

**RETURN BIDS TO:
RETOURNER LES SOUMISSIONS A:**

Bid Receiving/Réception des soumissions

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RCMP H Division HQ
Procurement and Material Management
80 Garland Ave, Mailstop H-066
Dartmouth, NS B3B 0J8

**SOLICITATION AMENDMENT
MODIFICATION DE L'INVITATION**

The referenced document is hereby revised; unless otherwise indicated, all other terms and conditions of the Solicitation remain the same.

Ce document est par la presente révisé; sauf indication contraire, les modalités de l'invitation demeurent les mêmes.

Comments - Commentaries

Vendor/Firm Name and Address
Raison sociale et adresse du fournisseur/de l'entrepreneur
Facsimile No. – No. de télécopieur:
Telephone No. – No. de telephone:

Title – Sujet: HOUSING RENOVATIONS AND REPAIRS - HOPEDALE, NL	
Solicitation No. – No. de l'invitation M1000-9-2732	Date October 2, 2018
Client Reference No. – No. De Référence du Client NOT APPLICABLE	Revision No. - No. de la révision 003
Date of Revision – Date de la révision November 6, 2018	
Solicitation Closes – L'invitation prend fin At/à: 2:00 p.m. AST/HNA (Atlantic Standard Time/ Heure normale de l'Atlantique) On: November 15, 2018	
F.O.B. – F.A.B. Destination	
Address Enquiries to: – Adresser toutes questions à: Sandra Bremner, Procurement Officer Sandra.Bremner@rcmp-grc.gc.ca	
Telephone No. – No de telephone 902-720-5355	Fax No. – No. de Fax: 902-426-7136
Destination of Goods, Services, and Construction: – Destinations des biens, services et construction: Hopedale, NL	
Delivery Required – Livraison exigée: See Herein	Delivery Offered – Livraison proposée
Name and title of person authorized to sign on behalf of Vendor/Firm: – Nom et titre de la personne autorisée à signer au nom du fournisseur/de l'entrepreneur :	

AMENDMENT 003

Amendment 003 is raised:

- To extend the closing date.
- To modify the construction time.
- To modify Appendix 1 – Combined Price Form
- To attach modified Annexes “A”, “B”, “C” and “D” to show what work is to be completed by January 25, 2019 and what work is to be completed by August 31, 2019.
- To modify the first paragraph on Page 6 of Annex “F” – RCMP Specifications for Siding, Windows and Door Replacement.
- To attach Annex “I” Floor Plans.
- To attach Annex “J” Window and Door Specifications BU B 84.
- To answer the questions below.

All other terms and conditions remain the same.

DELETE

Solicitation Closes – L’invitation prend fin

At/à: **2:00 p.m.**

AST/HNA

(Atlantic Standard Time/

Heure normale de l’Atlantique)

On: **November 8, 2018**

INSERT

Solicitation Closes – L’invitation prend fin

At/à: **2:00 p.m.**

AST/HNA

(Atlantic Standard Time/

Heure normale de l’Atlantique)

On: **November 15, 2018**

DELETE

BA06 CONSTRUCTION TIME

The Contractor shall perform and complete the work by December 20, 2018.

INSERT

BA06 CONSTRUCTION TIME

The Contractor shall perform and complete all interior work by January 25, 2019 and all exterior work by August 31, 2019 as indicated in Annex “A”, “B”, “C” and “D”.

DELETE

Appendix 1 – Combined Price Form

INSERT

Appendix 1 – Combined Price Form (Amended)

DELETE

Annex “A” – Scope of Work – BU B 84
Annex “B” – Scope of Work – BU B 81
Annex “C” – Scope of Work – BU B 82 A
Annex “D” – Scope of Work – BU B 82 B

INSERT

Annex “A” – Scope of Work (Amended) – BU B 84
Annex “B” – Scope of Work (Amended) – BU B 81
Annex “C” – Scope of Work (Amended) – BU B 82 A
Annex “D” – Scope of Work (Amended) – BU B 82 B

DELETE

The second sentence “All windows to be custom made as per measurements provided in table” found in the first paragraph of Page 6 of Annex “F” – RCMP Specifications for Siding, Windows and Door Replacement.

QUESTIONS AND ANSWERS

QUESTION 1

I was wondering if you were having this project bid by the GC's only, or if you were accepting bids for sub trades also?

ANSWER 1

Bids will be accepted for the total cost for each location as indicated in APPENDIX 1 – COMBINED PRICE FORM (Amended).

Bids will not be accepted from individual sub trades.

QUESTION 2

Is tender bid security required?

ANSWER 2

Yes.

Please see Section BA07 Bid Security on page 12 of the solicitation document.

Clauses referred to by number (i.e. R2710T) can be found at the following web site:

<https://buyandsell.gc.ca/policy-and-guidelines/standard-acquisition-clauses-and-conditions-manual/all>

To proceed with a “search” insert R2710T in the ID contains box)

QUESTION 3

Will these housing units be occupied while the work is being implemented?

ANSWER 3

Housing unit BU B 84 will be occupied.

Housing unit BU B 81 will be occupied.

Housing unit BU B 82 A is vacant.

Housing unit BU B 82 B is occupied however the tenant will move to Housing unit BU B 82 A while the work is being done.

QUESTION 4

Are there drawings, pictures, floorplans, etc. available of each building covered in this scope that are available so that determination of building material quantities can be estimated? E.g. number of windows, exterior and interior doors, flooring areas, room sizes, etc.

ANSWER 4

Building floor plans are attached as Annex "I".

Window and door specifications for BU B 84 are attached as Annex "J".

The successful bidder must verify all window and door measurements on site prior to ordering windows and doors.

QUESTION 5

The documents reference a table with window numbers and sizes. Is this table available?

