

WHIRLPOOL WARDENS' RESIDENCE, EAST GATE RIDING MOUNTAIN NATIONAL PARK, MANITOBA



GENERAL NOTES

1. THIS RECORD WAS PRODUCED USING THE INTERNATIONAL SYSTEM OF MEASUREMENTS.
2. THE INFORMATION CONTAINED WITHIN THIS RECORD HAS NOT BEEN FIELD VERIFIED. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.
3. ANY DISCREPANCIES FOUND ON SITE MUST BE COMMUNICATED TO ENGINEER.
4. ALL EXISTING CONDITIONS MUST BE THOROUGHLY DOCUMENTED PRIOR TO LIFTING OF STRUCTURE TO ALLOW FOR REINSTATEMENT AS PER EXISTING.
5. ALL STONE POSITIONING AND ORIENTATION OF THE MASONRY VENEER AND PORCH PIERS MUST BE DOCUMENTED PRIOR TO DISMANTLING AND REINSTATED AS PER THE EXISTING CONDITION.
6. ALL REINFORCING STEEL MUST BE LAPPED BY 600MM.
7. PROVIDE 40MM CONCRETE COVER FOR ALL REINFORCEMENT EXCEPT FOR AT LOCATIONS WHERE CONCRETE IS EXPOSED TO ORIGINAL EARTH (FOOTING AND GRADE BEAMS) PROVIDE 75MM.
8. A BOND BREAKER SHALL BE PROVIDED BETWEEN THE CONCRETE SLAB AND FOOTING, WALLS, CHIMNEY, SUMP PUMP, AND STEEL COLUMNS.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. THE BUILDING IS TO BE PROPERLY SHORED AND LIFTED DURING THE DISMANTLING OF THE EXISTING FOUNDATION/FOOTINGS AND THE CONSTRUCTION OF THE NEW FOUNDATION/FOOTINGS.
11. THE LIFT/SHORING PLAN OF THE BUILDING IS TO BE PROVIDED BY THE CONTRACTOR AND STAMPED BY A PROFESSIONAL ENGINEER FOR THE REVIEW AND ACCEPTANCE OF THE DEPARTMENTAL REPRESENTATIVE. THE CONTRACTOR ENGAGED IS TO CARRY OUT SITE REVIEW FOR CONFORMANCE TO THE PLAN.
12. THE EXISTING CHIMNEY IS TO BE APPROPRIATELY PROTECTED AS REQUIRED DURING THE LIFT TO BE REINSTATED ONCE THE NEW FOUNDATION IS CONSTRUCTED.
13. ALL EXISTING SERVICES ARE TO BE REMOVED, PROTECTED, AND STORED AS REQUIRED DURING THE LIFT TO BE REINSTATED ONCE THE NEW FOUNDATION IS CONSTRUCTED.
14. ANY DAMAGES TO EXISTING SERVICES MUST BE REPORTED TO THE DEPARTMENTAL REPRESENTATIVE IMMEDIATELY AND REPAIRED AT THE CONTRACTORS EXPENSE.
15. ALL EXISTING DIMENSIONS MUST BE CONFIRMED ON SITE PRIOR TO DISMANTLING TO ENSURE BUILDING CAN BE REINSTATED SECURELY.
16. DISMANTLE EXISTING ACCESS STAIRS TO THE BASEMENT TO BE REINSTATED ONCE THE BUILDING IS SET UPON ITS NEW FOUNDATION.
17. BASEMENT WINDOWS TO BE RECORDED PRIOR TO THEIR REMOVAL AND TO BE REINSTATED AS PER EXISTING CONDITIONS.

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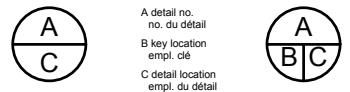
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project projet
**WARDENS' RESIDENCE
EAST GATE, RMNP
CONCRETE FOUNDATION
REPLACEMENT**

drawing dessin
**INDEX AND
GENERAL NOTES**

designed	KEVIN LOUKES P.ENG. FEBRUARY 8, 2018	conçu
drawn	KEVIN LOUKES P.ENG. FEBRUARY 8, 2018	dessiné
reviewed	JACK VANDENBERG P.ENG. MARCH 15, 2018	examiné
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S2
EXISTING SITE PLAN
N.T.S.

