



### DEMOLITION PLAN NOTES

- DO NOT SCALE DRAWINGS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL, AS WELL AS WITH MECHANICAL & ELECTRICAL ENGINEERS' DRAWINGS. REFER TO ENGINEERS' DRAWINGS FOR REMOVAL OF DUCTWORK, FIXTURES, WIRING, CONDUIT, CABLING & DEVICES.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- PRIOR TO DEMOLITION, CONTRACTOR TO VERIFY & CO-ORDINATE WITH BUILDING MANAGEMENT FOR LOCATION OF DISPOSAL. ALL WORK SHALL CONFORM TO REQUIREMENTS OF LANDLORD-TENANT WORK MANUAL AS SUPPLIED BY THE LANDLORD.
- PRIOR TO DEMOLITION, CONTRACTOR TO CONDUCT SITE WALK-THROUGH WITH CONSULTANT, TENANT & BUILDING MANAGEMENT TO REVIEW & ACCEPT BASE BUILDING CONDITIONS.
- PROVIDE PLASTIC SHEETING TAPED & SECURED IN PLACE TO COMPLETELY ENCLOSE DEMOLITION SITE, AND ANY PHASES OF DEMOLITION, PROTECT ALL RETURN AIR DUCTS, GRILLS & SMOKE DETECTORS FROM DEMOLITION DUST.
- CONTRACTOR TO CONDUCT OPERATIONS TO PREVENT DAMAGE TO THE REMAINING PORTION OF THE BUILDING. PROMPTLY REPAIR ALL DAMAGE ADJACENT TO EXISTING FACILITY OR PARTITION AT NO ADDITIONAL COST TO THE OWNER.
- GENERAL CONTRACTOR TO PROTECT ELEVATOR CABS, LOBBY FLOOR & ALL PUBLIC CORRIDORS DURING DEMOLITION/CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL DEBRIS FROM THE SITE.
- PATCH FLOOR SLAB WHERE EXISTING PARTITIONS OR GLAZING HAVE BEEN REMOVED & MAKE GOOD TO RECEIVE NEW FLOOR FINISHES.
- REMOVE ALL EXISTING FLOOR FINISHES, BASE AND ADHESIVE WHERE NOTED IN CONTRACT AREA. SKIM UNEVEN FLOOR SLAB SURFACES WHERE REQUIRED; PREPARE FLOOR SLAB READY TO RECEIVE NEW FLOOR FINISHES.
- FILL & PATCH ANY HOLES IN FLOOR SLAB WITH APPROVED FIRE-STOP MATERIAL & METAL PLATE SECURELY AFFIXED TO FLOOR SLAB; SKIM FOR LEVEL SURFACE.
- REMOVE ALL MILLWORK & ACCESSORIES AS NOTED IN CONTRACT AREA.
- EXISTING EMERGENCY LIGHTING EXIT SIGNS, FIRE ALARM BELLS, HOT WATER TANKS, ETC. TO BE RETURNED TO THE TENANT/LANDLORD FOR REUSE AS REQUIRED.
- EXISTING WINDOW BLINDS TO BE PROTECTED AND/OR REMOVED DURING CONSTRUCTION AND THEN REINSTALLED AND CLEANED. UNUSED WINDOW BLINDS TO BE RETURNED TO TENANT/LANDLORD FOR REUSE AS REQUIRED.
- GENERAL CONTRACTOR TO COORDINATE WITH BASE BUILDING WASTE DISPOSAL FOR THE SUPPLY OF ALL IF REQUIRED PRIOR TO ORDERING HEAVY OR OVERSIZED MATERIAL/ EQUIPMENT. COORDINATE WITH DESIGNERS/ENGINEERS FOR ALTERNATE SPECIFICATION IF REQUIRED PRIOR TO ORDERING SUCH MATERIAL/EQUIPMENT. ENSURE THAT MATERIALS & EQUIPMENT ARE DELIVERED TO THE SITE AT THE PROPER TIME AND IN SUCH ASSEMBLIES AND SIZES SO AS TO ENTER INTO THE BUILDING AND TO BE MOVED INTO THE SPACES WHERE THEY ARE TO BE LOCATED WITHOUT DIFFICULTY. BE RESPONSIBLE FOR CUTTING & PATCHING INVOLVED TO FIT ASSEMBLIES IN PLACE.
- PERFORM ALL WORK OUTSIDE NORMAL BUSINESS HOURS UNLESS OTHERWISE APPROVED BY OWNER.
- PROVIDE PLASTIC SHEETING SECURED IN PLACE TO COMPLETELY ENCLOSE CONSTRUCTION SITE, AND ANY PHASES OF CONSTRUCTION, PROTECT ALL RETURN AIR DUCTS, GRILLS & SMOKE DETECTORS FROM CONSTRUCTION DUST.
- CONTRACTOR TO CONDUCT OPERATIONS TO PREVENT DAMAGE TO THE REMAINING PORTION OF THE BUILDING. PROMPTLY REPAIR ALL DAMAGE ADJACENT TO EXISTING FACILITY OR PARTITION AT NO ADDITIONAL COST TO THE OWNER.
- GENERAL CONTRACTOR TO PROTECT ELEVATOR CABS, LOBBY FLOOR & ALL PUBLIC CORRIDORS DURING CONSTRUCTION.
- ALL FLOORS, WALLS AND CEILINGS TO BE PATCHED AND MADE GOOD TO MATCH ADJACENT MATERIALS WHERE DEMOLITION AND/OR NEW CONSTRUCTION HAS TAKEN PLACE. MAKE GOOD ALL WALLS WHERE EXISTING WALL FINISHES, OUTLETS, CONDUITS ETC. HAVE BEEN REMOVED.
- CONTRACTOR TO PROTECT ALL FLOORING DURING CONSTRUCTION WHERE APPLICABLE. PROTECT FROM DAMAGE ALL EQUIPMENT AND MATERIALS DELIVERED TO THE SITE AND DURING INSTALLATION. MAKE GOOD ANY DAMAGE OR MARKING OF FINISHED SURFACES TO THE SATISFACTION OF THE CONSULTANT.
- ALL CONTRACTORS SHALL MAINTAIN WORK AREAS IN A CLEAN & SAFE MANNER AT ALL TIMES. CLEAN-UP SHALL BE DONE ONLY VIA INDUSTRIAL VACUUM CLEANER AND/OR BROOM & SWEEPING COMPOUND. DISPOSE OF ALL DEBRIS OFF-SITE DAILY. PROVIDE GARBAGE DISPOSAL BINS AS REQUIRED & LOCATE AS PER OWNERS' INSTRUCTIONS.
- CONTRACTOR TO LEAVE COMPLETED CONSTRUCTION SITE CLEAN, FREE OF DEBRIS AND READY FOR OCCUPANCY; RESTRICT WORK TO CONSTRUCTION SITE AND RESPECT OWNER'S RIGHT TO CONTINUE WORK UNDISTURBED AS POSSIBLE.

### FURNITURE AND EQUIPMENT PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- ALL FURNITURE ON PLANS REPRESENT DESIGN INTENT ONLY.
- ALL EQUIPMENT, COMPUTER EQUIPMENT, KITCHEN APPLIANCES AND SERVER ROOM EQUIPMENT ARE SUPPLIED BY CLIENT UNLESS OTHERWISE NOTED.
- ALL SYSTEMS FURNITURE AND FREE-STANDING FURNITURE ARE SUPPLIED BY CLIENT AND ITS FURNITURE DEALER(S).
- THIS DRAWING TO BE READ IN CONJUNCTION WITH FURNITURE DEALERS' DRAWINGS FOR FURNITURE INSTALLATIONS.
- SYSTEMS FURNITURE IS B WRES 3 CIRCUITS SYSTEM. ALL POWER WALL FEEDS ARE SUPPLIED BY FURNITURE DEALER AND INSTALLED BY GENERAL CONTRACTOR.
- SYSTEMS FURNITURE DEALER IS RESPONSIBLE FOR COORDINATION OF POWER AND COMMUNICATION JACK SPEC. WITH GENERAL CONTRACTOR.
- ALL PAK POLES ARE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

### PARTITION PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL, AS WELL AS WITH MECHANICAL & ELECTRICAL ENGINEERS' DRAWINGS.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- ALL WORK SHALL CONFORM TO GOVERNING CODES. CONTRACTOR TO ADVISE DESIGNER IMMEDIATELY OF ANY CONTRAVENTION OF BUILDING CODE.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM CONSULTANT PRIOR TO COMMENCING WORK. CONTRACTOR TO PRINT PERMIT PLACARDS AND POST IN A CONSPICUOUS PLACE ON THE CONSTRUCTION SITE. INFORMATION, RECORDS, DRAWINGS OR SPECIFICATIONS ISSUED AS PART OF THE PERMIT MUST ALSO BE PRINTED AND KEPT ON THE CONSTRUCTION SITE. DRAWINGS AND SPECIFICATIONS MUST BE PRINTED FULL SIZED, TO SCALE, AND IN COLOUR.
- CONTRACTOR TO COORDINATE WITH BUILDING DEPARTMENT FOR ALL INSPECTIONS AS REQUIRED TO CLOSE THE PERMIT AND OBTAIN INSPECTION STATUS REPORT.
- MAINTAIN ALL EXITS IN THE BUILDING AS PER SAFETY REQUIREMENTS OF BUILDING CODE AUTHORITIES.
- ALL WORK SHALL CONFORM TO REQUIREMENTS OF LANDLORD-TENANT WORK MANUAL AS SUPPLIED BY DREAM.
- COORDINATION AND RESPONSIBILITY: GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL TRADES, INCLUDING MECHANICAL AND ELECTRICAL. THE RESPONSIBILITY AS TO WHICH SUB-TRADE PROVIDES THE REQUIRED MATERIALS OR ARTICLES TO COMPLETE THE CONTRACT RESTS SOLELY WITH THE GENERAL CONTRACTOR. CO-ORDINATE TRADES TO SUIT SITE CONDITIONS & OWNER'S SCHEDULE.
- CONTRACTOR TO VISIT SITE TO REVIEW SITE CONDITIONS BEFORE QUOTATION IS SUBMITTED. ACCESS ONLY AS PER OWNER'S APPROVAL.
- CONTRACTOR TO VERIFY ACCESSIBILITY OF BUILDING FOR TRANSPORTING MATERIALS & PREFABRICATED UNITS TO THE JOB SITE BEFORE & DURING THE CONSTRUCTION PERIOD.
- CONTRACTOR TO PROVIDE THE DESIGNER WITH A SCHEDULE OF THE CONSTRUCTION PROCESS INDICATING START & ESTIMATED COMPLETION DATES OF THE VARIOUS TRADES & ESTIMATED COMPLETION DATE OF TOTAL PROJECT WHEN QUOTATION SUBMITTED.
- CONTRACTOR TO ENSURE THAT ALL SPECIFIED ITEMS CONTAINED WITHIN THE DRAWINGS & SPECIFICATIONS TO BE ORDERED & AVAILABLE FOR INSTALLATION AT THE SITE SO AS TO CAUSE NO TIME OR SCHEDULING DELAYS.
- CONTRACTOR TO VERIFY ELEVATOR CAB CLEARANCES, CORRIDOR WIDTH/OBSTRUCTION, ELEVATOR LOADING LIMITS PRIOR TO ORDERING HEAVY OR OVERSIZED MATERIAL/ EQUIPMENT. COORDINATE WITH DESIGNERS/ENGINEERS FOR ALTERNATE SPECIFICATION IF REQUIRED PRIOR TO ORDERING SUCH MATERIAL/EQUIPMENT. ENSURE THAT MATERIALS & EQUIPMENT ARE DELIVERED TO THE SITE AT THE PROPER TIME AND IN SUCH ASSEMBLIES AND SIZES SO AS TO ENTER INTO THE BUILDING AND TO BE MOVED INTO THE SPACES WHERE THEY ARE TO BE LOCATED WITHOUT DIFFICULTY. BE RESPONSIBLE FOR CUTTING & PATCHING INVOLVED TO FIT ASSEMBLIES IN PLACE.
- PERFORM ALL WORK OUTSIDE NORMAL BUSINESS HOURS UNLESS OTHERWISE APPROVED BY OWNER.
- PROVIDE PLASTIC SHEETING SECURED IN PLACE TO COMPLETELY ENCLOSE CONSTRUCTION SITE, AND ANY PHASES OF CONSTRUCTION, PROTECT ALL RETURN AIR DUCTS, GRILLS & SMOKE DETECTORS FROM CONSTRUCTION DUST.
- CONTRACTOR TO CONDUCT OPERATIONS TO PREVENT DAMAGE TO THE REMAINING PORTION OF THE BUILDING. PROMPTLY REPAIR ALL DAMAGE ADJACENT TO EXISTING FACILITY OR PARTITION AT NO ADDITIONAL COST TO THE OWNER.
- GENERAL CONTRACTOR TO PROTECT ELEVATOR CABS, LOBBY FLOOR & ALL PUBLIC CORRIDORS DURING CONSTRUCTION.
- ALL FLOORS, WALLS AND CEILINGS TO BE PATCHED AND MADE GOOD TO MATCH ADJACENT MATERIALS WHERE DEMOLITION AND/OR NEW CONSTRUCTION HAS TAKEN PLACE. MAKE GOOD ALL WALLS WHERE EXISTING WALL FINISHES, OUTLETS, CONDUITS ETC. HAVE BEEN REMOVED.
- CONTRACTOR TO PROTECT ALL FLOORING DURING CONSTRUCTION WHERE APPLICABLE. PROTECT FROM DAMAGE ALL EQUIPMENT AND MATERIALS DELIVERED TO THE SITE AND DURING INSTALLATION. MAKE GOOD ANY DAMAGE OR MARKING OF FINISHED SURFACES TO THE SATISFACTION OF THE CONSULTANT.
- ALL CONTRACTORS SHALL MAINTAIN WORK AREAS IN A CLEAN & SAFE MANNER AT ALL TIMES. CLEAN-UP SHALL BE DONE ONLY VIA INDUSTRIAL VACUUM CLEANER AND/OR BROOM & SWEEPING COMPOUND. DISPOSE OF ALL DEBRIS OFF-SITE DAILY. PROVIDE GARBAGE DISPOSAL BINS AS REQUIRED & LOCATE AS PER OWNERS' INSTRUCTIONS.
- CONTRACTOR TO LEAVE COMPLETED CONSTRUCTION SITE CLEAN, FREE OF DEBRIS AND READY FOR OCCUPANCY; RESTRICT WORK TO CONSTRUCTION SITE AND RESPECT OWNER'S RIGHT TO CONTINUE WORK UNDISTURBED AS POSSIBLE.

### PARTITION PLAN NOTES

- PURCHASE TWO SETS OF WHITE PRINTS AND AS THE PROJECT PROGRESSES, MARK THESE PRINTS TO ACCURATELY INDICATE INSTALLED WORK. HAVE THE PRINTS AVAILABLE FOR INSPECTION AT THE SITE AT ALL TIMES, AND PRESENT FOR SCRUTINY AT EACH PROJECT MEETING.
- DESIGNER TO APPROVE A CHALKED PARTITION LAYOUT ON FLOOR PRIOR TO INSTALLATION OF DRYWALL RUNNERS.
- ALL PARTITIONS ON ANGLES SHALL BE AT 45 DEGREES UNLESS OTHERWISE NOTED.
- ALL NEW DRYWALL TO BE FILLED, TAPED, SANDED, PRIMED AND PREPARED TO RECEIVE NEW FINISHES AS SPECIFIED.
- PROVIDE ALL NECESSARY BLOCKING, FRAMING AND SUPPORT TO ENSURE STABLE AND SECURE CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE SOLID WOOD BRACING IN STEEL STUD PARTITIONS TO SUPPORT ALL WALL MOUNTED CUPBOARD UNITS & OVERHEAD BINS FROM FURNITURE SYSTEMS.
- CONTRACTOR TO PROVIDE BRACING FROM T-BAR CEILING TO SLAB ABOVE ALL FULL HEIGHT GLAZED PARTITIONS & DOOR FRAMES AS REQUIRED TO MAINTAIN LATERAL RESISTANCE.
- PROVIDE FULL PERIMETER ACOUSTIC SEALANT FOR INSULATED PARTITIONS AT FLOOR, WALL & CEILING JUNCTIONS INCLUDING CEILING PLENUM & BARRIERS.
- ACOUSTICAL INSULATION WALLS: INSULATION TO BE ROXUL INC., 2" (51mm) THICK OR EQUAL UNLESS OTHERWISE SPECIFIED.
- Baffles AND ACOUSTIC INSULATION BLANKETS ABOVE THE CEILING CONTINUE OVER DOOR AND GLAZING OPENINGS.
- WHERE PARTITIONS ARE TO BE CONSTRUCTED AT WINDOW MULLION, A Baffle IS TO BE CUT TO FIT WITHIN CONVECTOR UNIT. Baffle CONSISTS OF RIGID INSULATION, SUPPLY AND INSTALL ROXUL INSULATION IN CONVECTOR CAVITY.
- WHERE PARTITIONS ARE TO EXTEND ABOVE CEILING, SUSPENDED CEILING TO BE CUT AND PARTITION TO BE CONTINUOUS WHERE NOTED.
- RESERVED.
- ALL DEMOUNTABLE PARTITIONS TO BE CONSTRUCTED AFTER CARPET INSTALLATION.
- DRYWALL CONTRACTOR TO REVIEW PARTITION ATTACHMENTS WITH LANDLORD PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE ADVISED, T-BARS, MULLIONS, INDUCTION CONVECTION UNITS SHOULD NOT BE DRILLED.
- DRYWALL SHEETS TO BE HUNG VERTICALLY UNLESS OTHERWISE NOTED & TAPERED EDGES TO BE BUTTED TOGETHER TO ENSURE A FLAT CONTINUOUS SURFACE.
- WHERE TWO DIFFERENT MATERIALS MEET FILL GAP OR CRACK WITH THE APPROPRIATE CAULKING.
- ALL GLAZING TO BE FREE OF WARPAGE.
- ALL VERTICAL BUTT GLASS JOINTS TO BE CLEAR SILICONE.
- UNLESS NOTED OTHERWISE DIMENSIONS ARE FROM CENTRE TO CENTRE OF NEW PARTITION.
- UNLESS NOTED OTHERWISE PARTITIONS ARE TO BE CENTRED ON CEILING GRID.
- UNLESS NOTED OTHERWISE PARTITIONS ARE TO BE CENTRED ON CENTRE OF COLUMN.
- REFER TO FINISHING HARDWARE SCHEDULE FOR DOOR HARDWARE DETAILS.
- ALL MILLWORK DETAILS, REFER TO MILLWORK ELEVATIONS, AND DETAILS IN THE PROJECT MANUAL.
- GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR MILLWORK TO BE BUILT, AND SUBMIT WITH MATERIAL SAMPLES TO THE DESIGNER FOR APPROVAL BEFORE PROCEEDING WITH ANY WORK.
- ALL APPLIED WINDOW FILM TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.

### REFLECTED CEILING PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL, AS WELL AS WITH MECHANICAL & ELECTRICAL ENGINEERS' DRAWINGS.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- REFER TO ENGINEER'S DRAWINGS FOR GENERAL FLOURESCENT LIGHT FIXTURE OR BASE BUILDING LIGHTING LAYOUT. CONTRACTOR TO FOLLOW REFLECTED CEILING PLAN IN INTERIOR DESIGN SET OF DRAWINGS FOR ALL LIGHT FIXTURE AND LIGHTING CONTROL LOCATIONS EXCEPT AS NOTED ABOVE. NOTIFY DESIGNER ABOUT ANY DISCREPANCY WITH THE ENGINEERS' DRAWINGS PRIOR TO INSTALLATION OF THESE ITEMS.
- ALL NEW ACOUSTICAL TILES ARE TO MATCH BUILDING STANDARD UNLESS OTHERWISE NOTED. WHERE AN EXACT MATCH IS NOT POSSIBLE, REMOVE & REUSE EXISTING CEILING TILES FROM ENCLOSED ROOMS TO COMPLETE INSTALLATION IN OPEN AREAS. INSTALL NEW TILES IN ROOMS USED FOR SALVAGE.
- ENGINEER TO ARRANGE FOR AN INSPECTION & BALANCING REPORT AFTER PROJECT COMPLETION.
- ALL SPRINKLER HEADS TO BE LOCATED IN CENTER OF CEILING TILES UNLESS OTHERWISE NOTED.
- ALL NEW OR RELOCATED ADJUSTABLE THERMOSTATS & PULL STATIONS TO BE INSTALLED AS PER OBC REQUIREMENTS (1200 MM ON CENTRE ABOVE FINISHED FLOOR LEVEL) AND CLEAR SYSTEMS FURNITURE PANELS. NON ADJUSTABLE THERMOSTATS CAN BE INSTALLED ABOVE SYSTEMS FURNITURE. PANEL HEIGHTS, REFER TO FURNITURE AND EQUIPMENT PLAN & ENGINEERS DRAWINGS.
- REPLACE ANY DAMAGED DIFFUSERS & GRILLES THAT ARE TO REMAIN. CLEAN ALL EXISTING DIFFUSERS & GRILLES THAT ARE TO REMAIN. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE VERIFICATION AND ALLOW MATERIAL AND LABOUR COSTS IN THE SUBMITTED BID UNLESS OTHERWISE NOTED.
- ALL NEW FLOURESCENT FIXTURES TO MATCH BUILDING STANDARD UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE FROM THE FACE OF THE WALL TO CENTER OF THE FIXTURE UNLESS OTHERWISE NOTED.
- ALL BASE BUILDING LIGHT FIXTURES WHICH ARE TO BE REMOVED SHALL BE RETURNED TO THE LANDLORD FOR STORAGE UNLESS OTHERWISE INSTRUCTED.
- ALL EXISTING & RELOCATED LIGHT FIXTURES SHALL BE CLEANED & IN WORKING ORDER. LAMP TYPES SHALL ALL MATCH. RE-LAMP AS NECESSARY.
- EXIT AND EMERGENCY LIGHTS SHALL BE INSTALLED AS REQUIRED BY LOCAL AND PROVINCIAL BUILDING CODES. ILLUMINATED EXIT SIGNS SHALL BE WIRED INTO BUILDING EMERGENCY POWER SYSTEM. (REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR LOCATION).
- ALL SWITCHES ON PARTITIONS TO BE MOUNTED AT 3'-6" A.F.F. (1067mm) TO THE CENTRE OF THE SWITCH UNLESS OTHERWISE NOTED. MOUNT VERTICALLY 9" (228mm) FROM DOOR FRAME OR AS NOTED ON THE DRAWING. ALL COVERPLATE TO BE (DECORA STYLE, WHITE COLOUR FINISH).
- ALL LIGHTING FIXTURES NOT INDICATED ON DIMMERS OR SWITCHES SHALL BE CONTROLLED FROM MAIN BASE BUILDING ELECTRICAL PANEL(S). LIGHTING IS ZONED AND PROGRAMMED TO SUIT TENANT'S OPERATION.
- WHERE THERE IS MORE THAN ONE DIMMER SWITCH NEEDED IN THE SAME LOCATION MULTITAG SEAMLESS FACEPLATE IS TO BE USED.
- MAINTAIN INTEGRITY OF ALL FIRE-RATED CEILING ASSEMBLIES. (FOR LIGHTS, DUCTWORK & APPLIED SPRAY FIRE-PROOFING MATERIAL).
- PAIN ALL DRYWALL BULKHEADS, & CEILINGS FLAT WHITE, UNLESS OTHERWISE NOTED.
- REFER TO ENGINEER'S DRAWINGS FOR ELECTRICAL, LIGHT FIXTURES, AND MECHANICAL SPECIFICATIONS.

### POWER AND COMMUNICATION PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL, AS WELL AS WITH MECHANICAL ENGINEERS', ELECTRICAL ENGINEERS', COMMUNICATIONS ENGINEERS' DRAWINGS & SPECIFICATIONS.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- CONTRACTOR TO FOLLOW POWER AND COMMUNICATION PLAN IN INTERIOR DESIGN SET OF DRAWINGS FOR OUTLET LOCATIONS. NOTIFY DESIGNER ABOUT ANY DISCREPANCY WITH THE ENGINEERS' DRAWINGS PRIOR TO INSTALLATION OF OUTLETS.
- THIS PLAN INDICATES LOCATION OF OUTLETS AND FIXTURES ONLY. REFER TO ELECTRICAL CONSULTANT'S DRAWINGS FOR ALL CIRCUITRY AND SPECIFICATIONS.
- ENGINEERS TO VERIFY SITE CONDITIONS AND FEASIBILITY OF REQUIREMENTS WITHIN PROPOSED SPACE.
- ENGINEERS DRAWINGS TO ADVISE CONTRACTORS TO REVIEW DESIGNERS DRAWINGS FOR LOCATIONS OF SPECIFIC ITEMS.
- ENGINEERS SHOULD INFORM DESIGNER OF ANY OMISSIONS/CHANGES THEY SPECIFY IN THEIR DRAWINGS WHICH CONFLICT OR DEVIATE FROM DESIGNERS DRAWINGS.
- ENGINEERS TO CHECK FOR AND SPECIFY SPECIAL ELECTRICAL AND MECHANICAL REQUIREMENTS FOR ALL PROPOSED EQUIPMENT INCLUDING COMMUNICATIONS CABLING AND CONDUIT.
- ALL WORK BY ELECTRICAL AND COMMUNICATIONS CONTRACTORS SHALL REQUIRE APPROVAL OF THE ELECTRICAL ENGINEER. CODE REQUIREMENTS AND BASE BUILDING STANDARDS SHALL BE ADHERED TO.
- ALL DATA COMMUNICATION WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH DATA COMMUNICATION REPRESENTATIVES, OWNER'S REPRESENTATIVE AND TELEPHONE VENDOR.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL WORK, CABLE TRAY WORK, CUTTING AND CHASING OF CONDUIT, CABLE INSTALLATION & DATA TERMINATION SHALL BE COMPLETED BY CLIENTS COMMUNICATIONS VENDOR. CONTRACTOR TO COORDINATE THIS WORK.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL ROUGH-INS FOR CARD READERS, ELECTRIC STRIKES & OTHER SECURITY HARDWARE. ALL DEVICES TO BE INSTALLED BY VENDOR. CONTRACTOR TO COORDINATE THIS WORK.
- ALL DIMENSIONS SHOWN ARE TO CENTER OF OUTLET OR TO CENTER OF GROUP OF OUTLETS.
- WHERE TWO OR MORE OUTLETS ARE TO BE SIDE BY SIDE, 1/2" (13mm) SPACE TO BE ALLOWED BETWEEN COVER PLATES.
- WHERE OUTLETS APPEAR ON DRAWINGS AS BACK TO BACK IN A PARTITION, ELECTRICIAN TO STAGGER THEM AND WRAP BACKS WITH SOUND ATTENUATION BLANKET TO PREVENT SOUND TRANSFERENCE.
- ALL WALL MOUNTED ELECTRICAL AND TELEPHONE OUTLETS ARE TO BE INSTALLED VERTICALLY AT 16" O.C. A.F.F. TO THE BOTTOM (406mm) UNLESS OTHERWISE NOTED. CARD READERS & POWER DOOR OPERATORS TO BE INSTALLED AT 39" A.F.F. (1000MM) TO THE CENTRE.
- ALL WALL AND FLOOR CUTTINGS SHALL BE PATCHED AND MADE GOOD.
- PROVIDE PROPER VOLTAGE AND PLUG CONFIGURATION FOR COPIER MACHINE AND KITCHEN APPLIANCES.
- COVER PLATES ON EXISTING BUILDING RECEPTACLES WHICH ARE TO REMAIN IN THEIR EXISTING LOCATIONS ARE TO BE MATCHED WITH NEW RECEPTACLES & COVER PLATES. ENSURE ALL EXISTING OUTLETS ARE LIVE.
- REMOVE ALL EXISTING ELECTRICAL/TELEPHONE, OUTLETS, WALL-MOUNTED SWITCHES ETC. WITHIN PARTITIONS BEING REMOVED. TEMPORARILY CAP OFF AT CEILING IF RE-USING, OR REMOVE TO NEAREST CEILING BOX OR PANEL AS PER BUILDING CODE REQUIREMENTS.
- REMOVE EXISTING WALL-MOUNTED COVER PLATES WHERE OUTLETS HAVE BEEN CAPPED. REMOVE EXISTING CABLE IF POSSIBLE AND FILL OPENINGS TO BE FLUSH WITH PARTITION AND COLUMN FACE WHERE APPLICABLE. REMOVE ALL REDUNDANT WIRING. PREPARE THESE SURFACES TO RECEIVE NEW WALL FINISHES.
- ALL WALL COVER PLATES AND DUPLEX RECEPTACLE DEVICES TO BE: COLOUR: WHITE. FLOOR MOUNTED DEVICES ARE TO BE: CONNECTRAC. CLEAR ALUMINUM.
- ALL SYSTEMS FURNITURE POWER, VOICE & DATA ARE SUPPLIED THROUGH PARTITION, VIA HARD-WIRED HARNESS INFED. LOCATIONS TO BE MOUNTED AT 12" O.C. AFF (305mm). ELECTRICAL CONTRACTOR TO HARD-WIRE SYSTEMS. FURNITURE WHIPS PROVIDED BY OTHERS.
- ELECTRICAL CONTRACTOR TO INCLUDE THE DISCONNECTION OF EXISTING SYSTEMS FURNITURE AS PART OF THEIR SCOPE OF WORK. REFER TO EXISTING LAYOUT INCLUDED IN DRAWING PACKAGE.
- SYSTEMS FURNITURE IS 3 CIRCUITS AND 8 WIRE SYSTEM.

### WALL FINISHES PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL, & FINISHES SCHEDULE.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- EXISTING WALLS TO BE MADE GOOD AND PRIMED TO RECEIVE NEW FINISHES. WASH TO REMOVE ALL DIRT & GREASE. RINSE WITH CLEAR WATER. PRIME AS NOTED.
- REMOVAL OF ALL EXISTING WALL FINISHES AS INDICATED ON DEMOLITION PLAN TO BE COMPLETED BY WALL FINISHES CONTRACTOR. WALLS TO BE SKIMMED READY TO ACCEPT NEW FINISHES.
- ALL EXISTING AND NEW PARTITIONS, DRYWALL BULKHEADS AND DRYWALL CEILINGS IN CONTRACT AREA TO RECEIVE PAINT FINISH, UNLESS OTHERWISE NOTED.
- CLOSETS AND COLUMNS TO HAVE SAME FINISH AS THE ADJACENT ROOM UNLESS OTHERWISE NOTED.
- SAMPLES OF ALL PAINT & WALL FINISHES, TO BE SUBMITTED TO CONSULTANT FOR APPROVAL PRIOR TO INSTALLATION.
- CEILINGS- KEEP SPRINKLER HEADS FREE OF PAINT
- PAINT REMOVABLE ITEMS SUCH AS ACCESS PANELS, CONVECTOR COVERS, DOORS AND SIMILAR ITEMS WHILE ITEM IS REMOVED OR OPEN SO AS NOT TO CREATE A PAINT SEAL AT THE JUNCTION OF THE OPENING.
- REMOVE ALL HARDWARE SWITCHES, FACEPLATES & THE LIKE PRIOR TO PAINTING.
- CLEAN AND MAKE GOOD TO THE APPROVAL OF THE CONSULTANT, SURFACES SOILED OR OTHERWISE DAMAGED IN CONNECTION WITH THE FINISHED WORK.
- PAINT-FINISH VARIOUS SURFACE AS OUTLINED BELOW. INTERIOR FINISHES:
  - FOR PAINTED DRYWALL WALLS APPLY: ONE COAT PRIMER-SEALER (DEEP-TINT FULL COLOUR PRIMER FOR ALL DEEP COLOURS) TWO COATS LATEX SATIN ONE COAT LOW LUSTRE CLEAR LATEX TOP-COAT ON ALL DEEP COLOURS
  - FOR PAINTED DRYWALL CEILINGS AND BULKHEADS APPLY: ONE COAT PRIMER-SEALER TWO COATS LATEX FLAT
  - FOR PAINTED WOOD APPLY: ONE COAT PRIMER-SEALER TWO COATS LATEX SEMI-GLOSS.
  - FOR PRIMED FERROUS METAL SURFACES APPLY: ONE COAT BONDING PRIMER ONE COAT ENAMEL UNDERCOAT TWO COATS LATEX SEMI-GLOSS.
  - FOR GALVANIZED AND ZINC COATED METAL APPLY: ONE COAT BONDING PRIMER ONE COAT ENAMEL UNDERCOAT TWO COATS LATEX SEMI-GLOSS.
  - FOR STAINED WOODWORK APPLY: ONE COAT PASTE FILLER ONE COAT PIGMENTED STAIN TWO COATS VARNISH SATIN
- WALL FINISH ABOVE PERIMETER WINDOWS TO MATCH ADJACENT COLUMNS UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING WINDOW TREATMENTS TO REMAIN ARE IN GOOD WORKING CONDITION. REPAIR OR REPLACE ANY DAMAGED UNITS TO MATCH EXISTING.

### FLOOR FINISHES PLAN NOTES

- DO NOT SCALE THIS DRAWING.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL & FINISHES SCHEDULE.
- ANY CONFLICTS, OMISSIONS OR DISCREPANCIES TO THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNERS' ATTENTION FOR CLARIFICATION, PRIOR TO ANY WORK PROCEEDING.
- FLOORING CONTRACTOR TO SUBMIT ALL FLOOR & BASE MATERIAL SAMPLES FOR DESIGNERS' APPROVAL PRIOR TO COMMENCING ANY WORK.
- REMOVE EXISTING FLOOR FINISHES AS NOTED. REPAIR, PATCH, CLEAN ALL FLOOR SURFACES AND MAKE GOOD TO RECEIVE NEW FLOOR FINISHES.
- FLOORING CONTRACTOR SHALL BE RESPONSIBLE TO SITE CHECK ALL DIMENSIONS PRIOR TO ORDERING CARPET. DO NOT SCALE FROM DRAWINGS.
- FLOOR FINISHES TO CONTINUE UNDER COUNTERS, SHELIVING AND RECESSED BASEBOARDS.
- INSTALL ALL FLOOR FINISHES TO CENTER OF DOOR UNLESS OTHERWISE NOTED.
- CARPET LAYOUT FROM INSTALLER IS REQUIRED PRIOR TO WORK COMMENCING.
- ALL CARPET LENGTHS TO BE INSTALLED WITH NAP RUNNING IN ONE DIRECTION. ALL NEW CARPET TO BE OF SAME DYE LOT.
- INSTALL THRESHOLD AT ALL JOINTS WHERE ONE FLOORING MATERIAL MEETS ANOTHER. FEATHER SUB-FLOOR HEIGHT TO ENSURE SMOOTH AND UNNOTICEABLE LEVEL CHANGE BETWEEN MATERIALS.
- FEATHER SUB-FLOOR HEIGHT TO ENSURE TILE INSTALLATION IS SMOOTH.
- ALL CARPET TILES TO BE INSTALLED PRIOR TO CONSTRUCTION OF DEMOUNTABLE PARTITIONS.
- RESERVED.
- CARPET SUPPLIER TO PROVIDE A MINIMUM 2% OVERAGE OF CARPET TILES FOR MAINTENANCE PURPOSES.
- ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS, USING MANUFACTURERS' APPROVED ADHESIVES FOR CONDITIONS ENCOUNTERED ON SITE.
- FLOORING CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE AND MAINTAIN WORK AREA IN A CLEAN & SAFE MANNER AT ALL TIMES WITH RESPECT TO THEIR WORK.



