

# WHIRLPOOL WARDENS' RESIDENCE, EAST GATE RIDING MOUNTAIN NATIONAL PARK, MANITOBA

Public Services and Procurement Canada / Services Publics et Approvisionnement Canada

**Heritage Conservation Services**  
Architecture and Engineering Services  
Real Property Branch  
Public Services and Procurement Canada

**Services de la Conservation du Patrimoine**  
Services d'Architecture et de Génie  
Direction Générale des Biens Immobiliers  
Services Publics et Approvisionnement Canada



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	C detail location empl. du détail	

project / projet  
**WARDENS' RESIDENCE  
EAST GATE, RMNP  
CONCRETE FOUNDATION  
REPLACEMENT**

drawing / dessin  
**INDEX AND  
GENERAL NOTES**

designed / conçu  
KEVIN LOUKES P.ENG.  
FEBRUARY 8, 2018

drawn / dessiné  
KEVIN LOUKES P.ENG.  
FEBRUARY 8, 2018

reviewed / examiné  
JACK VANDENBERG P.ENG.  
MARCH 15, 2018

approved / approuvé

tender / soumission

Project Manager / Administrateur de projets  
no. du projet  
R.090405.018

drawing no. / no. du dessin  
S1 of/de S7

## GENERAL NOTES

1. THIS RECORD WAS PRODUCED USING THE INTERNATIONAL SYSTEM OF MEASUREMENTS.
2. THE INFORMATION CONTAINED WITHIN THIS RECORD HAS NOT BEEN FIELD VERIFIED. ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.
3. ANY DISCREPANCIES FOUND ON SITE MUST BE COMMUNICATED TO ENGINEER.
4. ALL EXISTING CONDITIONS MUST BE THOROUGHLY DOCUMENTED PRIOR TO LIFTING OF STRUCTURE TO ALLOW FOR REINSTATEMENT AS PER EXISTING.
5. ALL STONE POSITIONING AND ORIENTATION OF THE MASONRY VENEER AND PORCH PIERS MUST BE DOCUMENTED PRIOR TO DISMANTLING AND REINSTATED AS PER THE EXISTING CONDITION.
6. ALL REINFORCING STEEL MUST BE LAPPED BY 600MM.
7. PROVIDE 40MM CONCRETE COVER FOR ALL REINFORCEMENT EXCEPT FOR AT LOCATIONS WHERE CONCRETE IS EXPOSED TO ORIGINAL EARTH (FOOTING AND GRADE BEAMS) PROVIDE 75MM.
8. A BOND BREAKER SHALL BE PROVIDED BETWEEN THE CONCRETE SLAB AND FOOTING, WALLS, CHIMNEY, SUMP PUMP, AND STEEL COLUMNS.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. THE BUILDING IS TO BE PROPERLY SHORED AND LIFTED DURING THE DISMANTLING OF THE EXISTING FOUNDATION/FOOTINGS AND THE CONSTRUCTION OF THE NEW FOUNDATION/FOOTINGS.
11. THE LIFT/SHORING PLAN OF THE BUILDING IS TO BE PROVIDED BY THE CONTRACTOR AND STAMPED BY A PROFESSIONAL ENGINEER FOR THE REVIEW AND ACCEPTANCE OF THE DEPARTMENTAL REPRESENTATIVE. THE CONTRACTOR ENGAGED IS TO CARRY OUT SITE REVIEW FOR CONFORMANCE TO THE PLAN.
12. THE EXISTING CHIMNEY IS TO BE APPROPRIATELY PROTECTED AS REQUIRED DURING THE LIFT TO BE REINSTATED ONCE THE NEW FOUNDATION IS CONSTRUCTED.
13. ALL EXISTING SERVICES ARE TO BE REMOVED, PROTECTED, AND STORED AS REQUIRED DURING THE LIFT TO BE REINSTATED ONCE THE NEW FOUNDATION IS CONSTRUCTED.
14. ANY DAMAGES TO EXISTING SERVICES MUST BE REPORTED TO THE DEPARTMENTAL REPRESENTATIVE IMMEDIATELY AND REPAIRED AT THE CONTRACTORS EXPENSE.
15. ALL EXISTING DIMENSIONS MUST BE CONFIRMED ON SITE PRIOR TO DISMANTLING TO ENSURE BUILDING CAN BE REINSTATED SECURELY.
16. DISMANTLE EXISTING ACCESS STAIRS TO THE BASEMENT TO BE REINSTATED ONCE THE BUILDING IS SET UPON ITS NEW FOUNDATION.
17. BASEMENT WINDOWS TO BE RECORDED PRIOR TO THEIR REMOVAL AND TO BE REINSTATED AS PER EXISTING CONDITIONS.

