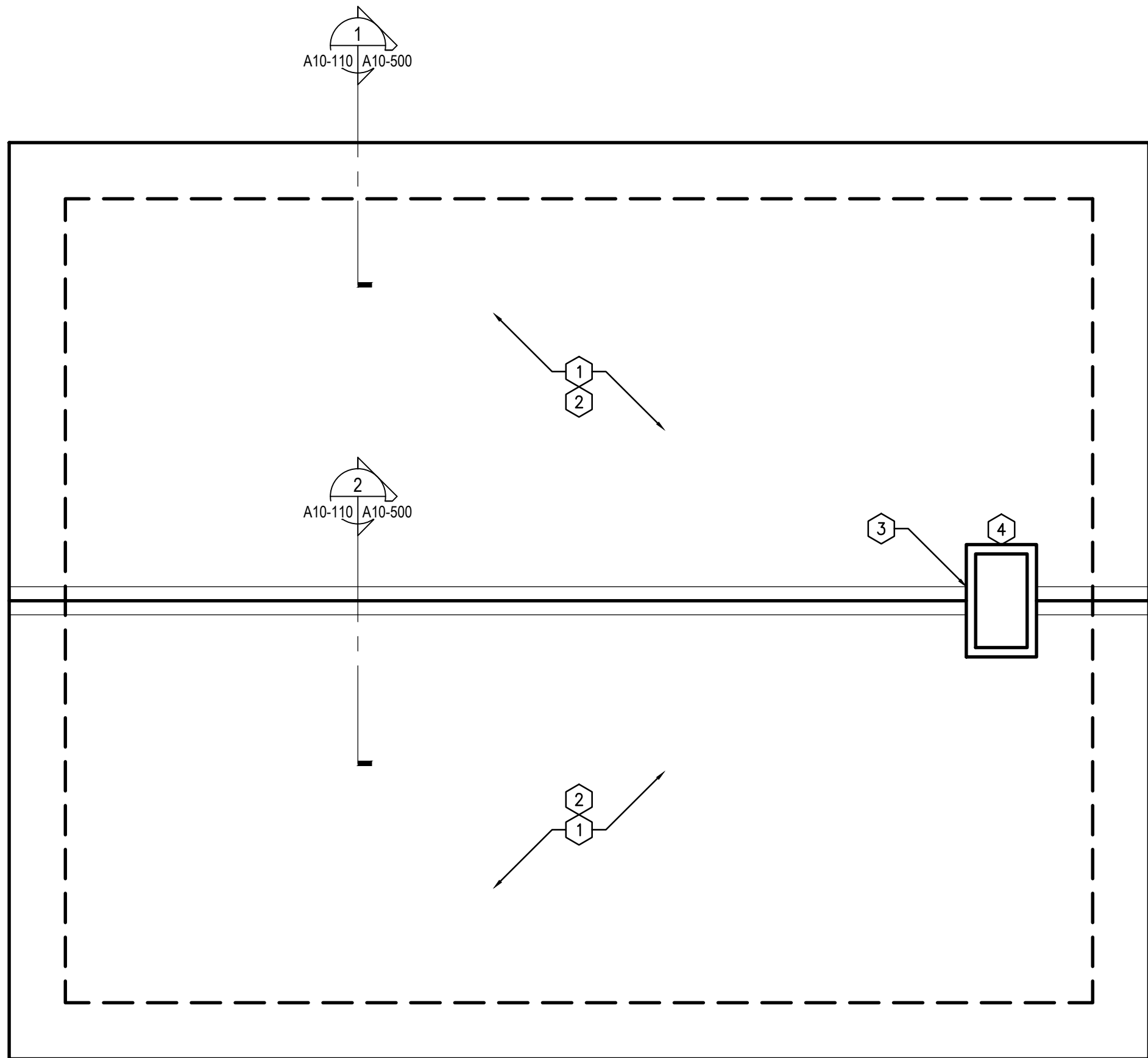
Drawing title/Titre du dessin

ROSS COTTAGE
DOORS

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| Surveyed by/Arpenté par | Drawn by/Dessiné par AV | Date 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par GL | Scale/Échelle SEE NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet R. | Asset No./Nº du bien R. | Sheet No./ Nº de la feuille A8-650 |
| Drawing Set No./Nº de série du dessin | | |



1 MAIN FLOOR PLAN
A10-110 | A10-110 1:25



2 ROOF PLAN
A10-110 | A10-110 1:25

GENERAL NOTES:FOR BUILDING:

- ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
- REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
- HAND SCRAPE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
- REPLACE EXTERIOR WOOD SIDING AS INDICATED. INSPECT REMAINING SIDING FOR SOUNDNESS AND SECURE BEDDED FASTENERS.
- CLEAN, HAND SCRAPE, AND PREPARE EXTERIOR SIDING SOFFITS, DOORS, WINDOWS, AND ASSOCIATED FRAMES AND TRIM FOR NEW FINISHES.
- ALL REPAIRS AND REPLACEMENTS ARE TO BE IMPLEMENTED INDISTINGUISHABLY FROM THE ORIGINAL CONSTRUCTION.

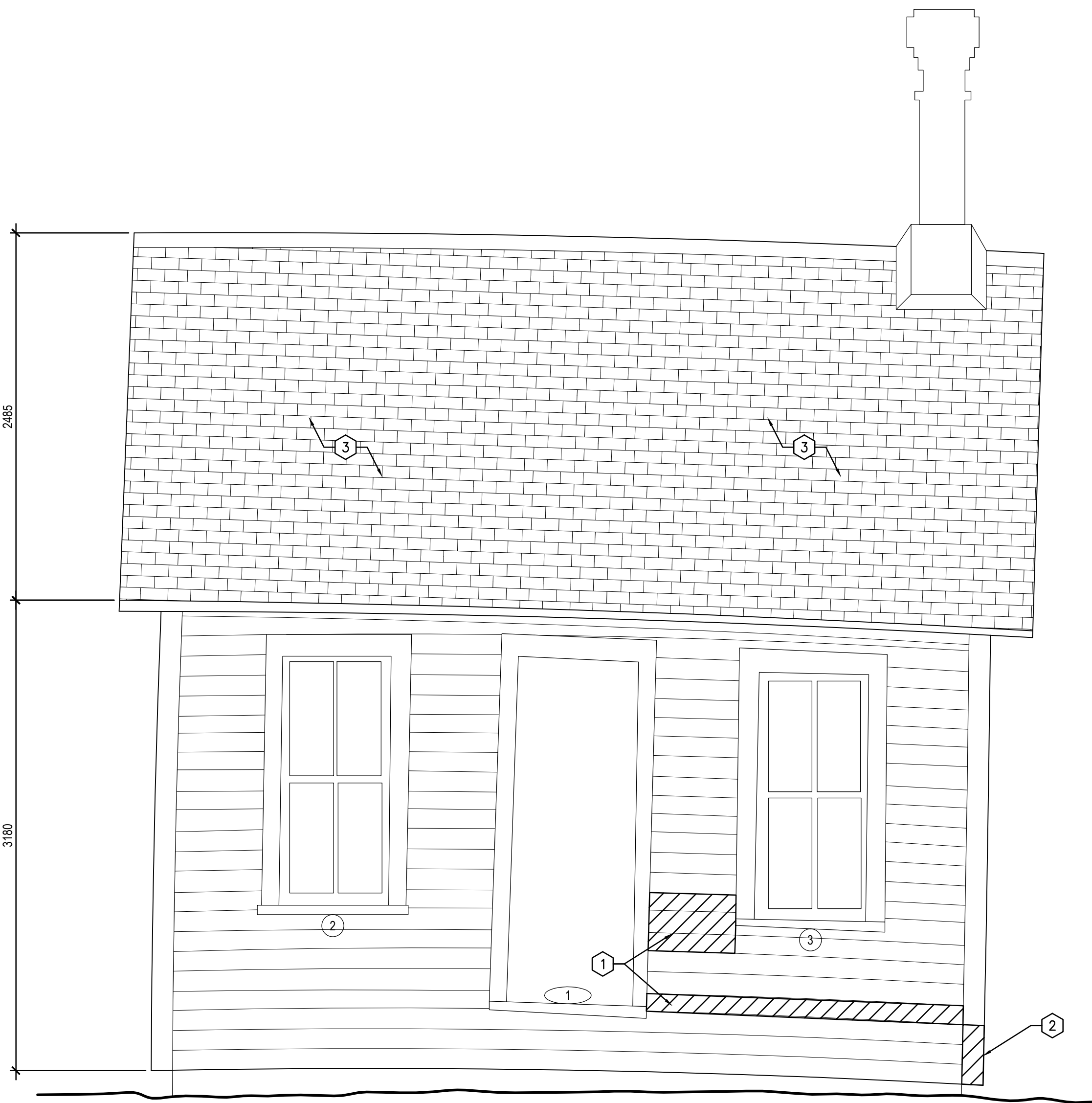
REMOVAL KEYNOTES:

- REMOVE EXISTING WOOD SHINGLE ROOF SYSTEM TO SHEATHING, INCLUDING, BUT NOT LIMITED TO: SHINGLES, RIDGEBOARDS, UNDERLAYMENT, FLASHING, ETC, EAVESTROUGH.
- REMOVE REMAINING FASTENERS, DO NOT DRIVE INTO SHEATHING.
- PERFORM DETAILED INSPECTION OF BOARD SHEATHING. REMOVE DAMAGED, DETERIORATED OR COMPROMISED BOARDS. REMOVE ALL FASTENERS.

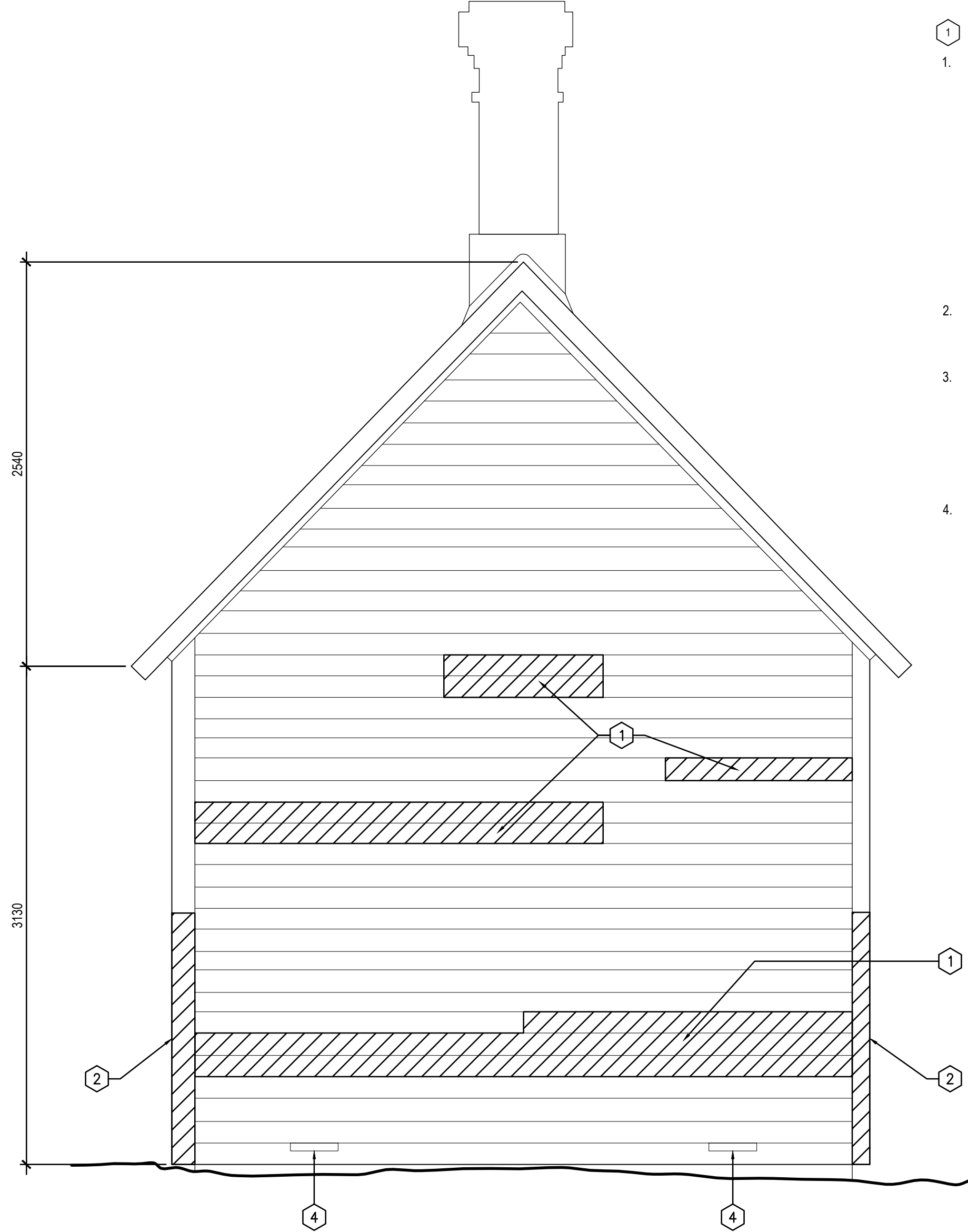
DRAWING KEYNOTES:

- REPLACE MISSING OR DAMAGED SHEATHING BOARDS WITH NEW WOOD SHEATHING, TO MATCH EXACTLY WIDTH, THICKNESS, SPACING, AND GAPS BETWEEN BOARDS.
- NEW WOOD SHINGLE ROOF SYSTEM OVER BOARD SHEATHING DECK.
- NEW MORTAR AND METAL FLASHING AT CHIMNEY.
- EXISTING MASONRY CHIMNEY, INSPECT AND REPOINT TO MAINTAIN INTACT MORTAR JOINTS.

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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
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| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| DOCTOR'S OFFICE MAIN FLOOR PLAN | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Echelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | Asset No./Nº du bien | | Sheet No./ Nº de la feuille |
| R. | | R. | | A10-110 |
| Drawing Set No./Nº de série du dessin | | | | |



1 SOUTH ELEVATION
A10-110 | A10-200 1:25



2 EAST ELEVATION
A10-110 | A10-200 1:25

GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. HAND SCRAPE AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
4. REPLACE EXTERIOR WOOD SIDING AS INDICATED. INSPECT REMAINING SIDING FOR SOUNDNESS AND SECURE BEDDED FASTENERS.
5. CLEAN, HAND SCRAPE, AND PREPARE EXTERIOR SIDING SOFFITS, DOORS, WINDOWS, AND ASSOCIATED FRAMES AND TRIM FOR NEW FINISHES.
6. ALL REPAIRS AND REPLACEMENTS ARE TO BE IMPLEMENTED INDISTINGUISHABLY FROM THE ORIGINAL CONSTRUCTION.

DRAWING KEYNOTES:

1. REMOVE DAMAGED/ROTTEN SIDING TO SOUND MATERIAL AT CLOSEST STUD. INSPECT FRAMING MEMBERS ON REMOVAL OF COMPROMISED SIDING. WHERE COMPROMISED FRAMING MEMBERS ARE ENCOUNTERED, REMOVE AFFECTED MATERIAL AND SISTER NEW FRAMING MEMBERS TO EXISTING MEMBERS. NEW SIDING TO MATCH THICKNESS AND PROFILE OF EXISTING FASTENER TYPE. FASTENING PATTERN TO MATCH EXISTING. CONTRACTOR TO REVIEW EXTENT ON SITE.
2. SPLICE CORNER BOARDS AT LOCATION INDICATED. MATCH PROFILE AND THICKNESS.
3. REMOVE ALL SHINGLES, DAMAGED ROOF DECK, AND MEMBRANE UNDER ROOF. CUT OUT AND REPLACE DAMAGED ROOF DECK AS REQUIRED. WEAVE NEW SHINGLES ONTO NEW MEMBRANE. CONTRACTOR TO REVIEW EXTENT ON SITE.
4. REMOVE VEGETATION AND DEBRIS AT EXISTING CRAWLSPACE VENTS. ENSURE SECURE FASTENING.