1135 DUNDAS STREET EAST, SUITE 200 TORONTO, ONTARIO, CANADA M4M 1R9 TEL: 416-562-4610 FAX: 416-468-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046 BCGN

REGISTRATION INFORMATION Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCGN



04		
03		
02	ISSUED FOR PERMIT & TENDER	16NOV18
01	ISSUED FOR 100% REVIEW	01NOV18
revision		date

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

A	A Detail No.
B	B No. du détail
	drawing no. - where detailed
	dessin no. - où détaillé

project title  
titre du projet  
**IRB CANADA** Ontario  
74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**GENERAL NOTES**

drawn by  
dessiné par **JN**

designed by  
conçue par **LM/JR**

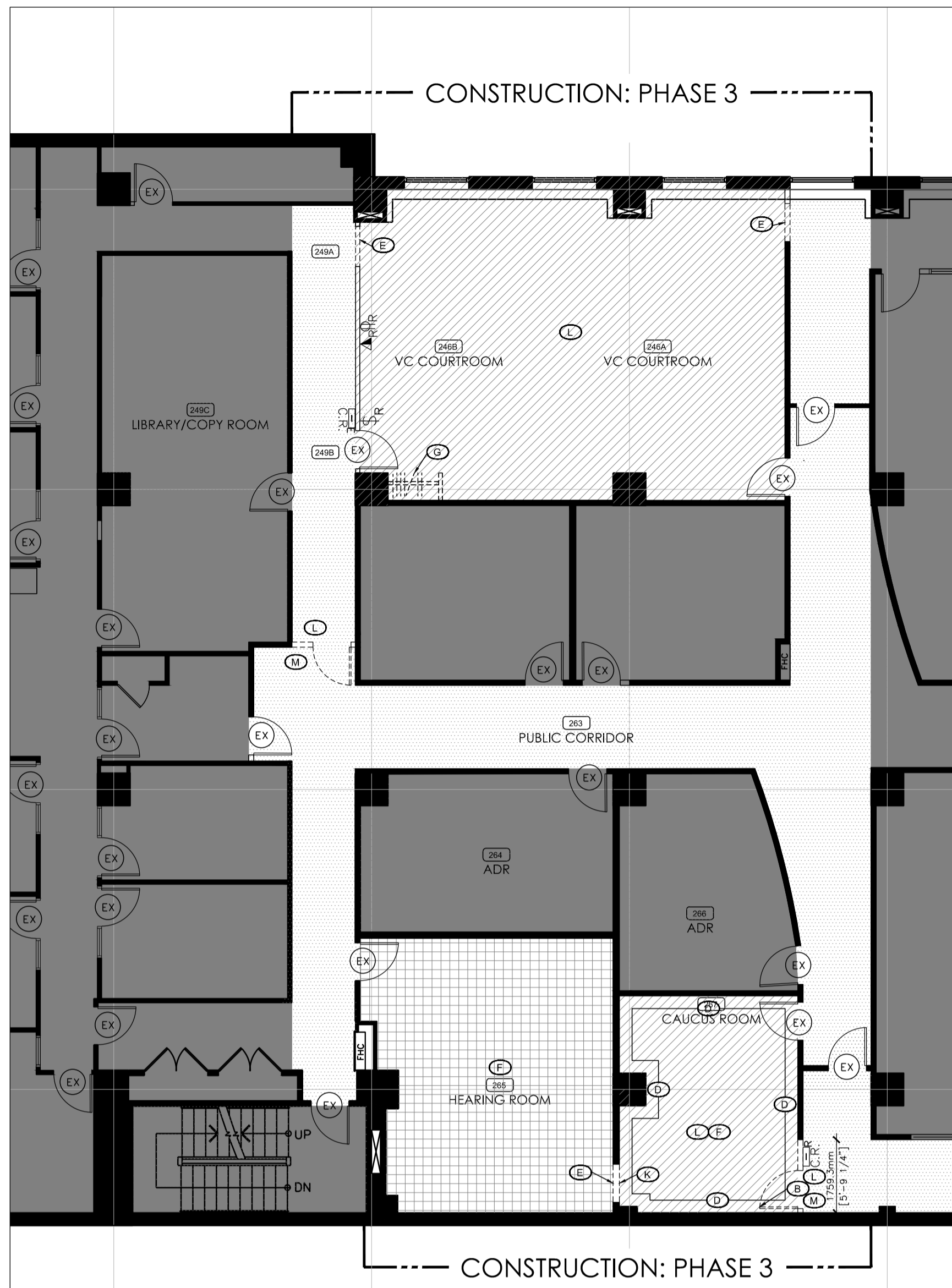
approved by  
approuvé par

bid  
offre project manager  
administrateur  
de projets

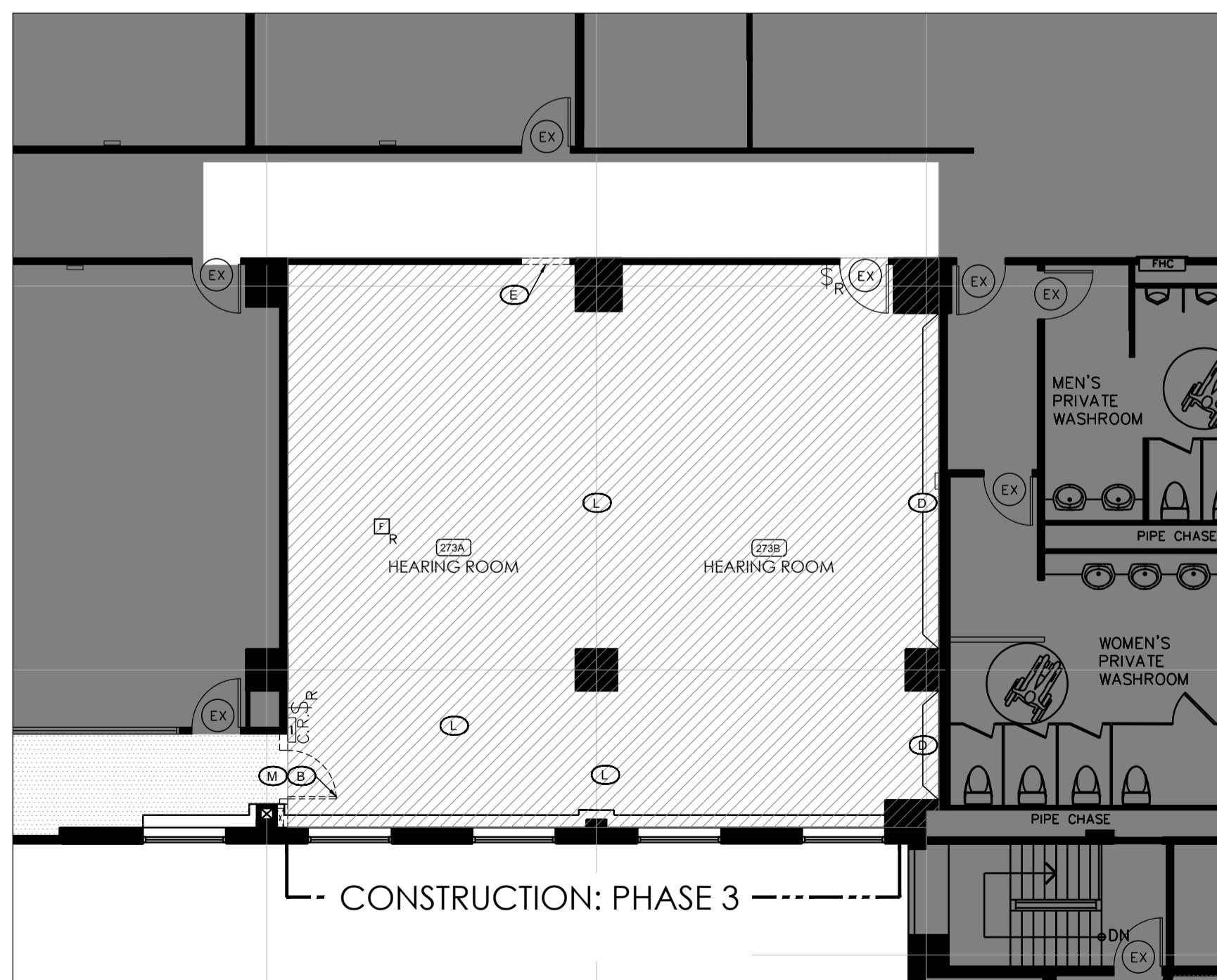
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

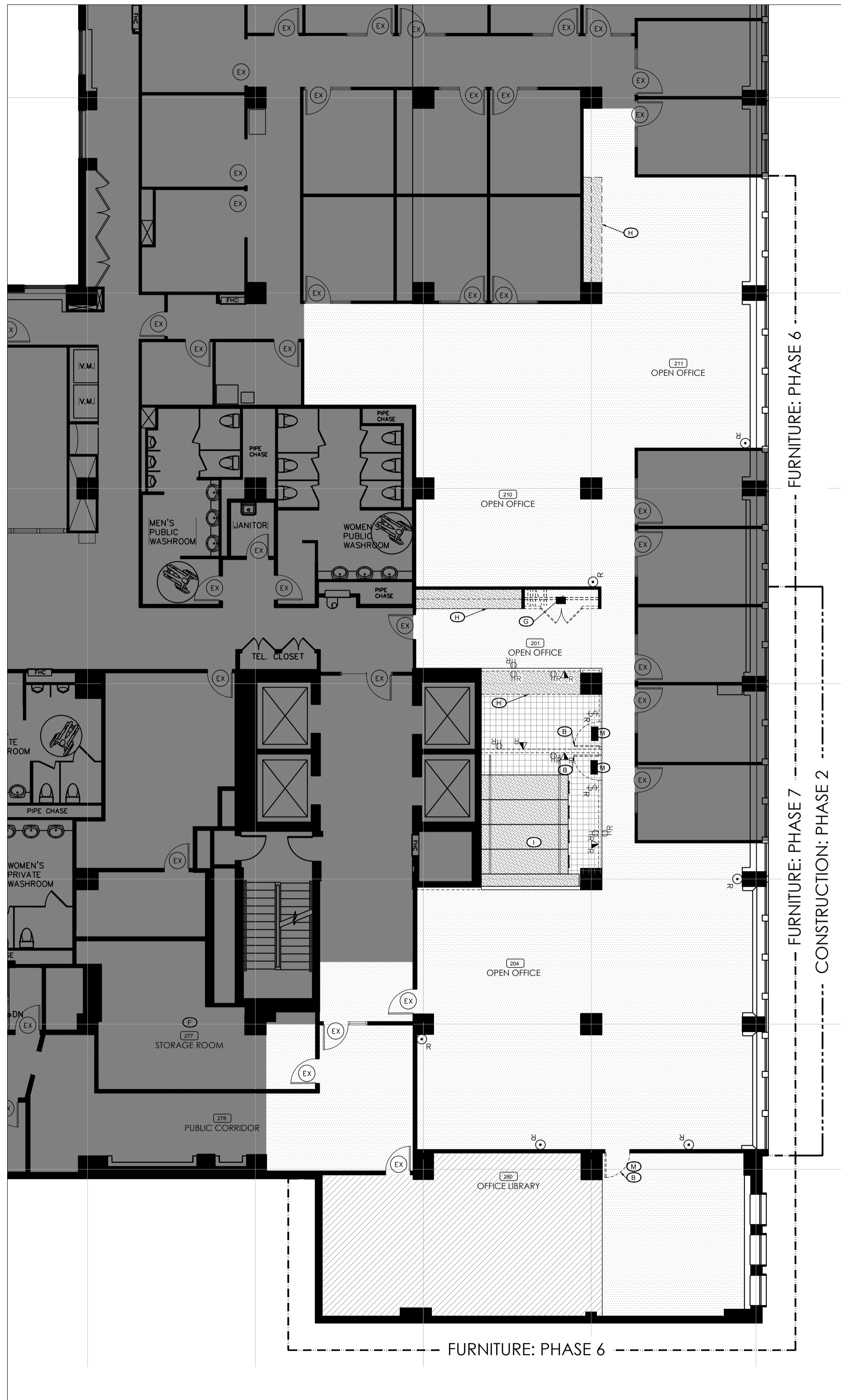
drawing no.  
dessinée no. **ID-00B**



1 PLAN: WEST YONGE SIDE  
D2.02 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.02 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.02 SCALE: 1:100

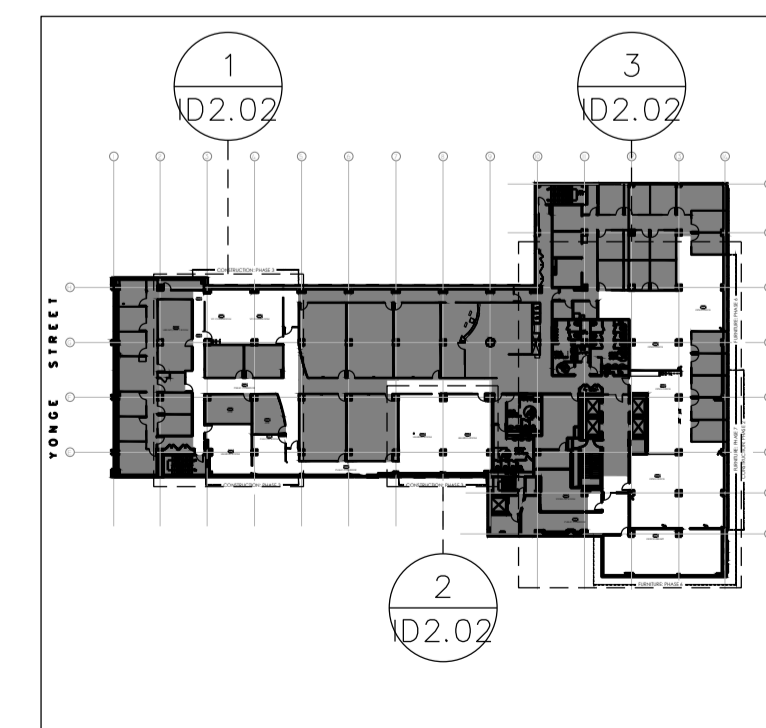
### DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- ROOM NUMBER
- ITEMS TO REMAIN
- FIRE HOSE CABINET TO REMAIN. PROTECT CABINETS FROM DEMOLITION.
- EXISTING PARTITION TO REMAIN
- PARTITION TO BE REMOVED
- MILLWORK TO BE REMOVED AND DISPOSED OF UNDER GENERAL CONTRACTOR.
- CARPET TILE AND CARPET BASE TO REMAIN. PROTECT AT ALL TIMES.
- EXISTING CARPET FLOOR AND WALL BASE TO BE REMOVED AND RETAINED FOR REINSTALLATION IN COMMON CORRIDOR AND AREA 201. FLOOR MUST BE FREE OF GLUE. GRIND, SKIM AND PATCH AS REQUIRED; MAKE GOOD TO RECEIVE NEW FINISH.
- EXISTING VINYL FLOOR AND WALL BASE TO BE REMOVED AND DISPOSED OF. FLOOR MUST BE FREE OF GLUE. GRIND, SKIM AND PATCH; MAKE GOOD TO RECEIVE NEW FINISH.
- EXISTING DOORS TO REMAIN.
- DOORS, FRAME AND HARDWARE TO BE REMOVED AND DISPOSED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
- DUPLEX OUTLET TO BE REMOVED AND DISPOSED OF
- VOICE AND DATA OUTLET TO BE REMOVED AND DISPOSED OF
- LIGHT SWITCH TO BE REMOVED AND DISPOSED OF
- CARD READER TO BE REMOVED AND STORED FOR REINSTALLATION
- FLOOR MODULE TO BE REMOVED
- DENOTES FURNITURE WHIP FOR REMOVAL AND REINSTALLATION

### DEMOLITION PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES PLAN NOTE 'A'

- A. GENERAL CONTRACTOR TO PATCH, REPAIR AND PRIME CORE WALLS THAT ARE REMAINING FROM DEMOLITION (OFFICE FACE), INCLUDING DEMOLITION SCARS, HOLES, SWITCHES AND REMOVAL OF FASTENERS AS REQUIRED. FINISH SMOOTH AND MAKE GOOD TO RECEIVE NEW FINISHES. CONTRACTOR TO SEAL ANY EXISTING HOLES IN BAFFLES (CEILING PLENUM) OF CORE PARTITIONS TO KEEP SMOKE SEPARATION INTEGRITY.
- B. REMOVE AND DISPOSE DOOR AND FRAME AND SALVAGE HARDWARE FOR FUTURE USE.
- C. REFER TO ENGINEER'S DRAWINGS FOR ALL ELECTRICAL AND MECHANICAL DELETIONS.
- D. REMOVE AND DISPOSE OF EXISTING CHAIR RAIL PATCH AND REPAIR PARTITION.
- E. CUT G/WB PARTITION TO RECEIVE NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE FOR DETAILS.
- F. REMOVE EXISTING CEILING TILE AND GRID AS REQUIRED TO INSTALL NEW SLAB TO SLAB PARTITIONS- ALL WALLS IN ROOM 269 & 267.
- G. REMOVE AND DISPOSE OF EXISTING COAT CLOSET AND STORAGE SHELF.
- H. REMOVE OF INDICATED EXISTING COUNTER AND LOWER MILLWORK
- I. REMOVE RAISED SUBFLOOR FROM HIGH DENSITY FILING. RAILS AND ALL CONDENSED FILE UNITS TO BE REMOVED AND RETURNED TO CLIENT FOR STORAGE.
- J. GENERAL CONTRACTOR PROTECT EXISTING MILLWORK AT ALL TIMES DURING DEMOLITION.
- K. REMOVE EXISTING COAT HANGER MILLWORK, SALVAGE FOR REUSE IN ROOM 273A.
- L. DEMOLISH EXISTING CEILINGGRID AND TILE WHERE NEW SLAB TO SLAB PARTITIONS TO BE REMOVED OR RE-INSTALLED. REFER TO PARTITION PLAN ID2.04.
- M. CAREFULLY REMOVE ALL HARDWARE FROM EXISTING DOOR AND SALVAGE FOR REUSE.



KEY PLAN NTS



1135 DUNDAS STREET EAST, SUITE 900  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0526

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div C.3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 B.C.N.

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 B.C.N.



04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUE FOR 100% REVIEW	01NOV18
01	ISSUE FOR ENGINEERS	18OCT18
revision		date

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A	A Detail No., No. du detail
B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**2ND FLOOR  
DEMOLITION PLAN**

drawn by  
dessine par JN

designed by  
conc par LM/JR

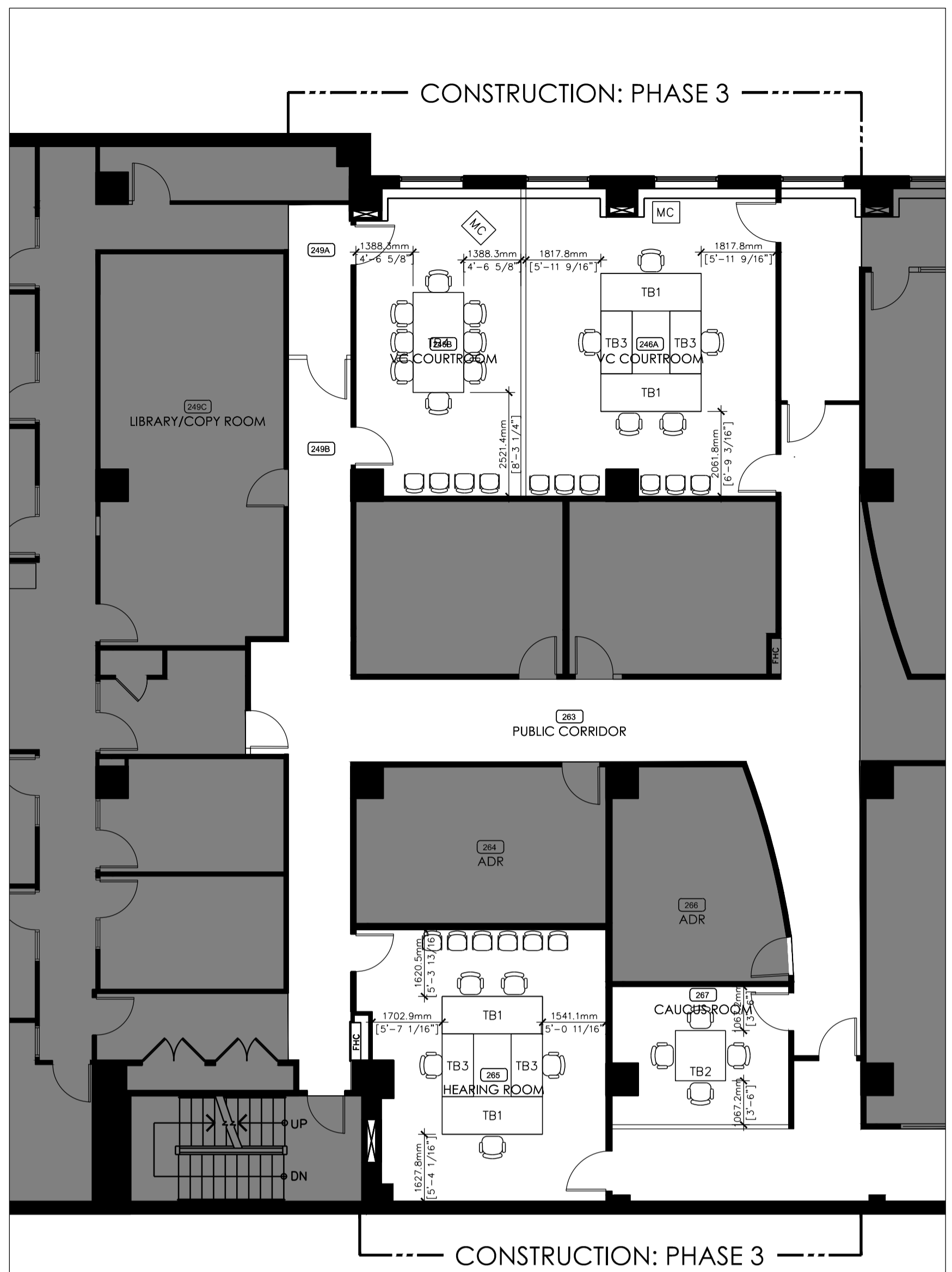
approved by  
approuve par

bid offer project manager  
offre administrateur de projets

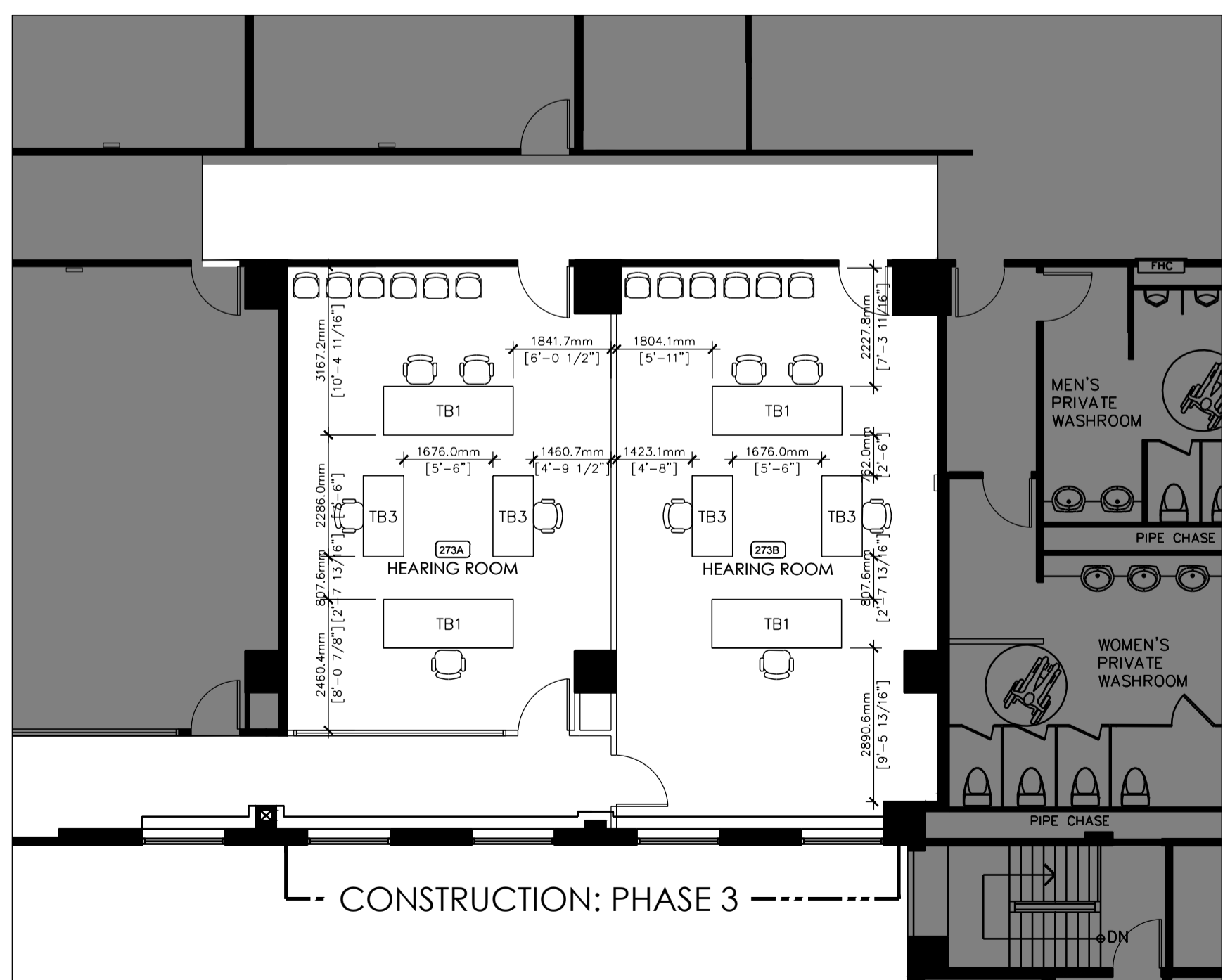
project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

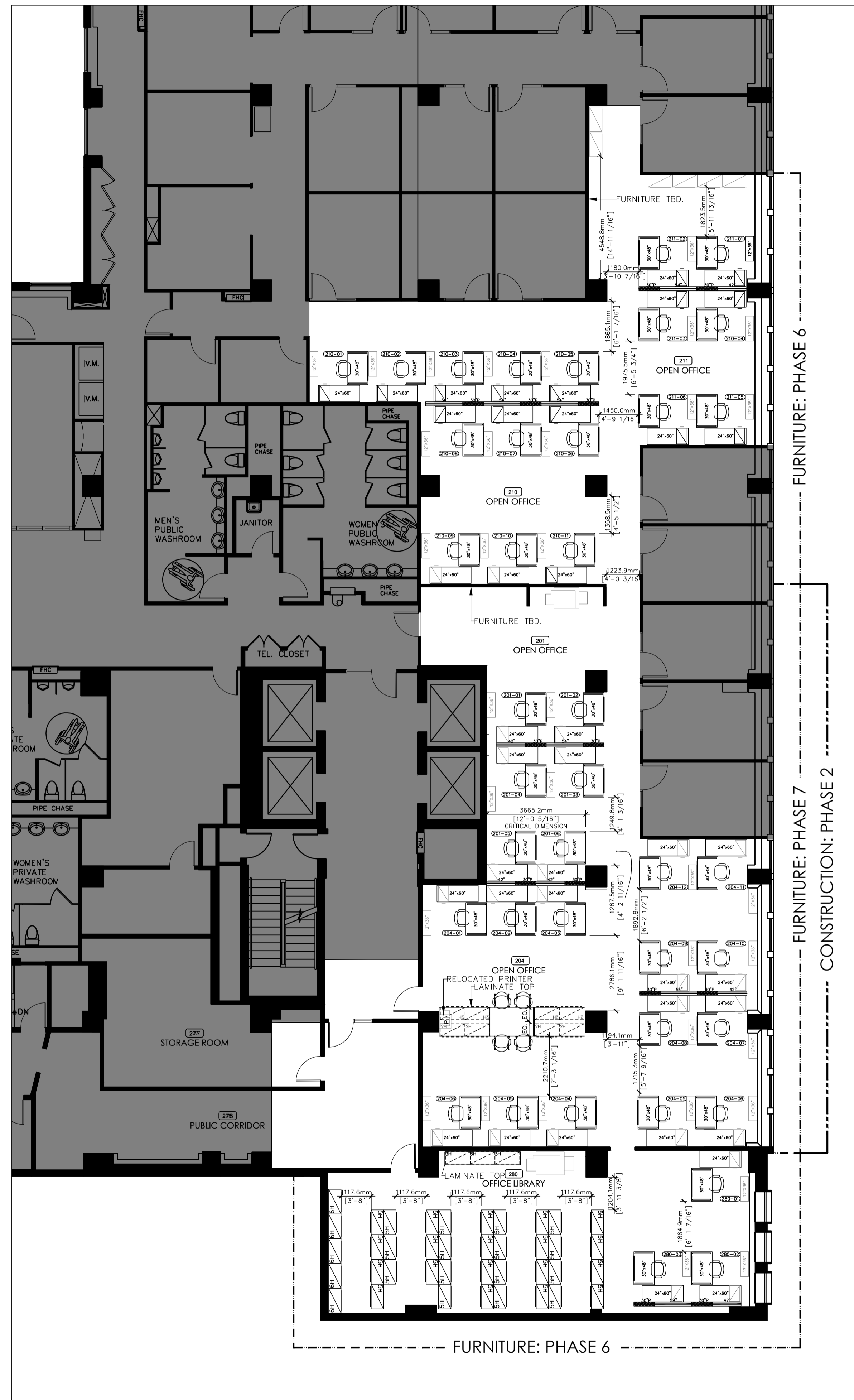
drawing no.  
dessine no. ID2.02



1 PLAN: WEST YONGE SIDE  
D2.03 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.03 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.03 SCALE: 1:100

### FURNITURE AND EQUIPMENT PLAN LEGEND

- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- XXXX WORK STATION NUMBER
- 
 INDICATES EXISTING RELOCATED PHOTOCOPIER/PRINTER
- 
 INDICATES FREESTANDING 36" H PANEL W/ OUTLETS W/ 16" H FELT/FABRIC PRIVACY SCREEN
- 
 INDICATES FREESTANDING 36" H PANEL W/ 16" H FELT/FABRIC PRIVACY SCREEN
- 
 INDICATES 30"x48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
- 
 INDICATES 24"x60" FREE STANDING WORK SURFACE
- 
 INDICATES TASK CHAIR
- 
 INDICATES GUEST CHAIR
- 
 INDICATES EXISTING FIXED PEDESTAL
- 
 INDICATES NEW FIXED PEDESTAL
- 
 INDICATES EXISTING 12"x36" 4-HIGH BOOKCASE
- 
 INDICATES NEW 12"x36" 4-HIGH BOOKCASE
- 
 INDICATES EXISTING RELOCATED LATERAL FILING
- 
 INDICATES NEW LATERAL FILING
- 
 TB1 INDICATES 3'x8' MEETING TABLE
- 
 TB2 INDICATES 4'x4' MEETING TABLE
- 
 TB3 INDICATES 2'-6"x5' TABLE
- 
 TB4 INDICATES 4'x8' MEETING TABLE
- 
 MC INDICATES MOBILE MEDIA CART

### FURNITURE AND EQUIPMENT PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES 'PLAN NOTE 'A'

A. ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.

B. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.

TOTAL NEW WORKSTATIONS: 40

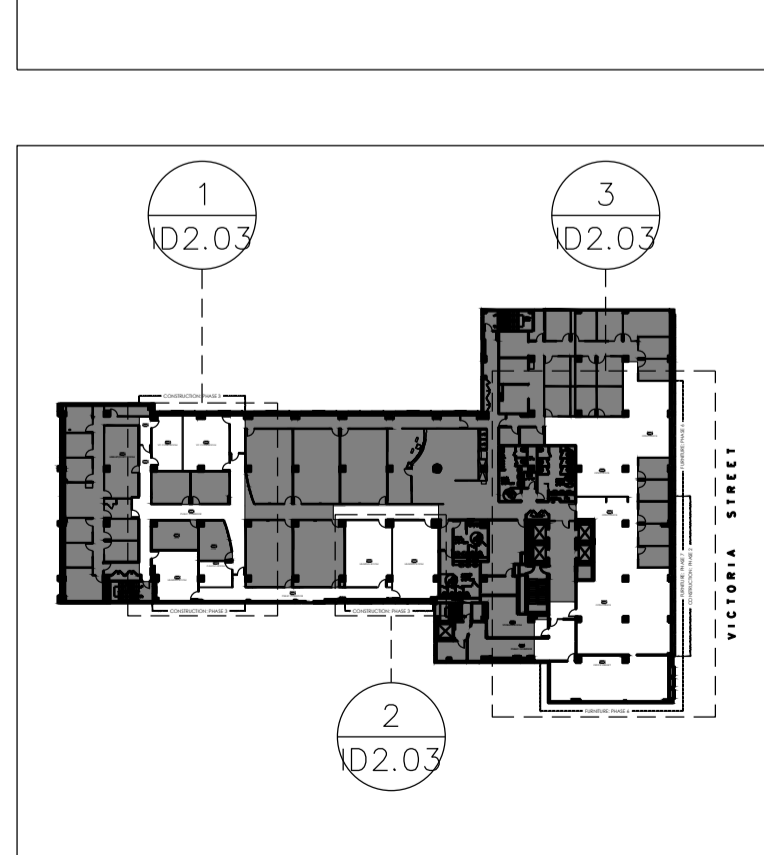
### FURNITURE AND EQUIPMENT PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES 'PLAN NOTE 'A'

A. ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.

B. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.