## INDEX

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- S2 - EXISTING SITE PLAN
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- S4 - NEW FOUNDATION PLAN
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- S6 - WALL AND POST SECTIONS
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Scale 1 : 1

# CONCRETE FOUNDATION REPLACEMENT



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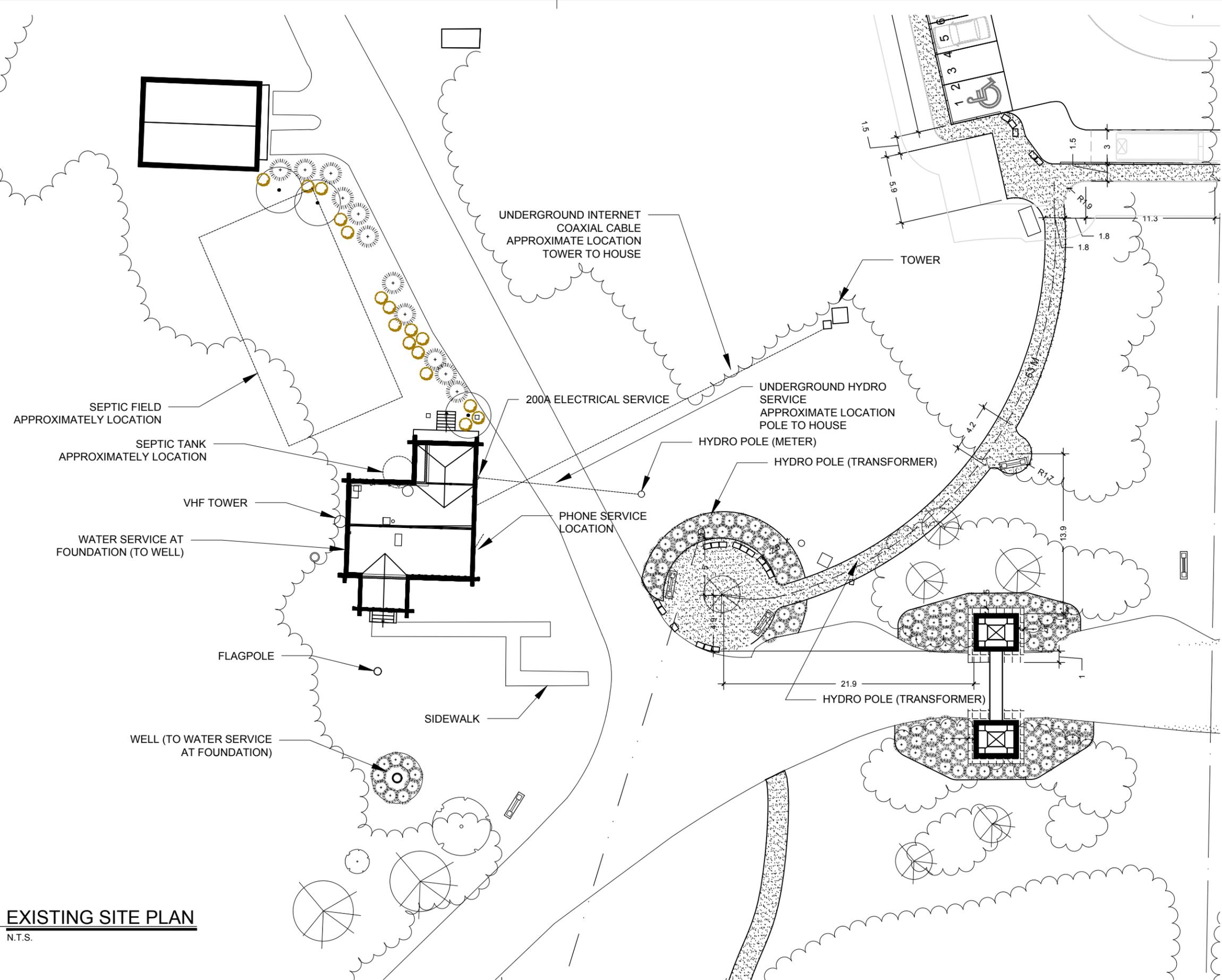
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**WARDENS' RESIDENCE  
 EAST GATE, RMNP  
 CONCRETE FOUNDATION  
 REPLACEMENT**