ANSWER 5

This table is not available.

QUESTION 6

Given the extension to the bidding deadline, and few options for transporting materials to site, will the stated required completion date remain Dec 20?

ANSWER 6

The completion date for all interior work has been extended to January 25, 2019 and the completion date for all exterior work has been extended to August 31, 2019 as indicated in Annex "A", "B", "C" and "D".

APPENDIX 1 - COMBINED PRICE FORM (Amended) (1 page)

- 1) Any arithmetical errors in this Appendix will be corrected by Canada.
- 2) Canada may reject the bid if any of the prices submitted do not reasonably reflect the cost of performing the part of the work to which that price applies.

PRICE TABLE

Work included in each item is as described in the referenced specification section.

ITEM	LOCATION	AMOUNT \$CAD (excluding HST) for interior work to be completed by January 25, 2019	AMOUNT \$CAD (excluding HST) for exterior work to be completed by August 31, 2019
1	BU B 84 – Hopedale, NL		
2	BU B 81 – Hopedale, NL		
3	BU B 82 A – Hopedale, NL		
4	BU B 82 B – Hopedale, NL		
	SUBTOTALS \$CAD Excluding HST		
TOTAL BID AMOUNT \$CAD Excluding HST			

Note: Work can commence as notified by RCMP.

It is recommended that before submitting a price to complete this work, the contractor examine the site, the local conditions affecting the work of this contract and other trades, and satisfy himself that the work can be carried out in the manner indicated on the plans and specifications, and report any conflicts or discrepancies prior to submitting the quotation. Failure to do this will render the contractor responsible for a complete job as intended.

The contractor is responsible for inspecting all materials when picking up or verifying delivery of materials. The owner is not responsible for damaged or broken materials. The contractor shall use only new materials for this project and is responsible for all building permits.

The contractor shall submit shop drawings and product data for approval prior to commencing with this work. Work shall not commence until approval has been granted.

The contractor shall submit a full safety plan prior to completing any work on this project.

Item #	Description of <u>Interior</u> Work Required Completion Date: January 25, 2019
1	Replace laundry tub faucets with new. Replace kitchen faucets with new (Delta or Moen) (single lever).
2	Clean all exhaust fans, exterior vents, diffusers, interior and exterior.
3	Install GFI in main bathroom and repair opening.
4	Install new microwave exhaust fan in kitchen (stainless steel).
5	Remove old vinyl flooring in back entrance, clean floor and apply filler, trowel and float to leave a smooth, flat, hard surface. Supply and install new vinyl flooring. Standard of Acceptance for flooring: Armstrong Flooring - Stratamax or approved equal.
6	Replace all damaged floor registers.
7	Remove ceramic and drywall from walls around to the shower, install new mildew resistance drywall, plaster and paint.
8	Install new Colonial door in ensuite. Install bi-fold door in hallway, door in basement. Do necessary repairs to bi-fold door in master bedroom.

Item #	Description of <u>Exterior</u> Work Required Completion Date: August 31, 2019
9	Replace all windows, doors and siding as per attached spec. Doors to be inswing with exterior storm door.
10	Replace steps and landing up to porch with a deck the width of the porch and extend twelve feet by the side of the house as per spec.
11	Replace steps and landing to the front door with new pressure treated steps and landing as per spec.

The contractor is responsible for the disposal of all debris to the local landfill and to complete a full cleaning of the premises and its surroundings and leave the whole in a perfect condition.

Contractor is responsible for all travel related costs associated with this project and for shipping materials to site.

Note: Work can commence as notified by RCMP.

It is recommended that before submitting a price to complete this work, the contractor examine the site, the local conditions affecting the work of this contract and other trades, and satisfy himself that the work can be carried out in the manner indicated on the plans and specifications, and report any conflicts or discrepancies prior to submitting the quotation. Failure to do this will render the contractor responsible for a complete job as intended.

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The contractor shall submit shop drawings and product data for approval prior to commencing with this work. Work shall not commence until approval has been granted.

The contractor shall submit a full safety plan prior to completing any work on this project.

Item #	Description of <u>Interior</u> Work Required Completion Date: January 25, 2019
1	Half Bath: Install new bath exhaust fan. Install new toilet seat and cover. Install new vanity top, new GFI and new mirror to match vanity width.
2	Main Bath: Install new toilet. Install new vanity top.
3	Install new range exhaust fan, Broan or equal with 2 lights (bulbs included) 4 tones or less. Install new exterior range hood vent, spring loaded.
4	Remove exterior screen from dryer vent to allow lint to escape. Install metal dryer hose from dryer to metal pipe in the wall.
5	Replace vinyl flooring in kitchen with new. Standard of Acceptance for flooring: Armstrong Flooring - Stratamax or approved equal.
6	Install portable dishwasher permanently and install new counter top over entire kitchen cabinets to include dishwasher, install oak panel to conceal side of dishwasher.
7	Install new kitchen faucets (Delta or Moen)
8	Replace laminate flooring in living room, dining room and inside entrance where laminate floor now exists, install new laminate flooring as per spec. Standard of Acceptance for flooring: Armstrong Flooring - Stratamax or approved equal.
9	Install all new colonial base.
10	Replace light fixtures in kitchen with one light fixture with a minimum of 3 lights. Install new light fixtures in upstairs hall and 3 bedrooms.

Item #	Description of <u>Exterior</u> Work Required Completion Date: August 31, 2019
11	Replace back doors on each of the units, 2 doors. Remove existing doors and boxes and replace with new insulated steel door c/w solid vinyl jambs. Install new 2-1/2" colonial trim which will be painted to match existing trim colours. Supply and install new smart key locksets and key all doors the same.
12	Replace back entrances steps and landing with new steps and new ten feet by twenty feet deck as per spec.