SEPTIC FIELD APPROXIMATELY LOCATION

SEPTIC TANK APPROXIMATELY LOCATION

VHF TOWER

WATER SERVICE AT FOUNDATION (TO WELL)

FLAGPOLE

WELL (TO WATER SERVICE AT FOUNDATION)

SIDEWALK

UNDERGROUND INTERNET COAXIAL CABLE APPROXIMATE LOCATION TOWER TO HOUSE

200A ELECTRICAL SERVICE

PHONE SERVICE LOCATION

HYDRO POLE (METER)

HYDRO POLE (TRANSFORMER)

TOWER

UNDERGROUND HYDRO SERVICE APPROXIMATE LOCATION POLE TO HOUSE

HYDRO POLE (TRANSFORMER)

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drawing
**EXISTING SITE
PLAN**

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SATELLITE TELEVISION CABLE (WINDOW)

AIR EXCHANGE DUCT (WINDOW)

AIR EXCHANGE DUCT (WINDOW)

WALLMOUNT AIR EXCHANGE UNIT

SUMP PIT

DRYER DUCT EXITS FOUNDATION WALL
(490MM BELOW BOTTOM OF FLOOR JOIST)

WATER LINE TO TAP EXITS FOUNDATION WALL
(390MM ABOVE ADJACENT WATER LINE)

WATER LINE TO TAP EXITS FOUNDATION WALL
(490MM BELOW BOTTOM OF FLOOR JOIST)

120V ELECTRICAL SUPPLY TO LAUNDRY

SEWER EXITS FOUNDATION WALL

H/W TANK

ELECTRICAL SERVICE
TO WELL PUMP
(EXITS THROUGH
FOUNDATION FLOOR)

WATER LINE FROM
WELL PUMP (ENTERS
THROUGH FOUNDATION
FLOOR)

RADON PUMP
(FOUNDATION FLOOR)

EXISTING CHIMNEY

EXISTING FURNACE

WATER LINE TO TAP EXITS
FOUNDATION WALL

PHONE/INTERNET COAXIAL
CABLE (WINDOW)

PHONE/INTERNET
COAXIAL CABLE (WINDOW)