drawing / dessin  
**EXISTING SITE  
 PLAN**

designed / conçu	KEVIN LOUKES P.ENG.	date	FEBRUARY 8, 2018
drawn / dessiné	KEVIN LOUKES P.ENG.	date	FEBRUARY 8, 2018
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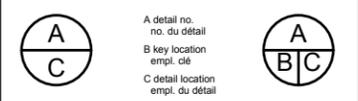
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**1**  
**S2**  
**EXISTING SITE PLAN**  
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project / projet  
**WARDENS' RESIDENCE  
 EAST GATE, RMNP  
 CONCRETE FOUNDATION  
 REPLACEMENT**

drawing / dessin  
**EXISTING UTILITIES  
 PLAN**

designed / conçu  
 KEVIN LOUKES P.ENG.  
 date / date: FEBRUARY 8, 2018

drawn / dessiné  
 KEVIN LOUKES P.ENG.  
 date / date: FEBRUARY 8, 2018

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 JACK VANDENBERG P.ENG.  
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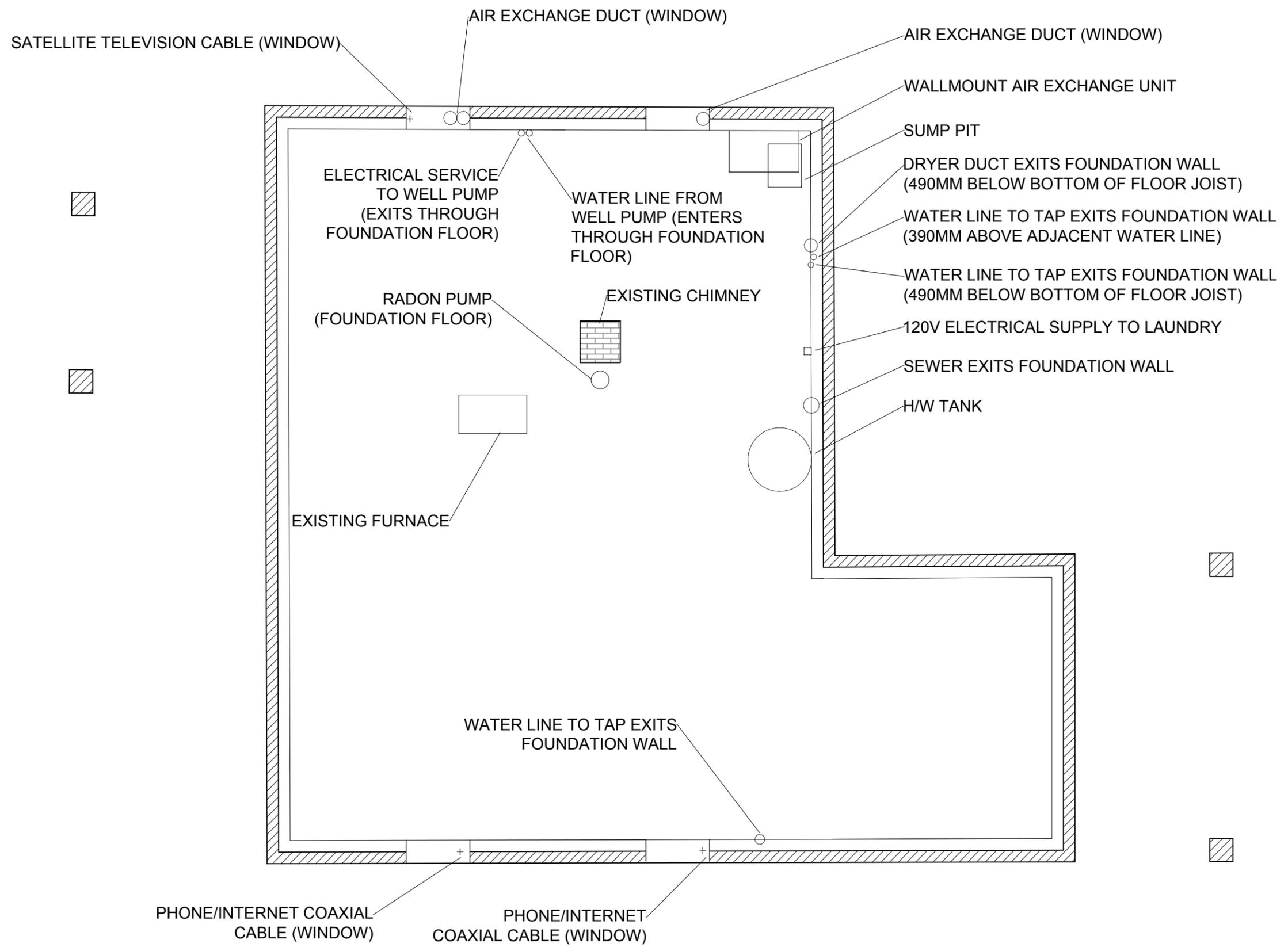
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**1**  
**S3** **EXISTING UTILITIES PLAN**  
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**WARDENS' RESIDENCE  
 EAST GATE, RMNP  
 CONCRETE FOUNDATION  
 REPLACEMENT**