The contractor is responsible for the disposal of all debris to the local landfill and to complete a full cleaning of the premises and its surroundings and leave the whole in a perfect condition.

Contractor is responsible for all travel related costs associated with this project and for shipping materials to site.

Note: Work can commence as notified by RCMP.

It is recommended that before submitting a price to complete this work, the contractor examine the site, the local conditions affecting the work of this contract and other trades, and satisfy himself that the work can be carried out in the manner indicated on the plans and specifications, and report any conflicts or discrepancies prior to submitting the quotation. Failure to do this will render the contractor responsible for a complete job as intended.

The contractor is responsible for inspecting all materials when picking up or verifying delivery of materials. The owner is not responsible for damaged or broken materials. The contractor shall use only new materials for this project and is responsible for all building permits.

The contractor shall submit shop drawings and product data for approval prior to commencing with this work. Work shall not commence until approval has been granted.

The contractor shall submit a full safety plan prior to completing any work on this project.

Item #	Description of <u>Interior</u> Work Required Completion Date: January 25, 2019
1	Paint all through, 2 coats, 3 different colours, location of colours will be determined when awarded. Paint all ceilings and interior of closets white. Paint all trim, base etc. off white. Repair all damaged ceilings, 2 rooms will require the ceiling to be removed, new drywall installed, plaster and paint.
2	Go into the attic and replace all damaged insulation at the eave along the back of both units, the side where the ceiling was damaged.
3	Install new range exhaust fan, Broan or equal with 2 lights (bulbs included) 4 tones or less. Install new exterior range hood vent, spring loaded.
4	Install new vinyl flooring in front entrance and kitchen. Replace carpet on stairs with new. Install new laminate flooring in living room, and part of front entrance where there is existing laminate flooring. Install new laminate flooring in upstairs hall and bedrooms. Install all new colonial base. Standard of Acceptance for flooring: Armstrong Flooring - Stratamax or approved equal.
5	Install new kitchen faucets (Delta or Moen).
6	Install new drawer boxes in kitchen cabinets with new sliders and install melamine veneer in bottom of all cabinets.
7	Install portable dishwasher permanently and install new counter top over entire kitchen cabinets to include dishwasher.

8	Electrical: Replace all light bulbs with LED bulbs. Install smoke detectors that are on site. Install new light fixture at top of stairs. Replace light fixtures in kitchen with one light fixture with a minimum of 3 lights, repair ceiling and paint.
9	Replace all interior slab doors with new colonial doors, install new hinges, use existing locksets.
10	Install all new floor registers.
11	Install metal dryer hose from dryer to existing metal exhaust pipe.
12	<u>Main bath:</u> Remove drywall from walls and ceiling to the stud and install all new mildew resistance drywall. Install new 3 piece tub unit (Mirlon or equal) new single lever pressure balanced faucets, (Delta or Moen). Install new shower rod and curtain. Install new light fixture. Install new flush mounted beveled mirror (sized to fit vanity width). Install new exhaust fan 2 sones or less. Sand vanity, prime and paint with 2 coats finish, install melamine veneer bottom over existing bottom and install new pulls. Install new sink and faucets single lever (Delta or Moen). Install new GFI, new towel bar and toilet tissue holder.
13	Install new vinyl flooring as per spec, new colonial base. Standard of Acceptance for flooring: Armstrong Flooring - Stratamax or approved equal.
14	<u>Master bedroom:</u> Remove closet doors, remove partition in between and install new sliding mirror doors to fit opening. Install closet rods and shelving.
15	Install portable dishwasher permanently and install new counter over entire top of kitchen cabinets.
16	Vacuum out all supply and return floor registers in to about six feet.
17	Remove screens from dryer exhaust vent on the exterior and clean/vacuum hose out.
Item #	Description of <u>Exterior</u> Work Required Completion Date: August 31, 2019
18	Replace any broken boards on both walkways, move wooden walkways to the one side and install weed control fabric under entire length of walkway.
19	Prepare and discard the old fuel tank at the back of the house following Environmental Regulations.

The contractor is responsible for the disposal of all debris to the local landfill and to complete a full cleaning of the premises and its surroundings and leave the whole in a perfect condition.

Contractor is responsible for all travel related costs associated with this project and for shipping materials to site.

Note: Work can commence as notified by RCMP.

It is recommended that before submitting a price to complete this work, the contractor examine the site, the local conditions affecting the work of this contract and other trades, and satisfy himself that the work can be carried out in the manner indicated on the plans and specifications, and report any conflicts or discrepancies prior to submitting the quotation. Failure to do this will render the contractor responsible for a complete job as intended.

The contractor is responsible for inspecting all materials when picking up or verifying delivery of materials. The owner is not responsible for damaged or broken materials. The contractor shall use only new materials for this project and is responsible for all building permits.

The contractor shall submit shop drawings and product data for approval prior to commencing with this work. Work shall not commence until approval has been granted.