TOTAL NEW WORKSTATIONS: 40



KEY PLAN NTS

**Canada**

**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1118 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA, M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0526

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
FIRM NAME BCIN

05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.
B	B No. du detail drawing no. - where detailed dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**2ND FLOOR FURNITURE AND EQUIPMENT FLOOR PLAN**

drawn by  
dessiné par **JN**

designed by  
conc par **LM/JR**

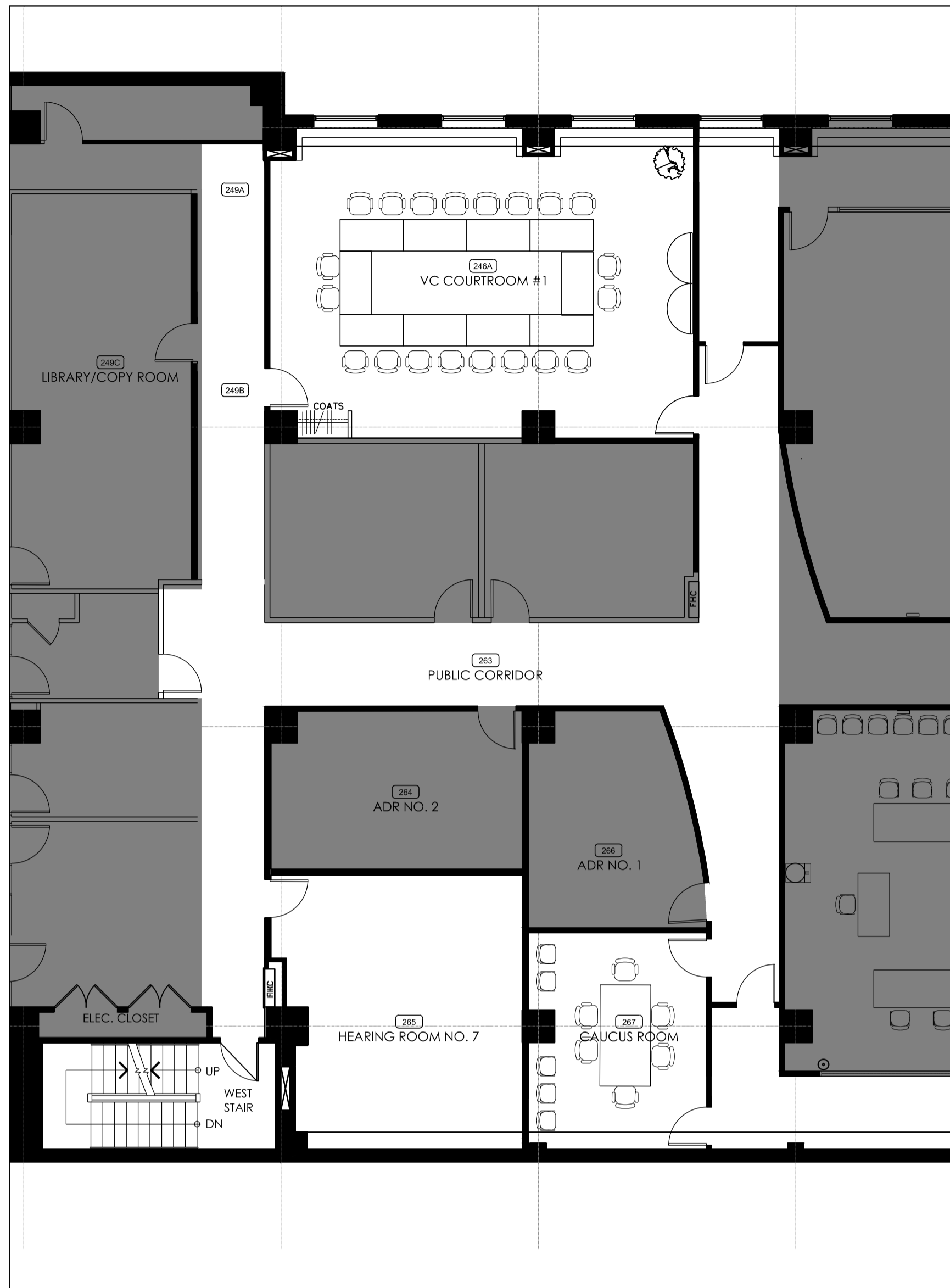
approved by  
approuvé par

bid  
offre project manager  
administrateur de projets

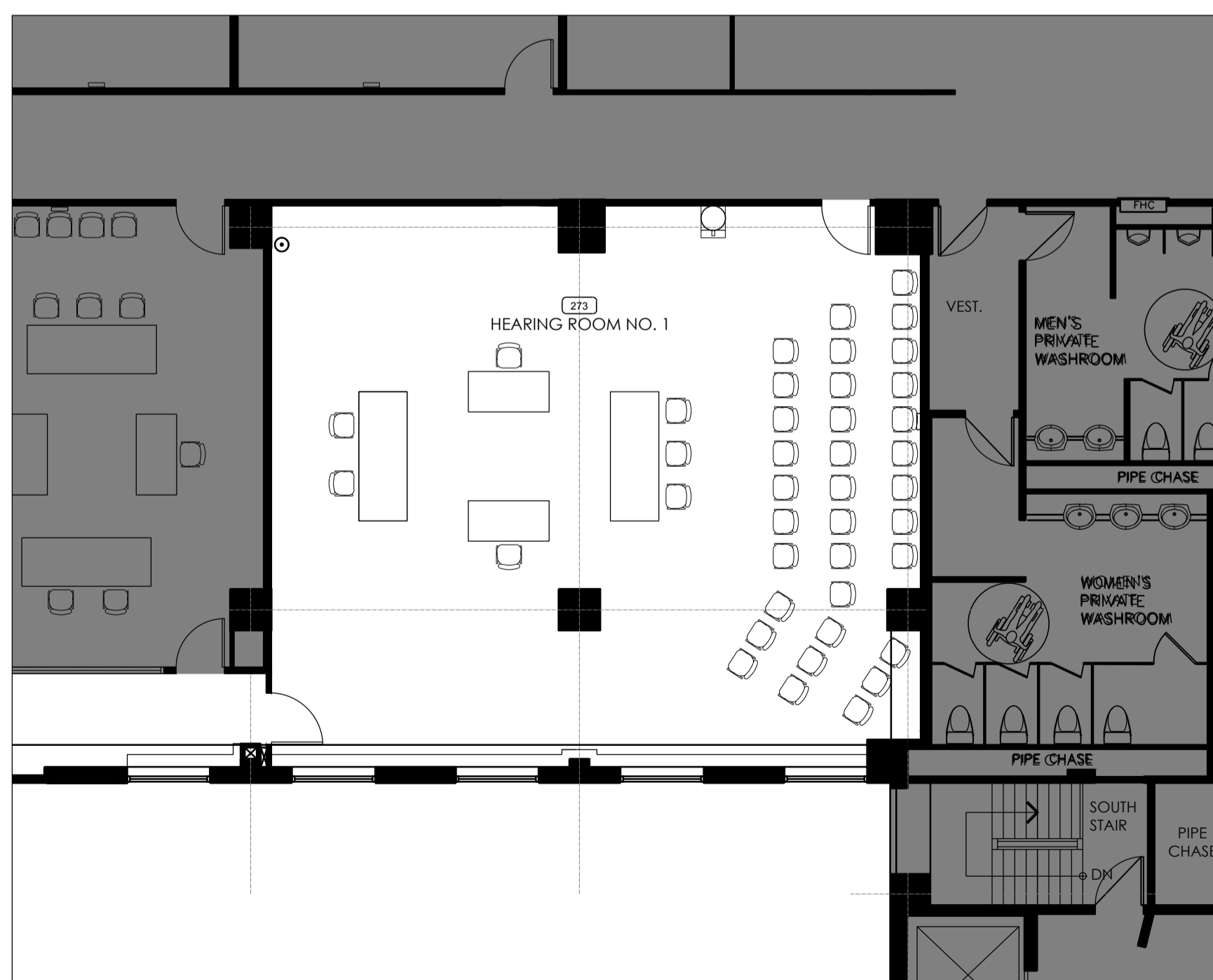
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

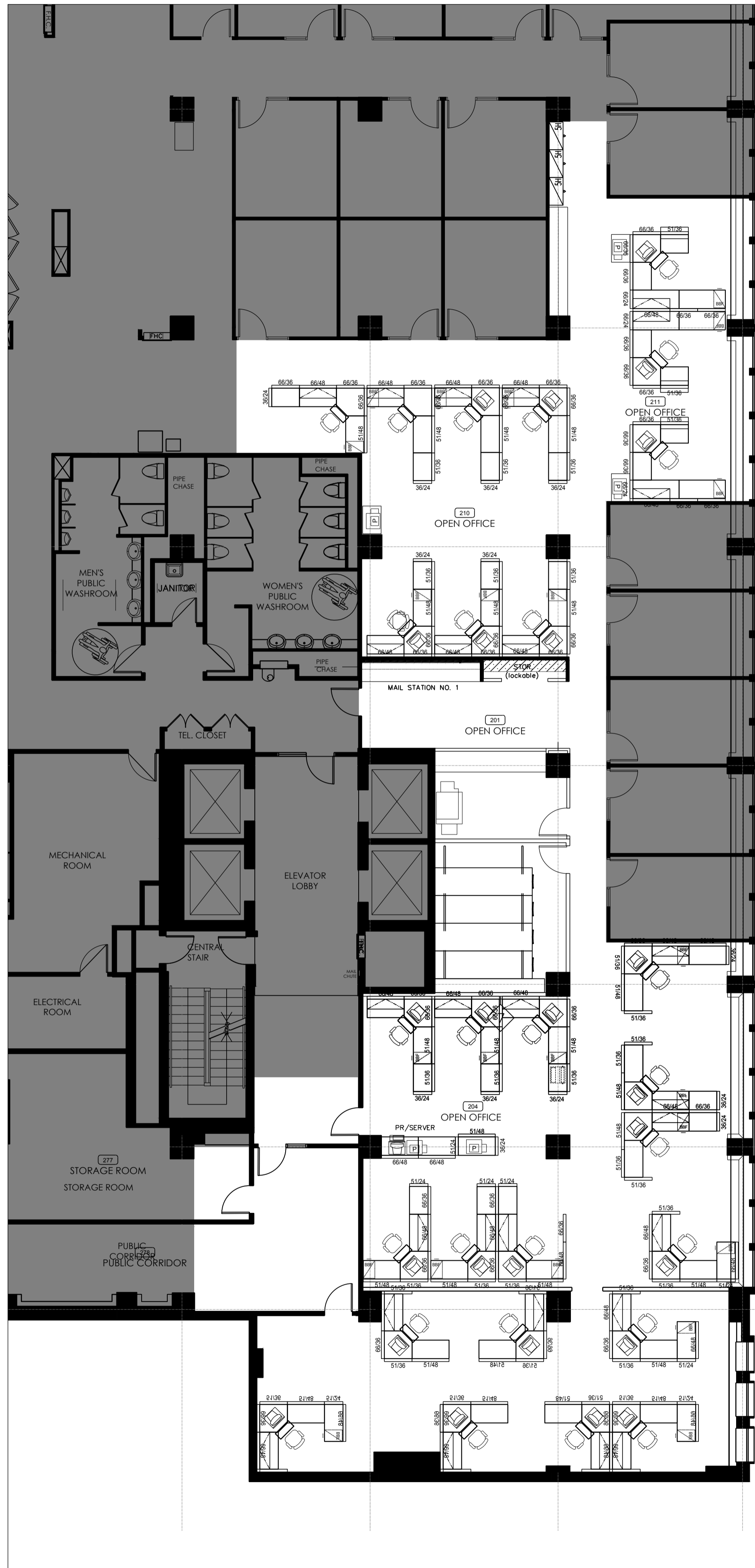
drawing no.  
dessiné no. **ID2.03A**



1 PLAN: WEST YONGE SIDE  
 Q2.03B SCALE: 1:100

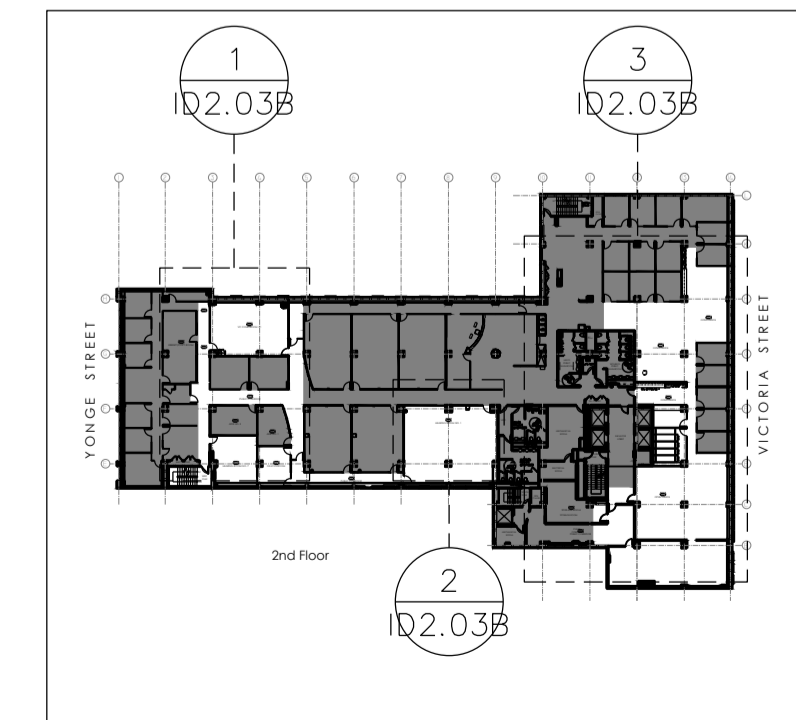


2 PLAN: SOUTH ADELAIDE SIDE  
 Q2.03B SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
 Q2.03B SCALE: 1:100

VICTORIA STREET



KEY PLAN

NTS



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.  
**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code  
 NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.11 of the 2006 Ontario Building Code  
 X-DESIGN INC. 29386 BCIN  
 FIRM NAME: [Blank] ECIN: [Blank]



04		
03		
02	ISSUED FOR PERMIT & TENDER	16NOV18
01	ISSUED FOR 100% REVIEW	01NOV18
revision		date

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A Detail No.  
 B drawing no. - where detailed  
 dessin no. - ou detaillé

project title / titre du projet: IRB CANADA Ontario  
 74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: 2ND FLOOR FURNITURE AND EQUIPMENT AS-BUILTS

drawn by / dessiné par: JN

designed by / conçu par: LM/JR

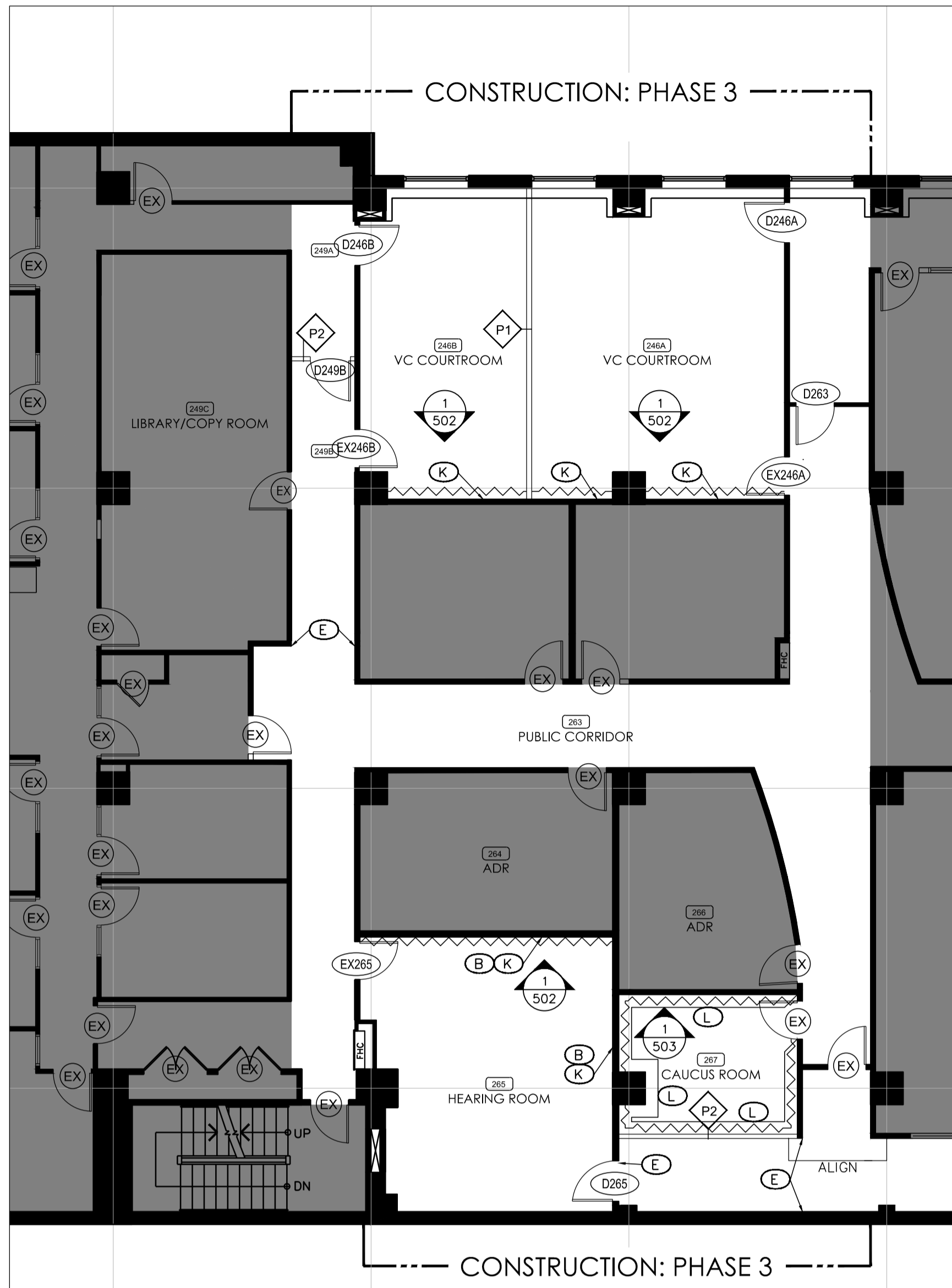
approved by / approuvé par:

bid / offre: project manager / administrateur de projets

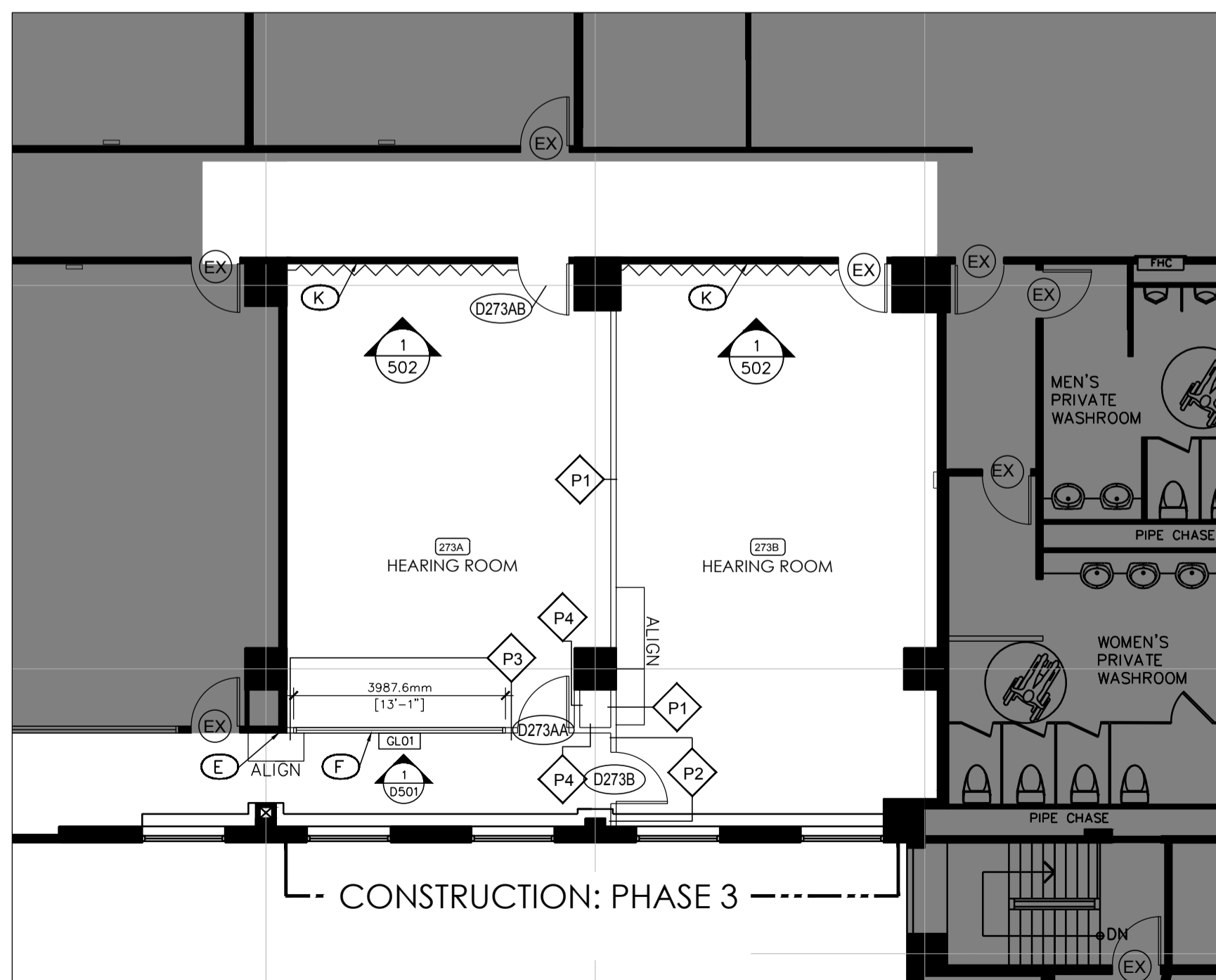
project date / date du projet: 2018-11-01

project no. / no. du projet: 18208.00

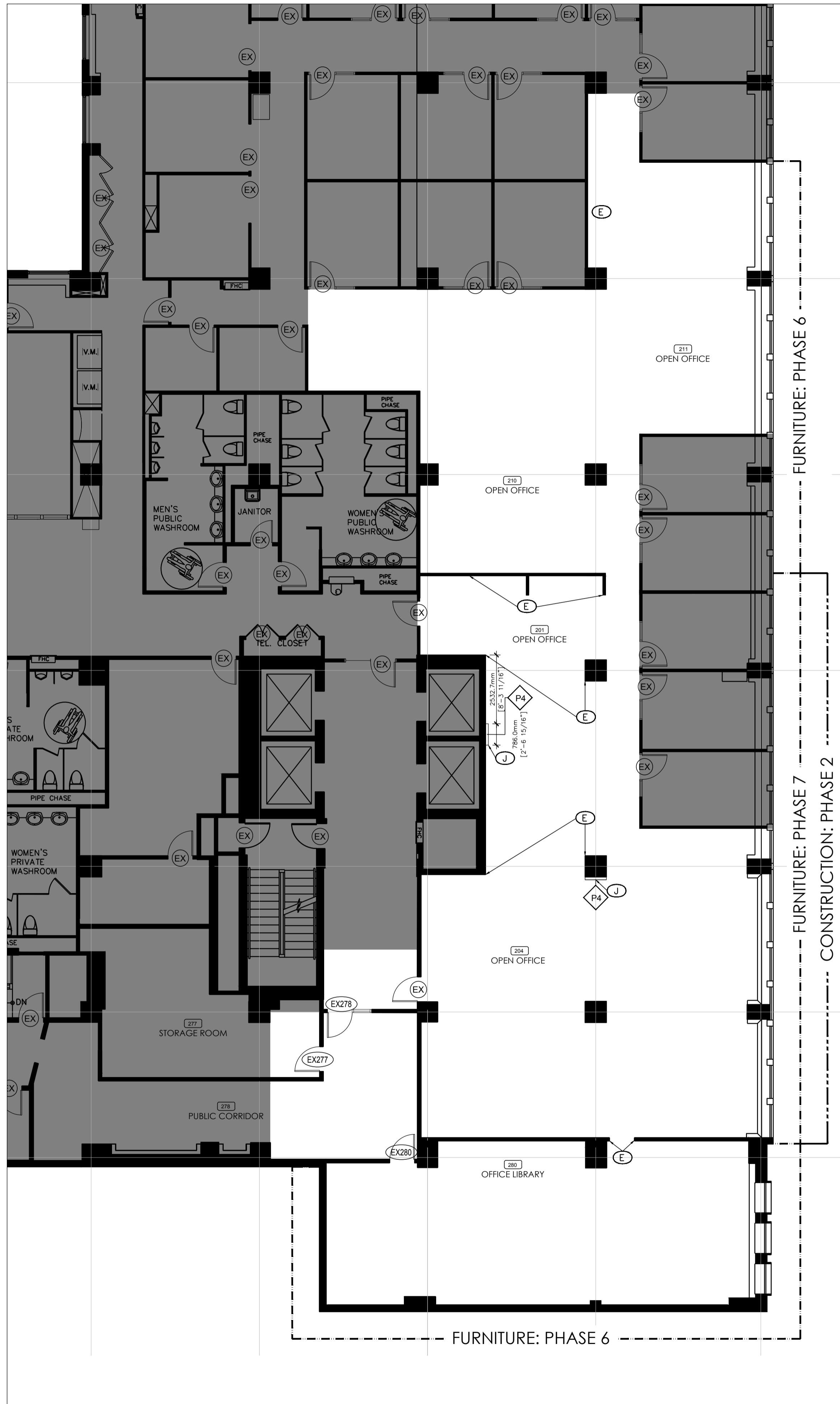
drawing no. / dessin no.: ID2.03B



1 PLAN: WEST YONGE SIDE  
D2.04 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.04 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.04 SCALE: 1:100

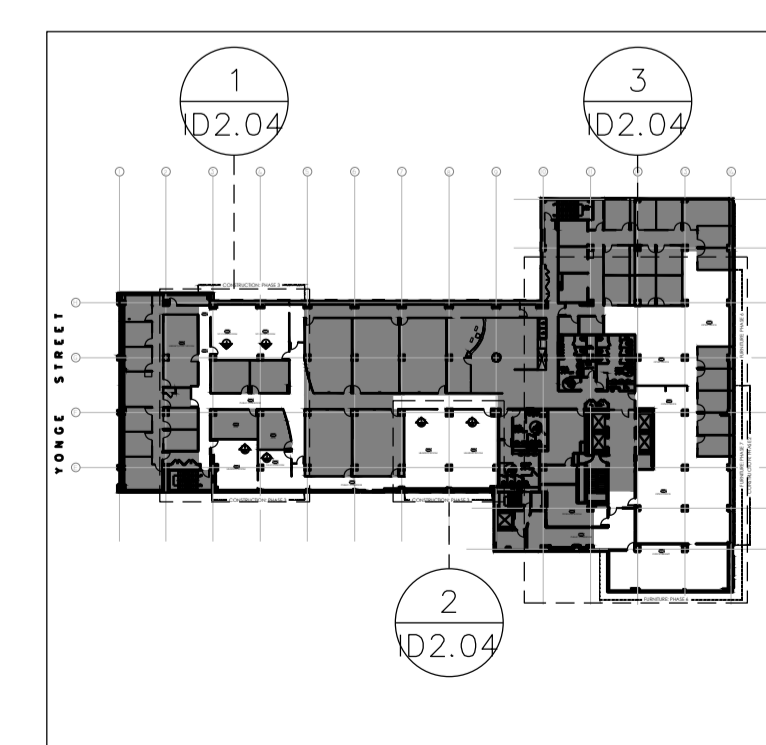
### PARTITION PLAN LEGEND

- AREA NOT IN CONTRACT
- ### ROOM OR AREA NUMBER
- EX EXISTING DOOR TO REMAIN
- XXX DOOR NUMBER REFER TO DOOR AND FRAME SCHEDULE FOR DOOR AND HARDWARE SPECIFICATION
- EXISTING STRUCTURE AND PARTITION TO REMAIN. WALLS IN CONTRACT AREA THAT ARE TO REMAIN, TO BE PATCHED AND REPAIRED WHERE NEEDED DUE TO DEMOLITION. MAKE GOOD WALLS TO RECEIVE NEW FINISHES.
- P1 PARTITION TYPE P1-- REFER TO DETAIL D101. NEW PARTITION TO MATCH EXISTING. SITE VERIFY ALL CONDITIONS. SEE PROJECT MANUAL FOR SPECIFICATIONS.
- P2 PARTITION TYPE P2-- REFER TO DETAIL D102. NEW PARTITION TO MATCH EXISTING. SITE VERIFY ALL CONDITIONS. SEE PROJECT MANUAL FOR SPECIFICATIONS.
- P3 PARTITION TYPE P3-- REFER TO DETAIL D103. NEW PARTITION TO MATCH EXISTING. SITE VERIFY ALL CONDITIONS. SEE PROJECT MANUAL FOR SPECIFICATIONS.
- P4 PARTITION TYPE P4-- REFER TO DETAIL D104. NEW PARTITION TO MATCH EXISTING. SITE VERIFY ALL CONDITIONS. SEE PROJECT MANUAL FOR SPECIFICATIONS.
- GL01 NEW GLAZING TO BE INSTALLED. GLAZING FILM TO MATCH EXISTING TO BE SITE VERIFIED.
- X XXX ELEVATION BUBBLE
- ALIGN ALIGN FINISHED SURFACES
- PROVIDE BLOCKING IN WALLS FOR MILLWORK SUPPORT. REMOVE DRYWALL FROM EXISTING PARTITIONS AND RE-INSTALL AFTER BLOCKING INSTALLATION.

### PARTITION PLAN NOTES

NOTE REFERENCES  
NOTE "A" DENOTES NOTE "A"  
NOTE "A" DENOTES "PLAN NOTE A"

- A. CONTRACTOR TO ENSURE THAT ALL CORE WALLS MAINTAIN THEIR INTEGRITY AFTER DEMOLITION. PATCH, REPAIR AND SEAL ANY HOLES WHERE NEEDED WITH FIRE RATED COMPOUND.
- B. EXISTING PARTITIONS NOTED TO BE UPGRADED TO MATCH PARTITION TYPE P1 IE. SLAB TO SLAB W/ INSULATION ETC. REMOVE CEILING AS REQUIRED FOR ACCESS.
- C. SINK ALL EXISTING CORE WALLS WHERE WALLCOVERING HAS BEEN REMOVED. PATCH, PRIME AND MAKE GOOD TO RECEIVE NEW FINISHES.
- D. REFER TO ENGINEER'S DRAWINGS FOR THERMOSTATS REMOVAL AND RELOCATION. PATCH, REPAIR AND PRIME WALLS AND COLUMNS WHERE THERMOSTATS HAVE BEEN REMOVED AND RELOCATED. THERMOSTATS REMOVED FROM WALLS THAT HAVE BEEN REMOVED TO BE COOLED AT THE CEILING.
- E. PATCH, REPAIR AND PRIME ALL CORE WALLS, COLUMNS, DEMOLITION, MILLWORK, EXTERIOR WALLS. EXISTING WALLS TO REMAIN WHERE REBUNDANT ELECTRICAL OUTLETS, SWITCHES AND DATA/COMMUNICATION OUTLETS HAS BEEN REMOVED. EXISTING STANDARD ELECTRICAL OUTLETS LOCATED ON COLUMNS AND CORE WALLS TO REMAIN ACTIVE.
- F. CONTRACTOR TO PROVIDE 12" OF CLERESTORY GLASS TO INDICATED PARTITION IN HM FRAME.
- G. RESERVED.
- H. RESERVED.
- I. ALL NEW DOORS TO BE PRIMED BEFORE PAINTING. DOORS MUST BE SHOP FINISHED BEFORE INSTALLATION.
- J. NEW WALL FURRING FOR NEW ELECTRICAL REFER TO POWER AND COMMUNICATIONS PLANS FOR DETAILS.
- K. SUPPLY AND INSTALL NEW MILLWORK HEADREST WALL PROTECTION. REFER TO ELEVATIONS FOR DETAILS.
- L. SUPPLY AND INSTALL NEW MILLWORK CHAIR RAIL. REFER TO ID2.07 AND ELEVATIONS FOR DETAILS.