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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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| Consultant's Name Nom de l'expert-conseil | |
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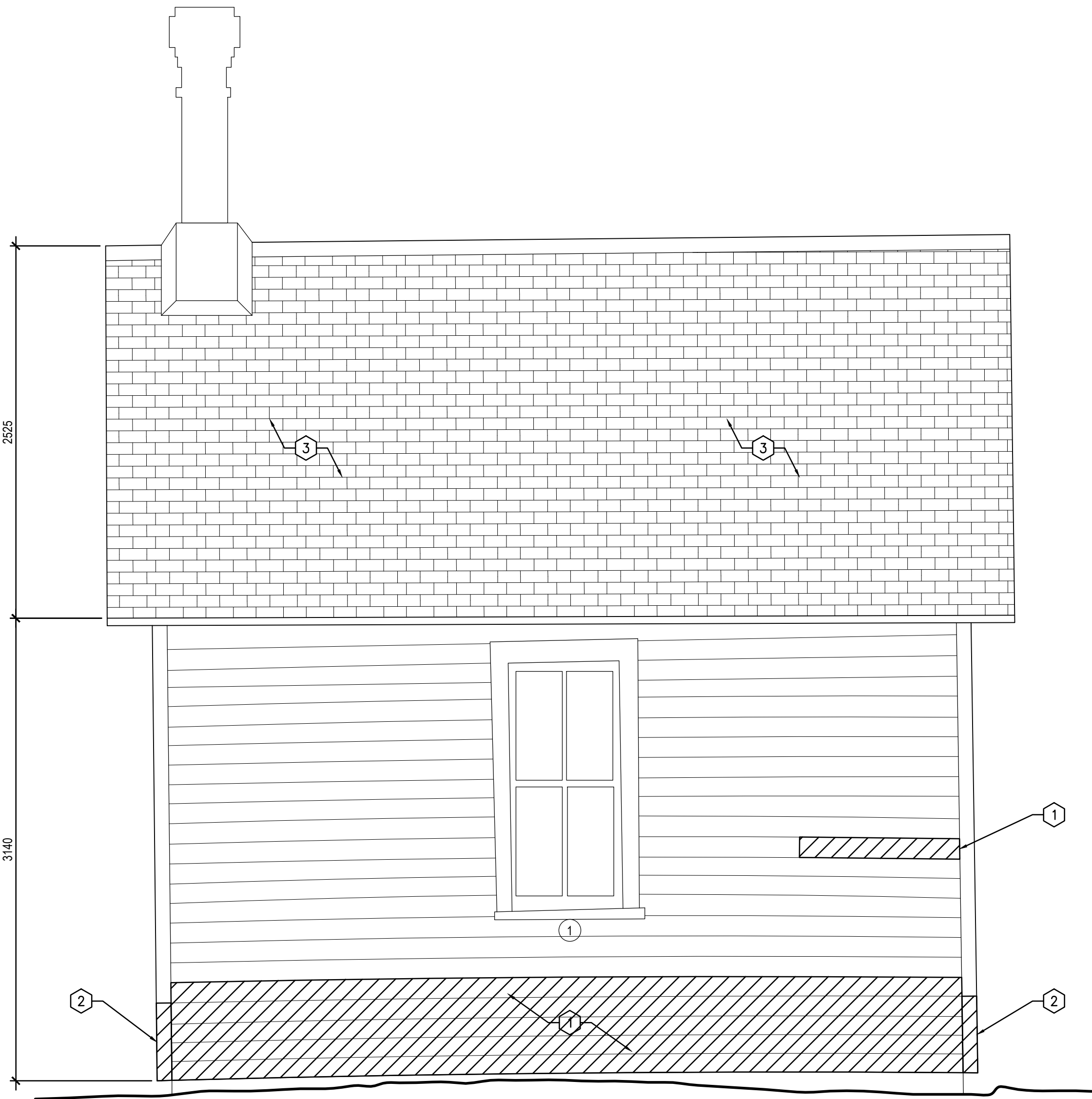
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| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
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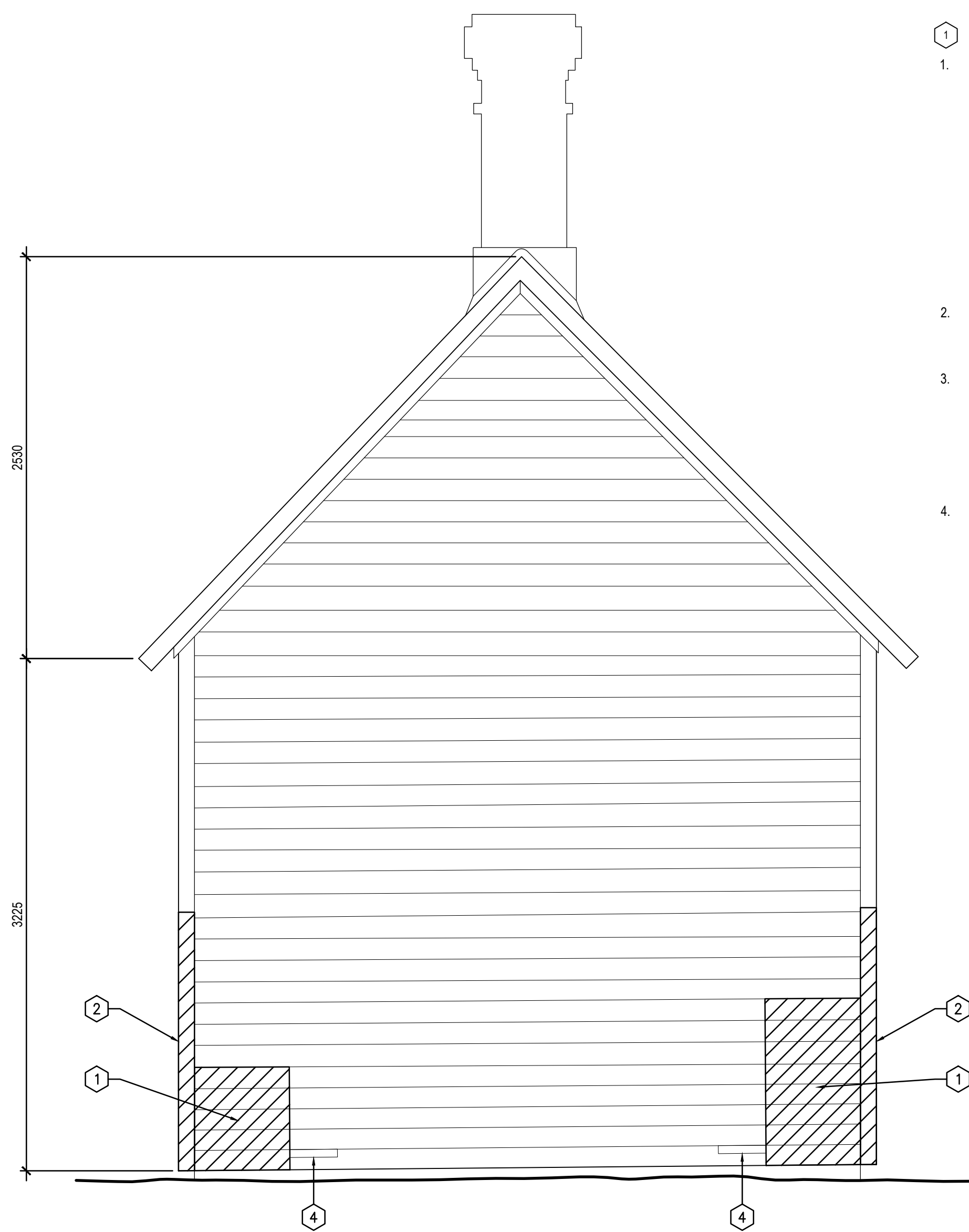
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

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| Drawing title/Titre du dessin |
| DOCTOR'S OFFICE EXTERIOR ELEVATIONS |

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A10-200 |
| Drawing Set No./Nº de série du dessin | | |



1 SOUTH ELEVATION
A10-110 | A10-201 1:25



2 EAST ELEVATION
A10-110 | A10-201 1:25

GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. HAND SCRAPER AND REPAINT EXISTING AND NEW SIDING, TO MATCH EXISTING SIDING.
4. REPLACE EXTERIOR WOOD SIDING AS INDICATED. INSPECT REMAINING SIDING FOR SOUNDNESS AND SECURE BEDDED FASTENERS.
5. CLEAN, HAND SCRAPER, AND PREPARE EXTERIOR SIDING SOFFITS, DOORS, WINDOWS, AND ASSOCIATED FRAMES AND TRIM FOR NEW FINISHES.
6. ALL REPAIRS AND REPLACEMENTS ARE TO BE IMPLEMENTED INDISTINGUISHABLY FROM THE ORIGINAL CONSTRUCTION.

DRAWING KEYNOTES:

1. REMOVE DAMAGED/ROTTEN SIDING TO SOUND MATERIAL AT CLOSEST STUD. INSPECT FRAMING MEMBERS ON REMOVAL OF COMPROMISED SIDING. WHERE COMPROMISED FRAMING MEMBERS ARE ENCOUNTERED, REMOVE AFFECTED MATERIAL AND SISTER NEW FRAMING MEMBERS TO EXISTING MEMBERS. NEW SIDING TO MATCH THICKNESS AND PROFILE OF EXISTING FASTENER TYPE. FASTENING PATTERN TO MATCH EXISTING. CONTRACTOR TO REVIEW EXTENT ON SITE.
2. SPLICE CORNER BOARDS AT LOCATION INDICATED. MATCH PROFILE AND THICKNESS.
3. REMOVE ALL SHINGLES, DAMAGED ROOF DECK, AND MEMBRANE UNDER ROOF. CUT OUT AND REPLACE DAMAGED ROOF DECK AS REQUIRED. WEAVE NEW SHINGLES ONTO NEW MEMBRANE. CONTRACTOR TO REVIEW EXTENT ON SITE.
4. REMOVE VEGETATION AND DEBRIS AT EXISTING CRAWLSPACE VENTS. ENSURE SECURE FASTENING.

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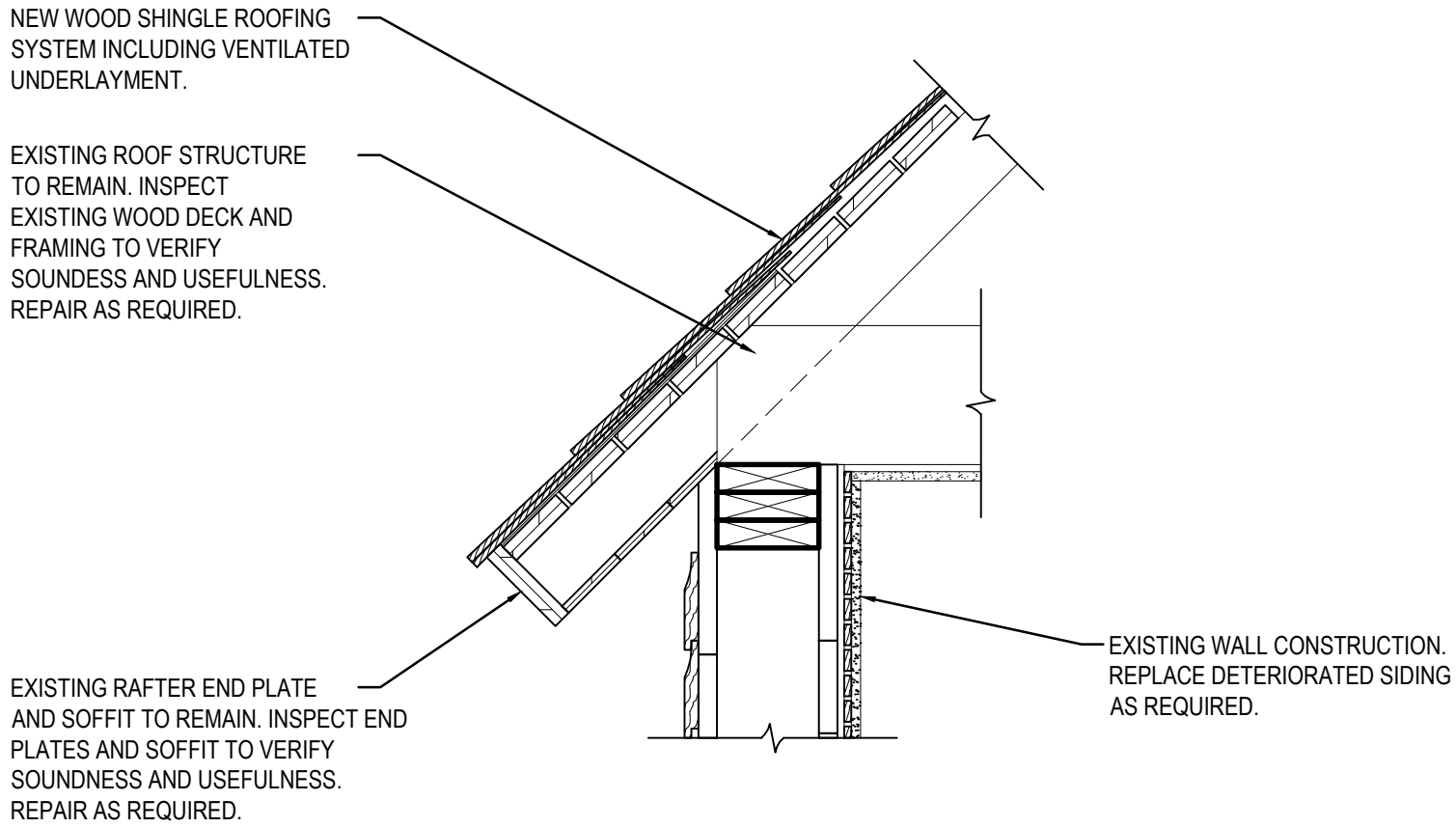
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| Sub Consultant Nom de sous conseil | KGS GROUP CONSULTING ENGINEERS |
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| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

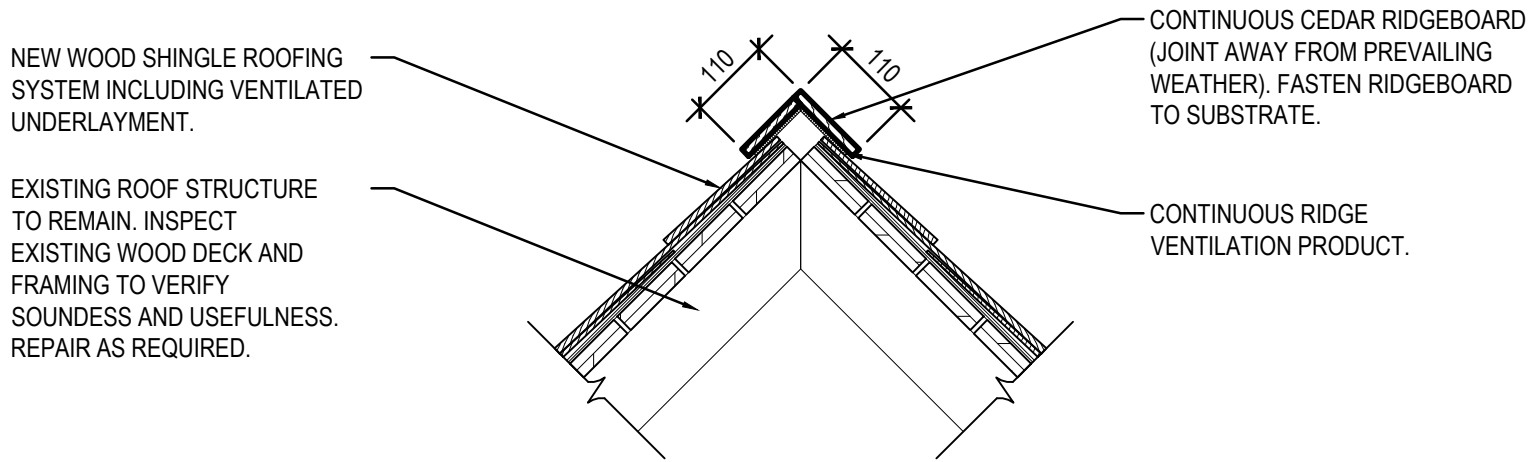
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| DOCTOR'S OFFICE EXTERIOR ELEVATIONS |