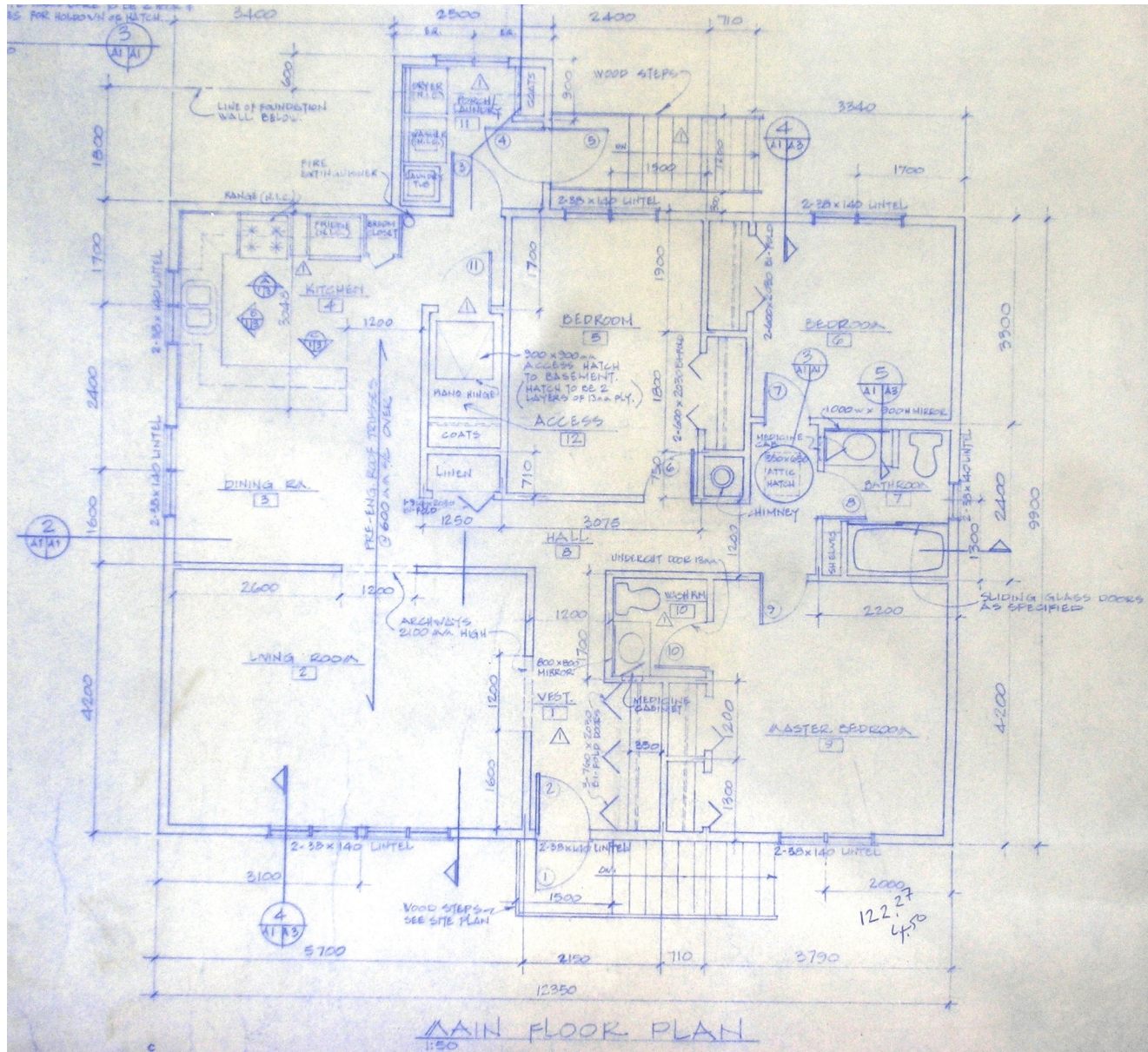
The contractor shall submit a full safety plan prior to completing any work on this project.

Item #	Description of Work Required Completion Date: January 25, 2019
1	Remove bottom of kitchen cabinet under sink, investigate to see extent of damage from leak, replace all damaged wood, (take pictures) and install new bottom. Sand and refinish damaged oak frame and doors.
2	Replace vinyl flooring in kitchen with new. Standard of Acceptance for flooring: Armstrong Flooring: Stratamax or approved equal. Replace laminate flooring in living room, hall where laminate floor now exists and install new laminate flooring as per spec. Install all new colonial base.
3	Replace weather stripping on back door.
4	<u>Main bath:</u> Remove drywall and tile to the studs and install all new mildew resistance drywall. Install new 3 piece tub unit (Mirlon or equal) new single lever pressure balanced faucets, (Delta or Moen). Install new light fixture. Install new flush mounted beveled mirror (sized to fit vanity width). Install new exhaust fan 2 sones or less. Install new vanity, new sink and faucets single lever (Delta or Moen). Install new GFI, new towel bar and toilet tissue holder. Install new vinyl flooring as per spec, new colonial base. <u>Master bedroom:</u> Remove closet doors, remove partition in between and install new sliding mirror doors to fit opening. Install closet rods and shelving.
5	Install portable dishwasher permanently and install new counter over entire top of kitchen cabinets.
6	There is an ongoing issue with snow blowing in along the entire length of this duplex. Remove all soffit along the entire back and install a breathable product that allows the attic to breathe but will not allow snow to blow in. Install the same breathable product behind the gable end vents.

The contractor is responsible for the disposal of all debris to the local landfill and to complete a full cleaning of the premises and its surroundings and leave the whole in a perfect condition.