drawing / dessin  
**NEW FOUNDATION  
 PLAN**

designed / conçu  
 KEVIN LOUKES P.ENG.  
 FEBRUARY 8, 2018

drawn / dessiné  
 KEVIN LOUKES P.ENG.  
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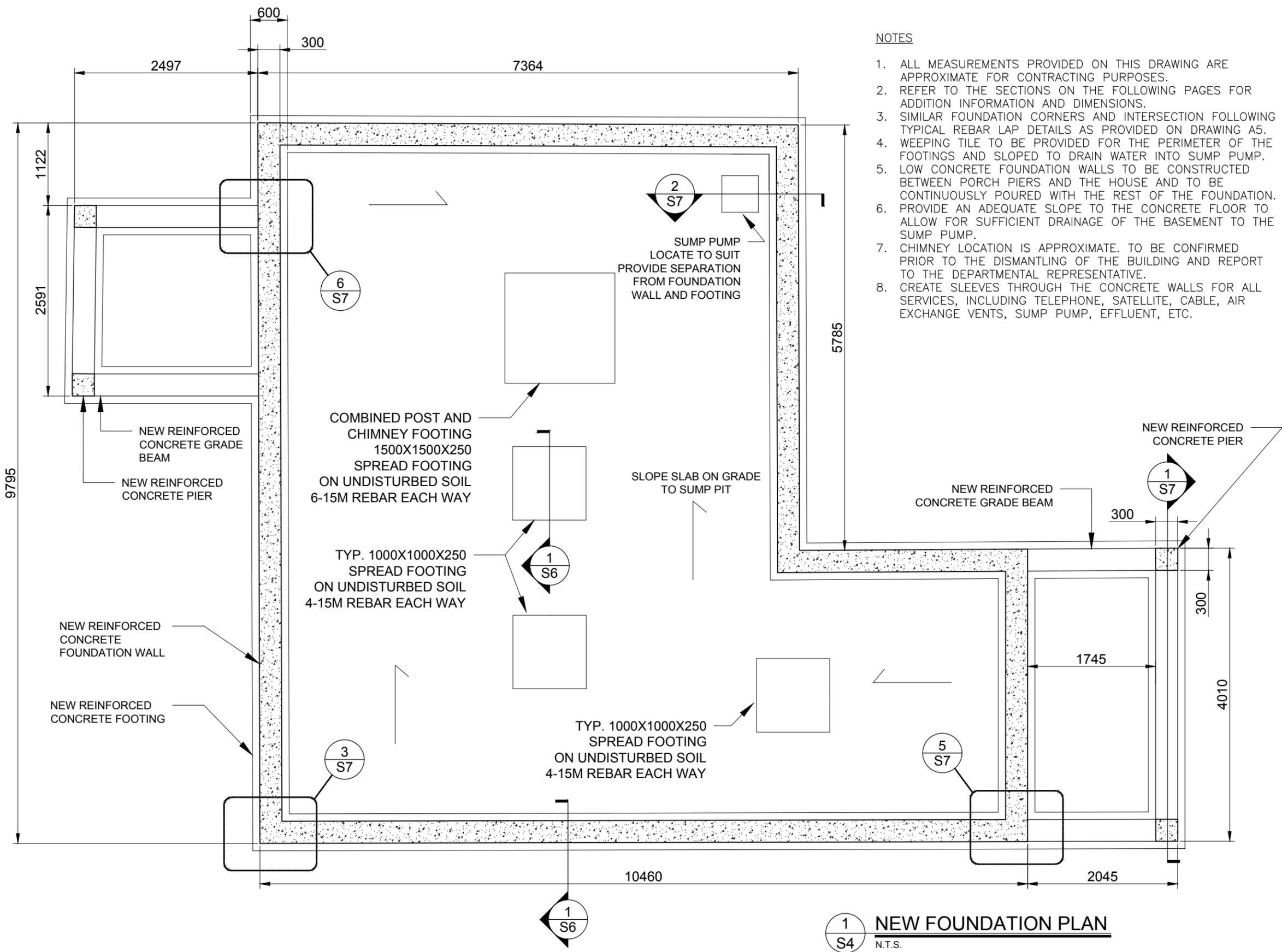
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R.090405.018