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| Date | | Date |
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A10-201 |
| Drawing Set No./Nº de série du dessin | | |

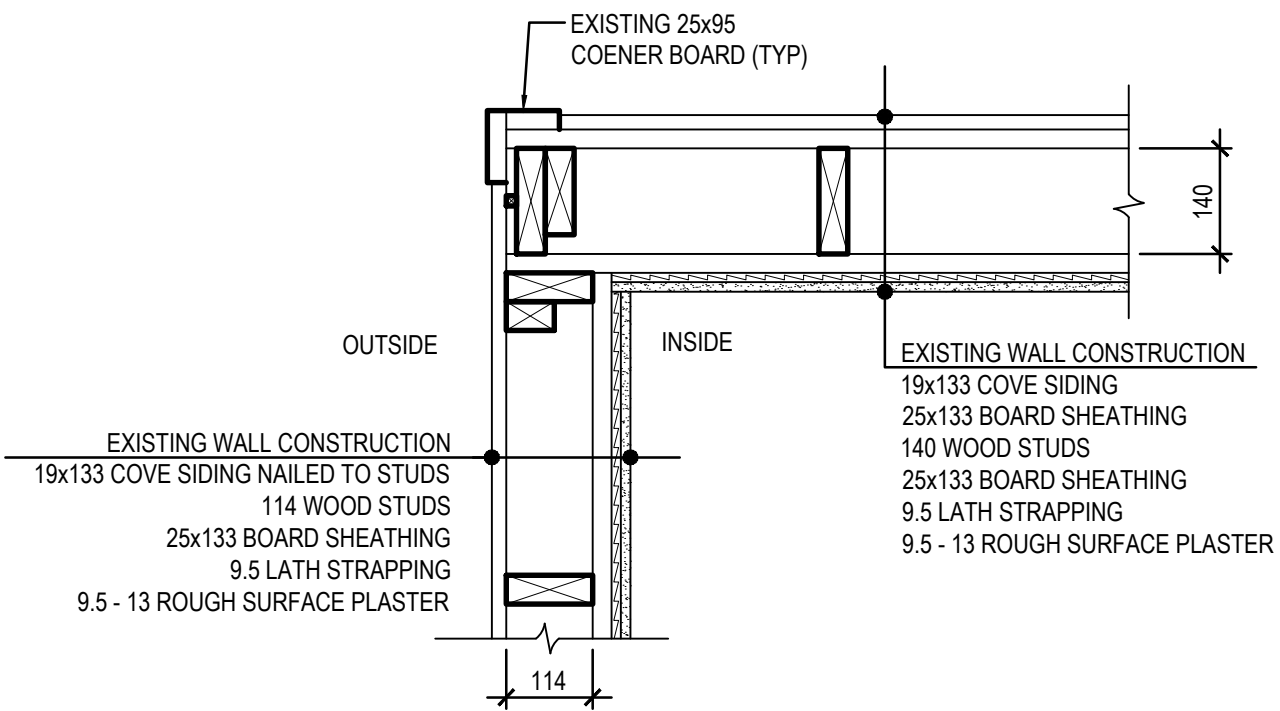
DETAILS ARE SHOWN FOR REFERENCE ONLY. ACTUAL CONDITIONS MAY VARY. DESIGN INTENT IS TO IDENTIFY AND REMOVE DETERIORATED MATERIALS. REPAIR REMAINING EXISTING FRAMING MEMBERS WITH NEW CONSERVATION APPROVED MATERIALS. MAINTAIN ALIGNMENT OF EXISTING REMAINING MATERIALS.



1 EAVE DETAIL
A10-110 | A10-500 1:10



2 ROOF RIDGE DETAIL
A10-110 | A10-500 1:10



3 CORNER DETAIL
A10-110 | A10-500 1:10

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Revision / Revision

Linear dimensions
in millimetres

Dimensions linéaires
en millimètres

Eng. Stamp
Sceau de l'ingénieur

Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE | 49

1800 BUFFALO PLACE
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Sub Consultant
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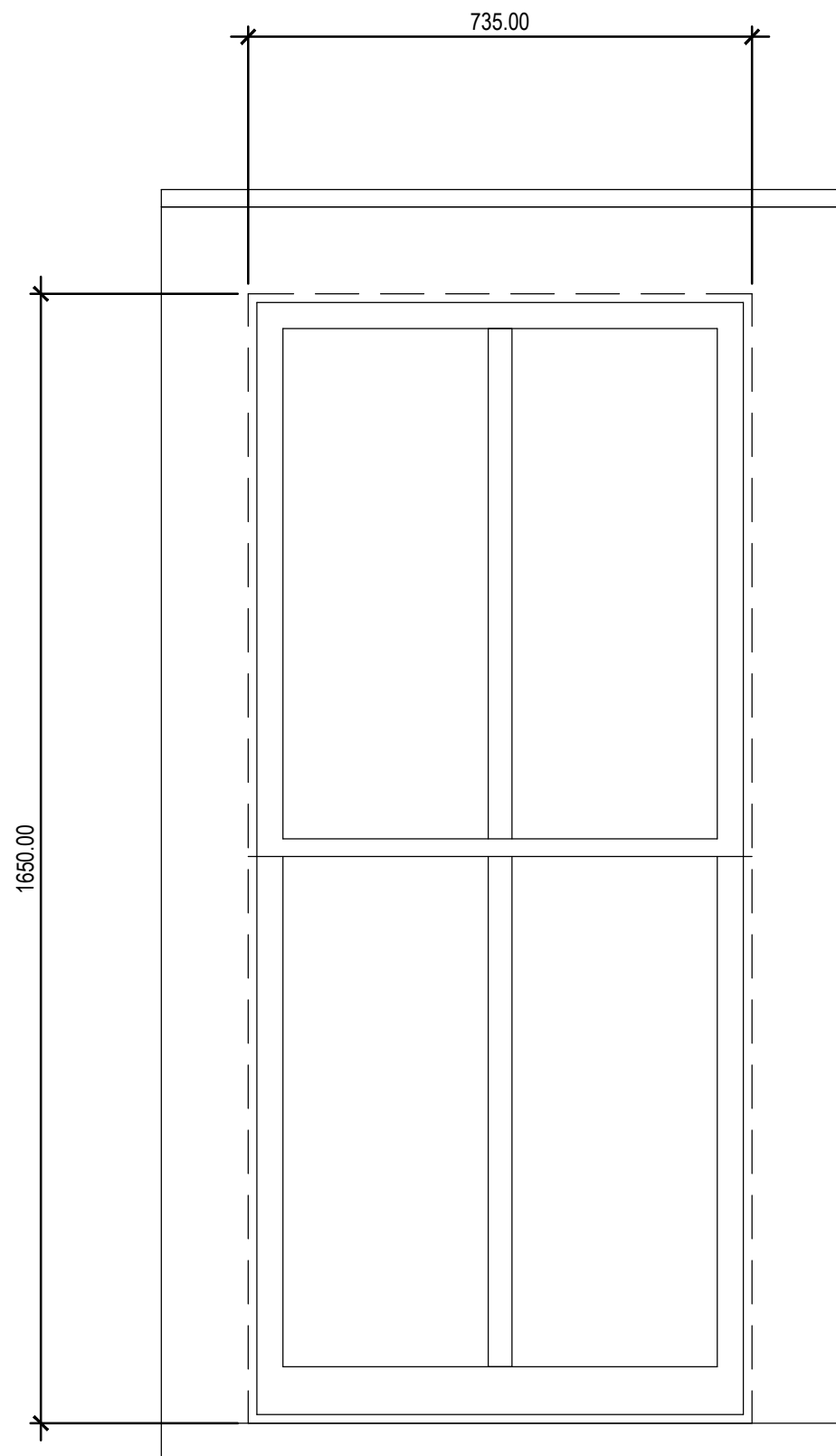
LOWER FORT GARRY
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BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

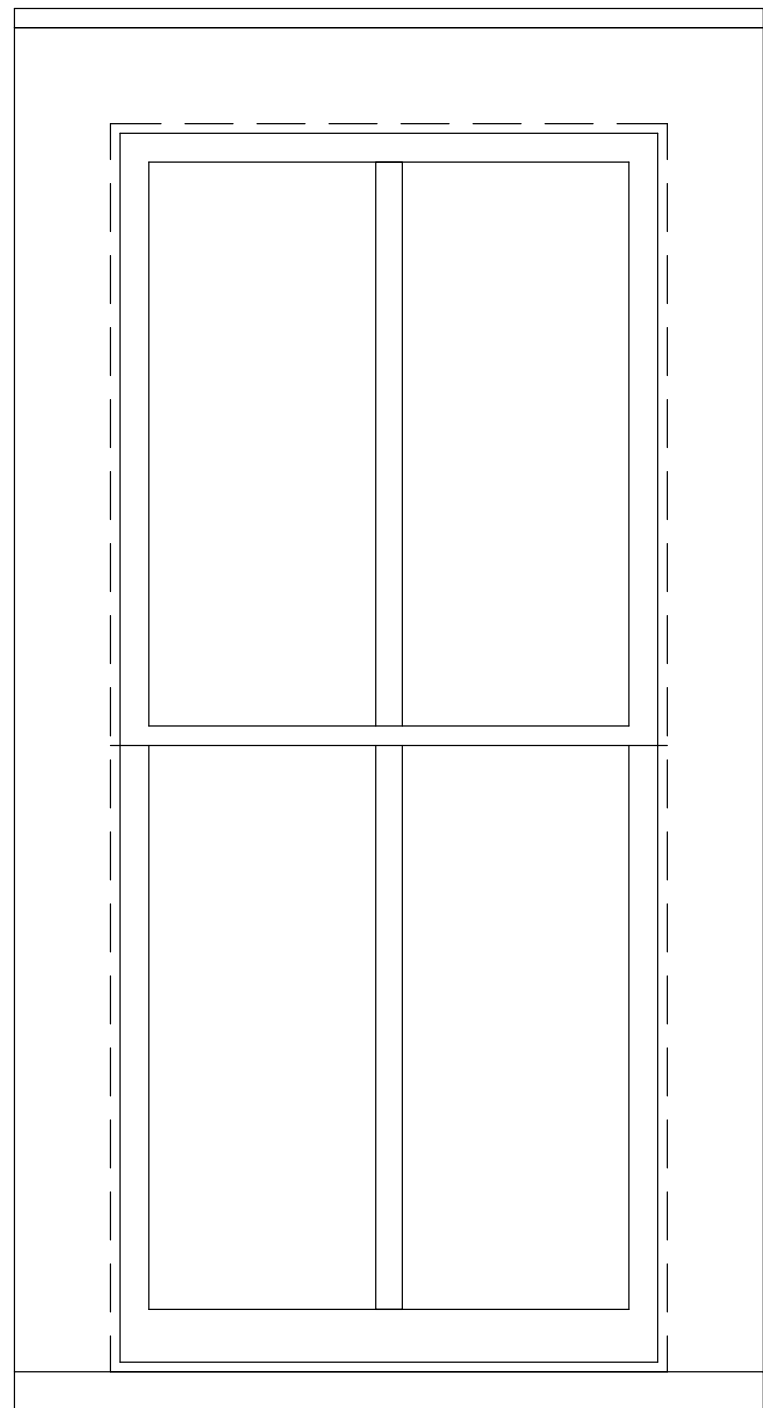
DOCTOR'S OFFICE
DETAILS

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|---|------------------------|--------------------------|
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| KB | KB | 2018/04/27 |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle |
| GL | GL | AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

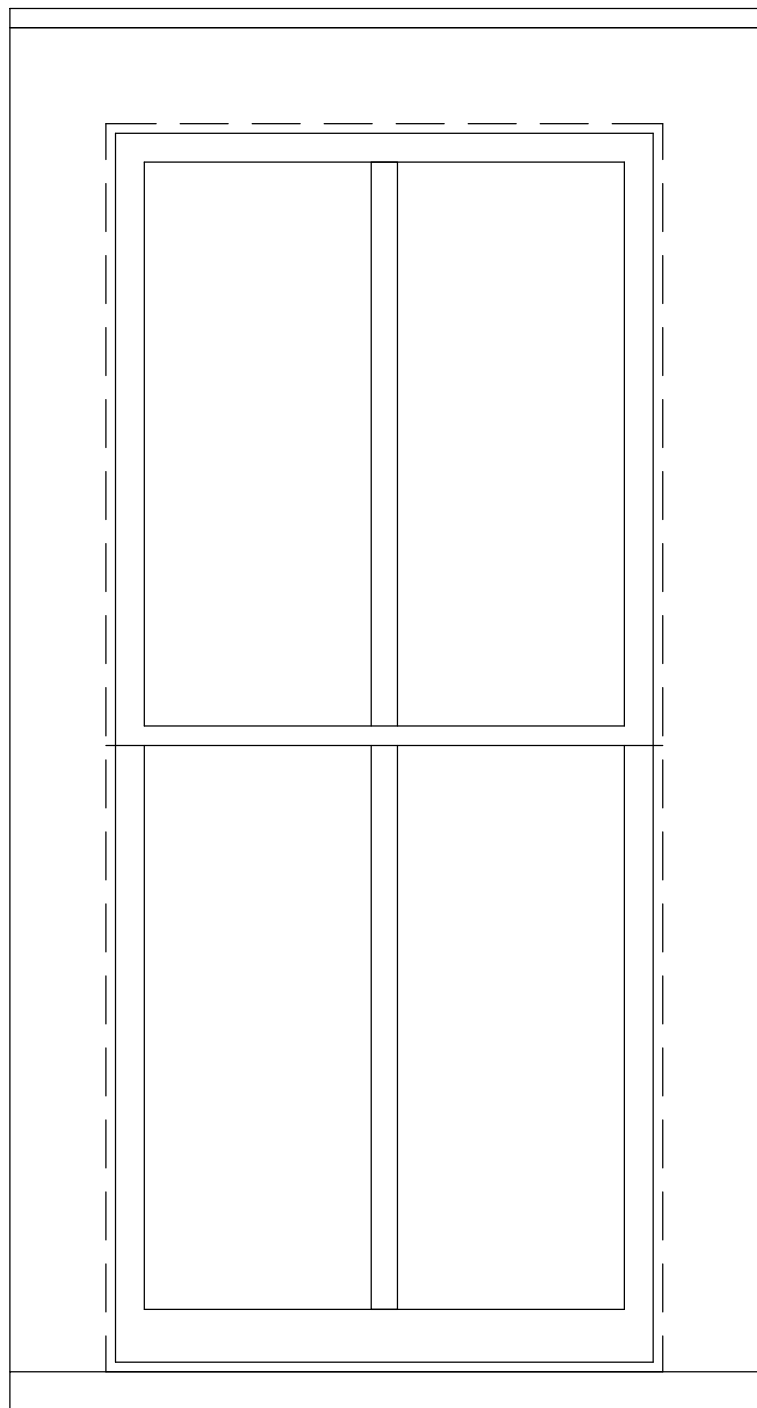
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| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./Nº de la feuille |
| R. | R. | A10-500 |
| Drawing Set No./Nº de série du dessin | | |



1 DOUBLE HUNG
A10-201 A10-600 1:10



2 DOUBLE HUNG
A10-200 A10-600 1:10



3 DOUBLE HUNG
A10-200 A10-600 1:10

GENERAL NOTES:

- ALL WINDOW DRAWINGS ARE DIAGRAMMATIC AND SHOULD BE USED ONLY FOR THE PURPOSE OF LOCATING REQUIRED REPAIRS. WINDOW DIAGRAMS ONLY ESTIMATE SITE CONDITIONS. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO REVIEW ALL LOCATIONS, DIMENSIONS, AND QUANTITY PRIOR TO TENDER.
- PEELING/FADED PAINT TYPICAL ON WINDOW ELEMENTS. FILL CHECKS , HAND SCRAPE, SAND, AND PAINT ALL WINDOWS (CLASSIFICATION C).
- UNLESS OTHERWISE NOTED, ALL NOTES DISTRIBUTED ONTO THE EXTERIOR OF THE WINDOW (VIEW FROM EXTERIOR LOOKING IN).
- "INT" FOLLOWING A KEYNOTE DENOTES THAT THE REQUIRED REPAIR IS TO BE PERFORMED ON INTERIOR SIDE OF WINDOW.
- REAPPLY MORTAR BENEATH WINDOW FRAMES SITTING IN MASONRY OPENINGS AS REQUIRED.
- WOODWORK PROFILES VARY PER BUILDING, AND PER WINDOW. MATCH NEW TO EXISTING PROFILES.
- KEYNOTES HAVE BEEN DISTRIBUTED ONTO WINDOW DIAGRAMS ACCORDING TO OBSERVABLE. SITE CONDITIONS. WHERE A WINDOW ELEMENT HAS BEEN MARKED WITH A KEYNOTE, INSPECT THE ENTIRETY OF THAT WINDOW ELEMENT FOR DAMAGE, NOT JUST THE AREA AT THE END OF THE LEADER LINE.