KEY PLAN NTS

**Canada**

**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1118 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA, M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0526

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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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X-DESIGN INC. 29386  
FIRM NAME BCIN

**ARIDO**  
GREG QUINN  
Association of Registered Interior Designers of Ontario

04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUED FOR 100% REVIEW	01NOV18
01	ISSUED FOR ENGINEERS	18OCT18
revision		date

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B	B No. du détail drawing no. - where detailed dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

**N**

drawing title  
titre du dessin  
**2ND FLOOR PARTITION FLOOR PLAN**

drawn by  
dessiné par **JN**

designed by  
conçue par **LM/JR**

approved by  
approuvé par

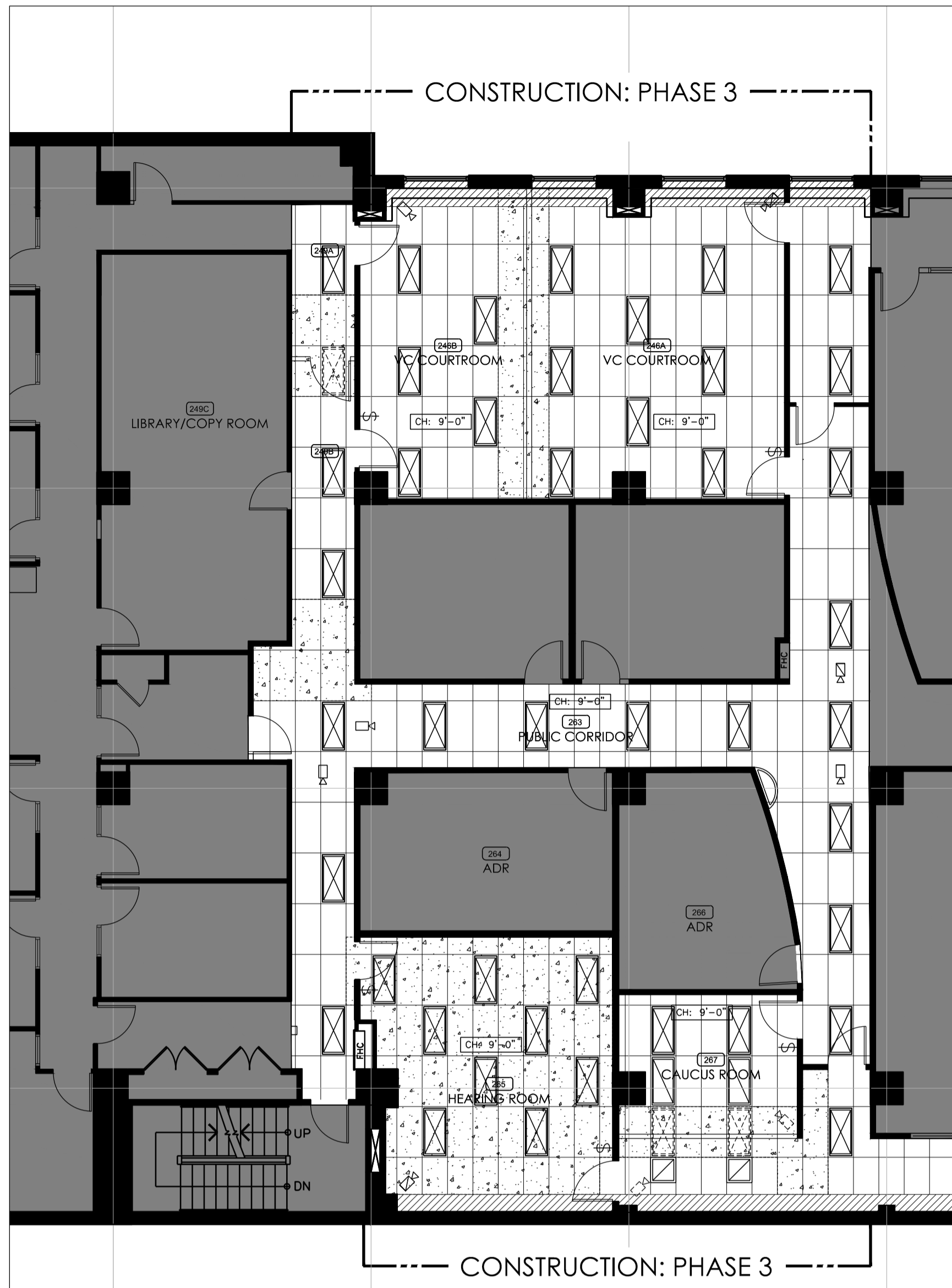
bid  
offre

project manager  
administrateur de projets

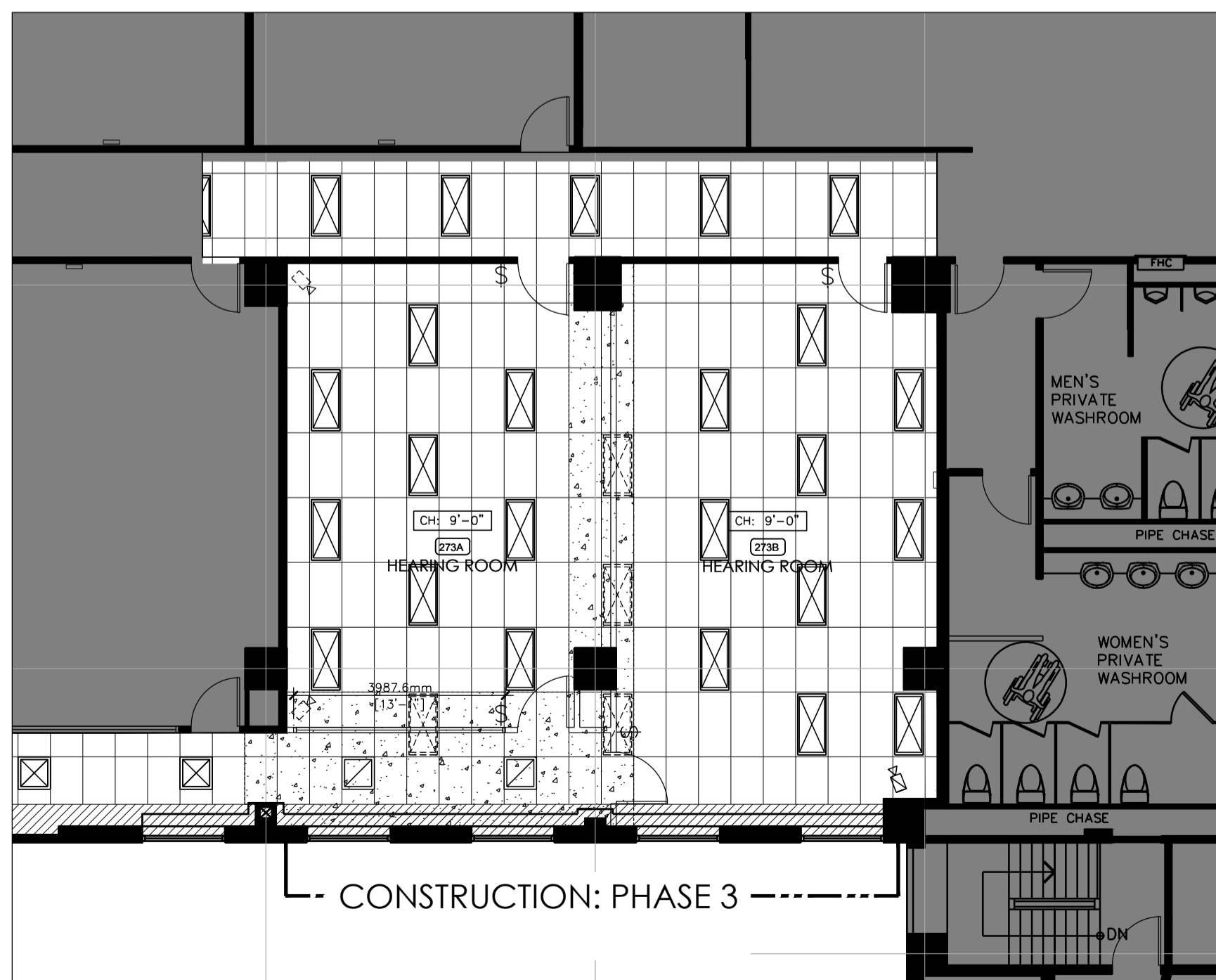
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

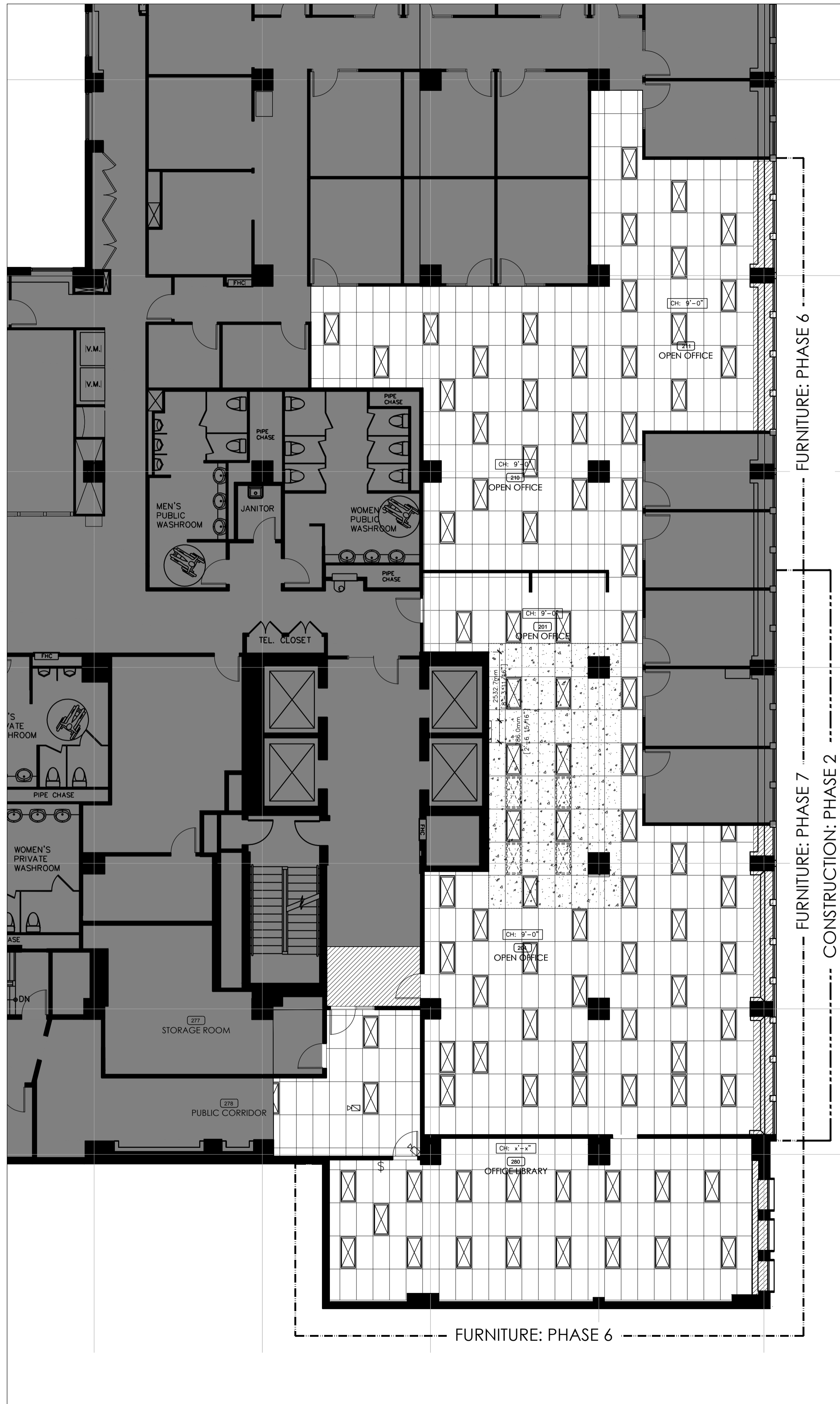
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dessiné no. **ID2.04**



1 PLAN: WEST YONGE SIDE  
D2.05 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.05 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.05 SCALE: 1:100

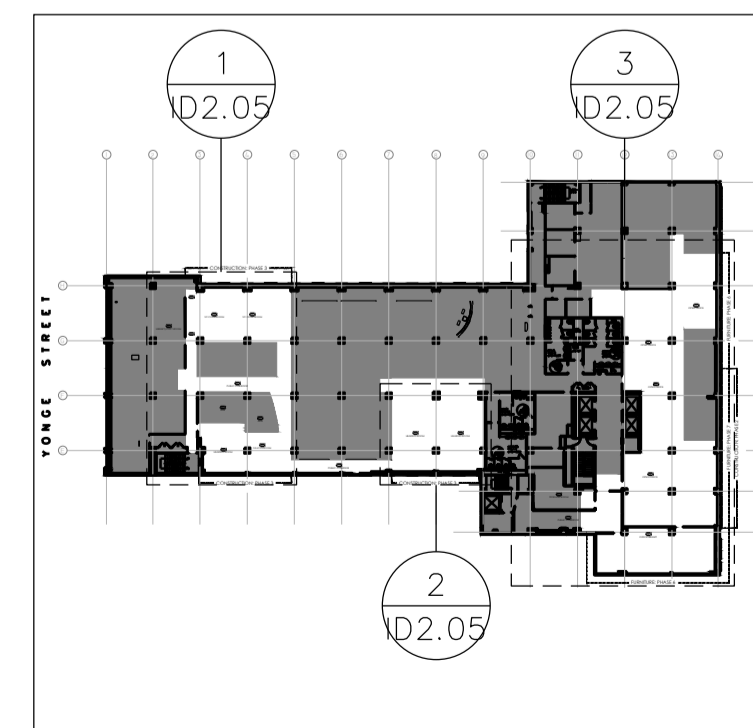
### REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING DRYWALL BULKHEAD
- EXISTING ACOUSTICAL CEILING TILE TO REMAIN. REPLACE DAMAGED T-BAR AND TILES. PROVIDE ALLOWANCE OF 20% FOR SUPPLY AND INSTALL OF T-BAR GRID AND CEILING TILES FOR REPLACEMENT IN ADDITION TO SPECIFIC AREAS NOTED. MATCH BASE BUILDING STANDARD.
- AREA OF NEW CEILING TILE AND GRID WHERE DEMOLITION HAS OCCURRED.
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS.
- EXISTING FLUORESCENT LIGHTING FIXTURE TO BE REMOVED AND DISPOSED OF. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE TO MATCH EXISTING. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE
- EXISTING FLUORESCENT LIGHTING FIXTURE
- ROOM OR AREA NUMBER
- CEILING HEIGHT
- ELECTRICAL SWITCH. REFER TO ENGINEER'S DRAWING FOR SPECIFICATIONS.
- NEW SECURITY CAMERA. REFER TO ENGINEER'S DRAWINGS FOR DETAILS.
- EXISTING SECURITY CAMERA. REFER TO ENGINEER'S DRAWINGS FOR DETAILS.
- SECURITY CAMERA TO BE REMOVED OR RELOCATED. REFER TO ENGINEER'S DRAWINGS FOR DETAILS.

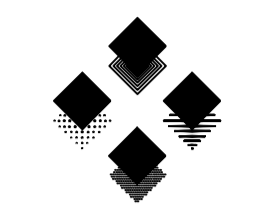
### REFLECTED CEILING PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES 'PLAN NOTE A'

- A. PAINT ALL DRYWALL CEILING & BULKHEADS IN CONTRACT AREA FLAT WHITE UNLESS OTHERWISE NOTED.
- B. PROVIDE ALLOWANCE OF 20% NEW CEILING GRID & TILE, IN ADDITION TO AREAS NOTED ON PLAN.  
CONTRACTOR TO INCLUDE IN THEIR SCOPE OF WORK ALL CEILING MODIFICATIONS I.E. CUTTING, PATCHING, REMOVAL AND REPLACEMENT OF CEILING TILES RELATING TO MECHANICAL WORK IN ALL AFFECTED AREAS AS OUTLINED ON MECHANICAL DRAWINGS.
- C.



KEY PLAN NTS



**INTERGEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-262-4610 FAX: 416-462-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046 BCIN  
NAME SIGNATURE

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN  
FIRM NAME



04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUE FOR 100% REVIEW	01NOV18
01	ISSUE FOR ENGINEERS	18OCT18
revision		date

Do not scale drawings.  
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A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**2ND FLOOR  
REFLECTED CEILING  
FLOOR PLAN**

drawn by  
dessiné par **JN**

designed by  
conçue par **LM/JR**

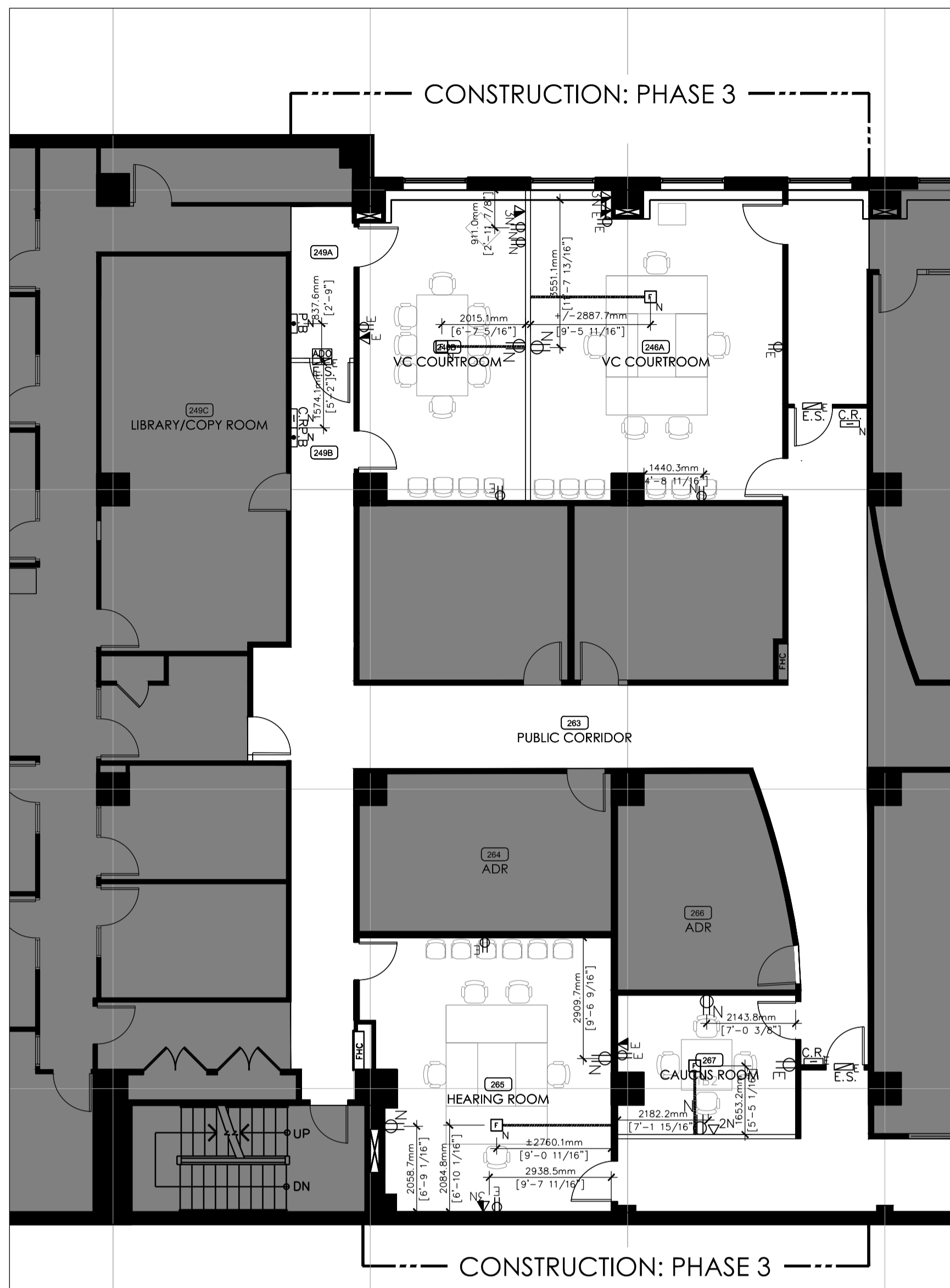
approved by  
approuvé par

bid  
offre project manager  
administrateur  
de projets

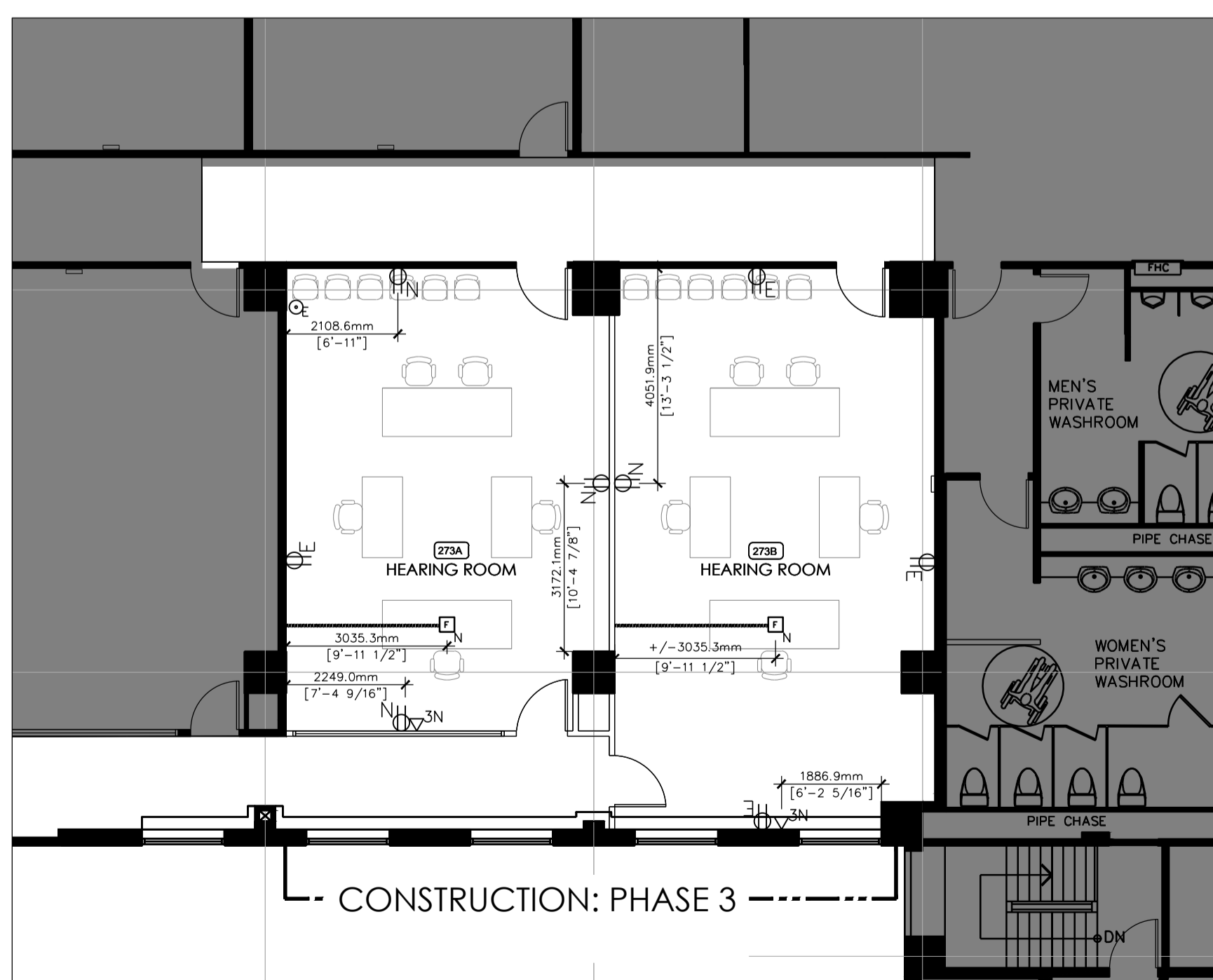
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

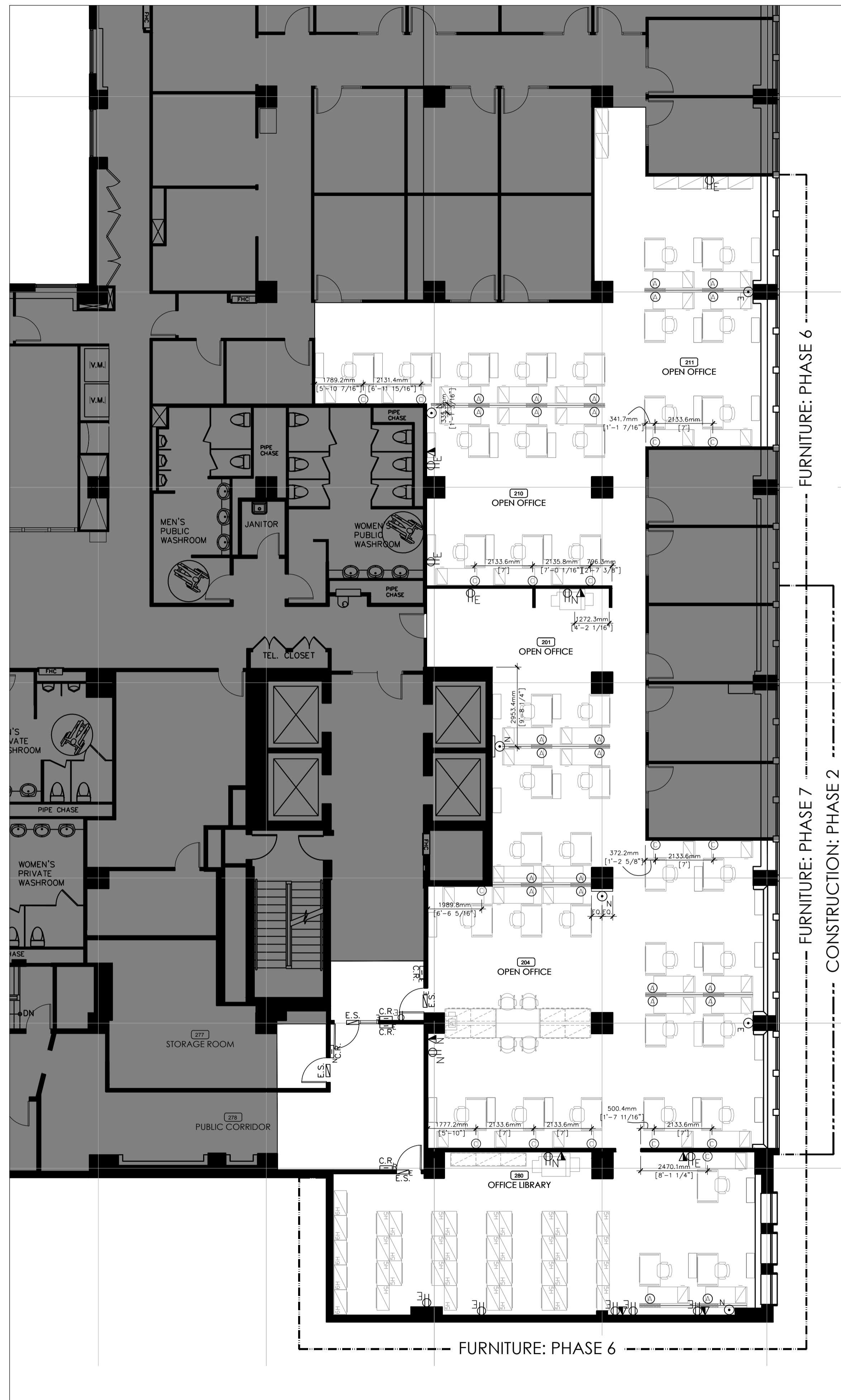
drawing no.  
dessiné no. **ID2.05**



1 PLAN: WEST YONGE SIDE  
D2.06 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.06 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.06 SCALE: 1:100

### POWER AND COMMUNICATION PLAN LEGEND

- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- 
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### POWER AND COMMUNICATION NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'

A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.

B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PERIMETER WALLS, CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.

### POWER AND COMMUNICATIONS FLOOR PLAN

KEY PLAN

NTS

**Canada**

**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1136 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0526

**ARIDO**  
GREG QUINN  
Association of Registered Interior Designers of Ontario

05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
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01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.	
B	B No. du detail drawing no. - where detailed dessin no. - ou detaille	

project title / titre du projet: **IRB CANADA** Ontario

74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: **2ND FLOOR POWER AND COMMUNICATIONS FLOOR PLAN**

drawn by / dessiné par: **JN**

designed by / conçu par: **LM/JR**

approved by / approuvé par:

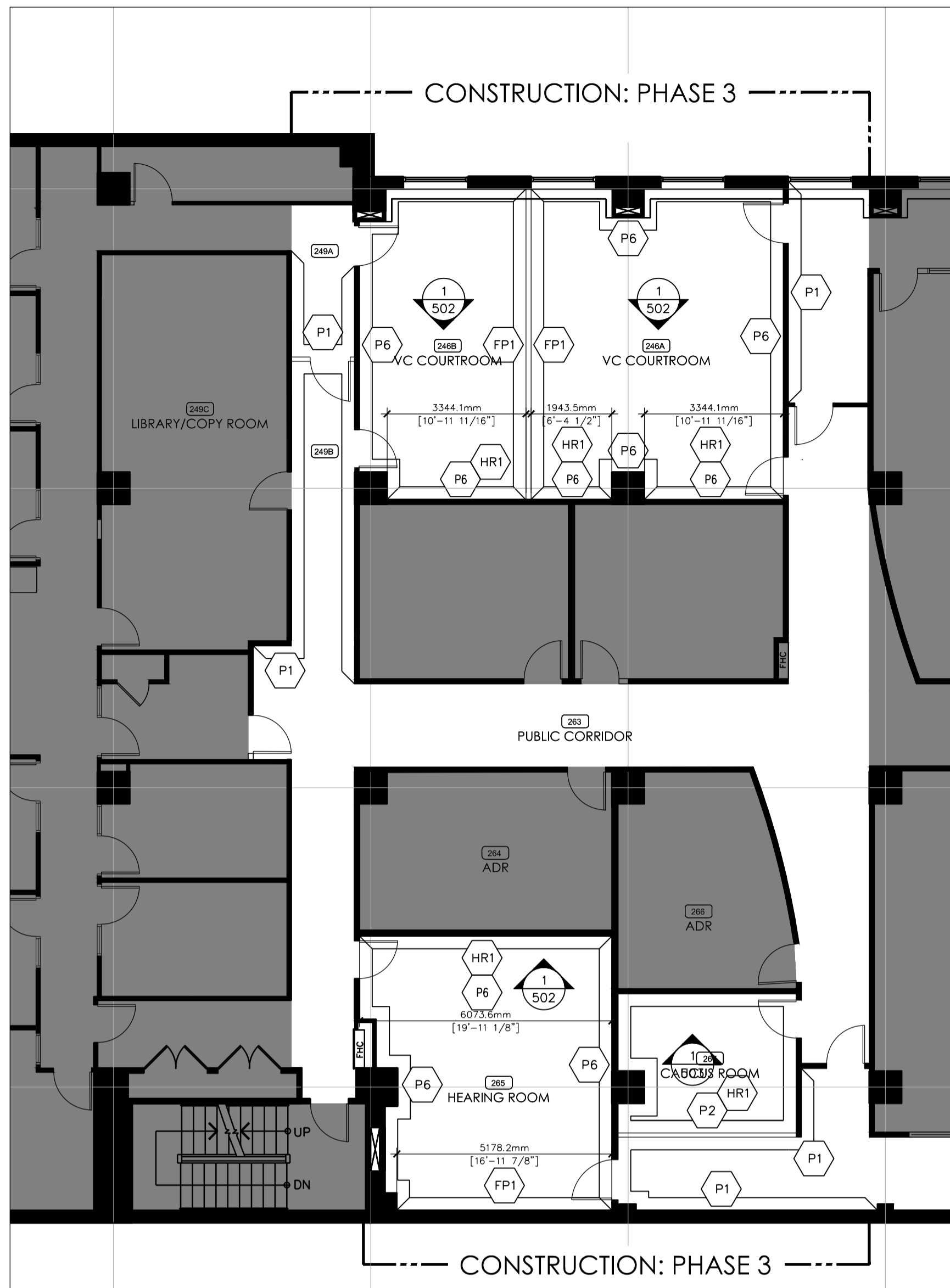
bid / offre: project manager / administrateur de projets

project date / date du projet: **2018-11-01**

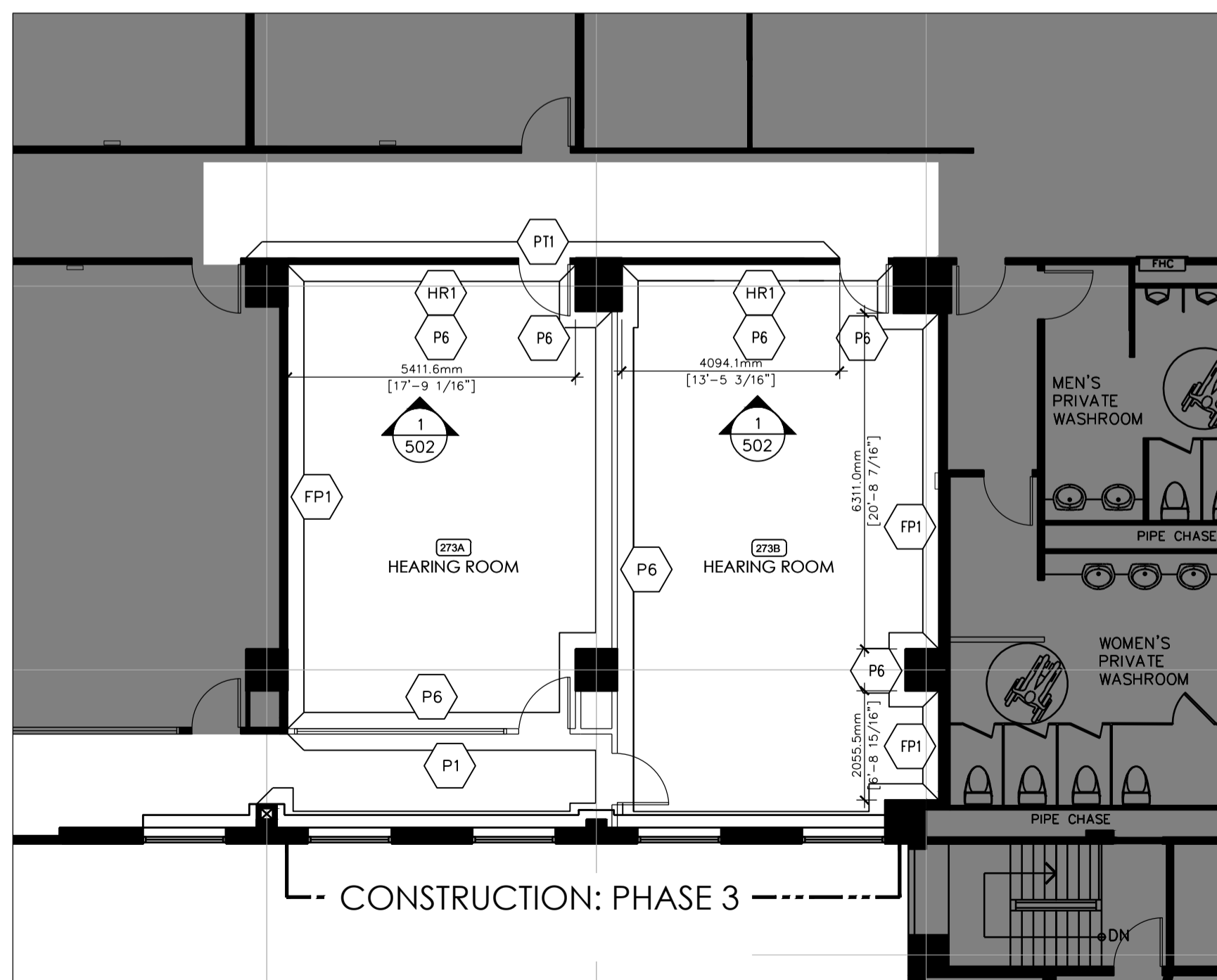
project no. / no. du projet: **18208.00**

drawing no. / dessiné no.: **ID2.06**

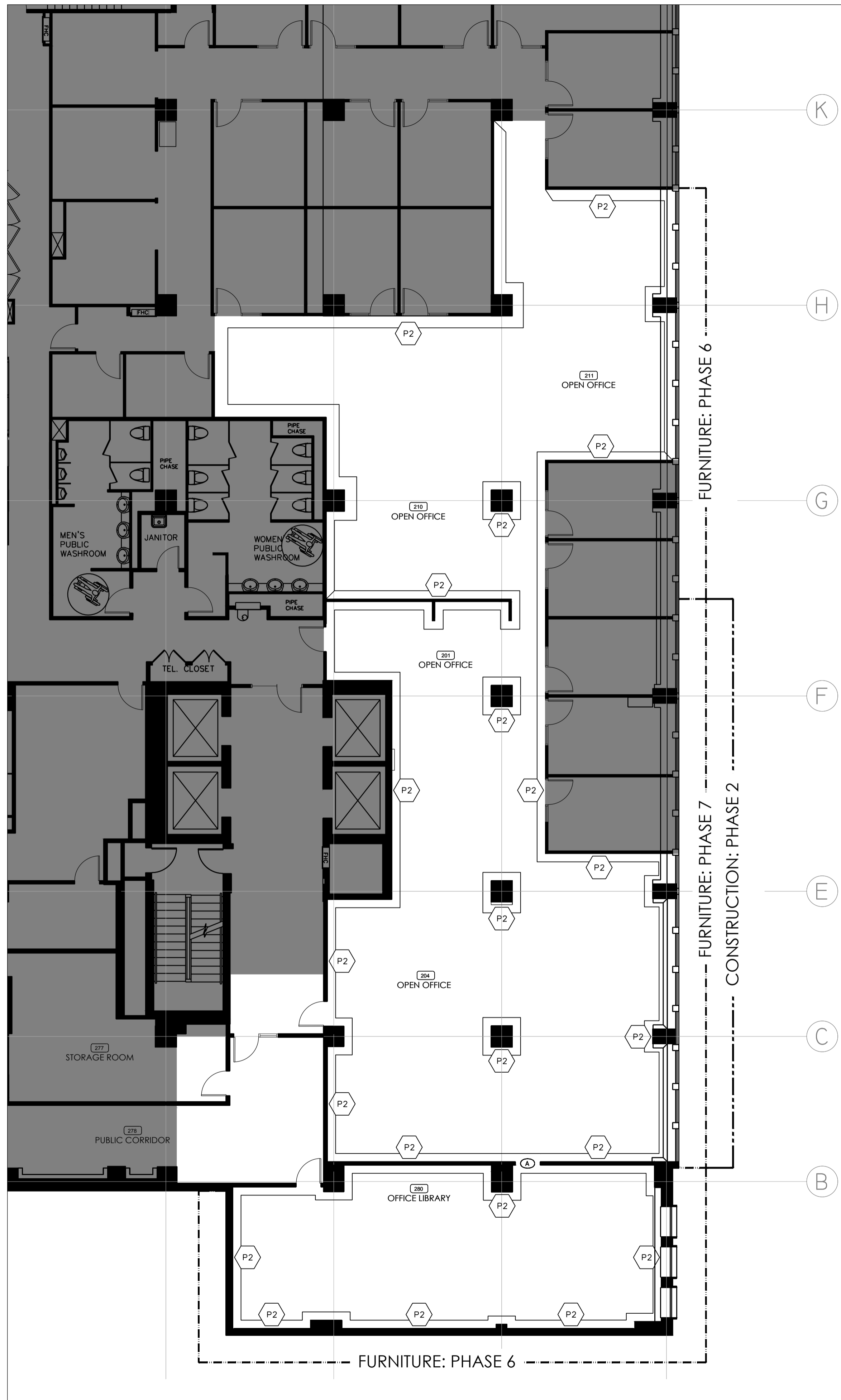




1 PLAN: WEST YONGE SIDE  
D2.07 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.07 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.07 SCALE: 1:100