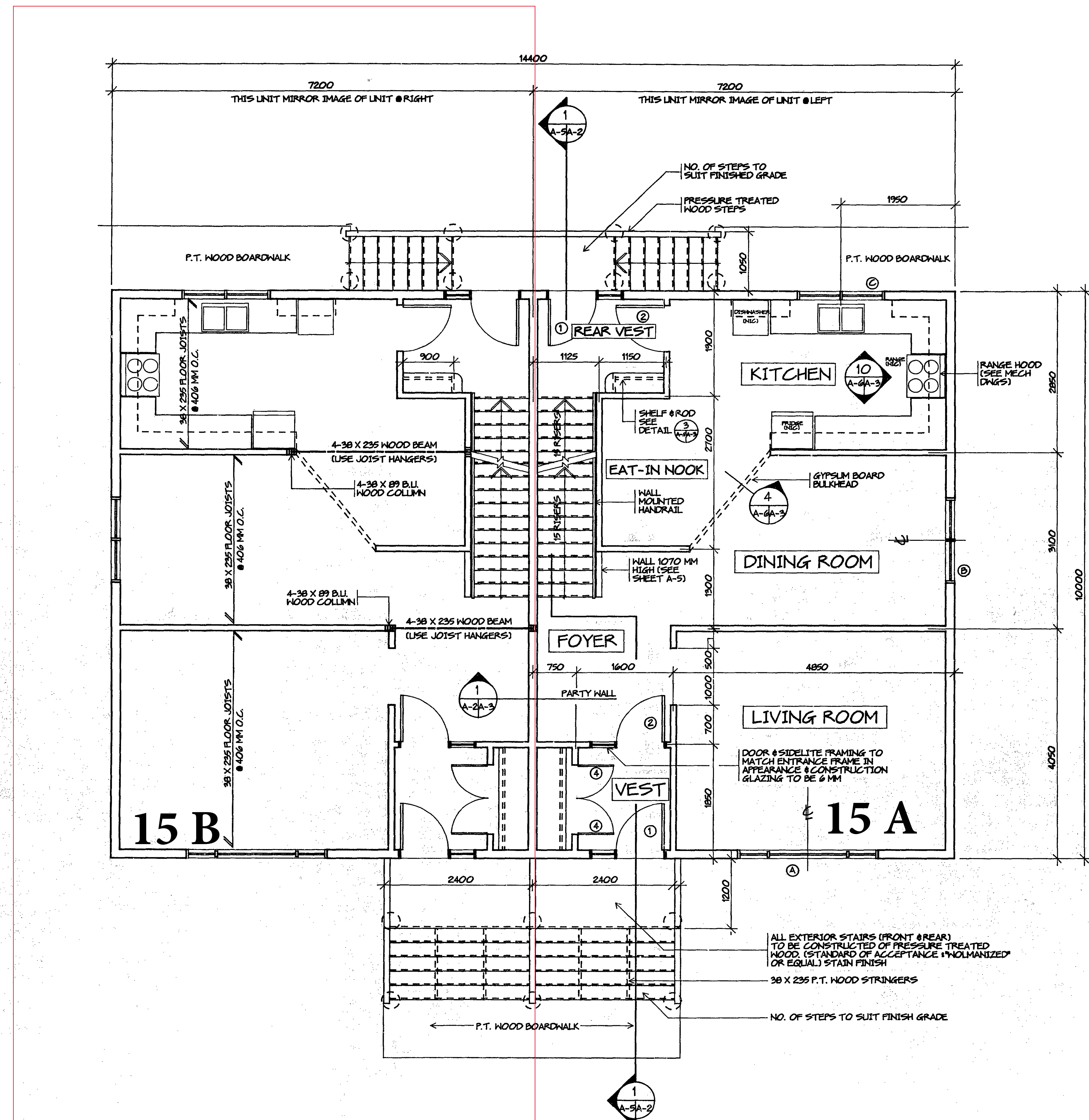
The contractor is responsible for all travel related costs associated with this project and for shipping materials to site.

Annex "I" - Floor plan (BU B 84)



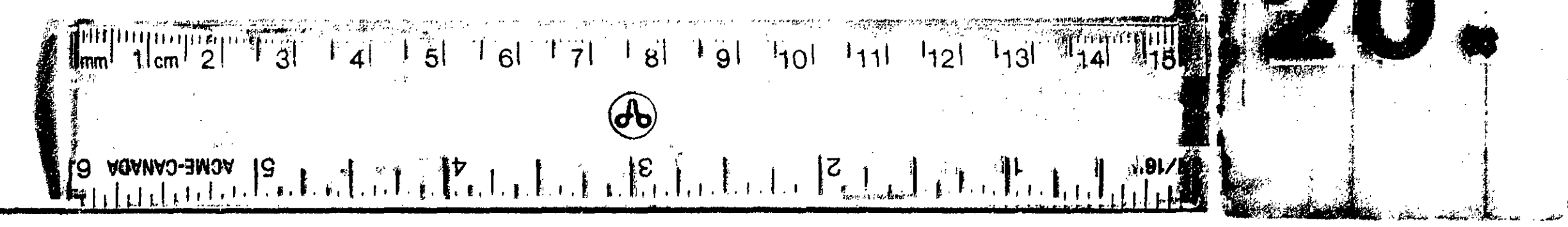
Annex "I" - Floor plan (BU B 81)