DRAWING KEYNOTES:

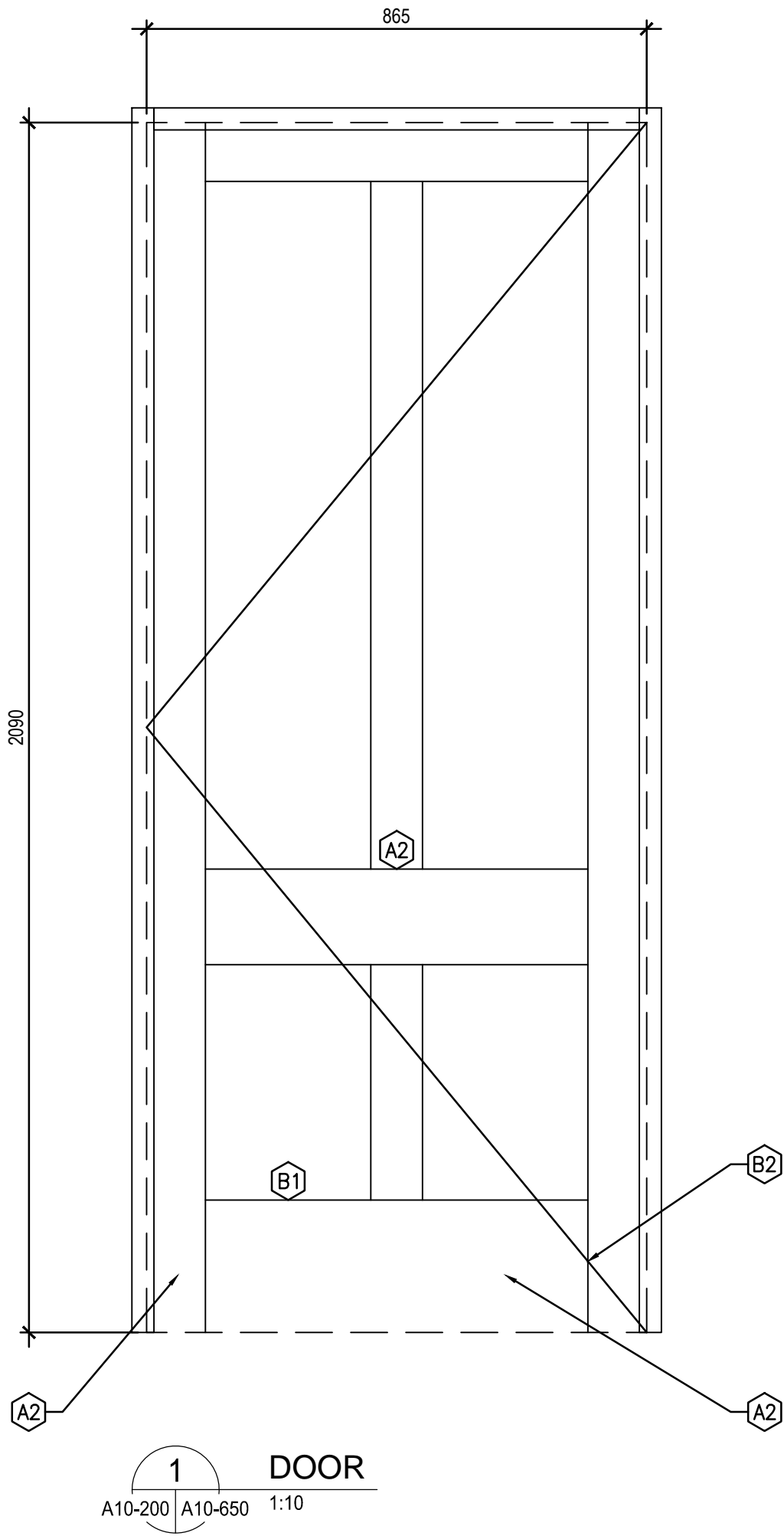
CLASSIFICATION A:

- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
- SEVERE DECAY/DAMAGE AT RAIL/STILE. CUT OUT ROT AND REPLACE.
- MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
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- SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT SILL. CUT OUT ROT AND REPLACE.
- SEVERELY DECAYED/DAMAGED WINDOW SHOE. CUT OUT ROT AND REPLACE.
- LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
- SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
- SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.

CLASSIFICATION B:

- EPOXY REPAIR MINOR SPLITTING.
- SEAL OPEN JOINTS.
- SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
- ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
- REATTACH TRIM TO CASING.

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| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
| | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
| Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | | | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| DOCTOR'S HOUSE WINDOWS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | | Sheet No./Nº de la feuille | |
| R. | | | R. | |
| Drawing Set No./Nº de série du dessin | | | A10-600 | |



GENERAL NOTES:

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DRAWING KEYNOTES:

- CLASSIFICATION A:
- BROKEN/CRACKED LITE. REPLACE DAMAGED LITE AND REGLAZE.
 - SEVERE DECAY/DAMAGE AT STILE/MULLION/RAIL. CUT OUT ROT AND REPLACE.
 - MISSING, CRACKED, OR LOOSE GLAZING COMPOUND. REMOVE, PREPARE, AND REGLAZE. A KEYNOTE PLACED IN THE CENTRE OF A LITE INDICATES THAT THE ENTIRETY OF THAT LITE SHOULD BE REGLAZED. A KEYNOTE TOUCHING A MUNTIN(S) INDICATES THAT THE LITE SHOULD BE REGLAZED ONLY AT THAT MUNTIN(S).
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 - SEVERELY DECAYED/DAMAGED MUNTIN BARS. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT SILL/THRESHOLD. CUT OUT ROT AND REPLACE.
 - SEVERELY DECAYED/DAMAGED DOOR SHOE. CUT OUT ROT AND REPLACE.
 - LOOSE, DISPLACED, AND/OR MISSING DOWEL. SECURE OR REPLACE DOWEL.
 - SEVERE DECAY/DAMAGE AT CASING. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT TRIM. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT DRIP CAP. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT PANEL. CUT OUT ROT AND REPLACE.
 - SEVERE DECAY/DAMAGE AT ASTRAGAL. CUT OUT ROT AND REPLACE.

- CLASSIFICATION B:
- EPOXY REPAIR MINOR SPLITTING.
 - SEAL OPEN JOINTS.
 - SEAL GAP BETWEEN FRAME AND EXTERIOR WALL.
 - ANGLE EXISTING FLAT SILL TO ALLOW FOR WATER DRAINAGE OFF SILL.
 - REATTACH TRIM TO CASING.

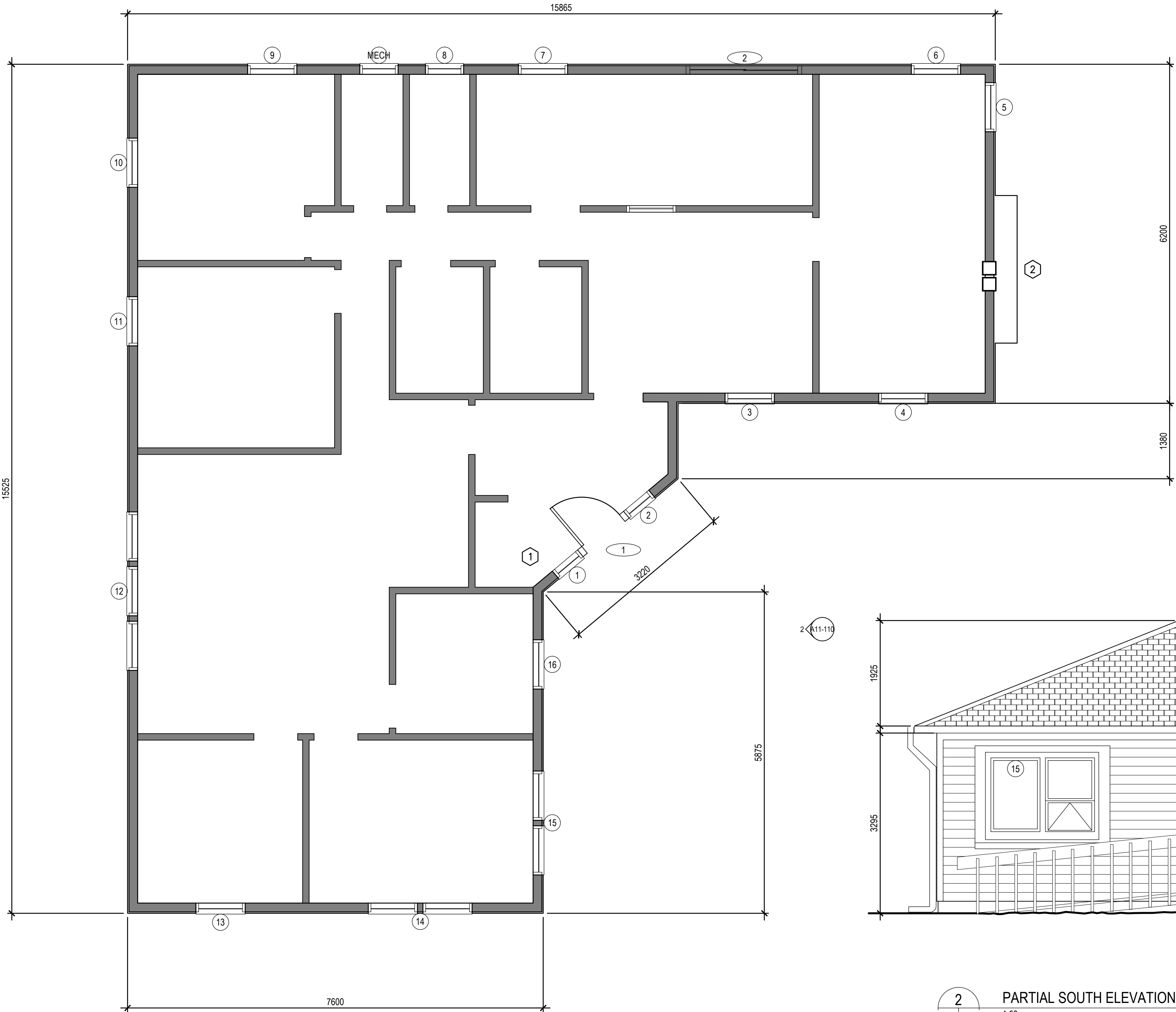
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| 0 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
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| Revision / Revision | | | | |
| Linear dimensions in millimetres | | Dimensions linéaires en millimètres | | |
| Eng. Stamp Sceau de l'ingénieur | | | | |
|   | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | | | | |
|  Parks Canada Parcs Canada | | | | |
| Strategic Asset Management, Western and Northern Region Gestion Stratégique des Biens, Région de l'Ouest et du Nord | | | | |
| Canada | | | | |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 | | |
| Sub Consultant Nom de sous conseil | |  | | |
| Project title/Titre du projet | | | | |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| DOCTOR'S OFFICE DOORS | | | | |
| Surveyed by/Arpenté par | | Drawn by/Dessiné par | | Date |
| | | AV | | 2018/04/27 |
| Designed by/Concept par | | Reviewed by/Revisé par | | Scale/Échelle |
| | | GL | | SEE NOTED |
| Client Acceptance/Acceptation du client | | | Approved by/Approuvé par | |
| Date | | | Date | |
| Project No./Nº du projet | | | Sheet No./Nº de la feuille | |
| R. | | | R. | |
| Drawing Set No./Nº de série du dessin | | | A10-650 | |

GENERAL NOTES:FOR BUILDING:

1. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
2. REPAIR WINDOWS AS PER SPREADSHEET IN SPECIFICATIONS.
3. FIBREGLOSS BATTS MAY BE OBSTRUCTING AIR CIRCULATIONS FROM SOFFIT VENTS. FROST BUILD-UP AT GABLE VENT EXTERIOR. CLEAR OBSTRUCTIONS AT SOFFIT VENTS AND VERIFY CLEAR AIR CIRCULATION PATH.

DRAWING KEYNOTES:

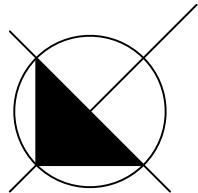
1. REPAIR DAMAGED/DETERIORATED GYP. BOARD CEILING, INCLUDING NEW VAPOUR BARRIER. INSPECT ROOF ABOVE DAMAGED AREA WHERE DAMAGE/DETERIORATION HAS OCCURRED. REPAIR ROOF IF DAMAGED.
2. COORDINATE WITH STRUCTURAL FOR MASONRY CHIMNEY REPAIR. SEAL WALL OPENINGS BETWEEN WALL AND CHIMNEY.