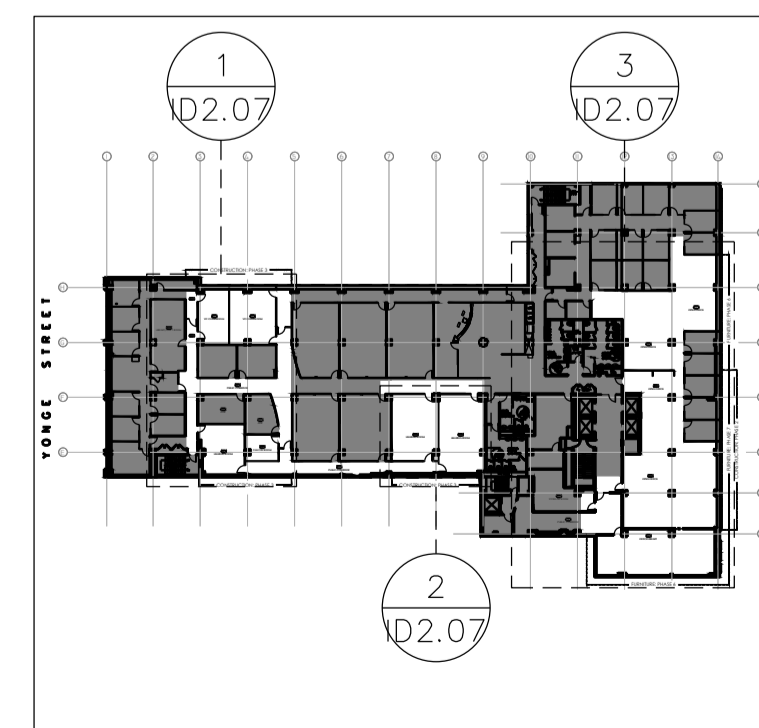
WALL FINISHES PLAN LEGEND

- AREA NOT IN CONTRACT
- XXXX ROOM NUMBER
- P1 WALL PAINT 1. TO MATCH EXISTING.
- P2 WALL PAINT 2. GENERAL WALL PAINT. REFER TO FINISHES SCHEDULE FOR DETAILS.
- P3 RESERVED.
- P4 RESERVED.
- P5 RESERVED.
- P6 WALL PAINT 5. ACCENT WALL PAINT AND DOOR FRAME. REFER TO FINISHES SCHEDULE FOR DETAILS.
- FP1 ACOUSTICAL FELT PANEL. REFER TO FINISHES SCHEDULE FOR DETAILS.
- HR1 HEAD REST/ CHAIR RAIL 1. REFER TO FINISHES SCHEDULE AND ELEVATIONS FOR DETAILS.

WALL FINISHES PLAN NOTES

- NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'
- A. ALL WALLS IN CONTRACTED AREA TO BE PAINTED AS NOTED.
  - B. EXISTING DOORS AND FRAMES IN CONTRACTED AREA TO BE REPAINTED. REFER TO DOOR AND HARDWARE SCHEDULE.
  - C. REPAINT EXISTING CONVECTORS IN SEMI GLOSS FINISH AS NOTED.
  - D. ALL EXISTING WINDOW BLINDS TO BE CLEANED & BE IN WORKING ORDER IN CONTRACTED AREA.
  - E. PAINT WIREMOLD PT2 IN SEMI GLOSS FINISH. REFER TO POWER AND COMMUNICATIONS DRAWINGS D2.06 FOR DETAILS.
  - F. DOORS IN ROOMS 246A, 246B, 265, 267, 273A & 273B. PAINT DOORS P6 AND FRAMES P5 INTERIOR SIDES ONLY.

KEY PLAN



NTS



1135 DUNDAS STREET EAST, SUITE 900  
TORONTO, ONTARIO, CANADA M4M 1P9  
TEL: 416-362-4610 FAX: 416-462-0526

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QUALIFICATION INFORMATION  
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GREG QUINN 26046  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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X-DESIGN INC. 29386  
FIRM NAME BCIN



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revision		date

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B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
IRB CANADA Ontario  
74 VICTORIA STREET  
TORONTO ON



drawing title  
titre du dessin  
2ND FLOOR  
WALL FINISHES PLAN

drawn by  
dessiné par JN

designed by  
conc par LM/JR

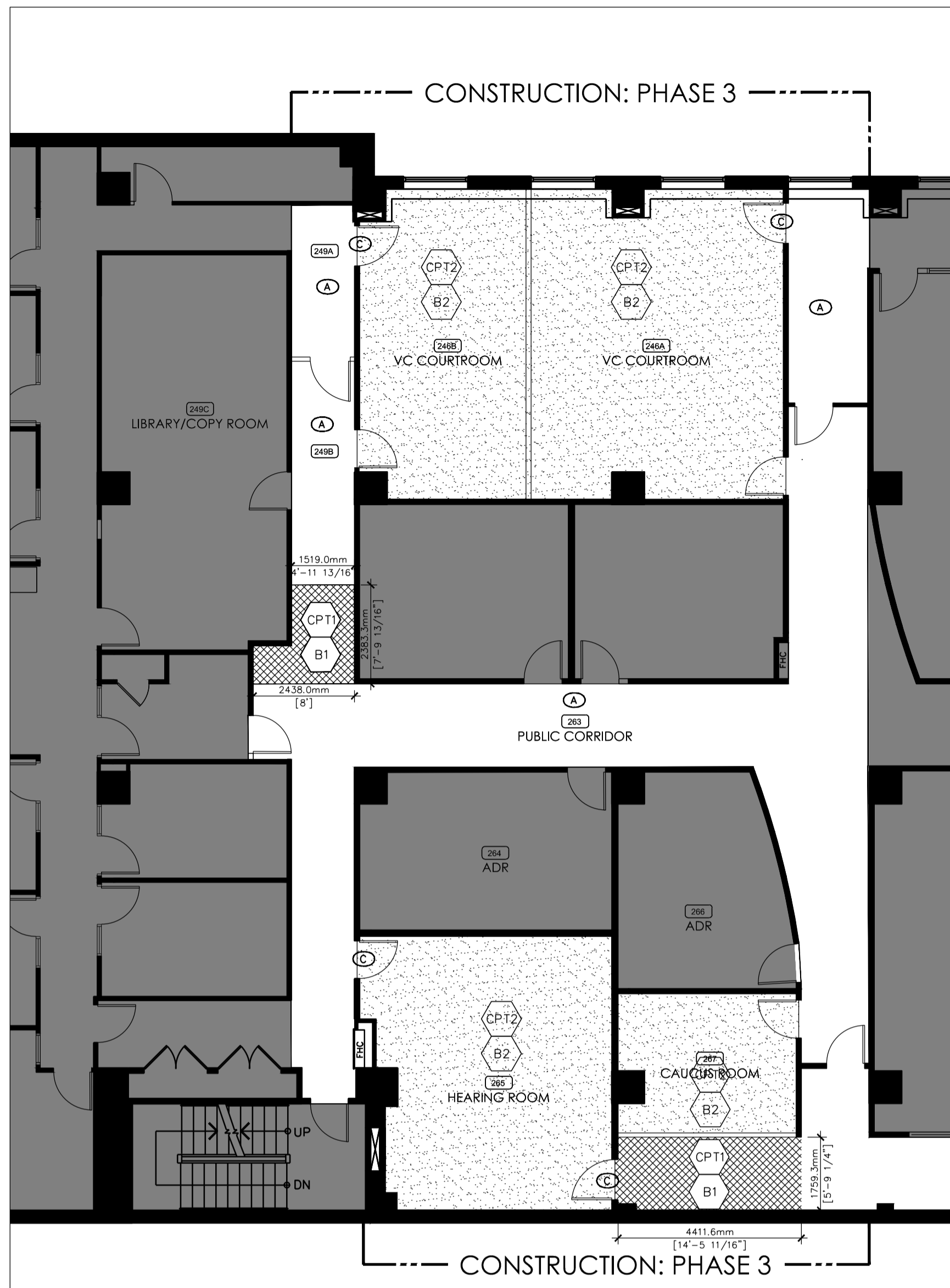
approved by  
approuvé par

bid  
offre project manager  
administrateur de projets

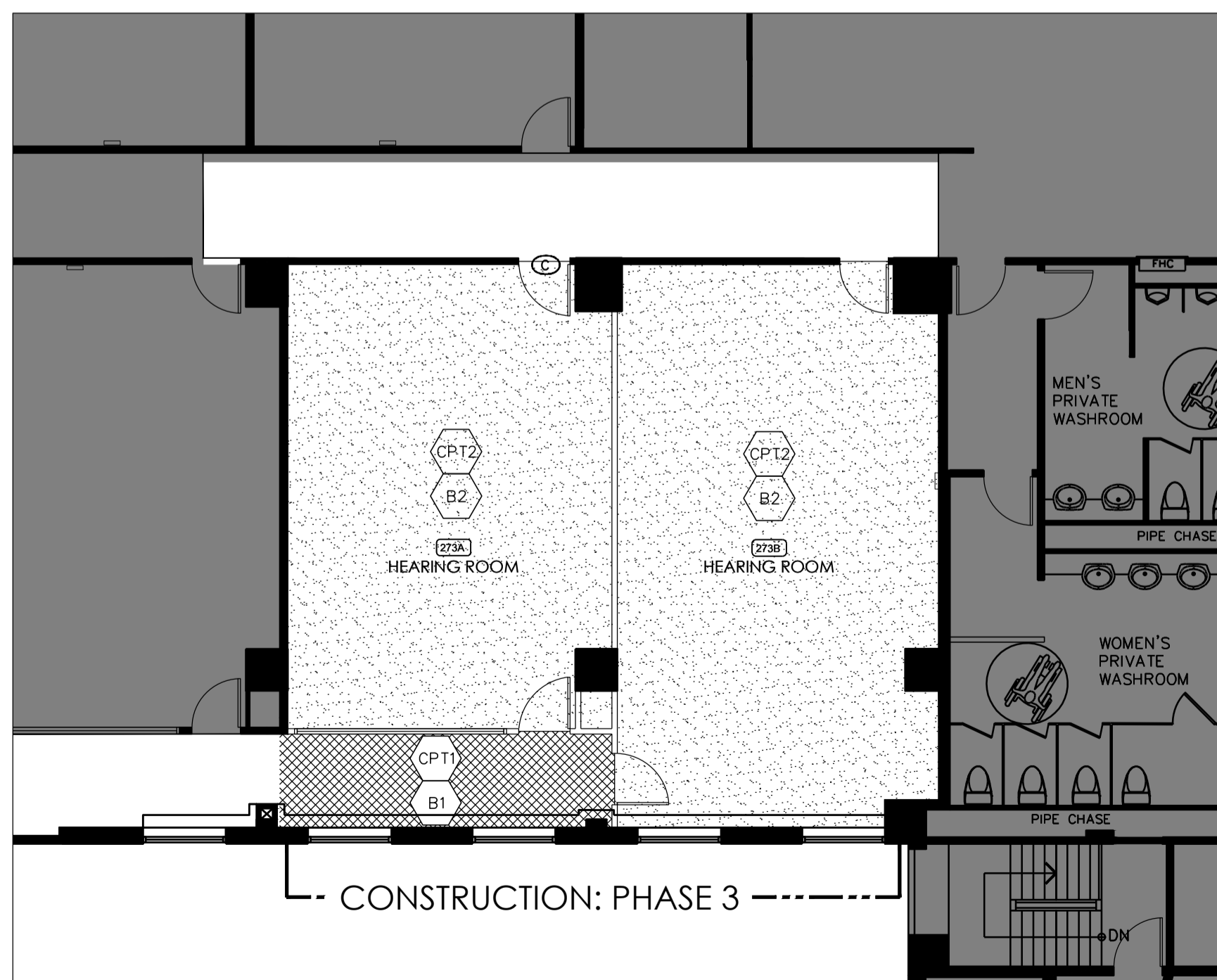
project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

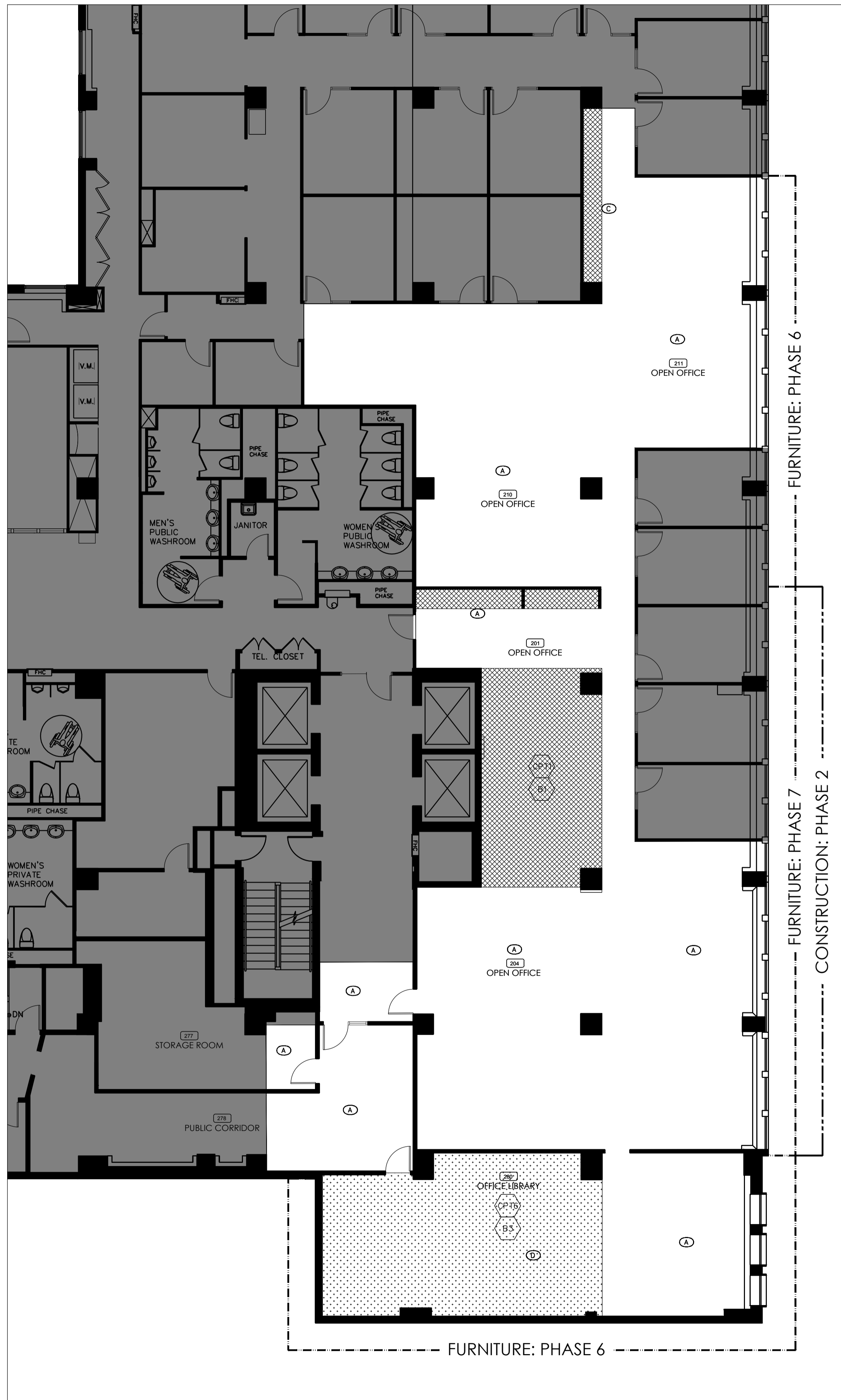
drawing no.  
dessiné no. ID2.07



1 PLAN: WEST YONGE SIDE  
D2.08 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D2.08 SCALE: 1:100



3 PLAN: EAST VICTORIA SIDE  
D2.08 SCALE: 1:100

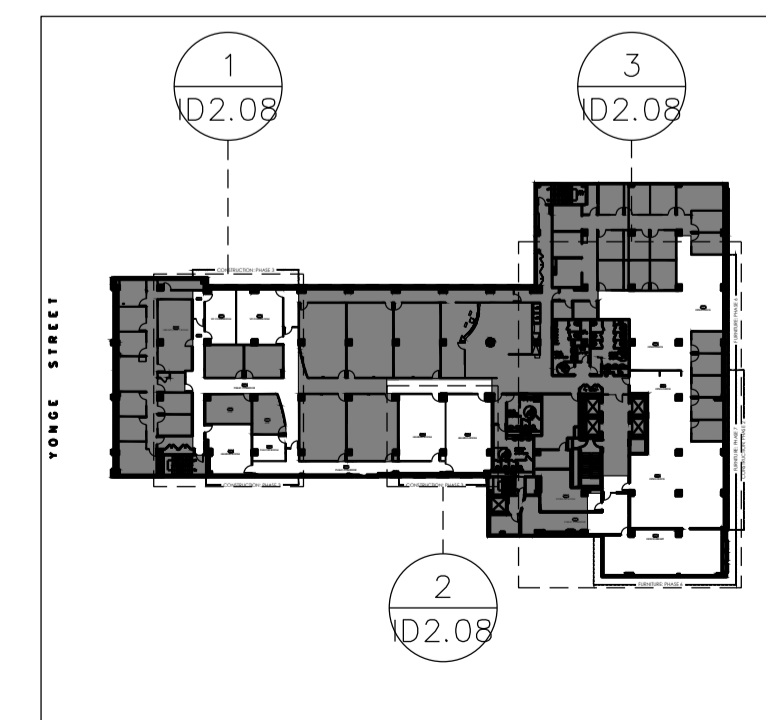
### DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- ROOM NUMBER
- CPT1- CONTRACTOR TO REINSTALL EXISTING CARPET FROM ROOMS 273 A AND 273B AND USE SAME INSTALLATION METHOD TO MATCH EXISTING CORRIDOR.
- CPT2- CARPET TILE 2. REFER TO FINISHES SCHEDULE FOR DETAILS.
- CPT3- SALVAGED CARPET TILES FROM 7TH FLOOR
- B1- BASE 1 4" CARPET BOUND CARPET BASE TO BE COORDINATED WITH CPT1 EXISTING CARPET.
- B2- BASE 2 4" FABRIC BOUND CARPET TO BE COORDINATED WITH CPT2. 4" HIGH
- B4- BASE 3 4" VINYL TOELESS BASE.

### FLOOR FINISHES PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'

- A ALL INDICATED AREAS TO REMAIN AS IS. CONTRACTOR TO PROTECT AREAS FROM DAMAGE DURING CONSTRUCTION
- B EXISTING BASE TO REMAIN. BASE TO BE TERMINATED AT END OF SIDELIGHT.
- C PATCH WALL SCARE WITH SALVAGED EXISTING CARPET/ NEW CARPET TILE.
- D BROADLOOM CARPET SALVAGED FROM AREA 280 TO BE USED TO PATCH AREA 201.
- E CARPET TILE FROM AREA 729 TO BE USED IN AREA 280. BASE TO BE NEW.
- F CARPET TILE FROM AREA 729 TO BE USED IN AREA 280. BASE TO BE NEW.
- F WHERE NEW CARPET IS TO BE INSTALLED. CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.



KEY PLAN NTS

**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1135 DUNDAS STREET EAST, SUITE 900  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0526

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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X-DESIGN INC. 29386  
FIRM NAME BCIN

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revision		date

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A Detail No., No. du detail  
B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**2ND FLOOR FLOOR FINISHES PLAN**

drawn by  
dessiné par JN

designed by  
conçue par LM/JR

approved by  
approuvé par

bid offer project manager  
offre administrateur de projets

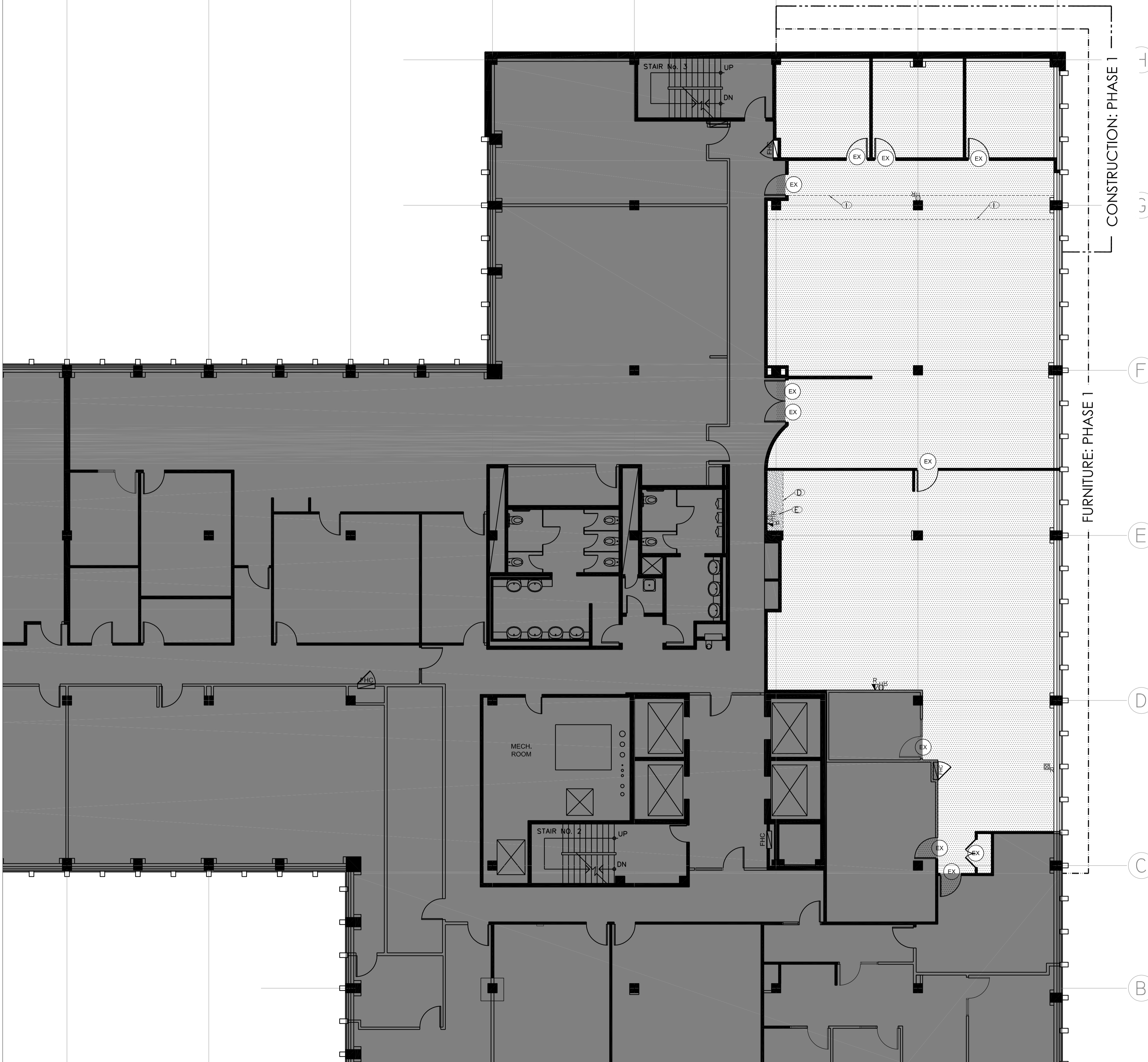
project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

drawing no.  
dessiné no. ID2.08

OND STREET

7 8 9 10 11 12 13 14



VICTORIA STREET

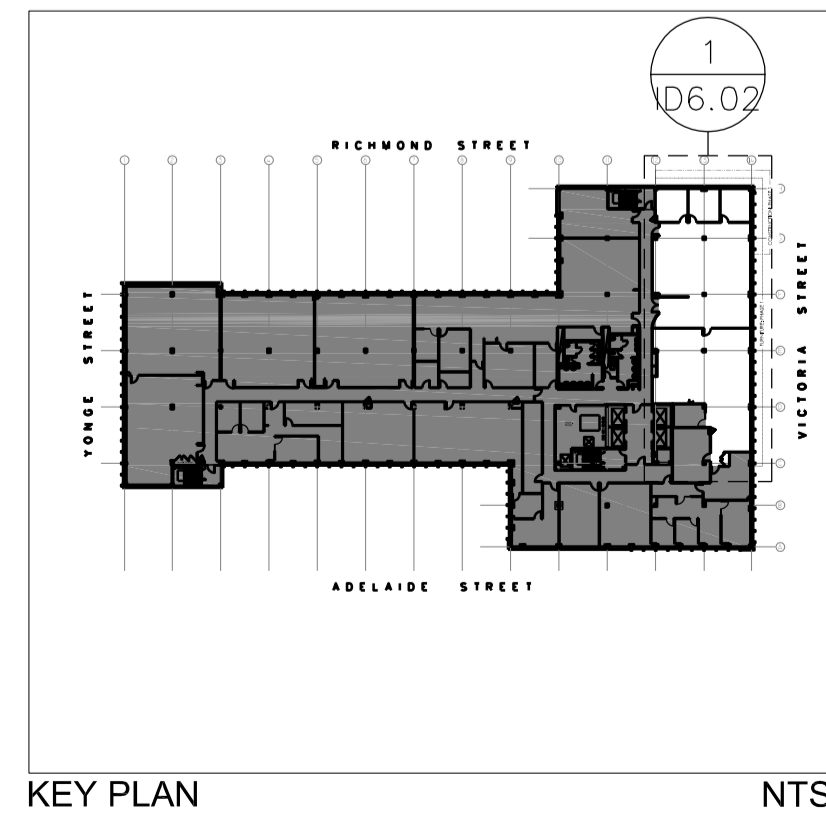
### DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- ROOM NUMBER
- ITEMS TO REMAIN.
- MILLWORK TO BE REMOVED AND DISPOSED UNDER GENERAL CONTRACTOR.
- CARPET TILE AND CARPET BASE TO REMAIN. PROTECT AT ALL TIMES.
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED AND DISPOSED OF
- DOORS TO REMAIN.
- FIRE HOSE CABINET TO REMAIN. PROTECT CABINETS FROM DEMOLITION.
- EXISTING DUPLEX TO BE REMOVED
- EXISTING POWER POLE TO BE REMOVED
- EXISTING VOICE AND DATA TO BE REMOVED

### DEMOLITION PLAN NOTES

**NOTE REFERENCES**  
 NOTE "A" DENOTES NOTE "A"  
 NOTE "A" DENOTES "PLAN NOTE A"

- A. PATCH AND REPAIR FLOOR AND DECK WHERE PARTITIONS ARE REMOVED. PATCH AND REPAIR EXISTING PARTITIONS / CORE WALLS THAT ARE TO REMAIN.
- B. CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING CORNER GUARDS, METAL LEDGES, WALLCOVERING, VINYL WALL CLADDING. PATCH, REPAIR AND PRIME WHERE REMOVED FOR CORE WALLS, COLUMNS AND WALLS TO REMAIN.
- C. GENERAL CONTRACTOR TO PATCH, REPAIR AND PRIME CORE WALLS THAT ARE REMAINING FROM DEMOLITION (OFFICE FACE); INCLUDING DEMOLITION SCARS, HOLES, SWITCHES AND REMOVAL OF FASTENERS AS REQUIRED. FINISH SMOOTH AND MAKE GOOD TO RECEIVE NEW FINISHES. CONTRACTOR TO SEAL ANY EXISTING HOLES IN BAFFLES (CEILING PLENUM) OF CORE PARTITIONS TO KEEP SMOKE SEPARATION INTEGRITY.
- D. PATCH, REPAIR & FILL EXISTING FLOORING WHERE MILLWORK OR WALLS HAVE BEEN REMOVED.
- E. GENERAL CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING CABINETS AND COUNTER IN INDICATED AREA.
- F. REFER TO ENGINEER'S DRAWINGS FOR ALL ELECTRICAL AND MECHANICAL DELETIONS.
- G. GENERAL CONTRACTOR TO DISCONNECT EXISTING HARDWIRED FURNITURE - 4 LOCATIONS.
- H. GENERAL CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING ELECTRICAL AND DATA
- I. DEMOLISH T&B, GRID AND TILE WHERE NEW SLAB TO SLAB PARTITION IS TO BE INSTALLED.