R-734884/4



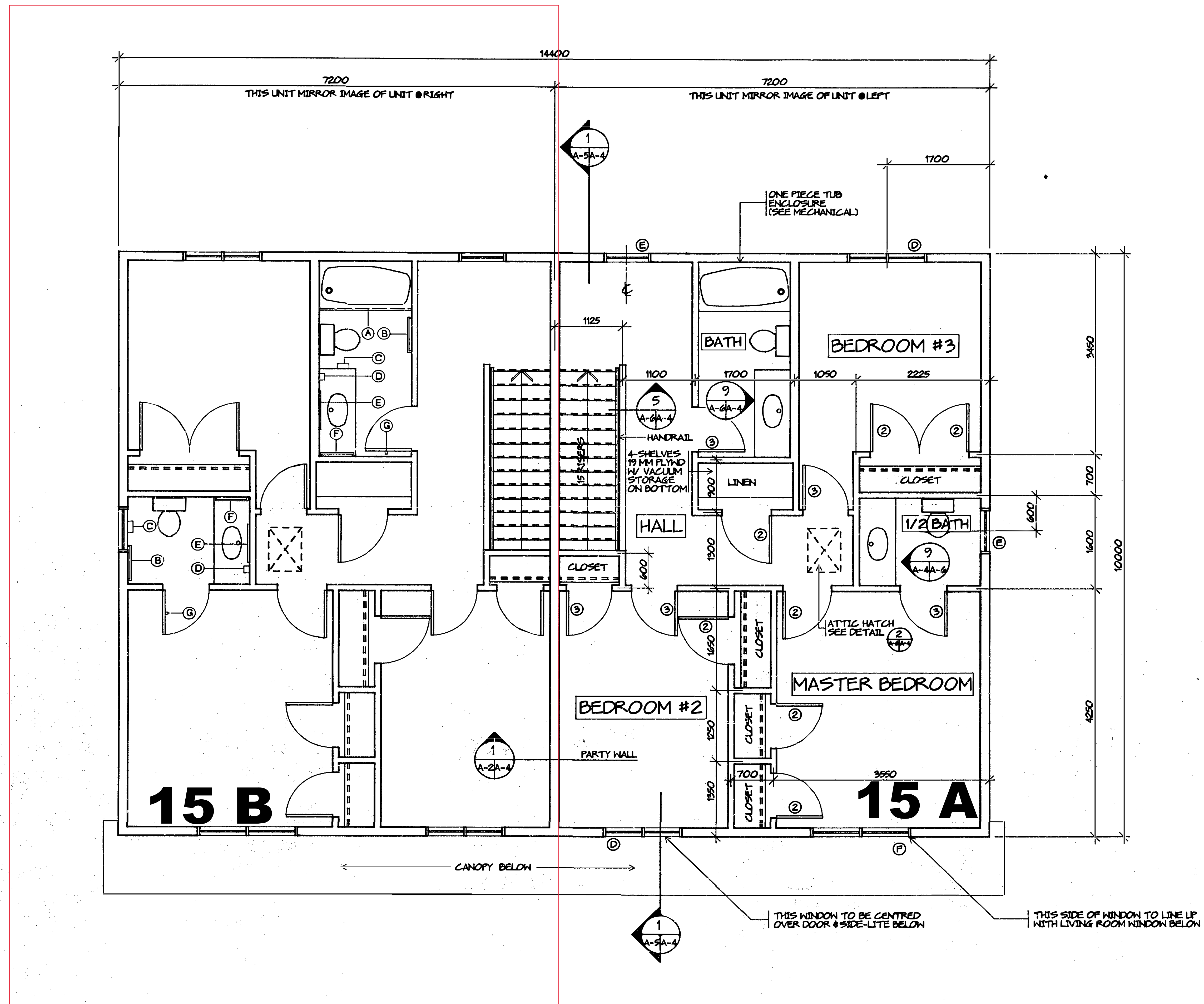
FIRST FLOOR PLAN
1:50

1	ISSUED FOR TENDER	APR. 16/93									
0	ISSUED FOR 95 % REVIEW										
revisions		date									
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B	B location drawing no. sur dessin no.	B/C									
C	C drawing no. dessin no.	C									
project	RCMP LIVING QUARTERS										
	Hopedale	Labrador									
drawing	FIRST FLOOR PLAN										
designed	ARCHITECTURAL & ENGINEERING SERVICES, NF DISTRICT	conçu									
date											
drawn	T. MAIDMENT, PHB	dessiné									
date	MARCH 1993										
reviewed		examiné									
date											
approved		approuvé									
date											
Tender	M. BUNGAY	Soumission									
PWC Project Manager	Administrateur de projets TPC										
project number	734883	no. du projet									
drawing no.	A-3	no. du dessin									



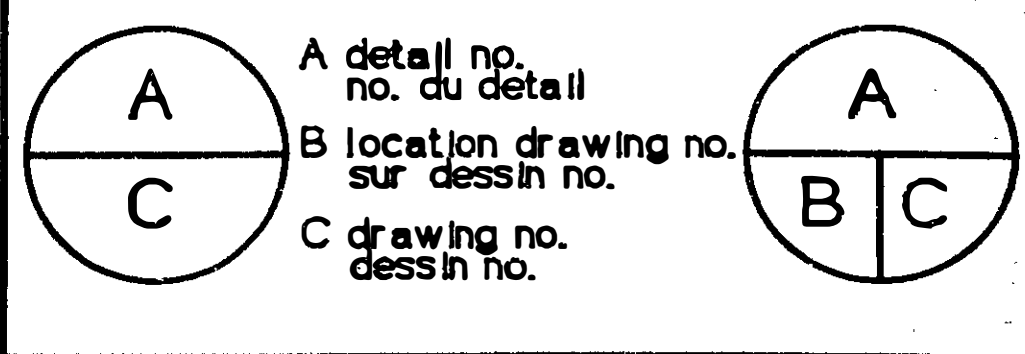
Annex "I" - Floor plan (BU B 81)

R-734883/5



- WASHROOM ACCESSORIES**
- (A) SHOWER ROD C/W CURTAIN & HARDWARE
 - (B) TOWEL BAR (800 mm LONG)
 - (C) RECESSED PAPER TOWEL HOLDER
 - (D) TOOTHBRUSH HOLDER
 - (E) MIRROR
 - (F) TOWEL BAR (450 mm LONG)
 - (G) ROBE HOOK