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**S4 of/de S7**

**NOTES**

1. ALL MEASUREMENTS PROVIDED ON THIS DRAWING ARE APPROXIMATE FOR CONTRACTING PURPOSES.
2. REFER TO THE SECTIONS ON THE FOLLOWING PAGES FOR ADDITION INFORMATION AND DIMENSIONS.
3. SIMILAR FOUNDATION CORNERS AND INTERSECTION FOLLOWING TYPICAL REBAR LAP DETAILS AS PROVIDED ON DRAWING A5.
4. WEeping TILE TO BE PROVIDED FOR THE PERIMETER OF THE FOOTINGS AND SLOPED TO DRAIN WATER INTO SUMP PUMP.
5. LOW CONCRETE FOUNDATION WALLS TO BE CONSTRUCTED BETWEEN PORCH PIERS AND THE HOUSE AND TO BE CONTINUOUSLY POURED WITH THE REST OF THE FOUNDATION.
6. PROVIDE AN ADEQUATE SLOPE TO THE CONCRETE FLOOR TO ALLOW FOR SUFFICIENT DRAINAGE OF THE BASEMENT TO THE SUMP PUMP.
7. CHIMNEY LOCATION IS APPROXIMATE. TO BE CONFIRMED PRIOR TO THE DISMANTLING OF THE BUILDING AND REPORT TO THE DEPARTMENTAL REPRESENTATIVE.
8. CREATE SLEEVES THROUGH THE CONCRETE WALLS FOR ALL SERVICES, INCLUDING TELEPHONE, SATELLITE, CABLE, AIR EXCHANGE VENTS, SUMP PUMP, EFFLUENT, ETC.