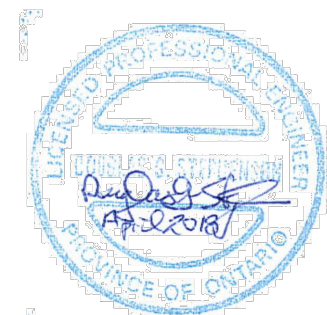
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S3 EXISTING UTILITIES PLAN
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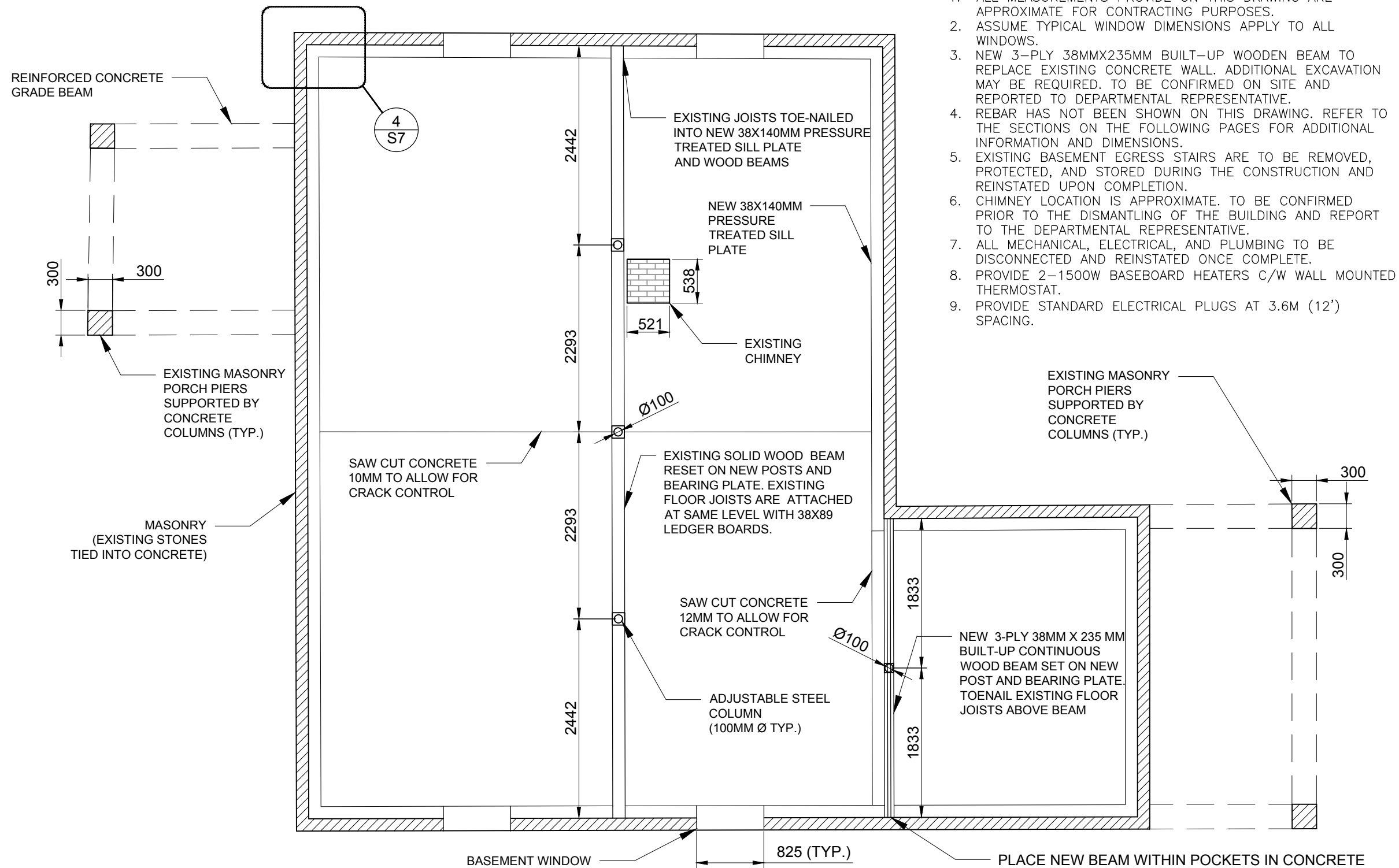
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EXISTING UTILITIES
PLAN

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NOTES

1. ALL MEASUREMENTS PROVIDED ON THIS DRAWING ARE APPROXIMATE FOR CONTRACTING PURPOSES.
2. ASSUME TYPICAL WINDOW DIMENSIONS APPLY TO ALL WINDOWS.
3. NEW 3-PLY 38MMX235MM BUILT-UP WOODEN BEAM TO REPLACE EXISTING CONCRETE WALL. ADDITIONAL EXCAVATION MAY BE REQUIRED. TO BE CONFIRMED ON SITE AND REPORTED TO DEPARTMENTAL REPRESENTATIVE.
4. REBAR HAS NOT BEEN SHOWN ON THIS DRAWING. REFER TO THE SECTIONS ON THE FOLLOWING PAGES FOR ADDITIONAL INFORMATION AND DIMENSIONS.
5. EXISTING BASEMENT EGRESS STAIRS ARE TO BE REMOVED, PROTECTED, AND STORED DURING THE CONSTRUCTION AND REINSTATED UPON COMPLETION.
6. CHIMNEY LOCATION IS APPROXIMATE. TO BE CONFIRMED PRIOR TO THE DISMANTLING OF THE BUILDING AND REPORT TO THE DEPARTMENTAL REPRESENTATIVE.
7. ALL MECHANICAL, ELECTRICAL, AND PLUMBING TO BE DISCONNECTED AND REINSTATED ONCE COMPLETE.
8. PROVIDE 2-1500W BASEBOARD HEATERS C/W WALL MOUNTED THERMOSTAT.
9. PROVIDE STANDARD ELECTRICAL PLUGS AT 3.6M (12') SPACING.