1	ISSUED FOR TENDER	APR.16/93
0	ISSUED FOR 95 % REVIEW	
Revisions		date

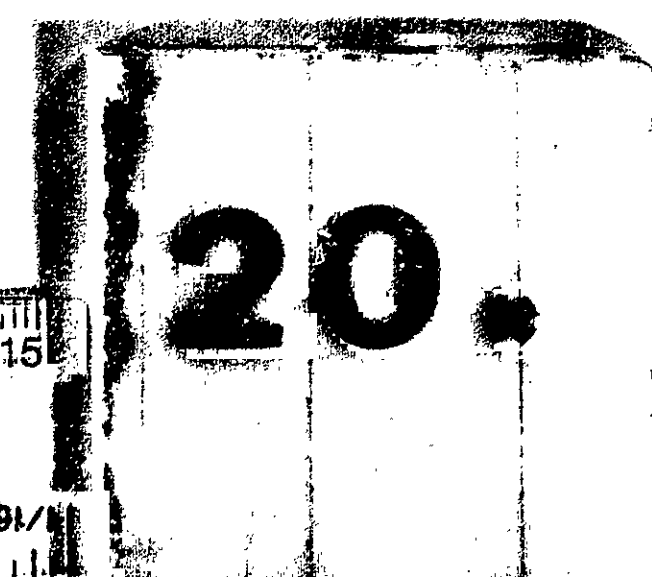


project / projet
RCMP LIVING QUARTERS
 Hopedale / Labrador

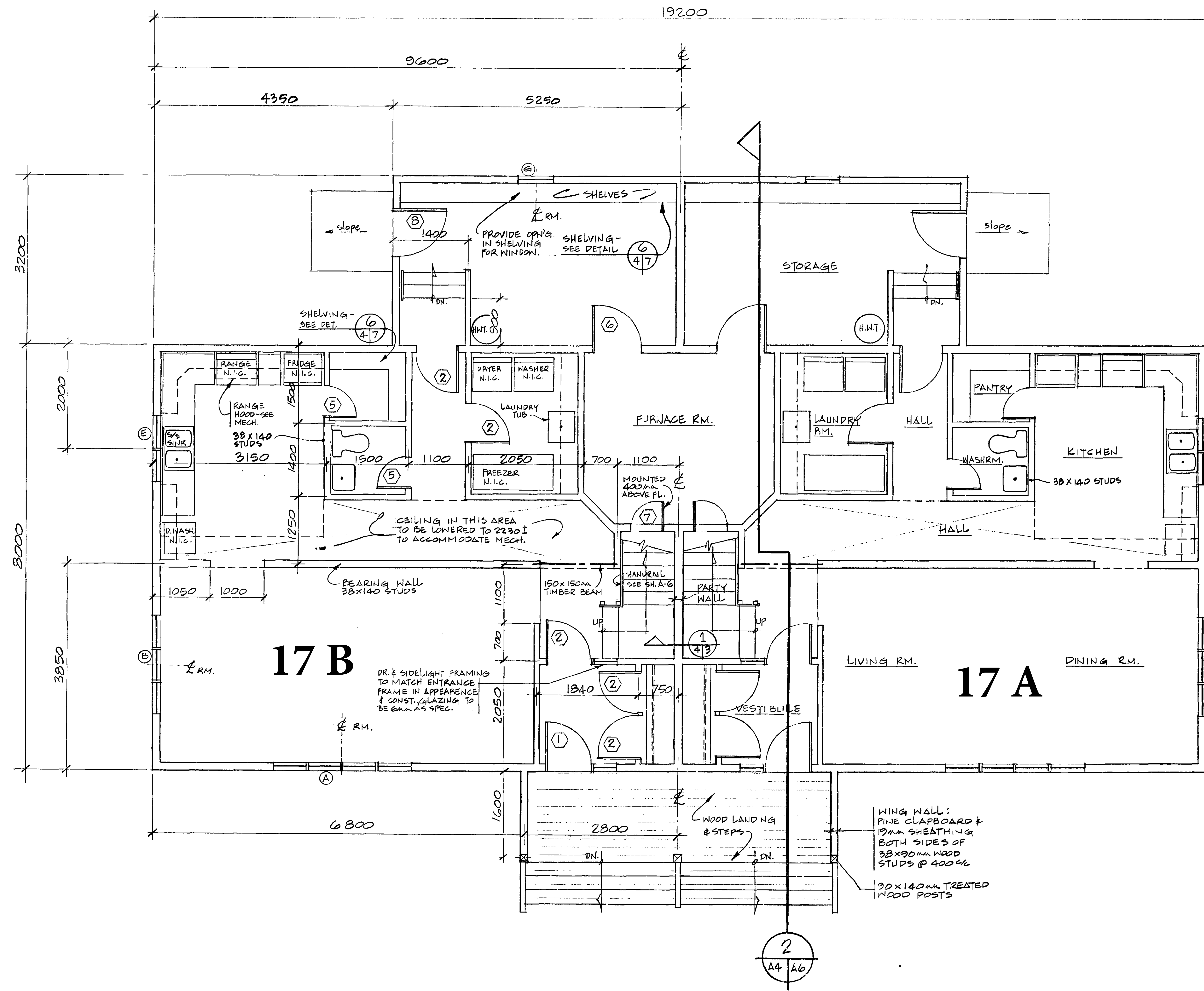
SECOND FLOOR PLAN

designed / conçu	ARCHITECTURAL & ENGINEERING SERVICES, INC. DISTRICT	date / date
drawn / dessiné	T. MAIDMENT, PHB	date / date
reviewed / examiné	MARCH 1993	date / date
approved / approuvé		date / date
Tender / Soumission	W. BUNGAY	date / date
PWC Project Manager / Administrateur de projets TPC		date / date
project number / no. du projet	734883	
drawing no. / no. du dessin	A-4	

SECOND FLOOR PLAN
 1:50



Annex "I" - Floor plan (BU B 82)



"AS BUILT"

revision	date
A	A detail no. no. du détail
B	B location drawing no. sur dessin no.
C	C drawing no. dessin no.

project / projet
R.C.M.P. MARRIED OFFICERS QUARTERS DUPLEX UNITS HOPEDALE, TORNGAT MOUNTAINS DISTRICT, LABRADOR

drawing / dessin
MAIN FLOOR PLAN

designed / conçu	C.M.
date	12.88
drawn / dessiné	R.C.
date	12.88
reviewed / examiné	C.M.
date	