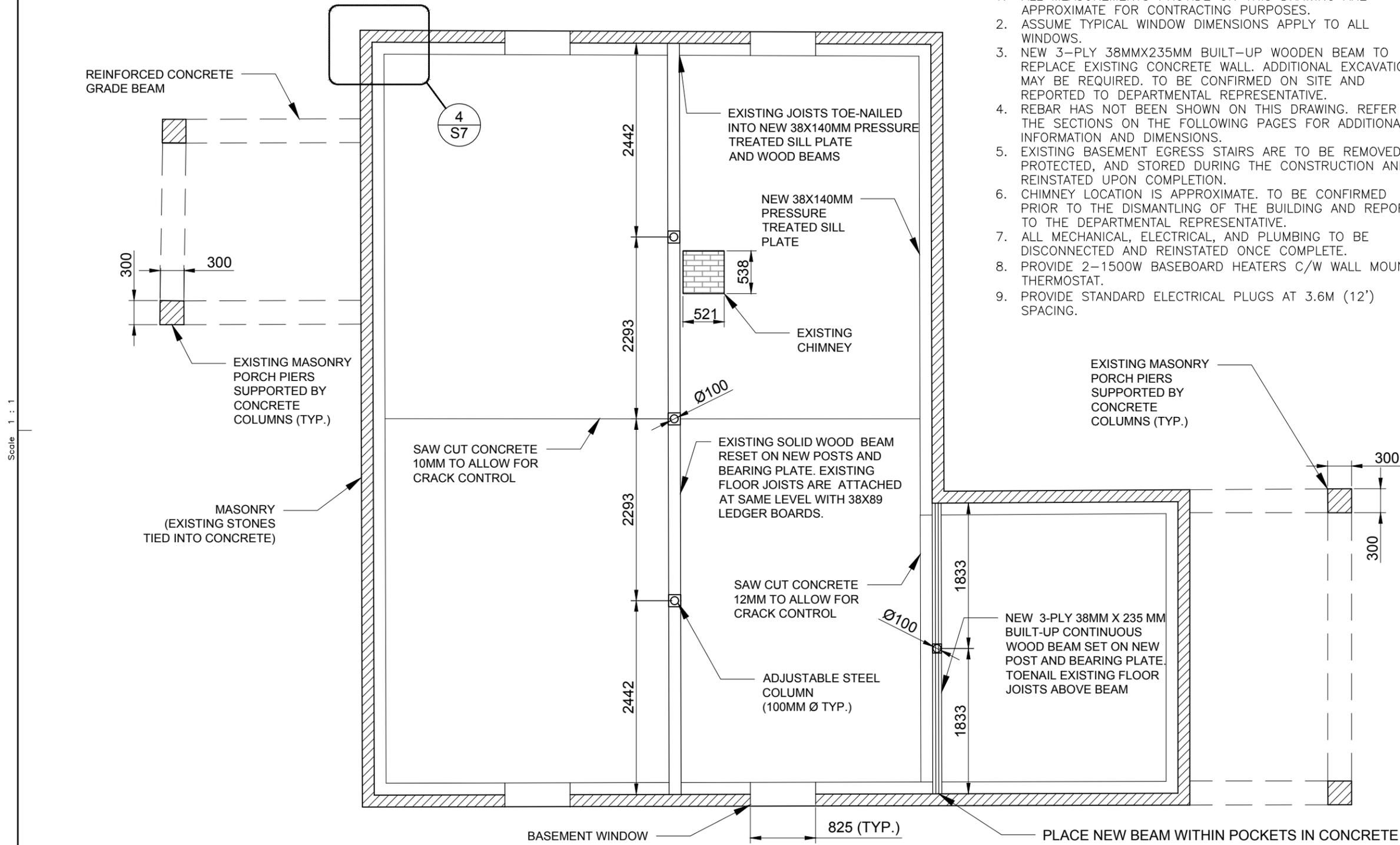
**1 NEW FOUNDATION PLAN**  
 S4 N.T.S.