1 PLAN: EAST VICTORIA SIDE  
 D6.02 SCALE: 1:100

Canada

**INTERCEDE**  
 FACILITY MANAGEMENT LTD  
 DESIGN CONSULTANTS

1155 DUNDAS STREET EAST, SUITE 2000  
 TORONTO, ONTARIO, CANADA M4M 1B9  
 TEL: 416-362-4610 FAX: 416-462-0526

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
 FIRM NAME BCIN

**ARIDO**  
 GREG QUINN  
 Association of Registered Interior Designers of Ontario

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A

B

A Detail No.  
 No. du détail  
 drawing no. - where detailed  
 dessin no. - ou detaille

project title  
 titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
 TORONTO ON

drawing title  
 titre du dessin  
**6TH FLOOR  
 DEMOLITION  
 FLOOR PLAN**

drawn by  
 dessine par **JN**

designed by  
 conc par **LM/JR**

approved by  
 approuve par

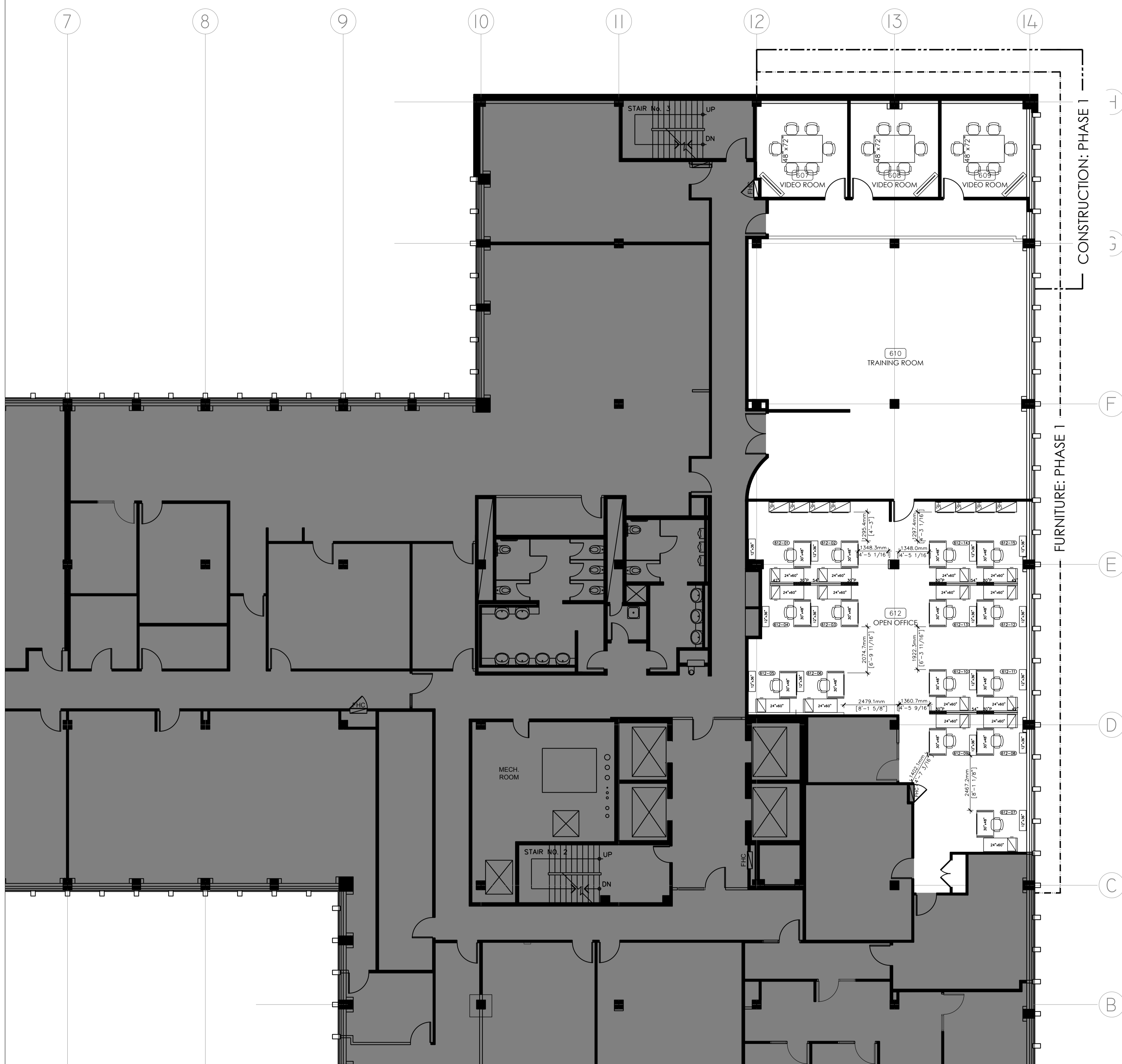
bid offer project manager  
administrateur de projets

project date  
 date du projet **2018-11-01**

project no.  
 no. du projet **18208.00**

drawing no.  
 dessine no. **ID6.02**

O N D S T R E E T



### FURNITURE AND EQUIPMENT LEGEND

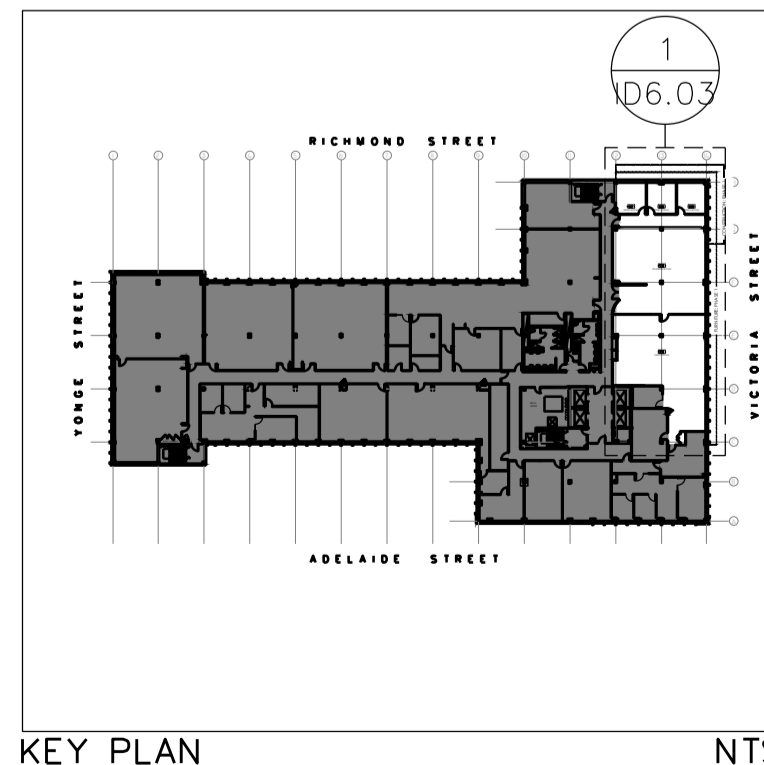
- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- 00-00 WORK STATION NUMBER
- 
 INDICATES FREESTANDING PANEL W/ OUTLETS
- 
 INDICATES FREESTANDING PANEL
- 
 INDICATES 30"x48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
- 
 INDICATES 24"x60" FREESTANDING WORK SURFACE
- 
 INDICATES TASK CHAIR
- 
 INDICATES NEW MOBILE PEDESTAL
- 
 INDICATES NEW 12"x36" 4-HIGH BOOKCASE
- 
 INDICATES TV W/ MOBILE TV STAND
- 
 INDICATES 48" X 72" MEETING TABLE

### FURNITURE & EQUIPMENT PLAN NOTES

**NOTE REFERENCES**  
 NOTE "A" DENOTES NOTE "A"  
 NOTE "D" DENOTES "PLAN NOTE A"

A. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.

TOTAL NEW WORKSTATIONS: 15



1 PLAN: EAST VICTORIA SIDE  
 D6.03 SCALE: 1:100



**INTERGEDE**  
 FACILITY MANAGEMENT LTD  
 DESIGN CONSULTANTS  
 1136 BUNDAS STREET EAST, SUITE 800  
 TORONTO, ONTARIO, CANADA M4M 1B9  
 TEL: 416-362-4610 FAX: 416-462-0626

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GREG QUINN 26046 BCR  
 NAME SIGNATURE

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X-DESIGN INC. 29386 BCR  
 FIRM NAME



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A	A Detail No.
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project title / titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
 TORONTO ON

drawing title / titre du dessin  
**6TH FLOOR FURNITURE AND EQUIPMENT FLOOR PLAN**

drawn by / dessiné par  
 JN

designed by / conçu par  
 LM/JR

approved by / approuvé par

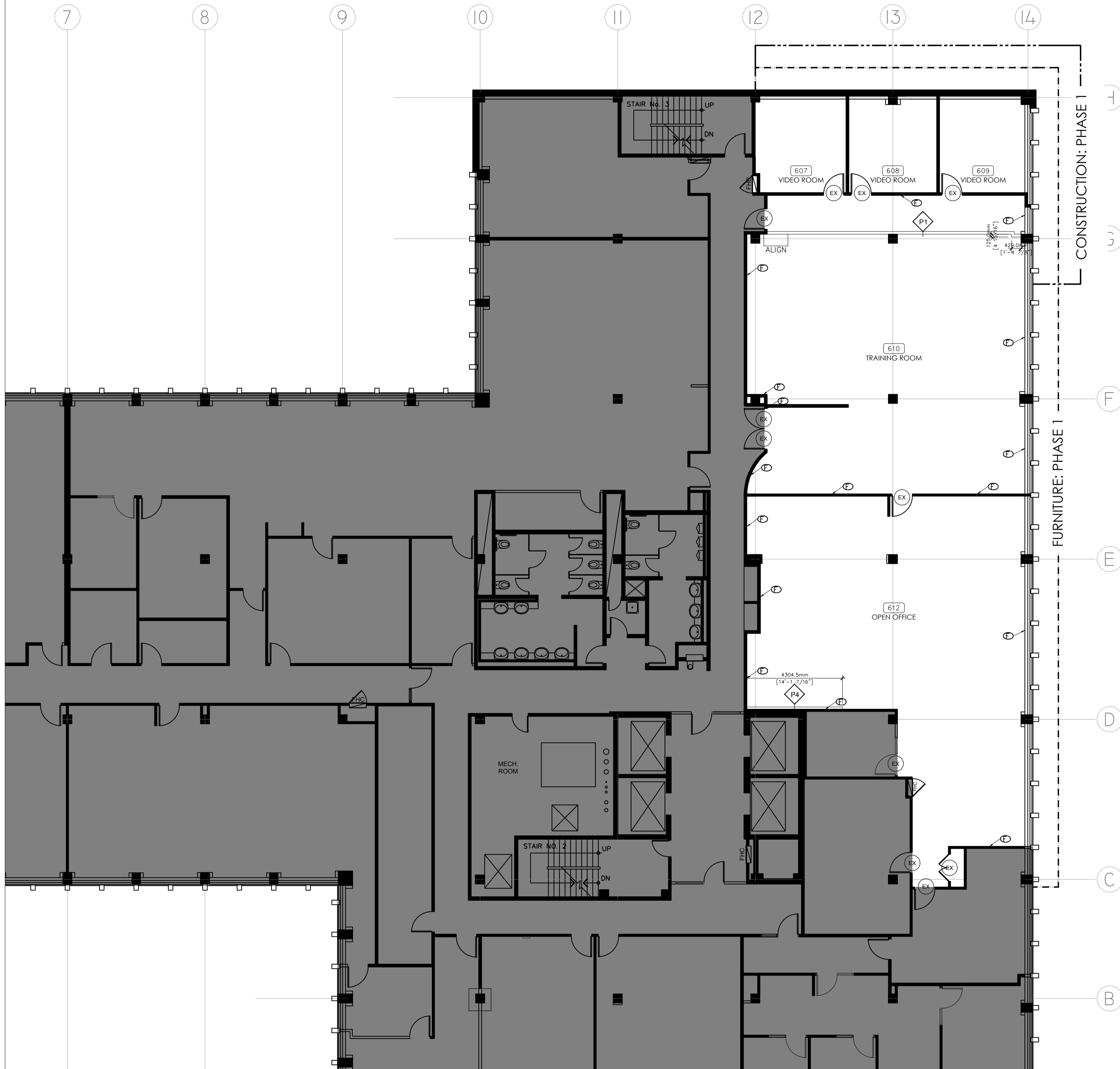
bid / offre  
 project manager / administrateur de projets

project date / date du projet  
 2018-11-01

project no. / no. du projet  
 18208.00

drawing no. / dessin no.  
 ID6.03A

OND STREET



VICTORIA STREET

### PARTITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EX ITEMS TO REMAIN.
- EXISTING STRUCTURE AND PARTITION TO REMAIN.
- P1 PARTITION TYPE P1— FLOOR TO U/S OF T-BAR CEILING W/ SOUND INSULATION. 1 LAYER OF DRYWALL W/ RIGID Baffle ABOVE T-BAR TO DECK. REFER TO DETAIL D101.
- P4 PARTITION TYPE P4— REFER TO DETAIL D104. NEW PARTITION TO MATCH EXISTING. SITE VERIFY ALL CONDITIONS. SEE PROJECT MANUAL FOR SPECIFICATIONS.
- ALIGN ALIGN FINISHED SURFACES
- ROOM OR AREA NUMBER

### PARTITION PLAN NOTES

**NOTE REFERENCES**  
 NOTE 'A' DENOTES NOTE 'A'  
 NOTE 'A' DENOTES 'PLAN NOTE A'

**A.** CONTRACTOR TO ENSURE THAT ALL CORE WALLS MAINTAIN THEIR INTEGRITY AFTER DEMOLITION. PATCH, REPAIR AND SEAL ANY HOLES WHERE NEEDED WITH FIRE RATED COMPOUND.

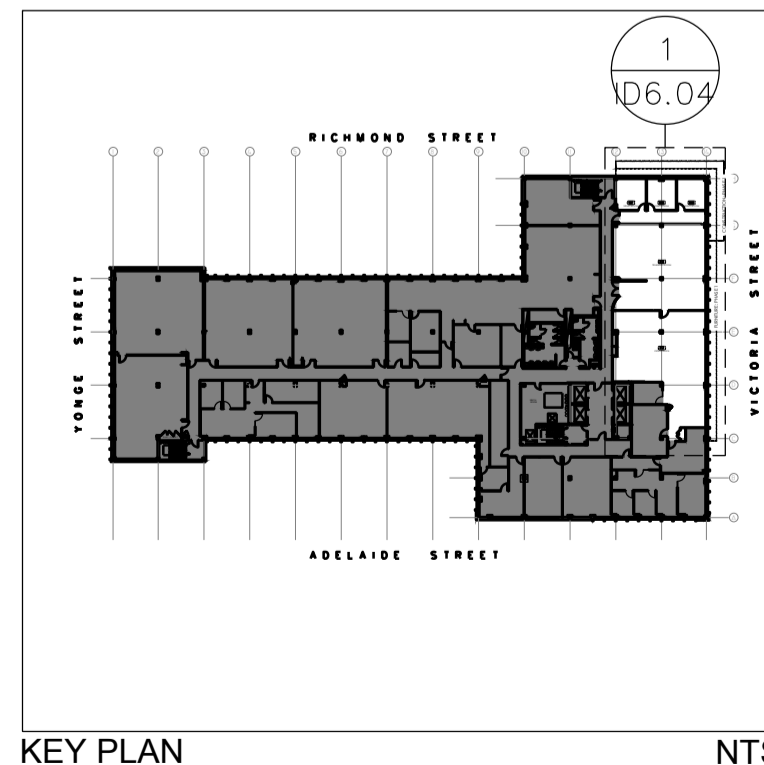
**B.** CONTRACTOR TO PRIME ALL CORE WALLS, PERIMETER WALLS, COLUMNS AND WALLS THAT ARE TO REMAIN IN CONTRACT AREA. PATCH, REPAIR AND PRIME ALL CORE WALLS, PERIMETER WALLS, COLUMNS AND WALLS THAT ARE TO REMAIN WHERE WALLS, ELECTRICAL OUTLETS AND WALL BASE HAVE BEEN REMOVED. MAKE GOOD WALLS READY TO RECEIVE NEW FINISHES.

**D.** SKIM ALL EXISTING CORE WALLS WHERE WALLCOVERING HAS BEEN REMOVED. PATCH, PRIME AND MAKE GOOD TO RECEIVE NEW FINISHES.

**E.** REFER TO ENGINEER'S DRAWINGS FOR THERMOSTATS REMOVAL AND RELOCATION. PATCH, REPAIR AND PRIME WALLS AND COLUMNS WHERE THERMOSTATS HAVE BEEN REMOVED AND RELOCATED. THERMOSTATS REMOVED FROM WALLS THAT HAVE BEEN REMOVED TO BE COOLED AT THE CEILING.

**F.** PATCH, REPAIR AND PRIME ALL CORE WALLS, COLUMNS, EXTERIOR WALLS, EXISTING WALLS TO REMAIN WHERE REDUNDANT ELECTRICAL OUTLETS, SWITCHES AND DATA COMMUNICATION OUTLETS HAS BEEN REMOVED. EXISTING STANDARD ELECTRICAL OUTLETS LOCATED ON COLUMNS AND CORE WALLS TO REMAIN ACTIVE.

**G.** WALLS IN CONTRACT AREA THAT ARE TO REMAIN, TO BE PATCHED AND REPAIRED WHERE NEEDED DUE TO DEMOLITION. MAKE GOOD WALLS TO RECEIVE NEW FINISHES.



1 PLAN: EAST VICTORIA SIDE  
 D6.04 SCALE: 1:100



**INTERCEDE**  
 FACILITY MANAGEMENT LTD  
 DESIGN CONSULTANTS  
 1156 BUNDAS STREET EAST, SUITE 500  
 TORONTO, ONTARIO, CANADA M4M 1B7  
 TEL: 416-362-4610 FAX: 416-462-0526

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION	
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code	
NAME	26046
SIGNATURE	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code	
FIRM NAME	29386
BCIN	



04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUED FOR 100% REVIEW	01NOV18
01	ISSUED FOR ENGINEERS	18OCT18
revision		date

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

A B	A Detail No.
	No. du détail drawing no. - where detailed dessin no. - ou detaillé

project title  
 titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
 TORONTO ON

drawing title  
 titre du dessin  
**6TH FLOOR PARTITION FLOOR PLAN**

drawn by  
 dessine par **JN**

designed by  
 conc par **LM/JR**

approved by  
 approuve par

bid offer  
 project manager  
 administrateur de projets

project date  
 date du projet **2018-11-01**

project no.  
 no. du projet **18208.00**

drawing no.  
 dessine no. **ID6.04**

OND STREET



VICTORIA STREET

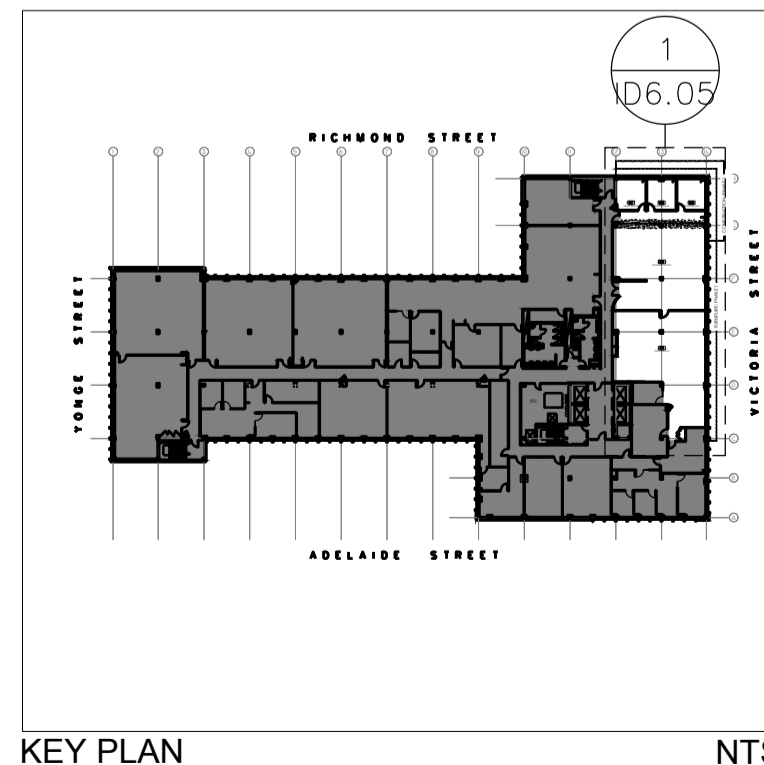
### REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING DRYWALL BULKHEAD / CEILING TO REMAIN. PATCH, REPAIR AND PAINT BULKHEAD TO MATCH EXISTING WHERE WALLS HAVE BEEN REMOVED.
- EXISTING T-BAR CEILING GRID AREA TO REMAIN. CONTRACTOR TO REPLACE ANY DAMAGED T-BARS/MAIN BARS AS REQUIRED. PROVIDE AND INSTALL 20% NEW CEILING TILES TO REPLACE DAMAGED OR STAINED TILES WITHIN AREA IN CONTRACT.
- AREA OF NEW CEILING TILE AND GRID WHERE DEMOLITION HAS OCCURRED.
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS.
- EXISTING LIGHTING FIXTURE TO BE REMOVED. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS. LIGHT FIXTURE TO BE RETURNED TO LANDLORD.
- ROOM OR AREA NUMBER
- CEILING HEIGHT
- NEW SECURITY CAMERA. REFER TO ENGINEERS DRAWINGS FOR DETAILS.

### REFLECTED CEILING PLAN NOTES

**NOTE REFERENCES**  
 NOTE 'A' DENOTES NOTE 'A'  
 NOTE 'A' DENOTES 'PLAN NOTE A'

- A. WHERE EXISTING EQUIPMENT HAS BEEN REMOVED, REPLACE EXISTING CEILING TILES WITH NEW TO MATCH EXISTING. PATCH AND REPAIR T-BAR WHERE DAMAGED. NEW T-BAR CEILING AND GRID. PROVIDE AND INSTALL NEW TILES TO MATCH BASE BUILDING STANDARDS.
- B. BULKHEAD AT PERIMETER WINDOWS AND AIR SLOTS TO REMAIN. PATCH AND REPAIR CORE WALLS AND BULKHEAD WHERE DRYWALL BAFFLE HAS BEEN REMOVED. PRIME AND MAKE GOOD READY TO RECEIVE NEW FINISHES.
- C. CONTRACTOR TO PROVIDE 20% NEW CEILING TILES TO REPLACE DAMAGED OR STAINED TILES WITHIN AREA IN CONTRACT WITH CEILING TILES TO MATCH EXISTING.
- D. REFER TO ENGINEERS' DRAWINGS FOR LOCATION OF AIR DIFFUSERS.



KEY PLAN NTS

1 PLAN: EAST VICTORIA SIDE  
 D6.05 SCALE: 1:100



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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN



04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUED FOR 100% REVIEW	01NOV18
01	ISSUED FOR ENGINEERS	18OCT18
revision		date

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A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaille

project title / titre du projet: IRB CANADA Ontario

74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: 6TH FLOOR REFLECTED CEILING FLOOR PLAN

drawn by / dessine par: JN

designed by / conc par: LM/JR

approved by / approuve par:

bid / offre: project manager / administrateur de projets

project date / date du projet: 2018-11-01

project no. / no. du projet: 18208.00

drawing no. / dessine no.: ID6.05

OND STREET



VICTORIA STREET

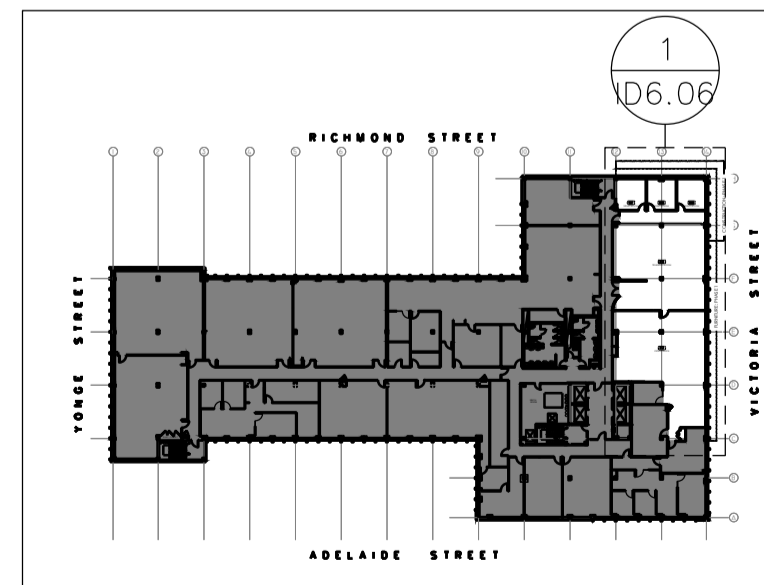
CONSTRUCTION: PHASE 1  
FURNITURE: PHASE 1

POWER AND COMMUNICATION LEGEND

- AREA NOT IN CONTRACT
- ROOM OR AREA NUMBER
- ⊕ WALL MOUNTED ELECTRICAL DUPLEX OUTLET
- ▽ WALL MOUNTED VOICE AND DATA OUTLET
- ▼ WALL MOUNTED VOICE AND DATA OUTLET
- ⌘ LIGHT SWITCH
- ⊙ WALL FEED
- ⊖ 3 DUPLEX (1) DATA, (1) CIRCUIT PER TWO WORKSTATIONS
- ⊖ RESERVED.
- ⊖ 3 DUPLEX, 1 DATA, MOUNTED AT 34" A.F.F.
- "E" DENOTES EXISTING TO REMAIN
- "R" DENOTES TO BE REMOVED
- "N" DENOTES NEW

POWER AND COMMUNICATION NOTES

- NOTE REFERENCES  
NOTE "A" DENOTES NOTE "A"  
NOTE (A) DENOTES "PLAN NOTE A"
- A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.
- B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PARAMETER WALLS, CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.



KEY PLAN NTS

1 PLAN: EAST VICTORIA SIDE  
D6.06 SCALE: 1:100



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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN  
FIRM NAME: [Signature]



05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
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01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A Detail No.  
B drawing no. - where detailed  
dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**6TH FLOOR  
POWER AND COMMUNICATIONS  
FLOOR PLAN**

drawn by  
dessine par  
JN

designed by  
conc par  
LM/JR

approved by  
approuve par

bid  
offre

project date  
date du projet  
2018-11-01

project no.  
no. du projet  
18208.00

drawing no.  
dessine no.  
ID6.06



project manager  
administrateur  
de projets

OND STREET



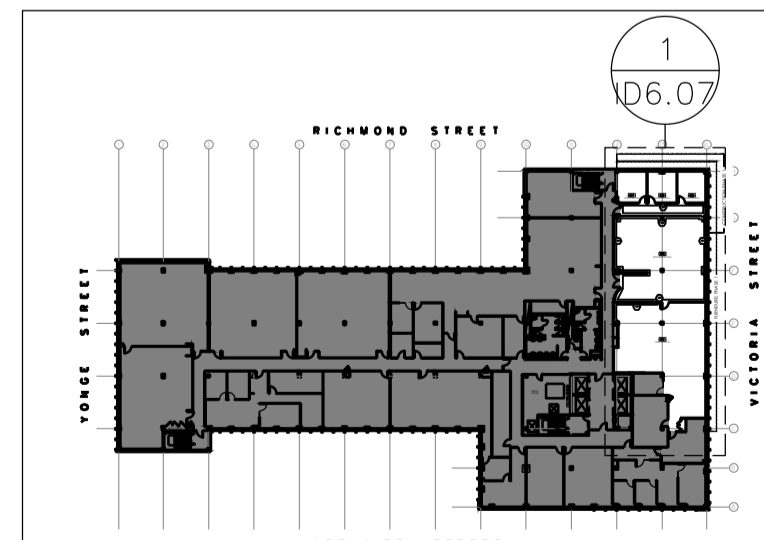
VICTORIA STREET

WALL FINISHES PLAN LEGEND

- AREA NOT IN CONTRACT
- XXXX ROOM NUMBER
- P1 PAINT 1 TO MATCH EXISTING. REFER TO FINISHES PLAN FOR DETAILS

WALL FINISHES PLAN NOTES

- NOTE REFERENCES:  
 NOTE 'A' DENOTES 'PLAN NOTE A'  
 NOTE 'B' DENOTES 'PLAN NOTE A'
- A. ALL WALLS IN CONTRACT AREA TO BE PAINTED AS NOTED.
  - B. EXISTING DOORS AND FRAMES IN CONTRACT AREA TO BE REPAINTED. REFER TO DOOR AND HARDWARE SCHEDULE.
  - C. REPAINT EXISTING CONVECTORS IN SEMI GLOSS FINISH AS NOTED.
  - D. ALL EXISTING WINDOW BLINDS TO BE CLEANED & BE IN WORKING ORDER IN CONTRACTED AREA.
  - E. PAINT WIREMOLD P5 IN SEMI GLOSS FINISH. REFER TO POWER AND COMMUNICATIONS DRAWINGS ID2.06 FOR DETAILS.



KEY PLAN NTS

1 PLAN: EAST VICTORIA SIDE  
 D6.07 SCALE: 1:100



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NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

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FIRM NAME: X-DESIGN INC. 29386 BCIN



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01	ISSUED FOR ENGINEERS	18OCT18
revision		date

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B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
IRB CANADA Ontario  
74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
6TH FLOOR  
WALL FINISHES  
FLOOR PLAN

drawn by  
dessine par JN

designed by  
conc par LM/JR

approved by  
approuve par

bid offer project manager  
administrateur de projets

project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

drawing no.  
dessine no. ID6.07



OND STREET



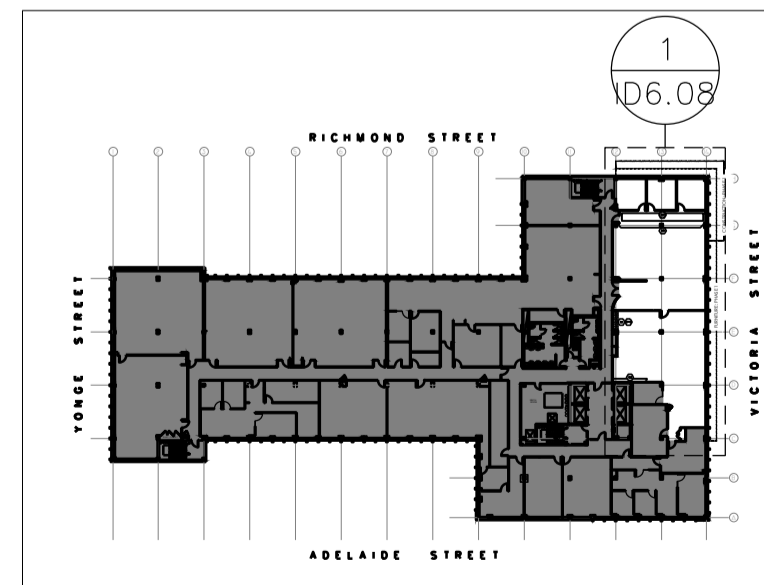
VICTORIA STREET

FLOOR FINISHES PLAN LEGEND

- AREA NOT IN CONTRACT
- ROOM NUMBER
- CPT6- CARPET TILE TO MATCH EXISTING CARPET TILES IN ROOM. CARPET PROVIDED BY CLIENT.
- BASE 3 TO MATCH EXISTING FLOORING. 4" TOELESS VINYL BASE TO MATCH EXISTING.

FLOOR FINISHES PLAN NOTES

- NOTE REFERENCES:
- NOTE 'A' DENOTES 'NOTE A'
- NOTE 'B' DENOTES 'PLAN NOTE A'
- A. RESERVED.