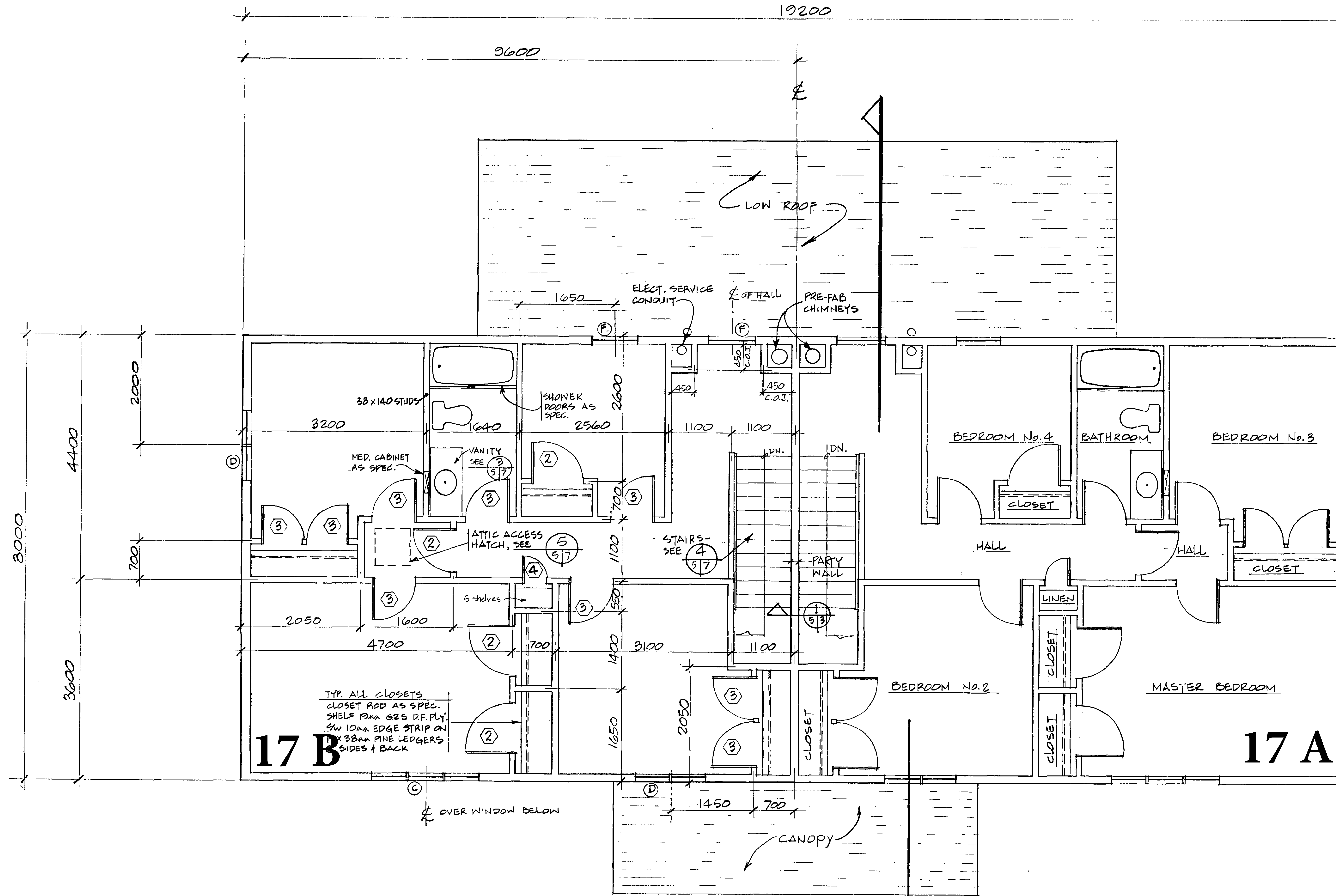
Tender / Soumission
Mando

PWC Project Manager / Administrateur de projets TPC
 project number / no. du projet
730637

drawing no. / no. du dessin
A-4

E. 730637/6

Annex "I" - Floor plan (BU B 82)



SECOND FLOOR PLAN
1:50

R. 730637/7

"AS BUILT"

revisions	date												
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C	C drawing no. / dessin no.												
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B	B location drawing no. / sur dessin no.												
C	C drawing no. / dessin no.												

project: R.C.M.P. MARRIED OFFICERS QUARTERS DUPLEX UNITS HOPEDALE, TORNGAT MOUNTAINS DISTRICT, LABRADOR

drawing: SECOND FLOOR PLAN

designed	DPW	conçu
date	12.98	
drawn	RC	dessiné
date	12.98	
reviewed	C.M.	examiné
date		

Tender	Submission
PWC Project Manager	Administrateur de projets TPC
project number	730637
drawing no.	A-5

ANNEX “J” – WINDOW AND DOOR SPECIFICATIONS BU B 84
ANNEXE “J” – SPÉCIFICATIONS DE LA FENÊTRE ET PORTE BU B 84

1. Kitchen Dining area / Cuisine Salle a Manger

62” H x 46.5” W



2. Over kitchen sink / Sur un évier de cuisine

30.5” H x 38.5” W



3. Laundry room / Buanderie

30.5” H x 38.5” W



4. Living room (x2) – Salon (x2)

62" H x 46.5" W

Both windows the same / Les deux fenêtres les mêmes



5. Bedrooms (x3) / Chambres à coucher (x3)

46" H x 46.5" W



6. Bathroom / Salle de bains

30.5"H x 19"W



7. Man door in laundry room / Porte de l'homme dans la buanderie
Swing in to right / Balancer à droite

80"H x 36" W



8. Man side door / Porte latérale homme
Swing in to left / Balancer à gauche

80"H x 36"W