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drawing
BASEMENT
BEAM PLAN

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KEVIN LOUKES P.ENG.
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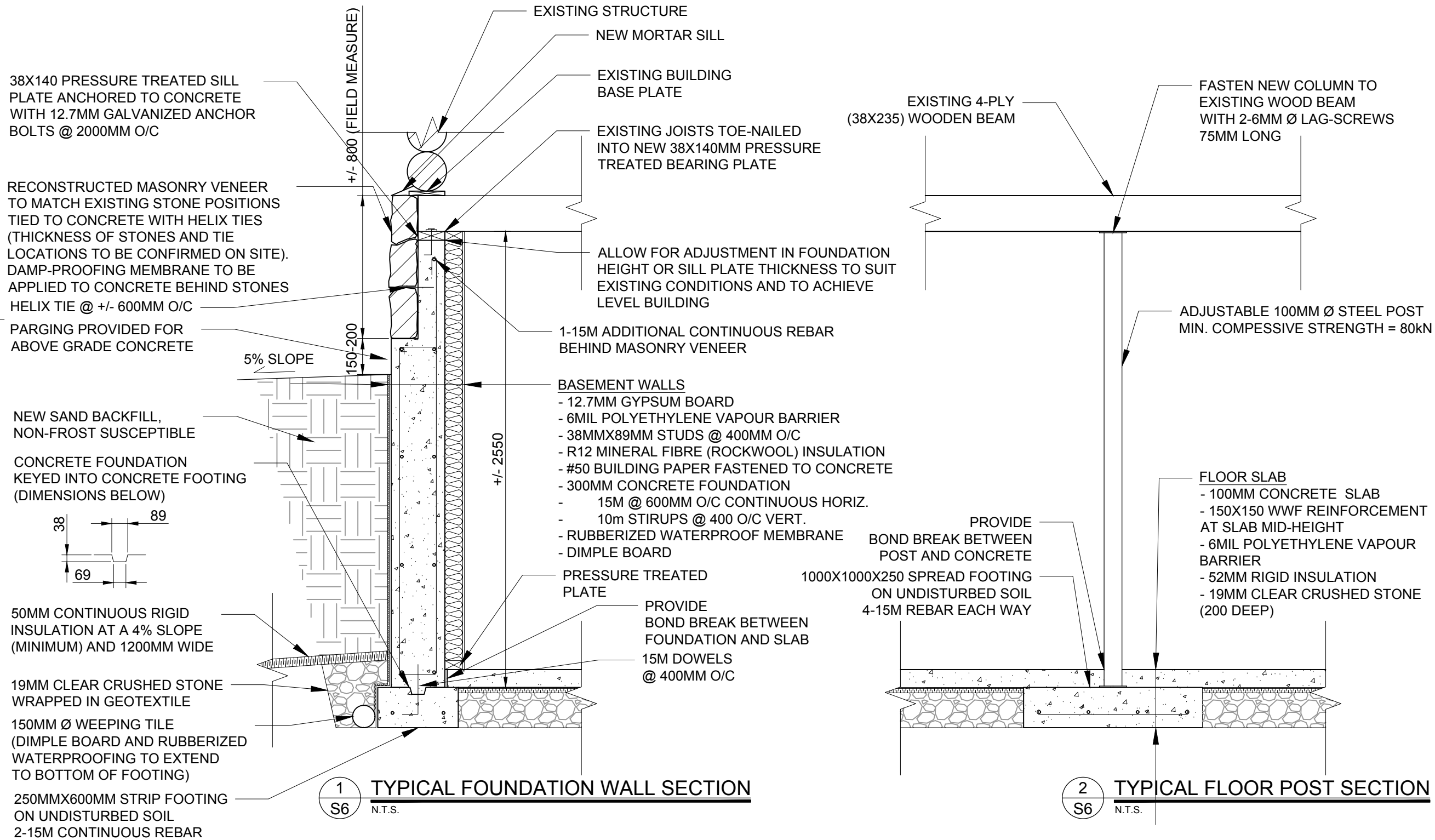
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S5
BASEMENT PLAN
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6. PROVIDE 40MM CONCRETE COVER FOR ALL