Scale 1 : 1



**NOTES**

1. ALL MEASUREMENTS PROVIDED ON THIS DRAWING ARE APPROXIMATE FOR CONTRACTING PURPOSES.
2. ASSUME TYPICAL WINDOW DIMENSIONS APPLY TO ALL WINDOWS.
3. NEW 3-PLY 38MMX235MM BUILT-UP WOODEN BEAM TO REPLACE EXISTING CONCRETE WALL. ADDITIONAL EXCAVATION MAY BE REQUIRED. TO BE CONFIRMED ON SITE AND REPORTED TO DEPARTMENTAL REPRESENTATIVE.
4. REBAR HAS NOT BEEN SHOWN ON THIS DRAWING. REFER TO THE SECTIONS ON THE FOLLOWING PAGES FOR ADDITIONAL INFORMATION AND DIMENSIONS.
5. EXISTING BASEMENT EGRESS STAIRS ARE TO BE REMOVED, PROTECTED, AND STORED DURING THE CONSTRUCTION AND REINSTATED UPON COMPLETION.
6. CHIMNEY LOCATION IS APPROXIMATE. TO BE CONFIRMED PRIOR TO THE DISMANTLING OF THE BUILDING AND REPORT TO THE DEPARTMENTAL REPRESENTATIVE.
7. ALL MECHANICAL, ELECTRICAL, AND PLUMBING TO BE DISCONNECTED AND REINSTATED ONCE COMPLETE.
8. PROVIDE 2-1500W BASEBOARD HEATERS C/W WALL MOUNTED THERMOSTAT.
9. PROVIDE STANDARD ELECTRICAL PLUGS AT 3.6M (12') SPACING.



Scale 1 : 1

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project / projet  
**WARDENS' RESIDENCE EAST GATE, RMNP CONCRETE FOUNDATION REPLACEMENT**

drawing / dessin  
**BASEMENT BEAM PLAN**

designed / conçu  
 KEVIN LOUKES P.ENG. FEBRUARY 8, 2018

drawn / dessiné  
 KEVIN LOUKES P.ENG. FEBRUARY 8, 2018

reviewed / examiné  
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**1 BASEMENT PLAN**  
 S5 N.T.S.





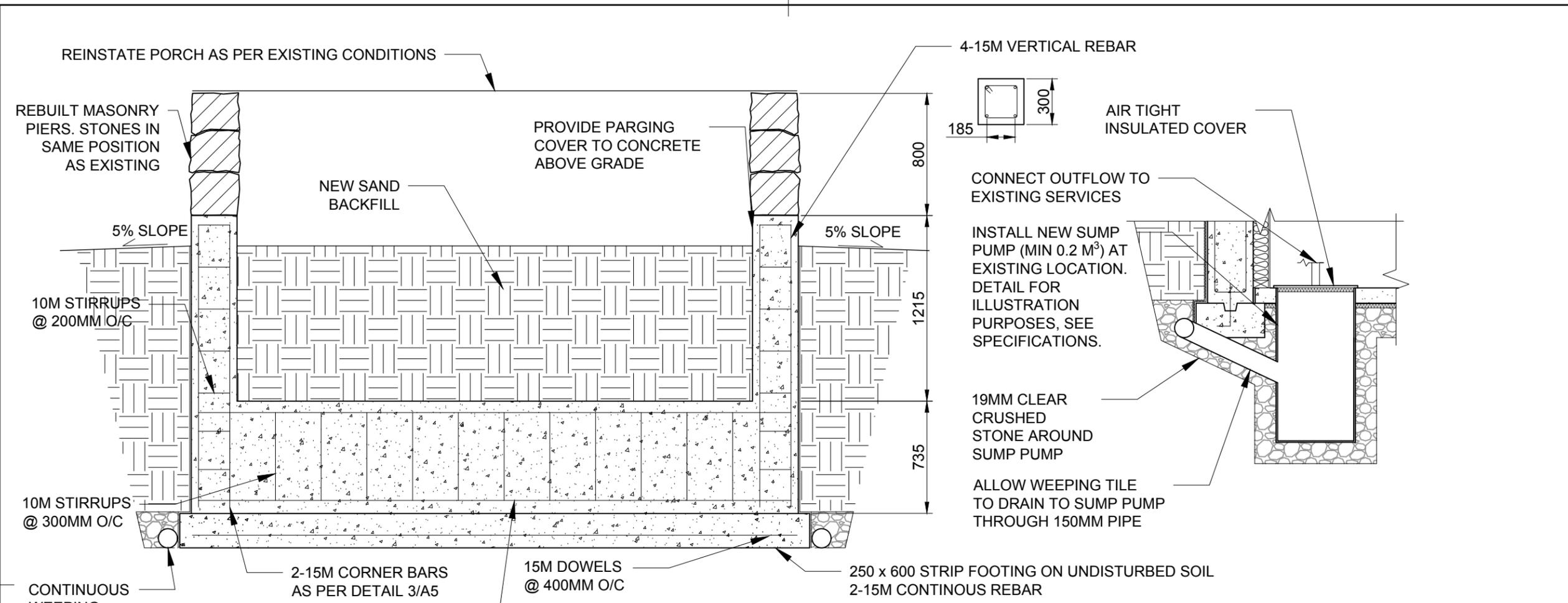
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**WARDENS' RESIDENCE  
EAST GATE, RMNP  
CONCRETE FOUNDATION  
REPLACEMENT**