2 PARTIAL SOUTH ELEVATION
A11-110 | A11-110 1:50

1 MAIN FLOOR PLAN
A11-110 | A11-110 1:50

GRID NORTH
UNIVERSAL TRANSVERSE MERCATOR
NAD83 ZONE 11



| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |
|-----|------------|---------------------------|-------------------------|----------------------|
| 1 | 2018-04-27 | ISSUED FOR CONSTRUCTION | AV | GL |
| 0 | 2018-03-29 | ISSUED FOR 99% SUBMISSION | AV | GL |

| Revision / Revision | |
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| Linear dimensions in millimetres | Dimensions linéaires en millimètres |
| Eng. Stamp Sceau de l'ingénieur | |
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|--|--|
| Consultant's Name Nom de l'expert-conseil | |
| ARCHITECTURE 49 | |
| 1800 BUFFALO PLACE WINNIPEG, MB CANADA R3T 6B8 TEL: 204-477-1260 FAX: 204-477-6 architecture49.com | |

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|--|--|--|
| | Parks Canada Strategic Asset Management, Western and Northern Region | Parcs Canada Gestion Stratégique des Biens, Région de l'Ouest et du Nord |
| Architecture49 Project No. 189-00014-00 | | Sub Consultant Project No. 18-0051-001 |

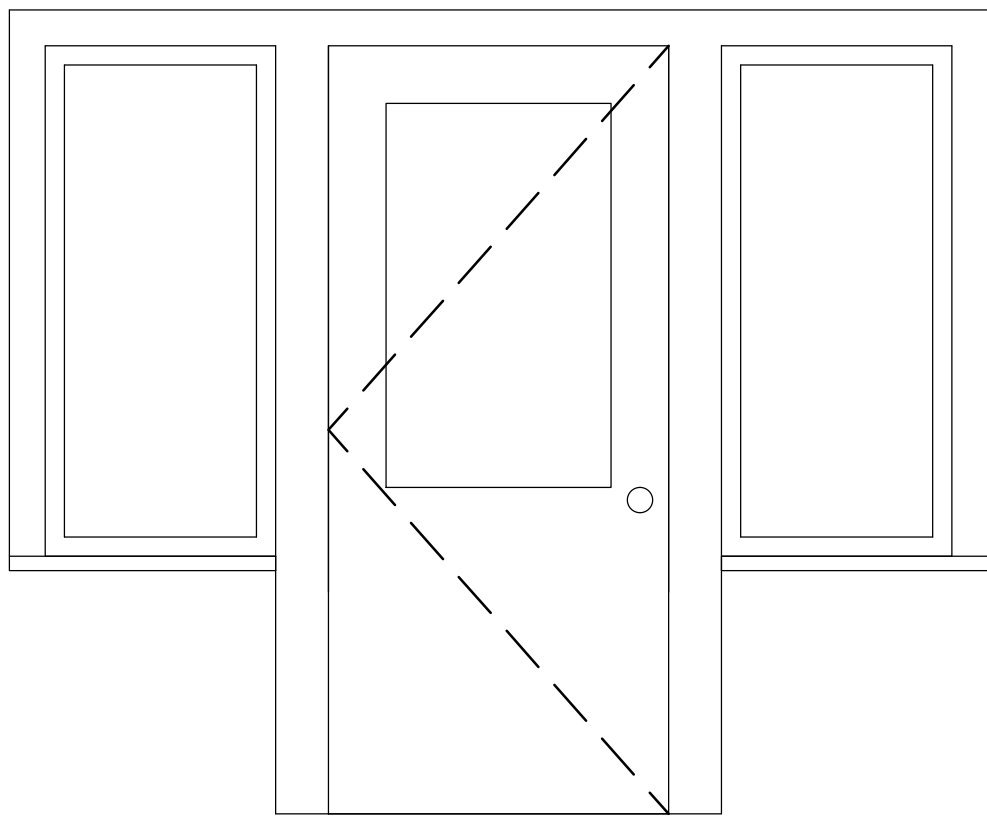
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| Sub Consultant Nom de sous conseil | |
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| Project title/Titre du projet |
| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS |

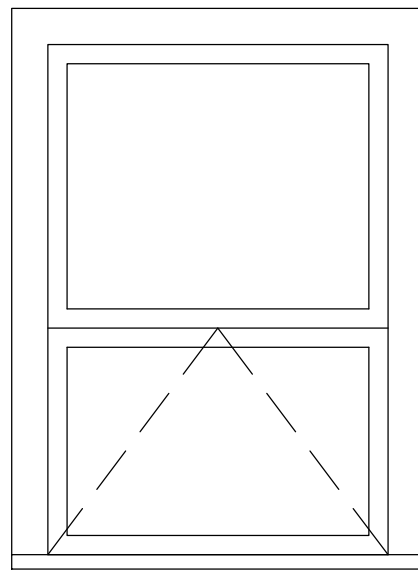
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| Drawing title/Titre du dessin |
| ADMINISTRATION BUILDING (SIMKIN) MAIN FLOOR PLAN |

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| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Echelle |
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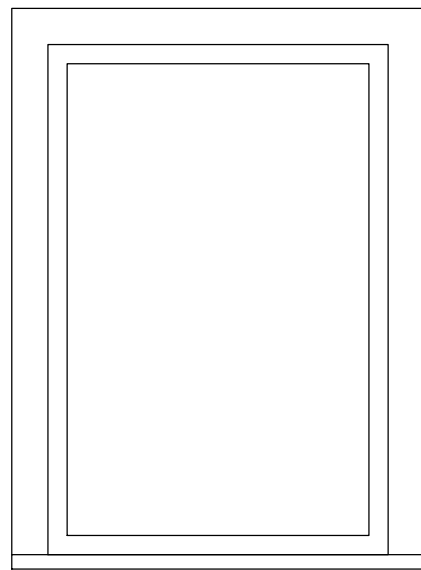
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| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A11-110 |
| Drawing Set No./Nº de série du dessin | | |



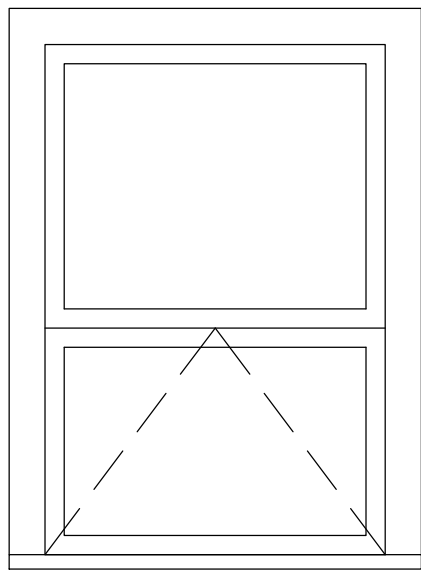
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D1 & TWO
FIXED
A11-110 | A11-600 1:20



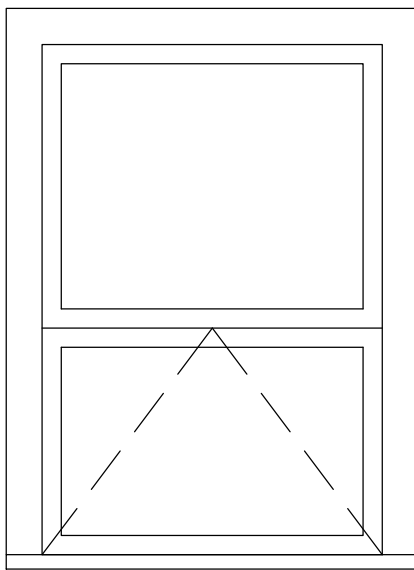
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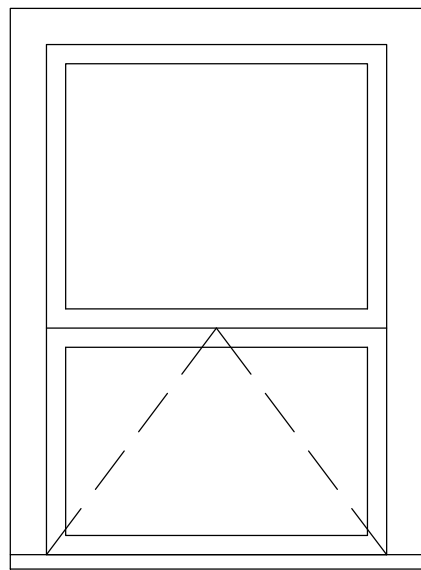
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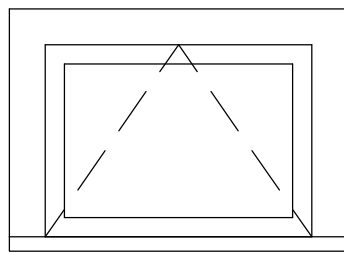
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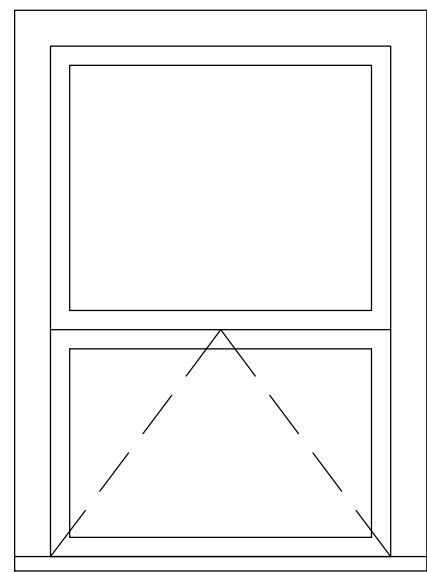
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AWNING
A11-110 | A11-600 1:20



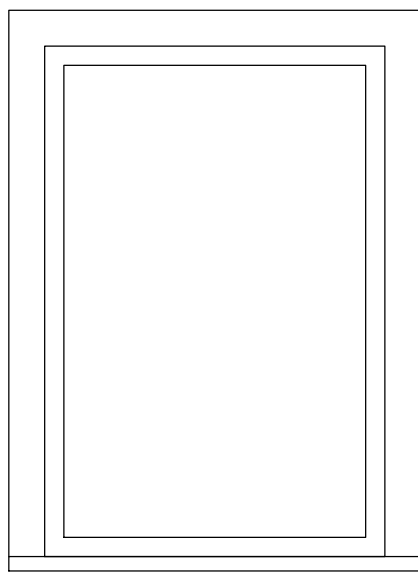
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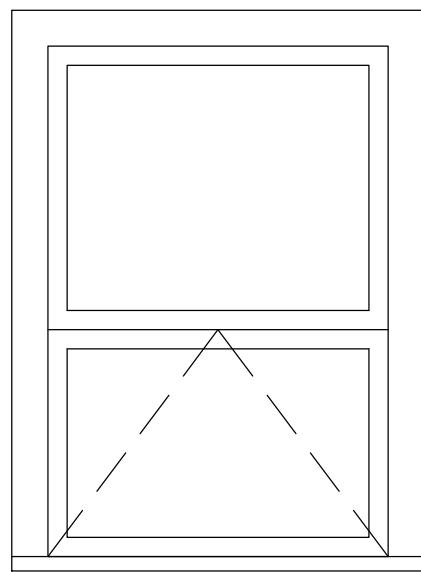
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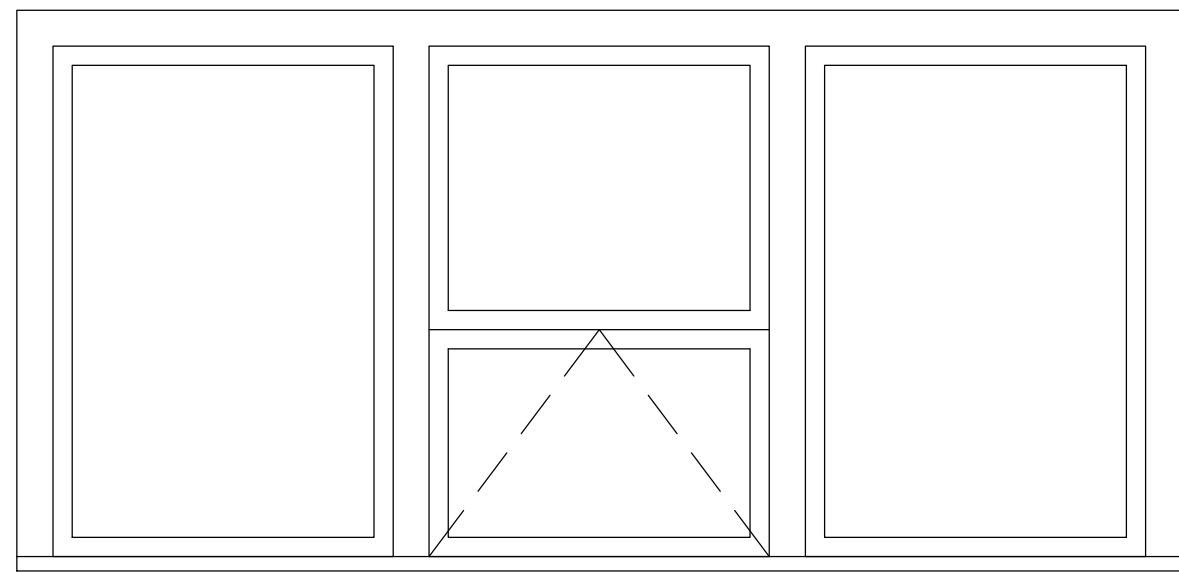
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AWNING
A11-110 | A11-600 1:20



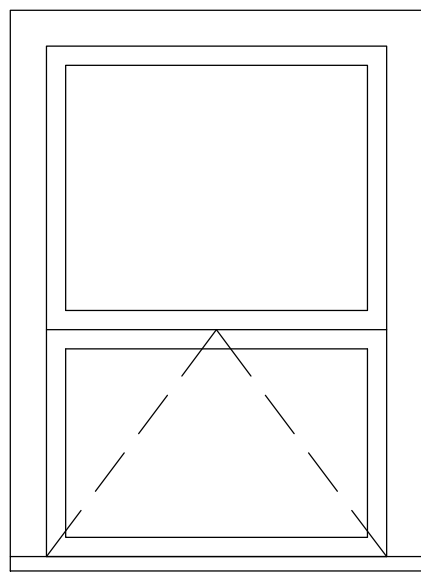
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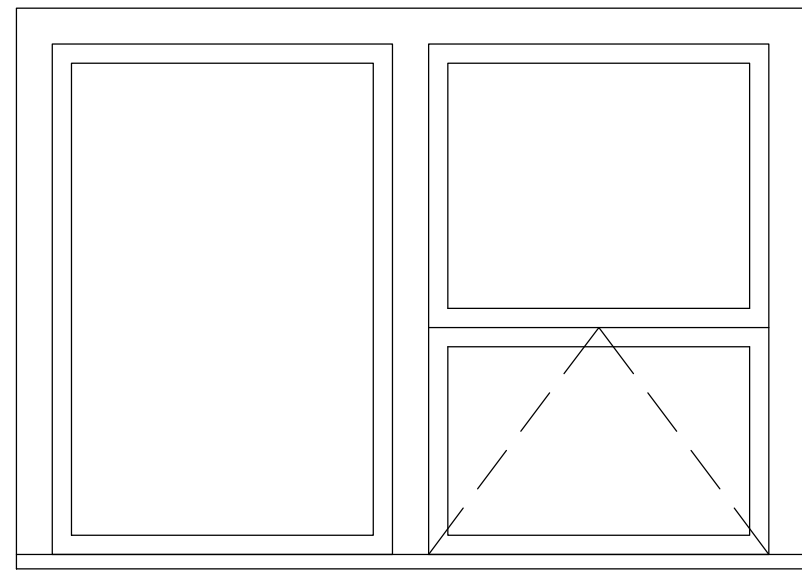
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A11-110 | A11-600 1:20