KEY PLAN NTS

1 PLAN: EAST VICTORIA SIDE  
D6.08 SCALE: 1:100



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NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
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X-DESIGN INC. FIRM NAME: [Signature] 29386 BCIN



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01	ISSUED FOR ENGINEERS	18OCT18
revision		date

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B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
IRB CANADA Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
6TH FLOOR  
FLOOR FINISHES  
FLOOR PLAN

drawn by  
dessine par JN

designed by  
conc par LM/JR

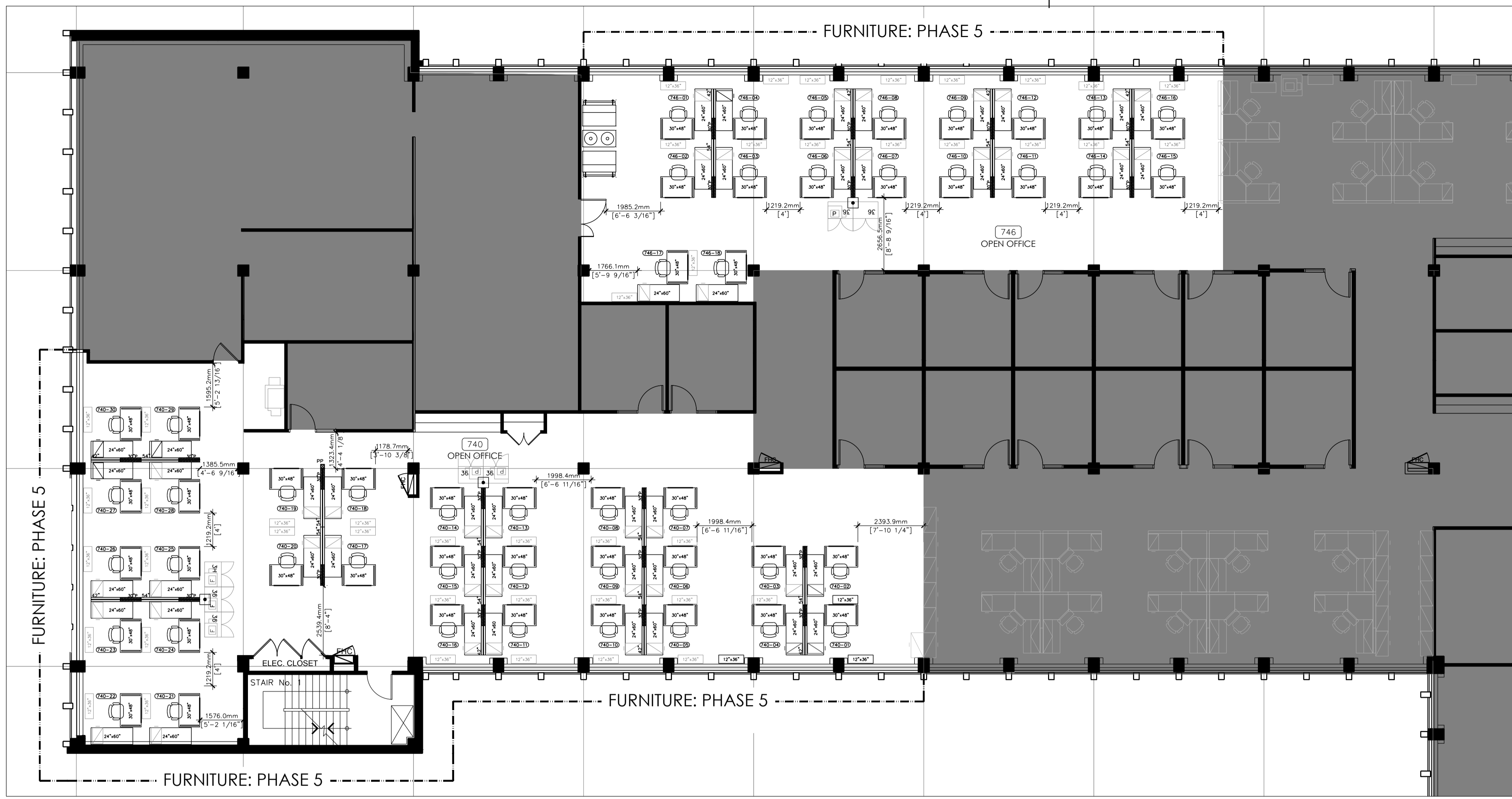
approved by  
approuve par

bid  
offre project manager  
administrateur de projets

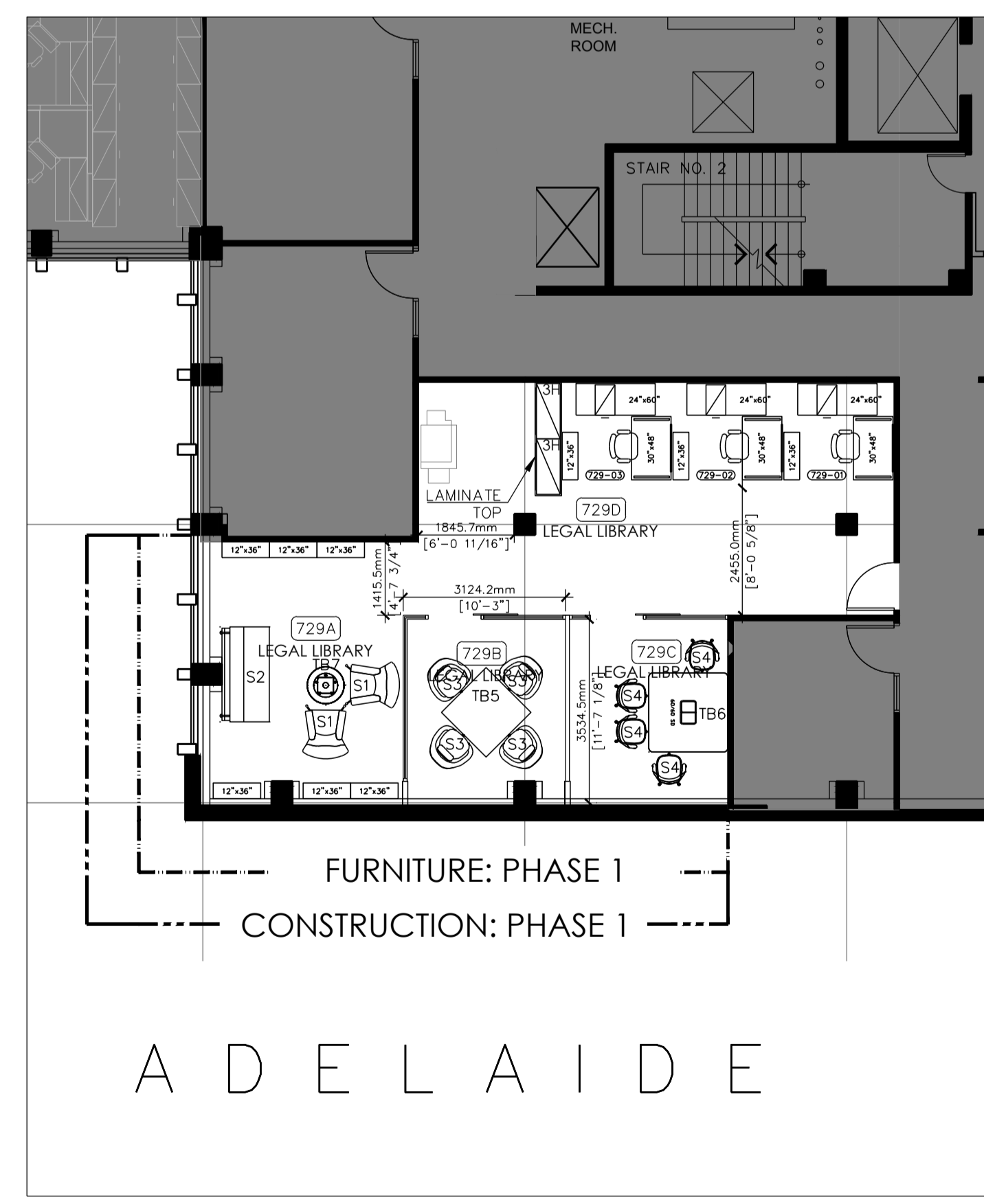
project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

drawing no.  
dessine no. ID6.08



1 PLAN: WEST YONGE SIDE  
D7.03 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D7.03 SCALE: 1:100

### FURNITURE AND EQUIPMENT PLAN NOTES

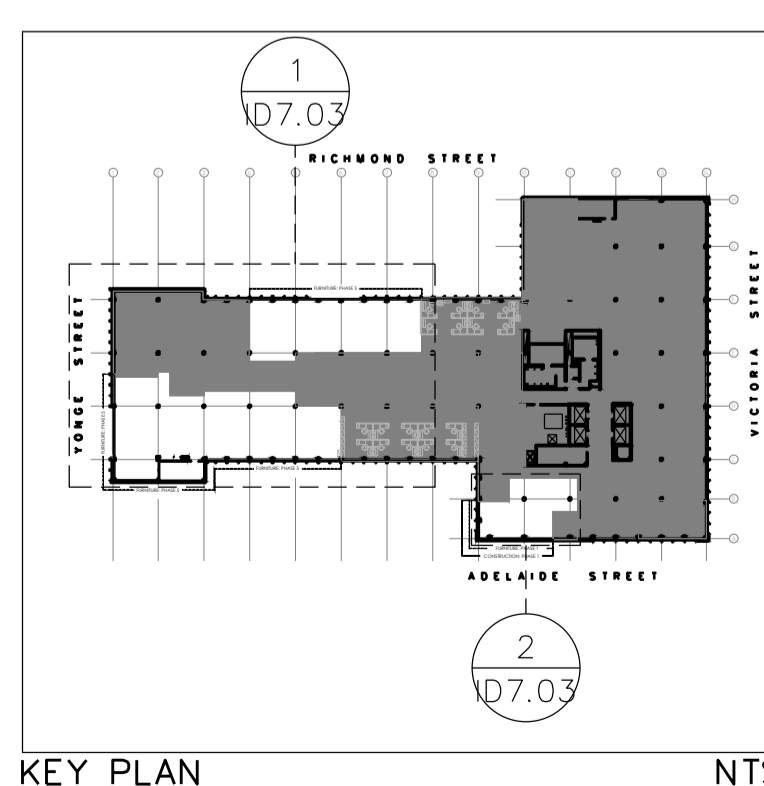
- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- XXX-XX WORK STATION NUMBER
- RELOCATED PHOTOCOPIER/PRINTER
- POWER POLE BY FURNITURE VENDOR
- PAK POLE BY GENERAL CONTRACTOR
- INDICATES FREESTANDING PANEL W/ OUTLETS
- INDICATES FREESTANDING PANEL
- INDICATES 30"x48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
- INDICATES 24"x60" FREESTANDING WORK SURFACE
- INDICATES TASK CHAIR
- INDICATES GUEST CHAIR
- INDICATES EXISTING FIXED PEDESTAL
- INDICATES NEW FIXED PEDESTAL
- INDICATES EXISTING 12"x36" 4-HIGH BOOKCASE
- INDICATES NEW 12"x36" 4-HIGH BOOKCASE
- INDICATES EXISTING RELOCATED LATERAL FILING
- INDICATES NEW LATERAL FILING
- INDICATES EXISTING STORAGE UNIT 36" WIDE
- COALESSE: WING CHAIR
- COALESSE: BIX COLLECTION
- COALESSE: BIX COLLECTION
- COALESSE: CAPA CHAIR
- STEELCASE: COBI TASK CHAIR
- STEELCASE: 60"x60" MEDIA SCAPE TABLE W/ TV MOUNT AND TABLE POWER MODULE
- COALESSE: SW\_1 LOW CONFERENCE TABLE 48"x48" W/ CENTER DATA MODULE
- COALESSE: BIX COLLECTION RECTANGULAR TABLE 48"
- INDICATES EXISTING FAX MACHINE
- INDICATES EXISTING PRINTER
- INDICATES DENOTES FURNITURE WALL SYSTEM BY CONTRACTOR.

### FURNITURE AND EQUIPMENT PLAN NOTES

**NOTE REFERENCES**  
 NOTE "A" DENOTES NOTE "A"  
 NOTE "B" DENOTES "PLAN NOTE A"

A. ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.  
 B. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.

TOTAL NEW WORKSTATIONS: 51



KEY PLAN NTS

**Canada**

**INTERGEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

118 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

FIRM NAME: X-DESIGN INC. 29386 BCIN

**ARIDO**  
GREG QUINN  
Association of Registered Interior Designers of Ontario

revision	description	date
05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEER	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18

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A	A Detail No.
B	No. du détail drawing no. - where detailed dessin no. - ou detaillé

project title / titre du projet: **IRB CANADA** Ontario

74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: **7TH FLOOR FURNITURE AND EQUIPMENT FLOOR PLAN**

drawn by / dessiné par: **JN**

designed by / conçu par: **LM/JR**

approved by / approuvé par:

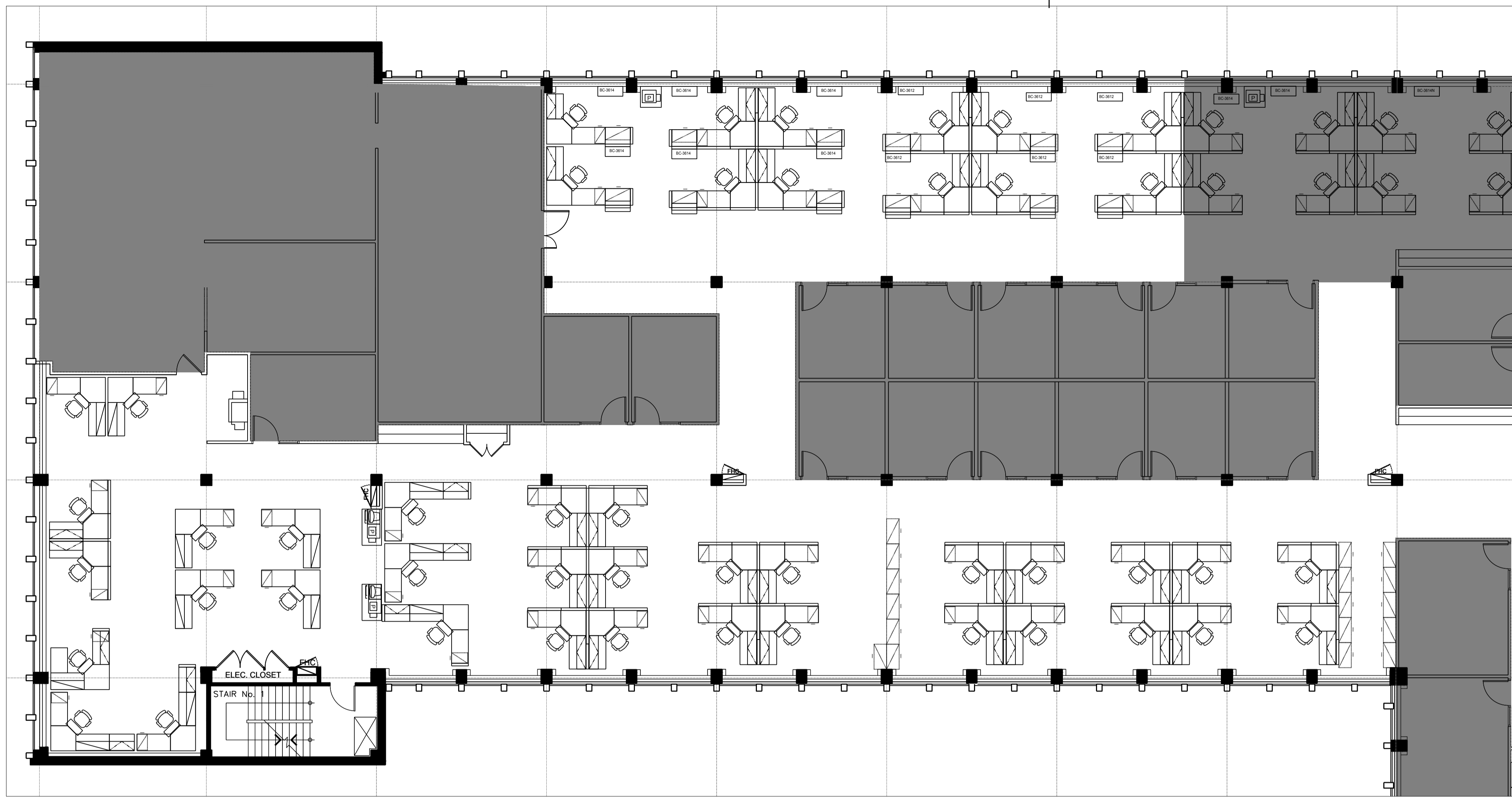
bid / offre: [Signature] project manager / administrateur de projets

project date / date du projet: **2018-11-01**

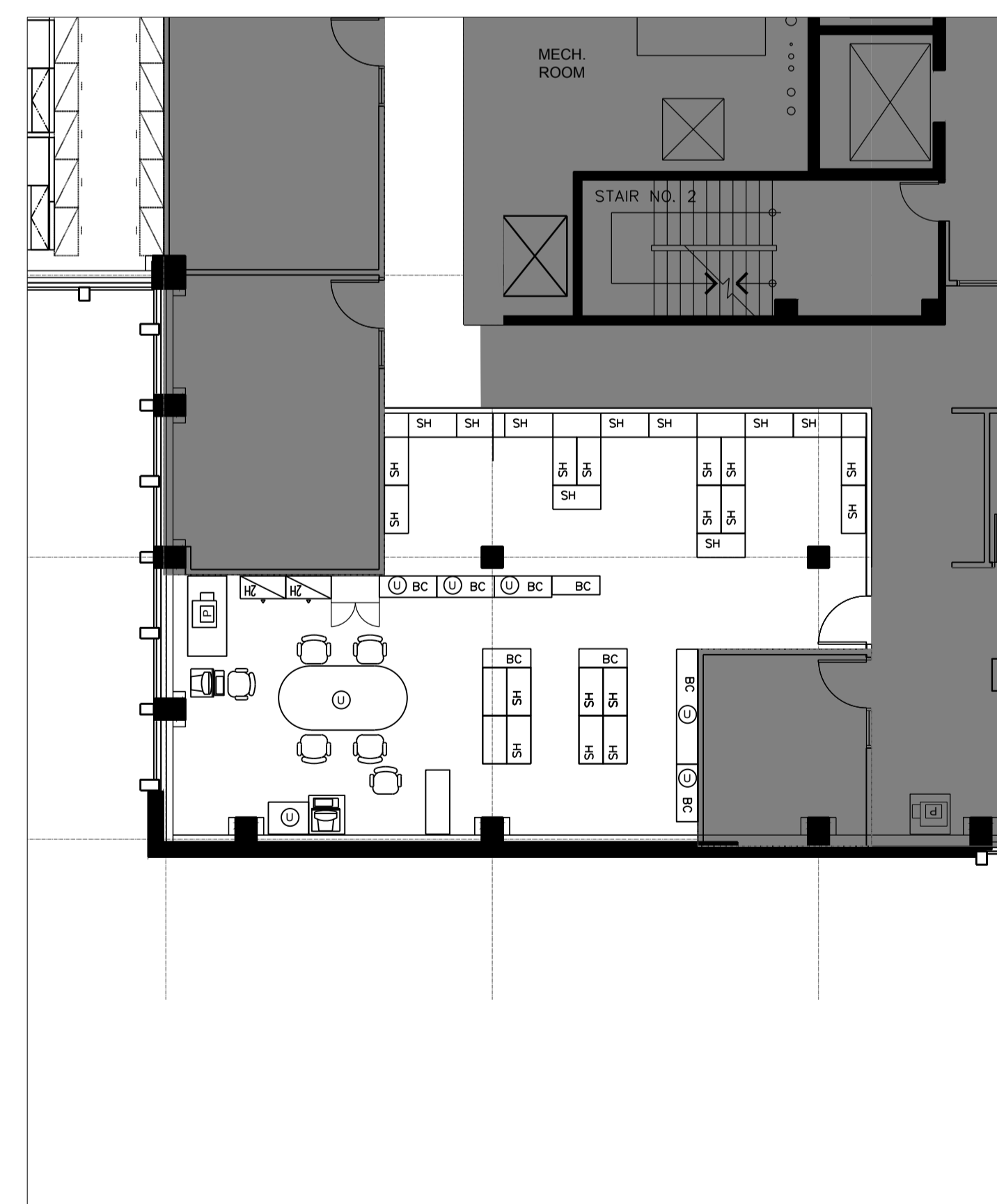
project no. / no. du projet: **18208.00**

drawing no. / dessiné no.: **ID7.03A**

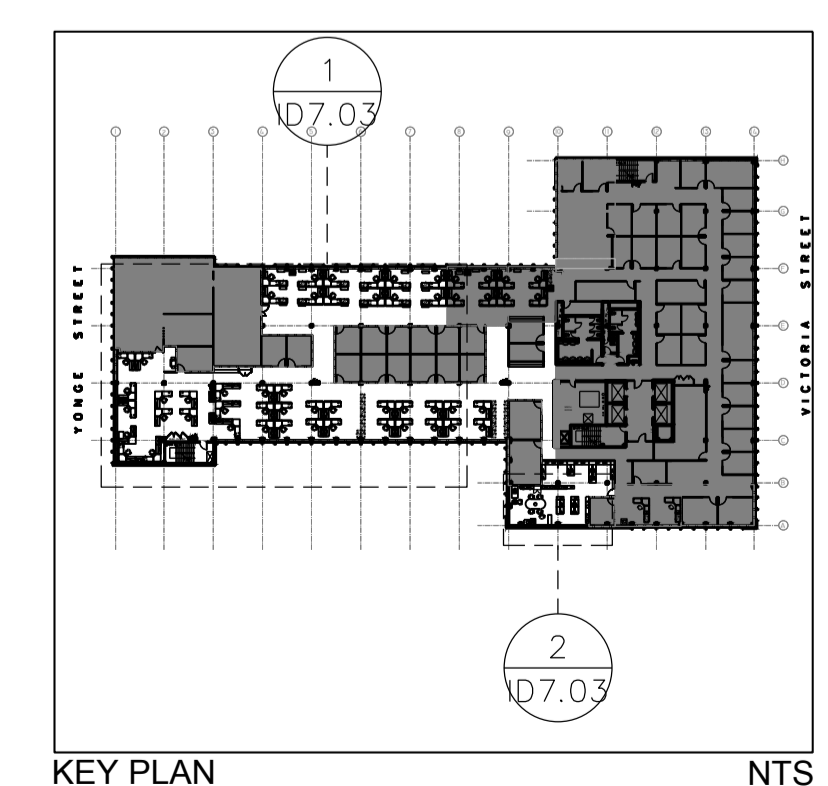
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 millimetres



1 PLAN: WEST YONGE SIDE  
D7.03 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D7.03 SCALE: 1:100



KEY PLAN NTS



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0626

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code  
NAME: GREG QUINN SIGNATURE: [Signature] BCIN: 26046  
**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.11 of the 2006 Ontario Building Code  
FIRM NAME: X-DESIGN INC. BCIN: 29386



04		
03		
02	ISSUED FOR PERMIT & TENDER	16NOV18
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revision		date

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B No. du détail  
drawing no. - where detailed  
dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario  
74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**7TH FLOOR  
FURNITURE AND EQUIPMENT  
AS- BUILTS**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

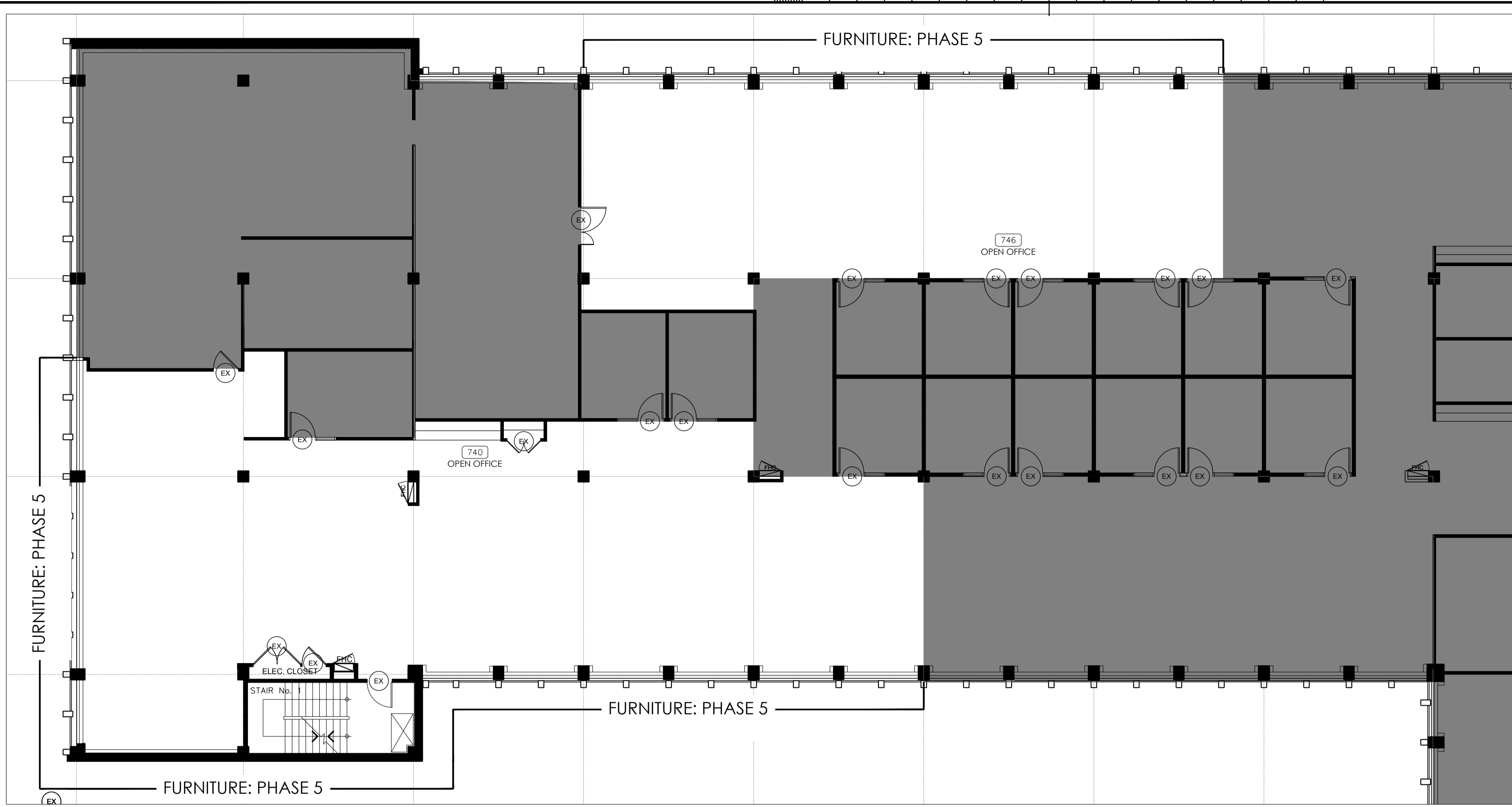
approved by  
approuve par

bid  
offre project manager  
administrateur de projets

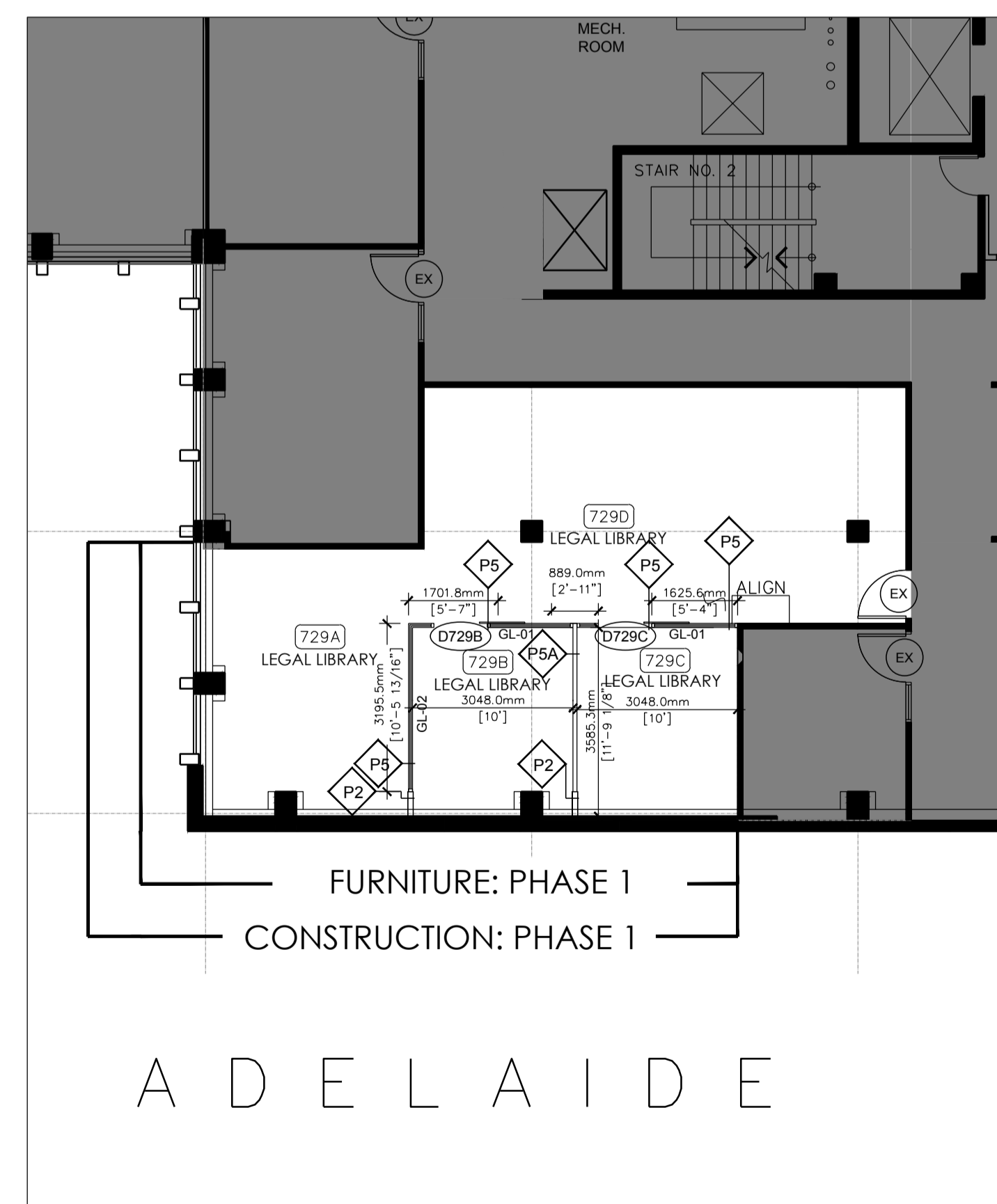
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

drawing no.  
dessine no. **ID7.03B**



1 PLAN: WEST YONGE SIDE  
D7.04 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D7.04 SCALE: 1:100

### PARTITION PLAN LEGEND

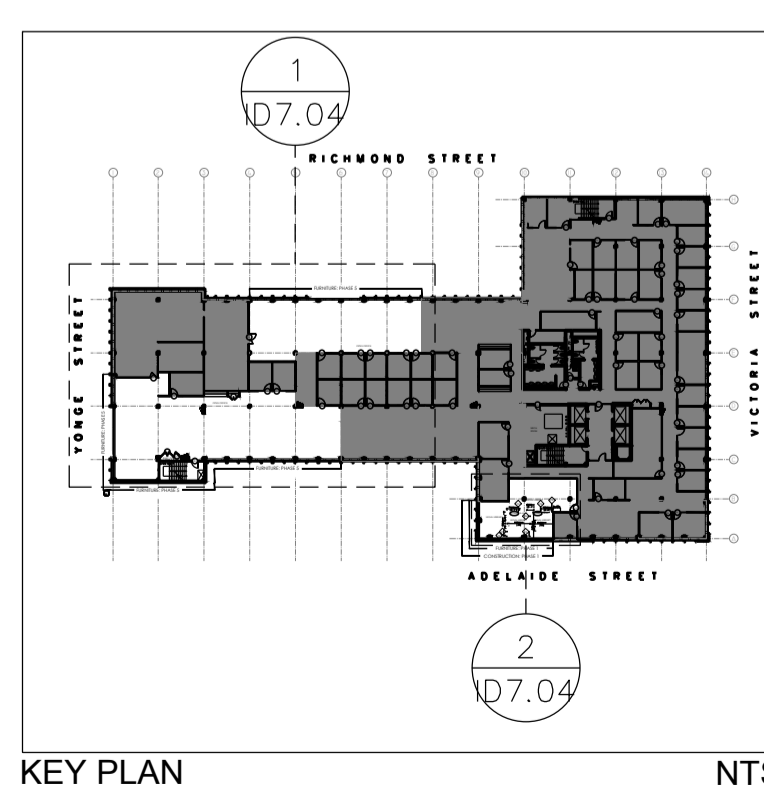
- AREA NOT IN CONTRACT
- ITEMS TO REMAIN.
- DOOR NUMBER. REFER TO DOOR AND FRAME SCHEDULE FOR DOOR AND HARDWARE SPECIFICATION
- EXISTING STRUCTURE AND PARTITION TO REMAIN.
- RESERVED.
- PARTITION TYPE P2- REFER TO DETAIL D102. NEW PARTITION. SITE VERIFY ALL CONDITIONS.
- RESERVED.
- RESERVED.
- TEKNON DE-MOUNTABLE WALL SYSTEM STC 39 GLASS WALLS. 12MM LAMINATE. CONTRACTOR TO SUPPLY AND INSTALL COMPLETE SYSTEM. REFER TO PROJECT MANUAL.
- TEKNON DEMOUNTABLE WALL SYSTEM, STC 39 SOLID WALLS, SLIDING GLASS DOORS AND PULLS. CONTRACTOR TO SUPPLY AND INSTALL COMPLETE SYSTEM. REFER TO PROJECT MANUAL.
- ALIGN FINISHED SURFACES
- ROOM OR AREA NUMBER
- GLAZING PARTITION; REFER TO D4005

### PARTITION PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'

A. RESERVED.

CONTRACTOR TO PROVIDE 2-1/2" RIGID FOIL BACKED ACOUSTIC BAFFLE IN CEILING PLENUM ABOVE PARTITION TYPE P5 AND P5A.