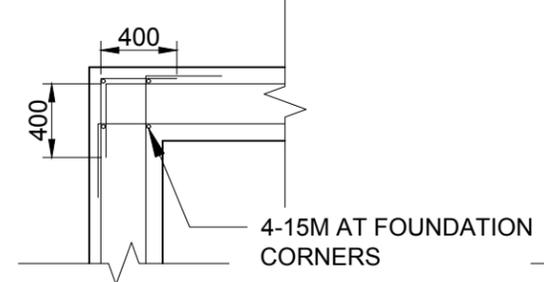
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**PORCH SECTION  
AND DETAILS**

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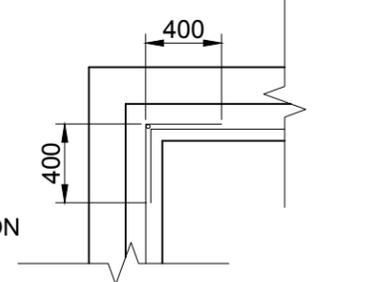


**1 FOUNDATION EXTENSION BELOW PORCHES (TYP.)**  
S7 N.T.S.

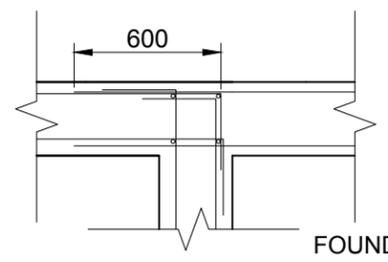
**2 SUMP PUMP**  
S7 N.T.S.



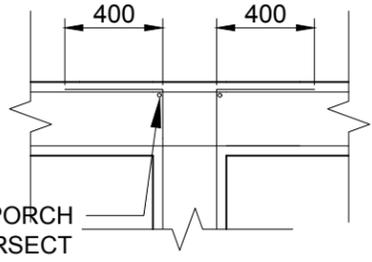
**3 CORNER LAP 1**  
S7 N.T.S.



**4 CORNER LAP 2**  
S7 N.T.S.



**5 INTERSECT LAP 1**  
S7 N.T.S.



**6 INTERSECT LAP 2**  
S7 N.T.S.

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5. ALL REINFORCING STEEL MUST BE LAPPED BY 600MM.
6. PROVIDE 40MM CONCRETE COVER FOR ALL REINFORCEMENT EXCEPT FOR FOOTINGS AND GRADE BEAMS, PROVIDE 75MM COVER.
7. CONCRETE FOUNDATION BENEATH PORCHES TO BE POURED CONTINUOUSLY WITH BASEMENT FOUNDATION WALLS. ALLOW FOR REINFORCEMENT LAP AS PER DETAILS.
8. A BOND BREAKER SHALL BE PROVIDED BETWEEN THE CONCRETE SLAB AND FOOTING, WALLS, CHIMNEY, SUMP PUMP, AND STEEL COLUMNS.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. SUMP PUMP TO BE POSITIONED SIMILAR TO EXISTING LOCATION AND RECONNECTED TO EXISTING SERVICES.
11. SUMP PUMP TO PROVIDE DRAINAGE FOR WEEPING TILE AND GRANULAR LAYER BENEATH BASEMENT SLAB.
12. EXISTING RADON PUMP TO BE RELOCATED AND REINSTATED BY SUMP PUMP (LOWEST POINT OF THE BASEMENT SLAB).
13. PROVIDE 4-15M BARS AT EACH CORNER OF THE FOUNDATION AND PROVIDE LAP FOR REINFORCEMENT AS PER DETAILS.

Scale 1 : 1