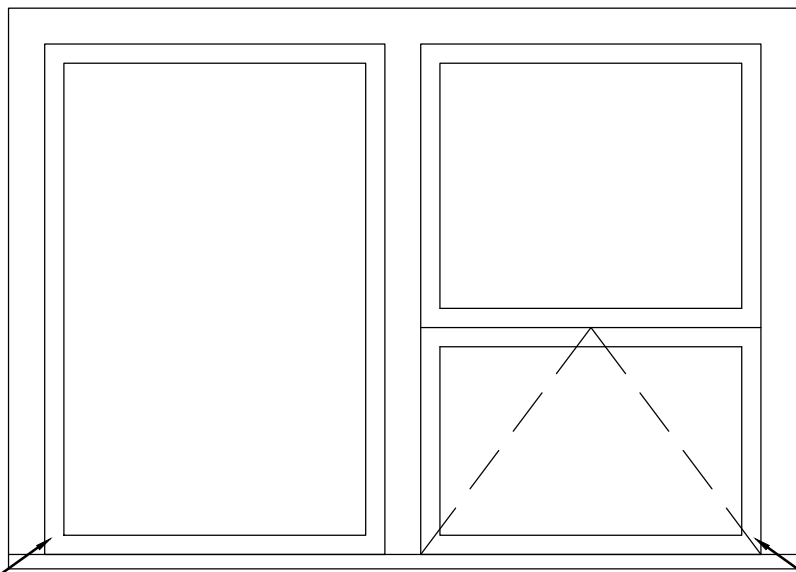
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A11-110 | A11-600 1:20



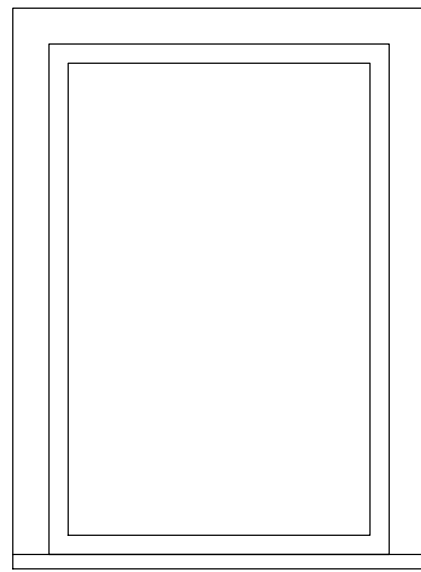
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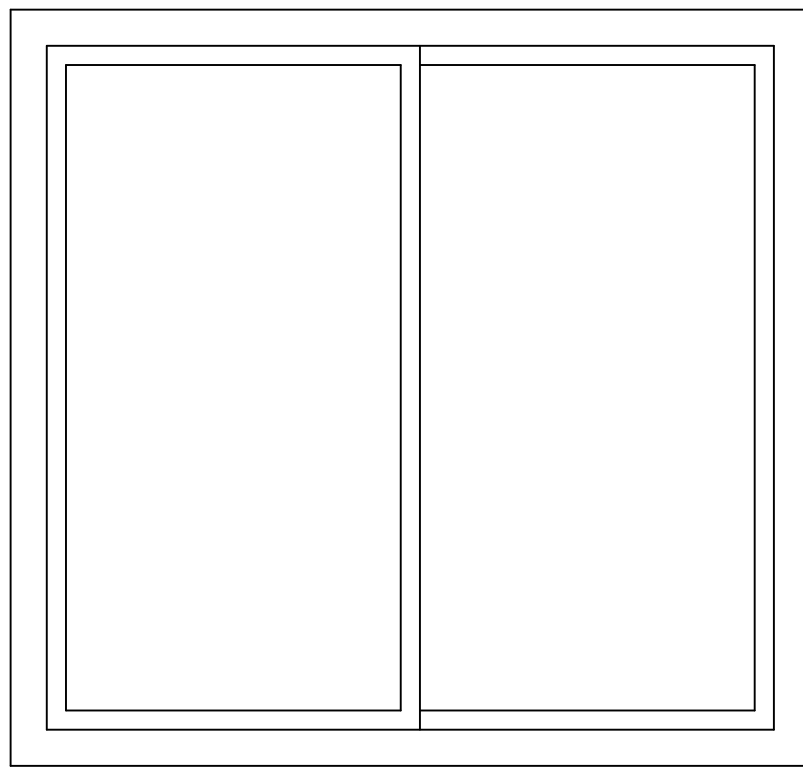
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FIXED AND
AWNING
A11-110 | A11-600 1:20



15
FIXED AND
AWNING
A11-110 | A11-600 1:20



16
FIXED
A11-110 | A11-600 1:20



D2
PATIO SLIDING DOOR
A11-110 | A11-600 1:20

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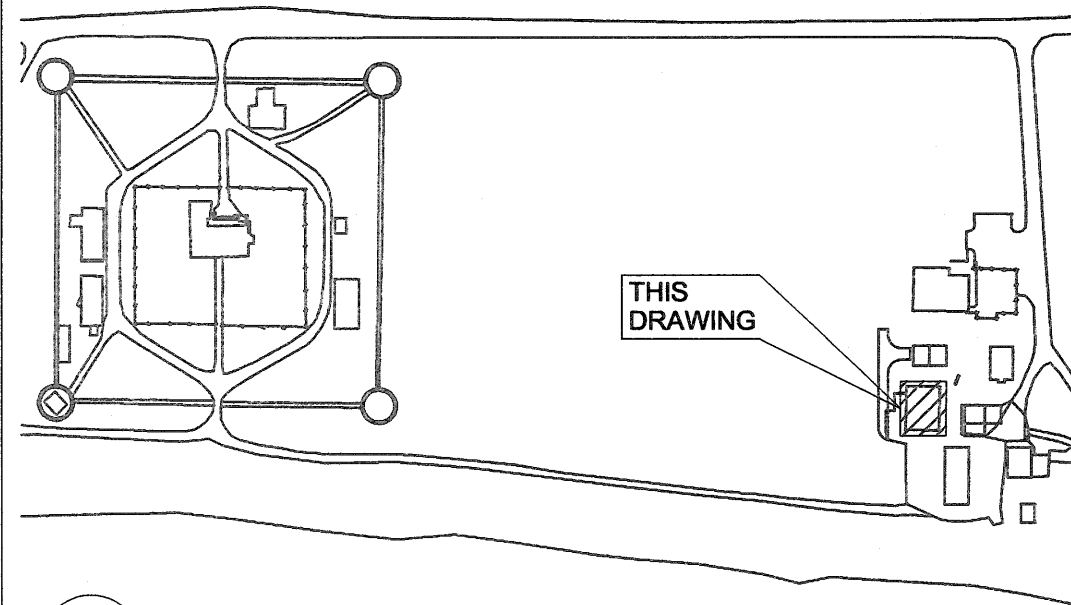
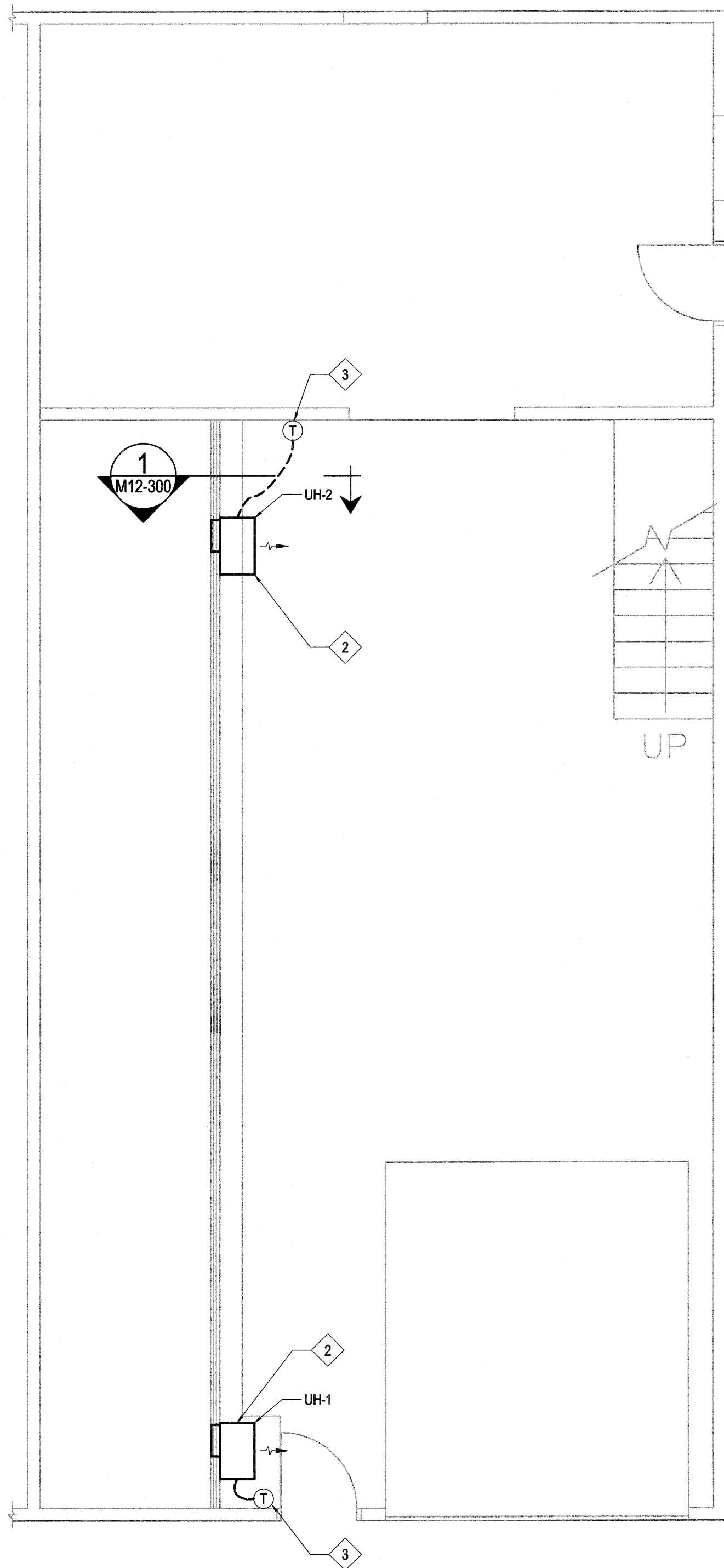
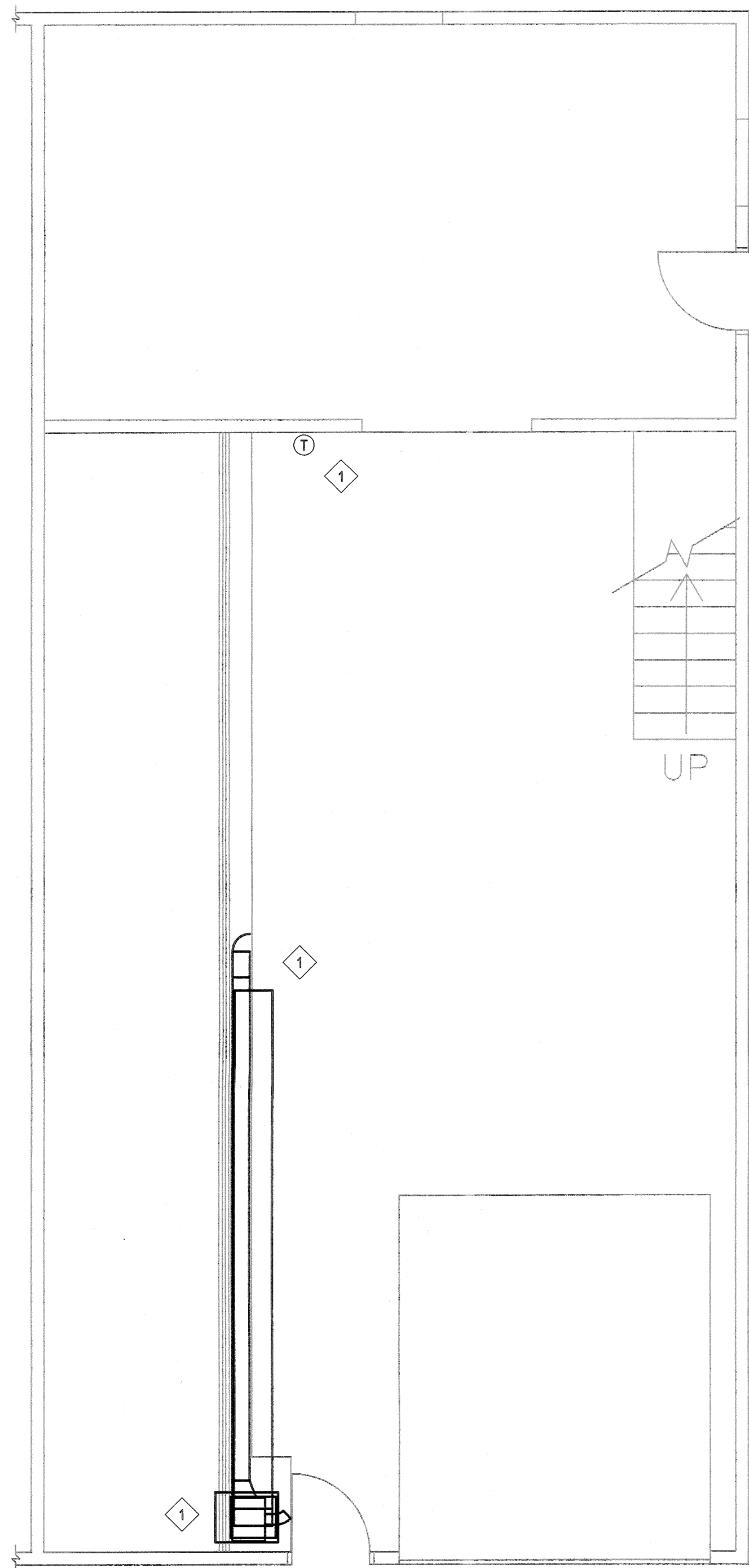
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| <div>Eng. Stamp Sceau de l'ingénieur</div> <div><div></div><div></div></div> | | | | |
| Consultant's Name Nom de l'expert-conseil | | | | |
| ARCHITECTURE 49 | | | | |
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| LOWER FORT GARRY CONSERVATION OF BUILDINGS AND GROUNDS | | | | |
| Drawing title/Titre du dessin | | | | |
| ADMINISTRATION BUILDING WINDOWS AND DOORS | | | | |
| Surveyed by/Arpenté par | Drawn by/Dessiné par | Date | | |
| | AV | 2018/04/27 | | |
| Designed by/Concept par | Reviewed by/Revisé par | Scale/Échelle | | |
| | GL | SEE NOTED | | |
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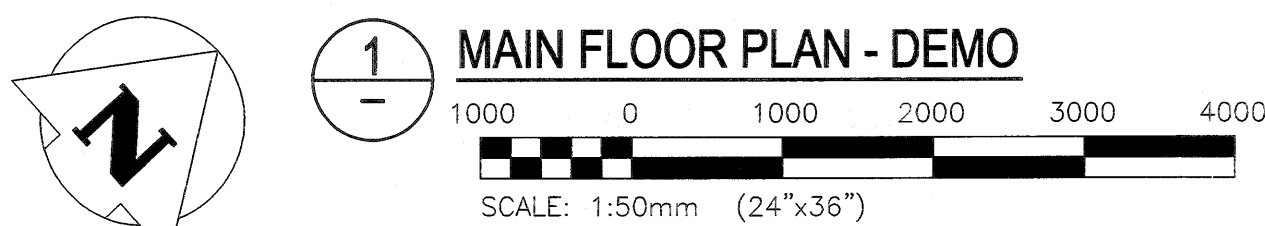
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GENERAL NOTES:

SEE DRAWING MG-000

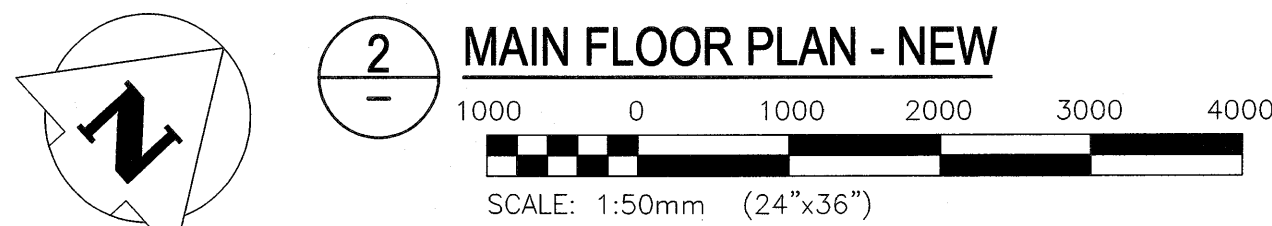
KEYNOTES:

- 1 REMOVE EXISTING FURNACE, ASSOCIATED DUCTWORK, VENTING, AND THERMOSTAT/CONTROL WIRING.
- 2 INSTALL NEW NATURAL GAS FIRED UNIT HEATERS AS SHOWN. PROVIDE GAS PIPING, VENTING, CONTROL WIRING AND SUPPORTS. INSTALL ACCORDING TO CSA B149.1 NATURAL GAS AND PROPANE INSTALLATION CODE AND MANUFACTURERS INSTRUCTIONS. PROVIDE VERTICAL CONCENTRIC VENT FROM THE MANUFACTURER.
- 3 INSTALL NEW THERMOSTATS AT LOCATIONS SHOWN. CONTROL WIRING SHALL BE RUN IN CONDUITS.