REINFORCEMENT EXCEPT FOR FOOTINGS AND GRADE BEAMS RESTING ON ORIGINAL SOIL, PROVIDE 75MM.
7. A BOND BREAKER SHALL BE PROVIDED BETWEEN THE CONCRETE SLAB AND FOOTING, WALLS, CHIMNEY, SUMP PUMP, AND STEEL COLUMNS.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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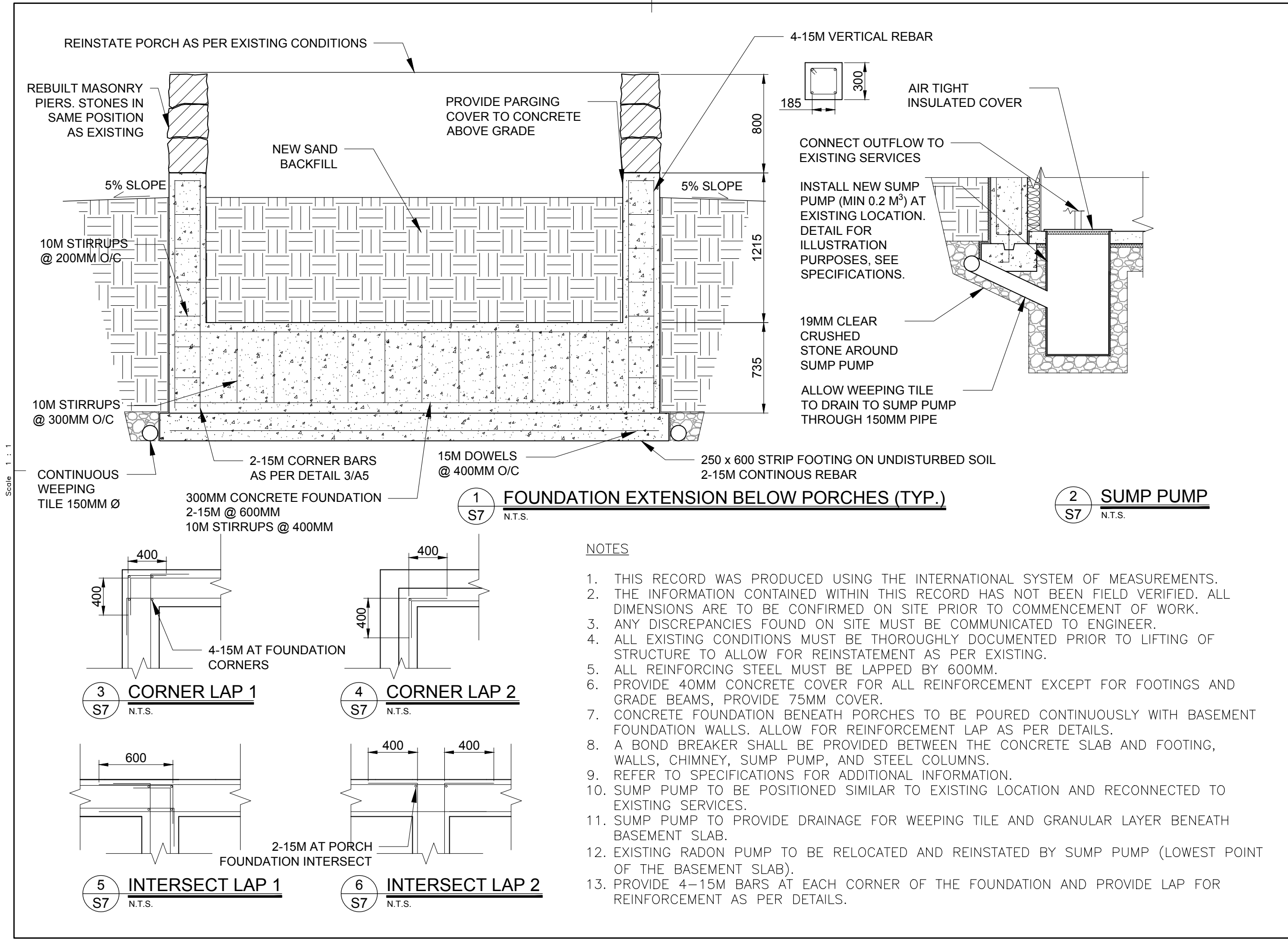
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