1 MAIN FLOOR PLAN - DEMO

SCALE: 1:50mm (24"x36")



2 MAIN FLOOR PLAN - NEW

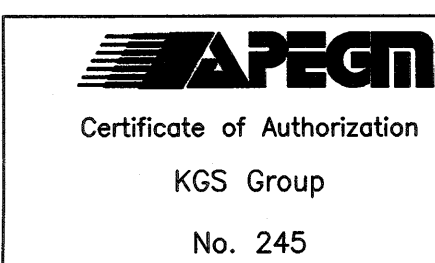
SCALE: 1:50mm (24"x36")

SCALE VERIFIED BY: *EM*

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|-----|------------|-------------------------|-------------------------|----------------------|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNLM | <i>LNLM</i> |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | Linear dimensions in millimetres | Dimensions linéaires en millimètres |
|---------------------|-------------------------------------|--|
|---------------------|-------------------------------------|--|

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 8B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



Parks Canada
Strategic Asset
Management,
Western and Northern
Region

Parcs Canada
Gestion Stratégique
des Biens,
Région de l'Ouest et
du Nord

Canada

Architecture49 Project No.
189-00014-00

Sub Consultant Project No.
18-0051-001

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**LARGE STORAGE BUILDING
MAIN FLOOR PLAN
HVAC - DEMO & NEW**

Surveyed by/Arpenté par

Drawn by/Dessiné par

Date

Designed by/Concept par

Reviewed by/Revisé par

Scale/Echelle

Client Acceptance/Acceptation du client

Approved by/Approuvé par

Project No./N° du projet

Asset No./N° du bien

Sheet No./

1603

3501

N° de la feuille

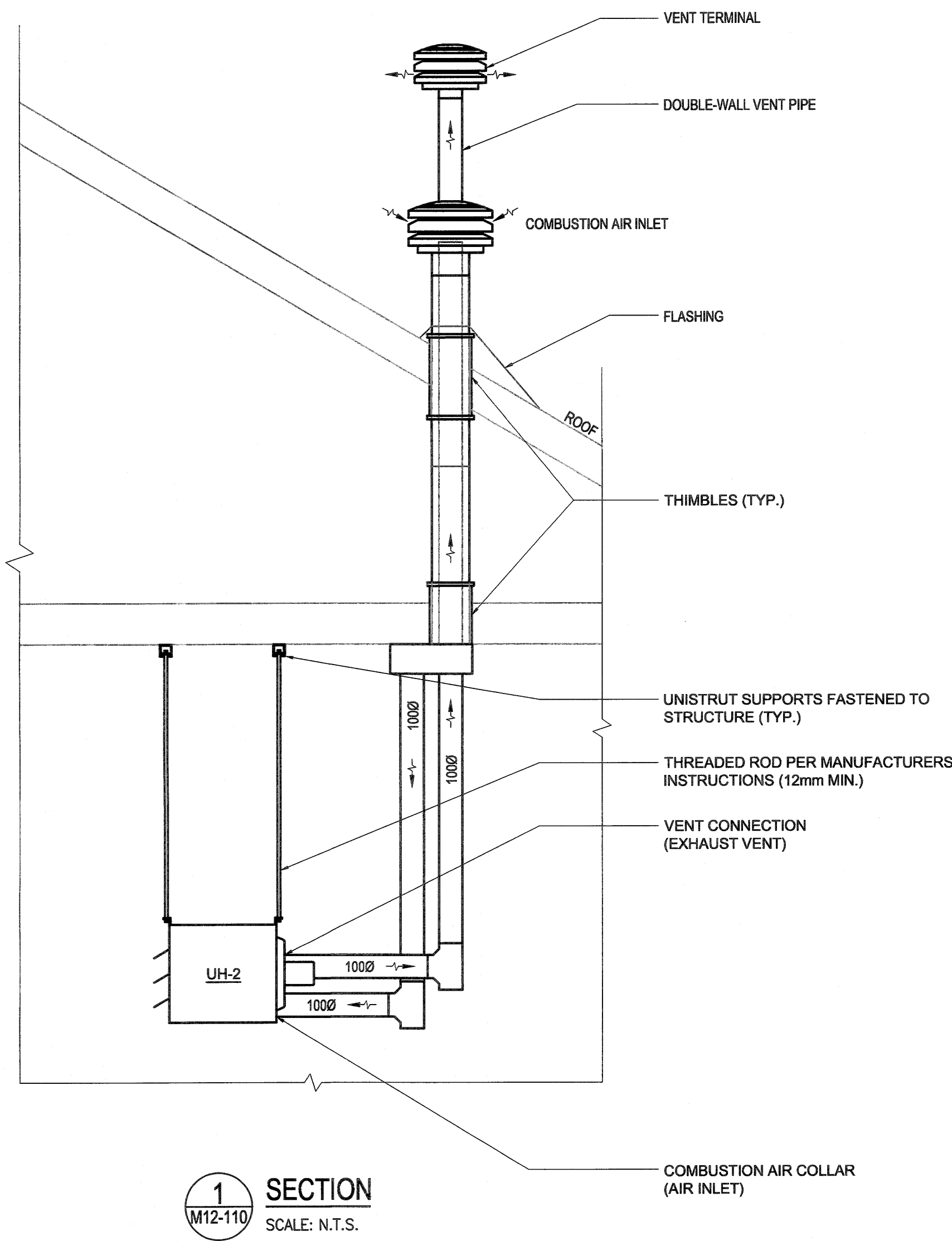
Drawing Set No./N° de série du dessin

18-0051-001

M12-110

Filename: P:\Projects\2018\18-0051-001\Dwg\Mech\18-0051-001_M12-300 - Tab:M12-300 Plotted By: DDeroche 18/04/25 [Wed 1:56pm]


GENERAL NOTES:
SEE DRAWING MG-000




| | | | | |
|-----|------------|-------------------------|-------------------------|----------------------|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | LNM | |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions In millimètres | Dimensions linéaires en millimètres |

Eng. Stamp
Sciau de l'ingénieur




Certificate of Authorization
KGS Group
No. 245



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB | CANADA | R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com



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|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

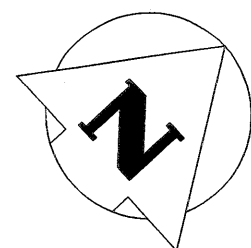
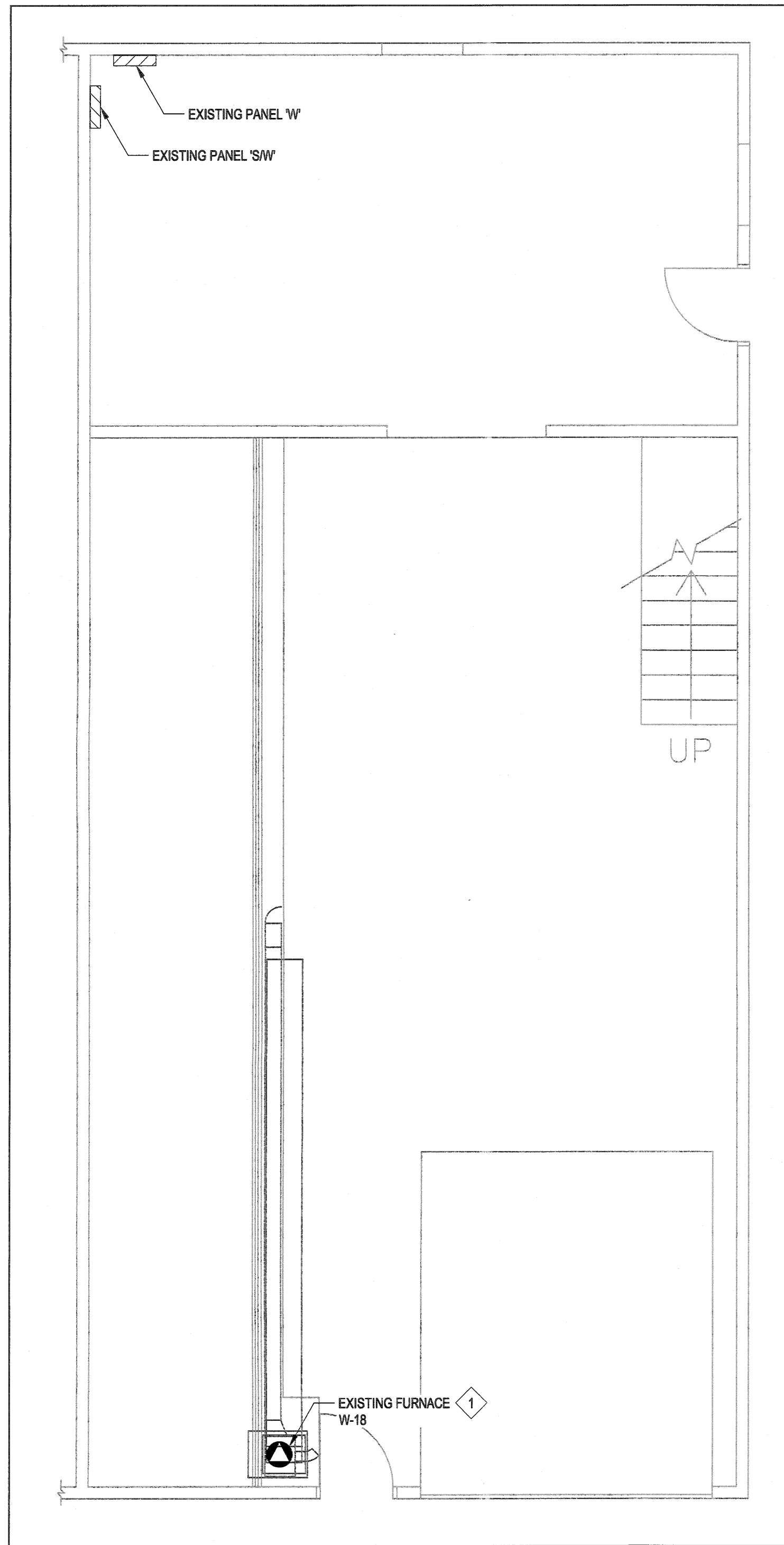
**LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS**

Drawing title/Titre du dessin

**LARGE STORAGE BUILDING
SECTIONS & DETAILS**

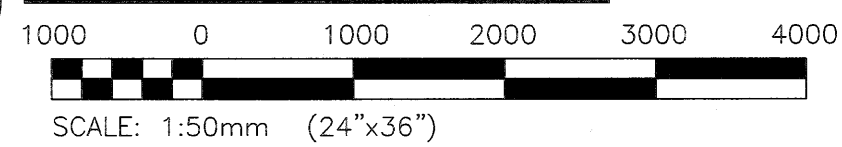
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| Surveyed by/Arpenté par ML | Drawn by/Dessiné par ML | Date 2018/02/21 |
| Designed by/Concept par LNM | Reviewed by/Revisé par LNM | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

| | | |
|--|------------------------------|--|
| Project No./N° du projet 1803 | Asset No./N° du bien 3501 | Sheet No./ N° de la feuille M12-300 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |

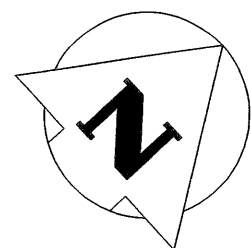
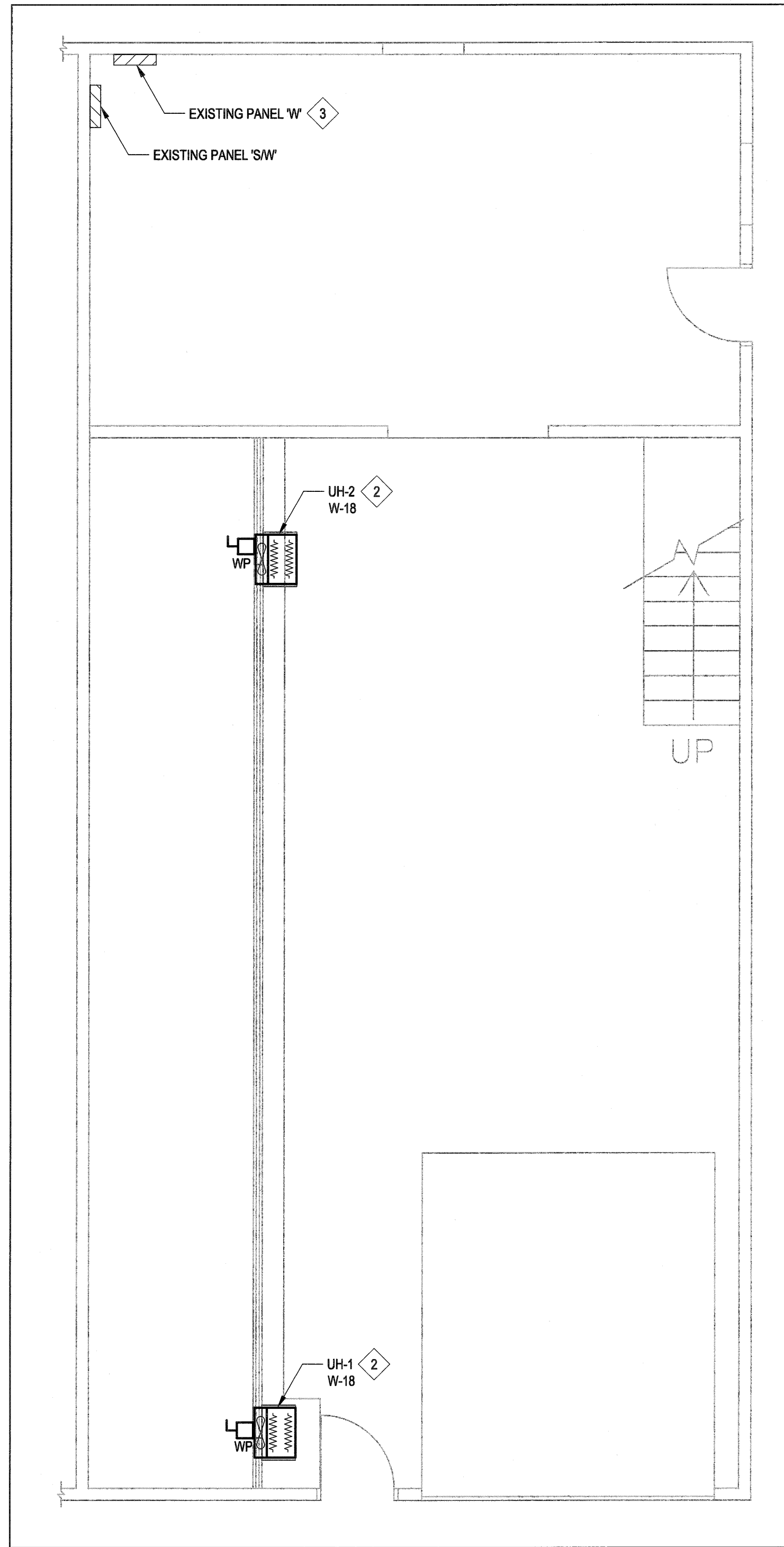


1

MAIN FLOOR - DEMOLITION

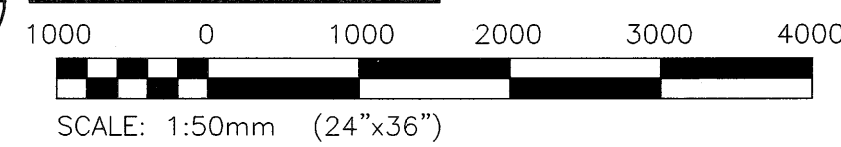


SCALE: 1:50mm (24"x36")

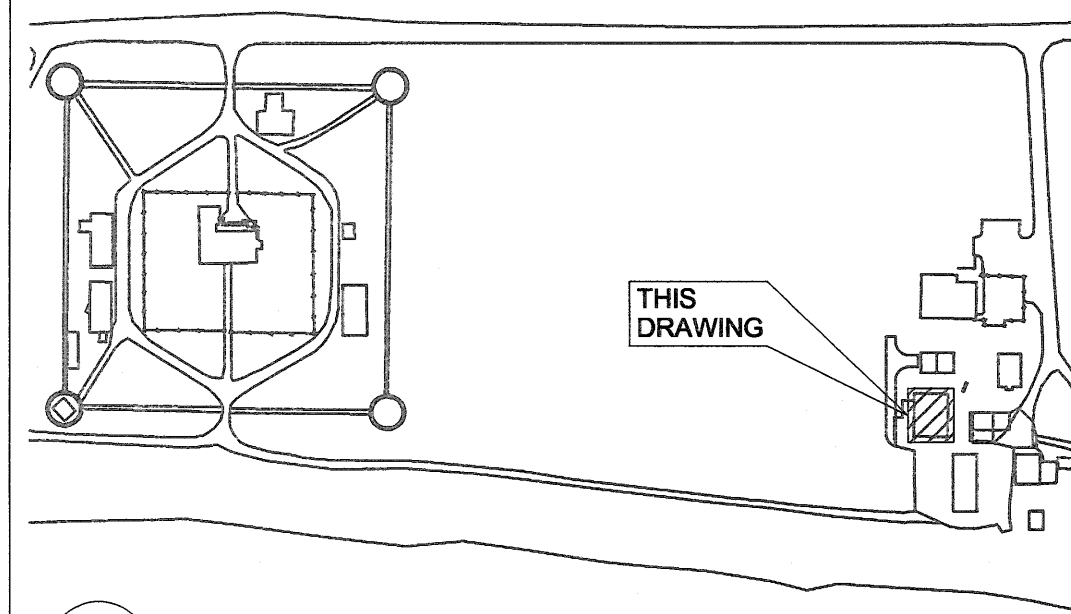


2

MAIN FLOOR - NEW



SCALE: 1:50mm (24"x36")



KEYPLAN
SCALE: N.T.S.

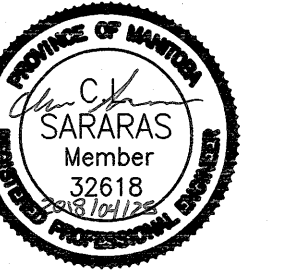
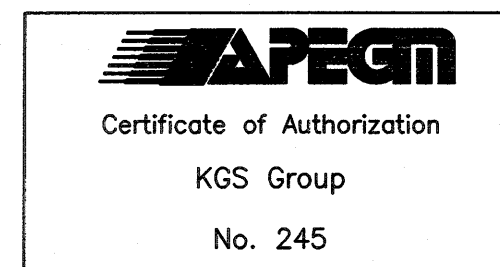
KEYNOTES:

- 1 DISCONNECT THE EXISTING FURNACE AND MAKE SAFE.
- 2 PROVIDE POWER FOR THE TWO (2) NEW GAS UNIT HEATERS FROM THE EXISTING FURNACE CIRCUIT COMPLETE WITH NEW DISCONNECT SWITCHES. EXTEND WIRING AND CONDUIT TO THE NEW UNIT HEATERS AS REQUIRED.
- 3 UPDATE THE PANEL SCHEDULE FOR CIRCUIT W-18 WITH DYNATAPE LABEL TO READ: "GAS UNIT HEATERS (UH-1,2)".

| | | | | |
|-----|------------|-------------------------|-------------------------|----------------------|
| 0 | 2018/04/27 | ISSUED FOR CONSTRUCTION | SDC | CLS |
| No. | Date | Description | Drawn by Dessiné par | Approved Approuvé |

| Revision / Revision | |
|-------------------------------------|--|
| Linear dimensions in millimetres | Dimensions linéaires en millimètres |

Eng. Stamp
Sceau de l'ingénieur



Consultant's Name
Nom de l'expert-conseil

ARCHITECTURE 49

1800 BUFFALO PLACE
WINNIPEG MB (CANADA) R3T 6B8
TEL: 204-477-1280 | FAX: 204-477-6 | architecture49.com

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Canada

| | |
|--|---|
| Architecture49 Project No. 189-00014-00 | Sub Consultant Project No. 18-0051-001 |
|--|---|

Sub Consultant

KGS
GROUP
CONSULTING
ENGINEERS

Project title/Titre du projet

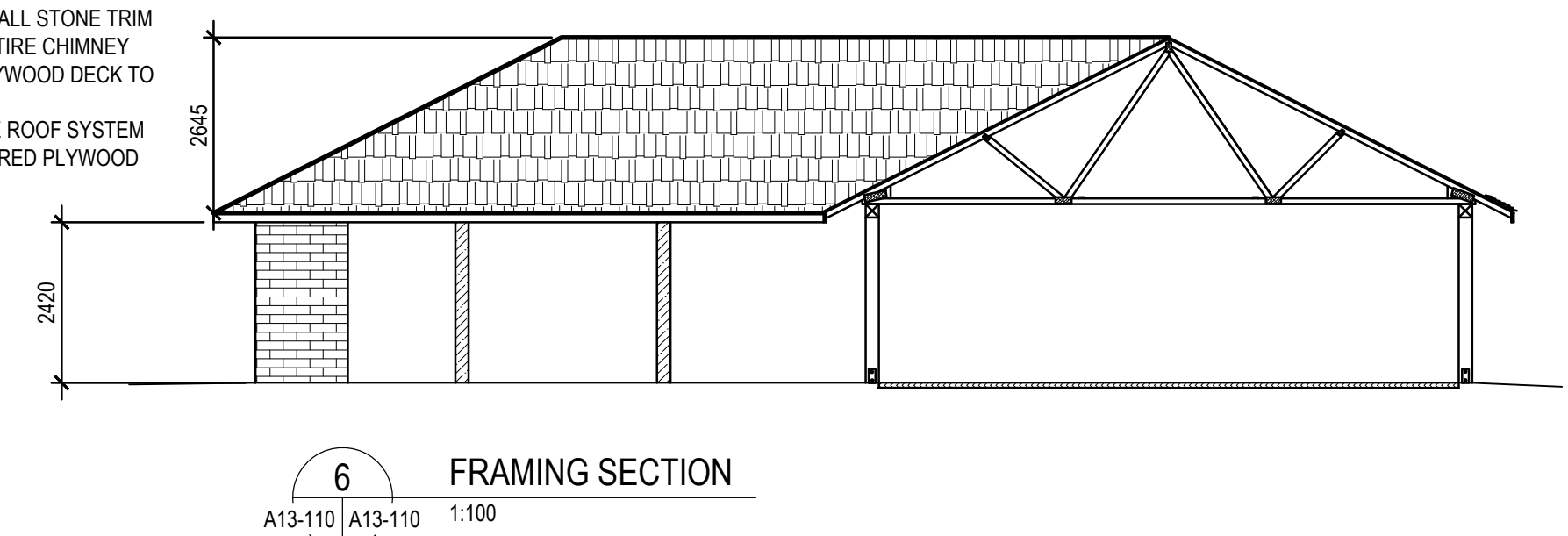
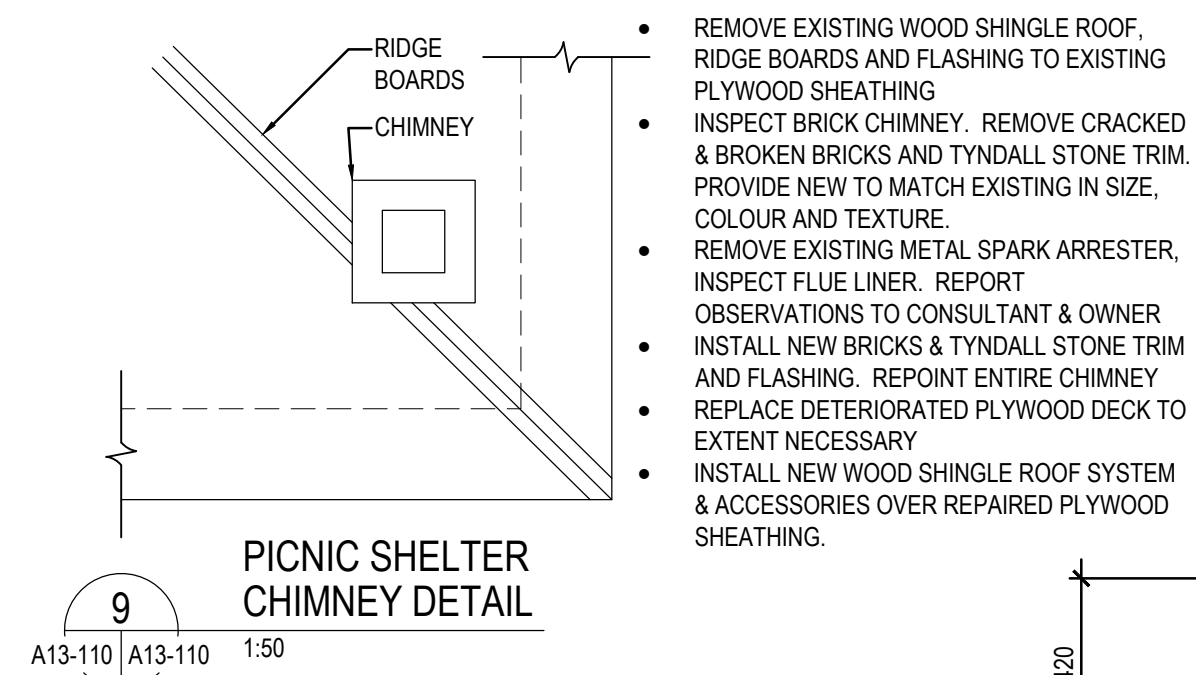
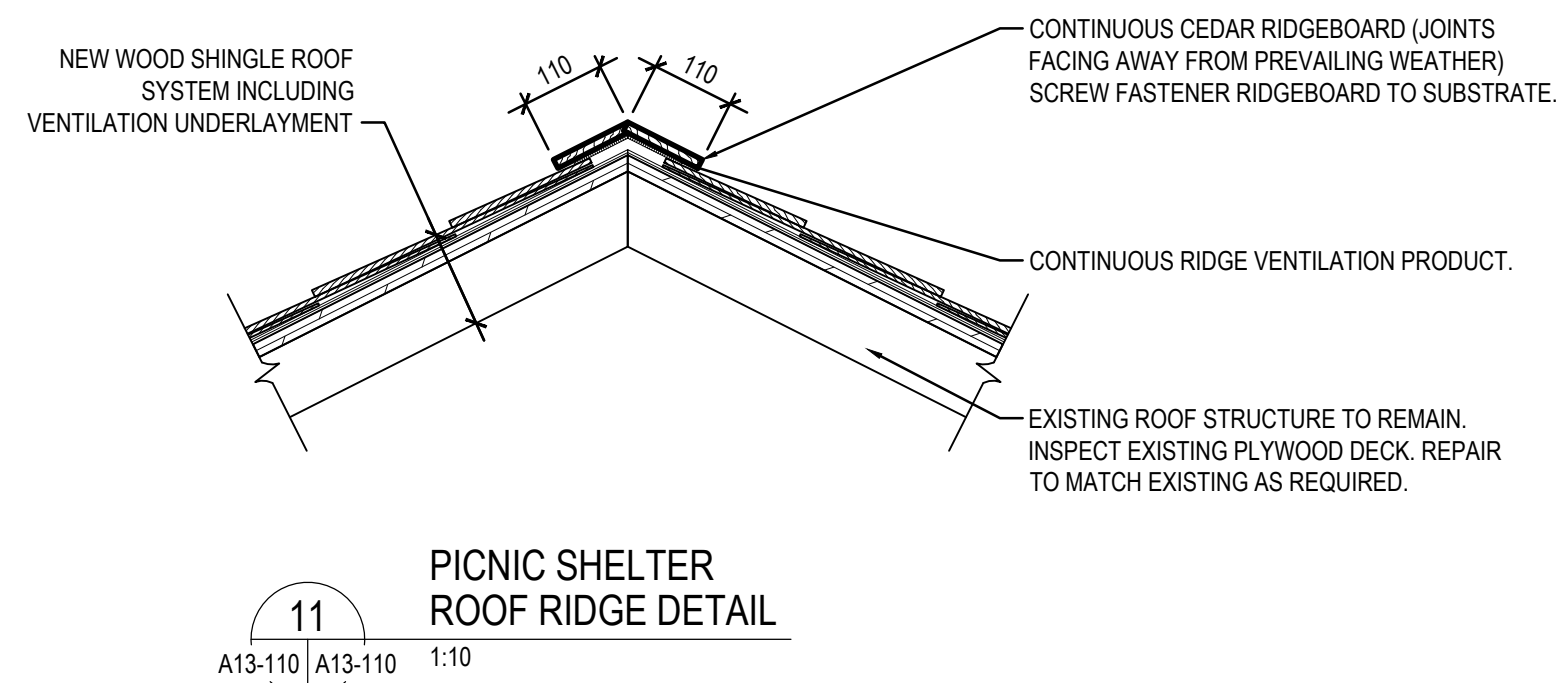
LOWER FORT GARRY
CONSERVATION OF
BUILDINGS AND GROUNDS

Drawing title/Titre du dessin

LARGE STORAGE BUILDING
MAIN FLOOR PLAN
DEMOLITION AND NEW

| | | |
|---|-------------------------------|---------------------------|
| Surveyed by/Arpenté par SDC | Drawn by/Dessiné par SDC | Date 2018/03/26 |
| Designed by/Concept par CLS | Reviewed by/Revisé par CLS | Scale/Echelle AS NOTED |
| Client Acceptance/Acceptation du client | | Approved by/Approuvé par |
| Date | | Date |

| | | |
|--|------------------------------|---------------------------------------|
| Project No./N° du projet 1603 | Asset No./N° du bien 1251 | Sheet No./N° de la feuille E12-110 |
| Drawing Set No./N° de série du dessin 18-0051-001 | | |



| | | |
|---------------------------------------|----------------------|--------------------------------|
| Project No./Nº du projet | Asset No./Nº du bien | Sheet No./ Nº de la feuille |
| R. | R. | A13-110 |
| Drawing Set No./Nº de série du dessin | | |