KEY PLAN NTS

**Canada**

**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B9  
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GREG QUINN 26046  
NAME SIGNATURE BCIN

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X-DESIGN INC. 29386  
FIRM NAME BCIN

**ARIDO**  
GREG QUINN  
Association of Registered Interior Designers of Ontario

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project title  
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**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**7TH FLOOR  
PARTITION  
FLOOR PLAN**

drawn by  
dessiné par **JN**

designed by  
conçue par **LM/JR**

approved by  
approuvé par

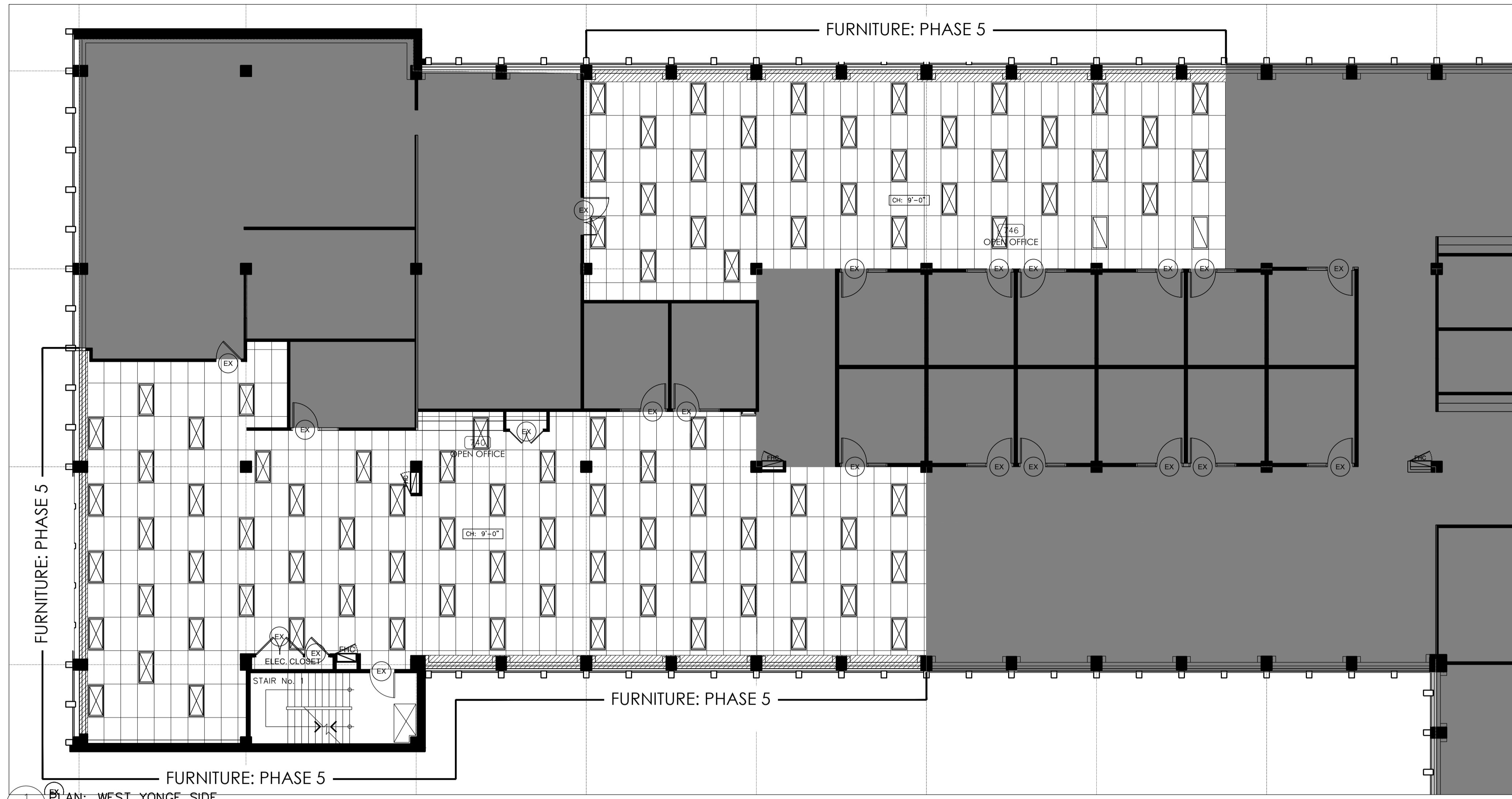
bid  
offre project manager  
administrateur de projets

project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

drawing no.  
dessiné no. **ID7.04**

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 millimetres



1 PLAN: WEST YONGE SIDE  
D7.05 SCALE: 1:100

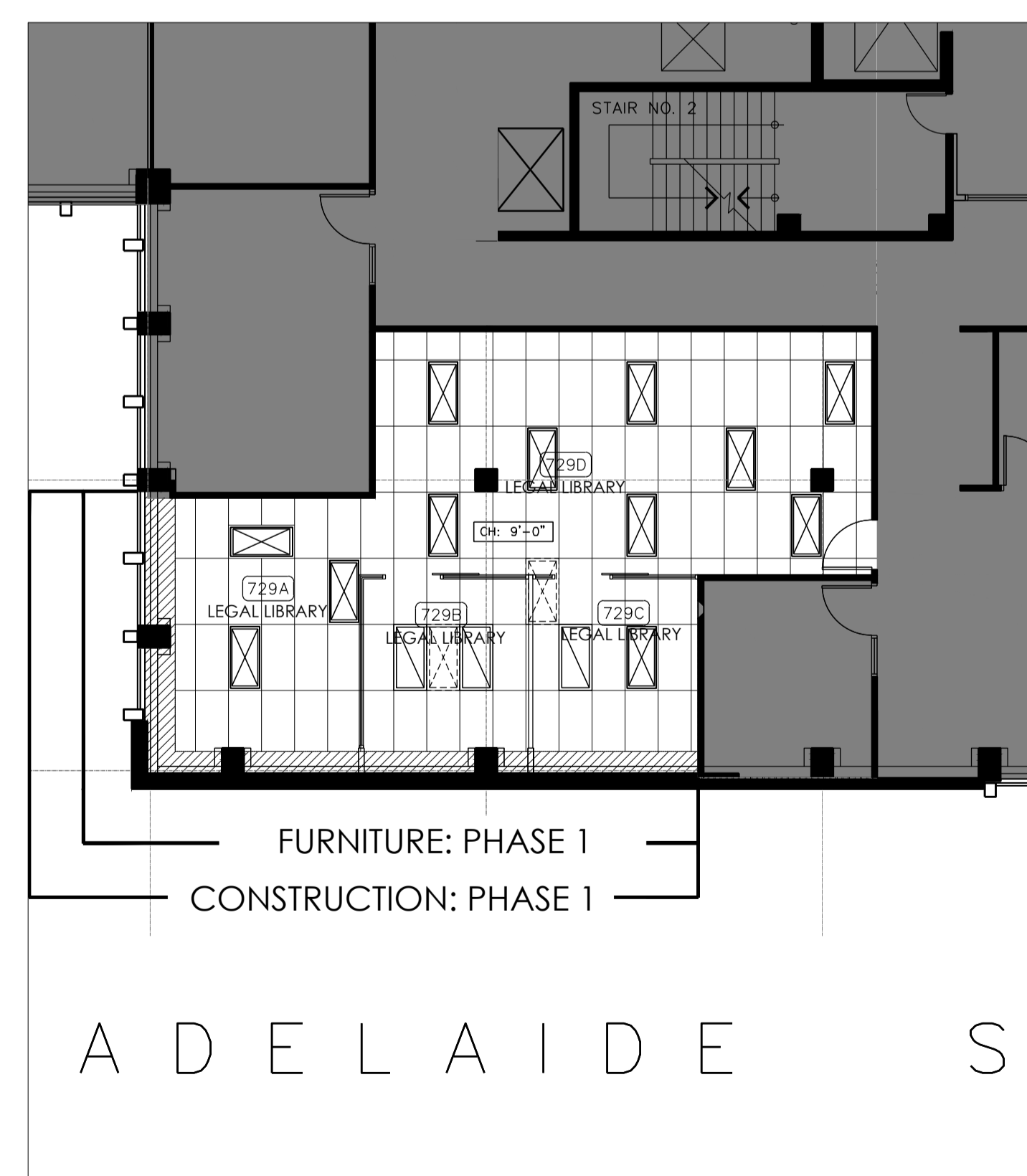
### REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING DRYWALL BULKHEAD / CEILING TO REMAIN. PATCH, REPAIR AND PAINT BULKHEAD TO MATCH EXISTING WHERE WALLS HAVE BEEN REMOVED.
- EXISTING T-BAR CEILING GRID AREA TO REMAIN. CONTRACTOR TO REPLACE ANY DAMAGED T-BARS/MAIN BARS AS REQUIRED. PROVIDE AND INSTALL 20% NEW CEILING TILES TO REPLACE DAMAGED OR STAINED TILES WITHIN AREA IN CONTRACT.
- ROOM OR AREA NUMBER
- CEILING HEIGHT
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS.
- EXISTING LIGHTING FIXTURE TO BE REMOVED. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS. LIGHT FIXTURE TO BE RETURNED TO LANDLORD.

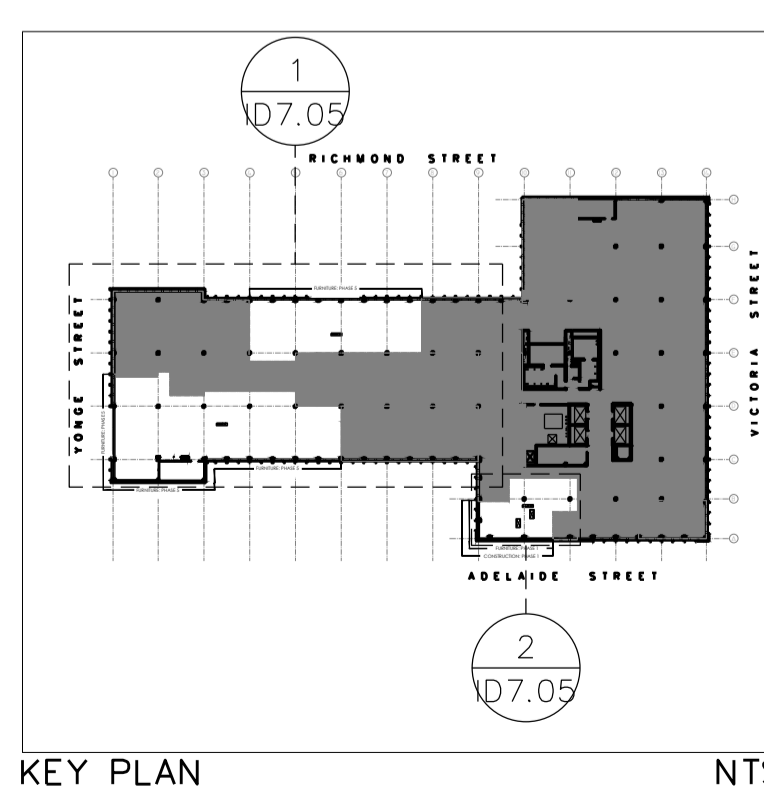
### REFLECTED CEILING PLAN NOTES

**NOTE REFERENCES**  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'

- A. PAINT ALL DRYWALL CEILING & BULKHEADS IN CONTRACT AREA FLAT WHITE UNLESS OTHERWISE NOTED.
- B. PROVIDE ALLOWANCE OF 35% NEW CEILING GRID & TILE.
- C. CONTRACTOR TO INCLUDE IN THEIR SCOPE OF WORK ALL CEILING MODIFICATIONS I.E. CUTTING, PATCHING, REMOVAL AND REPLACEMENT OF CEILING TILES RELATING TO MECHANICAL WORK IN ALL AFFECTED AREAS AS OUTLINED ON MECHANICAL DRAWINGS.



2 PLAN: SOUTH ADELAIDE SIDE  
D7.05 SCALE: 1:100



KEY PLAN NTS



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA, M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN  
FIRM NAME



04		
03	ISSUED FOR PERMIT & TENDER	16NOV18
02	ISSUED FOR 100% REVIEW	01NOV18
01	ISSUED FOR ENGINEERS	18OCT18
revision		date

Do not scale drawings.  
Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

A	A Detail No.
B	B No. du détail drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**7TH FLOOR REFLECTED CEILING FLOOR PLAN**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

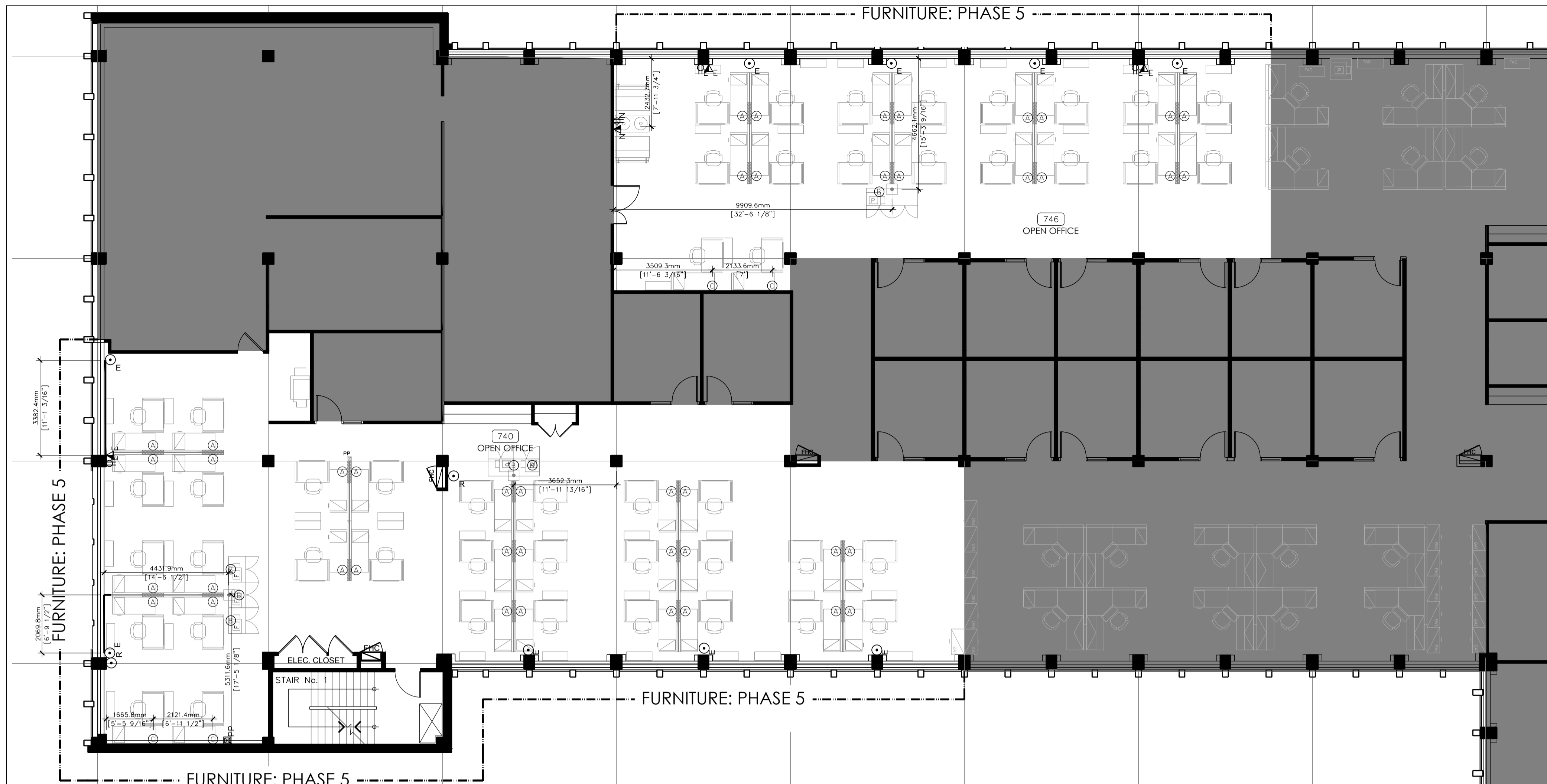
approved by  
approuve par

bid offer  
project manager  
administrateur de projets

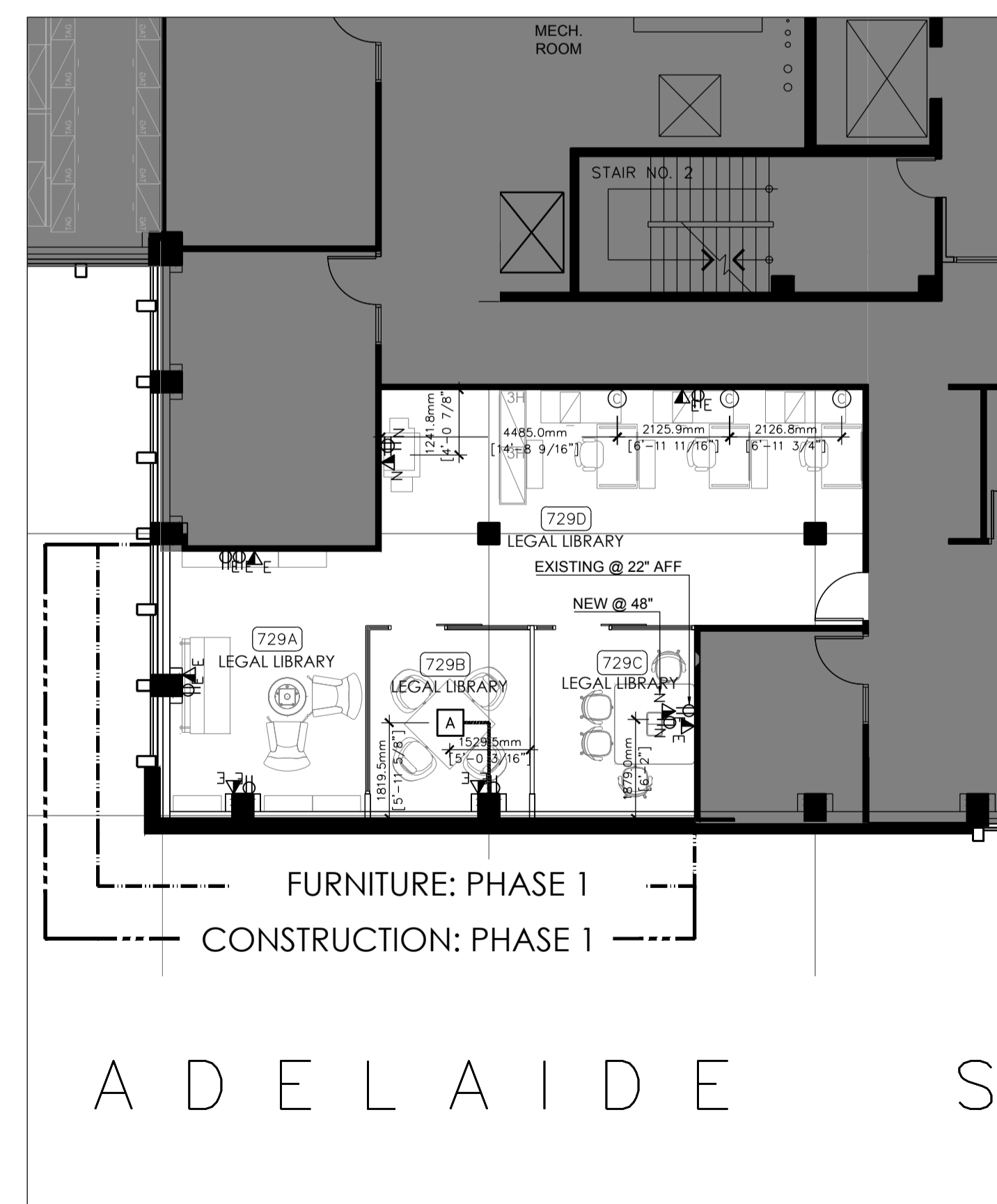
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

drawing no.  
dessine no. **ID7.05**



1 PLAN: WEST YONGE SIDE  
D7.06 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D7.06 SCALE: 1:100

### POWER AND COMMUNICATION LEGEND

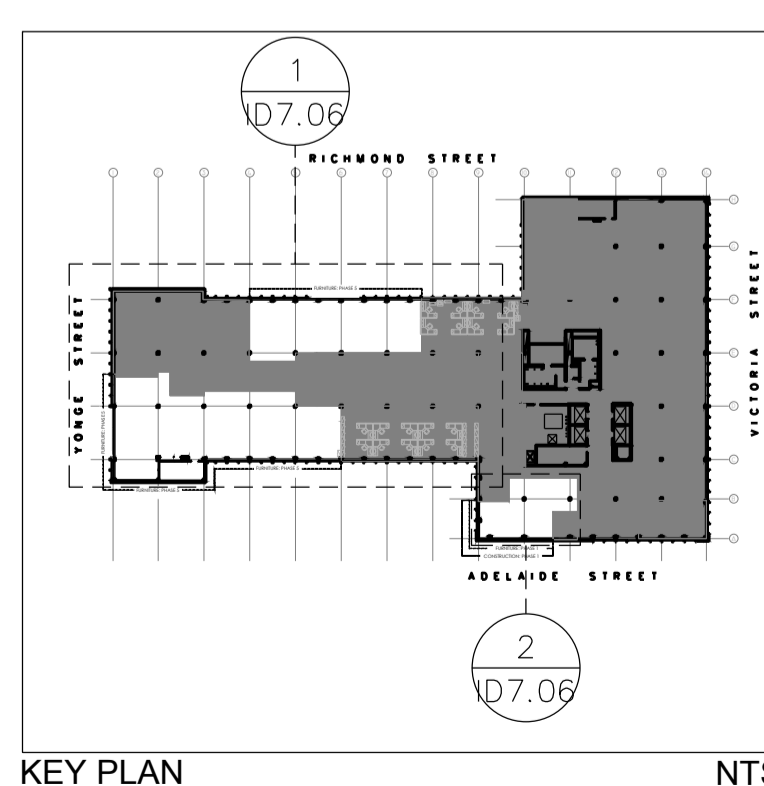
- AREA NOT IN CONTRACT
- INDICATES WALL MOUNTED ELECTRICAL DUPLEX OUTLET
- INDICATES WALL MOUNTED VOICE AND DATA OUTLET
- INDICATES EXISTING WALL FEED
- INDICATES NEW WALL FEED
- INDICATES NEW WIRE MOLD
- (1) QUAD (1) DATA
- INDICATES 3 DUPLEX (1) DATA, (1) CIRCUIT PER TWO WORKSTATIONS
- INDICATES 1 SEPARATE CIRCUIT DUPLEX/ 1 DATA
- WALL MOUNTED (2) DUPLEX, (1) DATA, (1) CIRCUIT PER WORKSTATION, MOUNTED AT 34" O/C, A.F.F.
- INDICATES POWER POLE BY FURNITURE VENDOR
- INDICATES NEW PAC POLE BY G.C. COLOUR WHITE.
- CONNECT TRAC
- "E" DENOTES EXISTING TO REMAIN
- "R" DENOTES TO BE REMOVED
- "N" DENOTES NEW

### POWER AND COMMUNICATION NOTES

**NOTE REFERENCES**  
NOTE "A" DENOTES NOTE "A"  
NOTE "A" DENOTES "PLAN NOTE "A"

A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.

B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PERIMETER WALLS, CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 500  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0626

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
FIRM NAME BCIN



revision	description	date
05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18

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A Detail No.  
B drawing no. - where detailed  
dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**7TH FLOOR  
POWER AND COMMUNICATIONS  
FLOOR PLAN**

drawn by  
dessiné par JN

designed by  
conçu par LM/JR

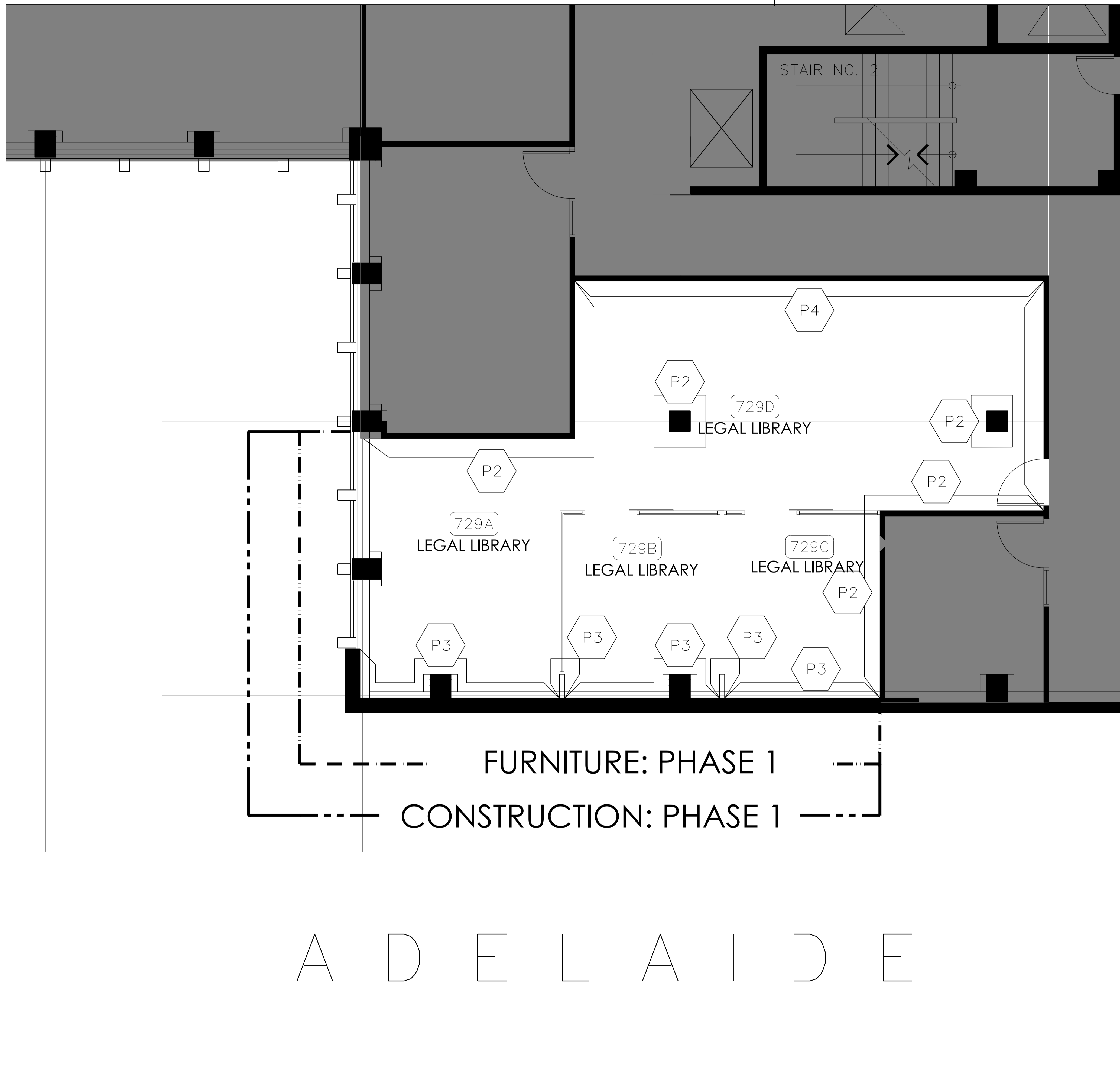
approved by  
approuvé par

bid offer  
projet manager  
administrateur de projets

project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

drawing no.  
dessiné no. ID7.06



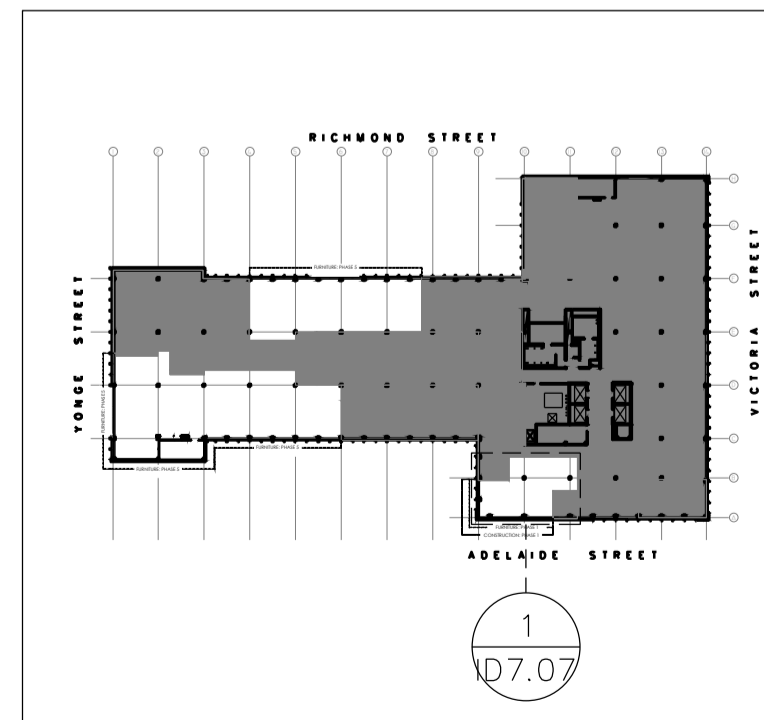
### WALL FINISHES PLAN LEGEND

- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- P1 RESERVED.
- P2 PAINT 2. GENERAL WALL PAINT. REFER TO FINISHES PLAN FOR DETAILS
- P3 PAINT 3. ACCENT PAINT (GREEN). REFER TO FINISHES PLAN FOR DETAILS
- P4 PAINT 4. ACCENT PAINT (DARK GREY). REFER TO FINISHES PLAN FOR DETAILS
- P5 RESERVED.

### WALL FINISHES PLAN NOTES

**NOTE REFERENCES**  
 NOTE 'A' DENOTES NOTE 'A'  
 NOTE 'B' DENOTES 'PLAN NOTE A'

A. CONNECTOR TO BE SEMI-GLOSS PAINT TO MATCH P2.



**Canada**

**INTERCEDE**  
 FACILITY MANAGEMENT LTD.  
 DESIGN CONSULTANTS

1136 BUNDAS STREET EAST, SUITE 800  
 TORONTO, ONTARIO, CANADA M4M 1B7  
 TEL: 416-362-4610 FAX: 416-462-0626

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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: 26046 BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.11 of the 2006 Ontario Building Code

FIRM NAME: X-DESIGN INC. 29386 BCIN

**ARIDO**  
 GREG QUINN  
 Association of Registered Interior Designers of Ontario

05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEER	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.
B	B No. du détail drawing no. - where detailed dessin no. - ou detaillé

project title / titre du projet: IRB CANADA Ontario

74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: 7TH FLOOR WALL FINISHES FLOOR PLAN

drawn by / dessiné par: JN

designed by / conçu par: LM/JR

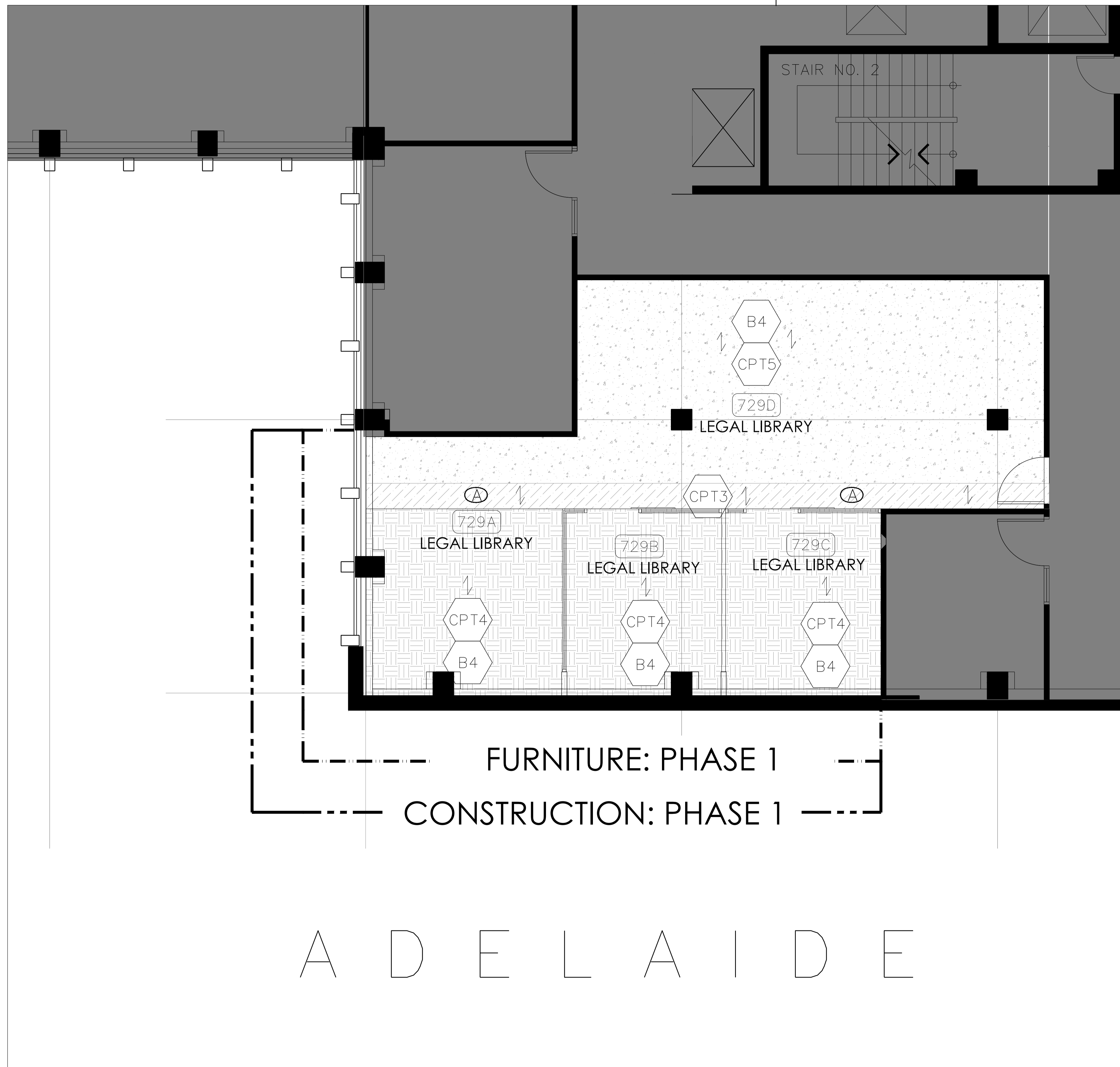
approved by / approuvé par:

bid / offre: project manager / administrateur de projets

project date / date du projet: 2018-11-01

project no. / no. du projet: 18208.00

drawing no. / dessin no.: ID7.07



A D E L A I D E

### FLOOR FINISHES PLAN LEGEND

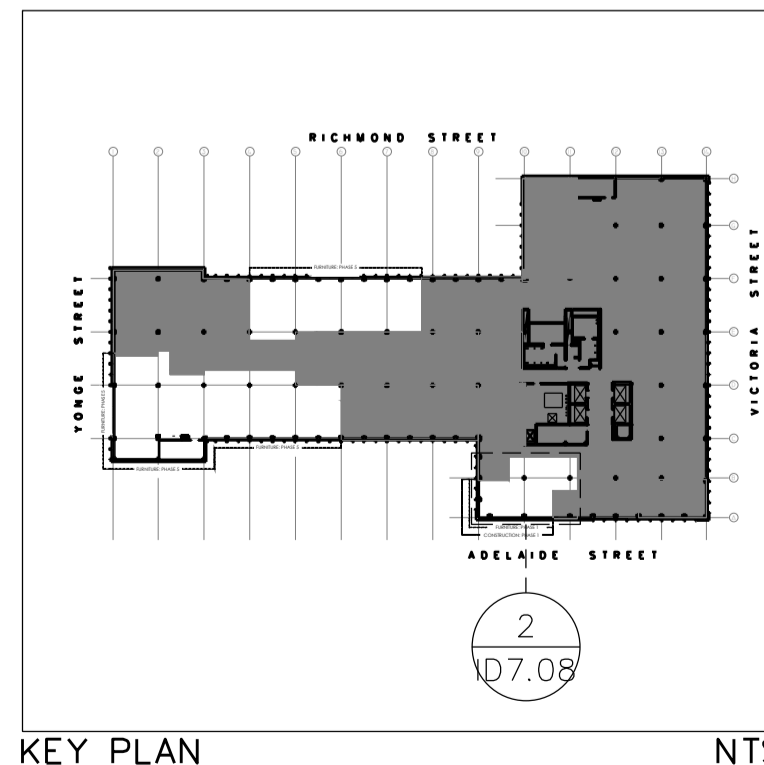
- AREA NOT IN CONTRACT
- XXXX ROOM OR AREA NUMBER
- CPT3 CPT3- CARPET TILE 3. REFER TO FINISHES SCHEDULE FOR DETAILS. INSTALL: MONOLITHIC
- CPT4 CPT4- CARPET TILE 4. REFER TO FINISHES SCHEDULE FOR DETAILS. INSTALL: MONOLITHIC
- CPT5 CPT5- CARPET TILE 5. REFER TO FINISHES SCHEDULE FOR DETAILS. INSTALL: MONOLITHIC
- B3 B3 COORDINATE WITH CARPET TILE 4

### FLOOR FINISHES PLAN NOTES

NOTE REFERENCES  
 NOTE 'A' DENOTES NOTE 'A'  
 NOTE 'A' DENOTES 'PLAN NOTE A'

A 1 TILE WIDTH



**Canada**

**INTERCEDE**  
 FACILITY MANAGEMENT LTD  
 DESIGN CONSULTANTS

1186 BUNDAS STREET EAST, SUITE 800  
 TORONTO, ONTARIO, CANADA M4M 1B7  
 TEL: 416-362-4610 FAX: 416-462-0626

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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: 26046 BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under Div. C 3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN

**ARIDO**  
 GREG QUINN  
 Association of Registered Interior Designers of Ontario

05	ISSUED FOR PERMIT & TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEER	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A A Detail No.  
 No. du détail

B B drawing no. - where detailed  
 dessin no. - ou detaille

project title  
 titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
 TORONTO ON

drawing title  
 titre du dessin  
**7TH FLOOR  
 FLOOR FINISHES  
 FLOOR PLAN**

drawn by  
 dessine par  
**JN**

designed by  
 conc par  
**LM/JR**

approved by  
 approuve par

bid  
 offre

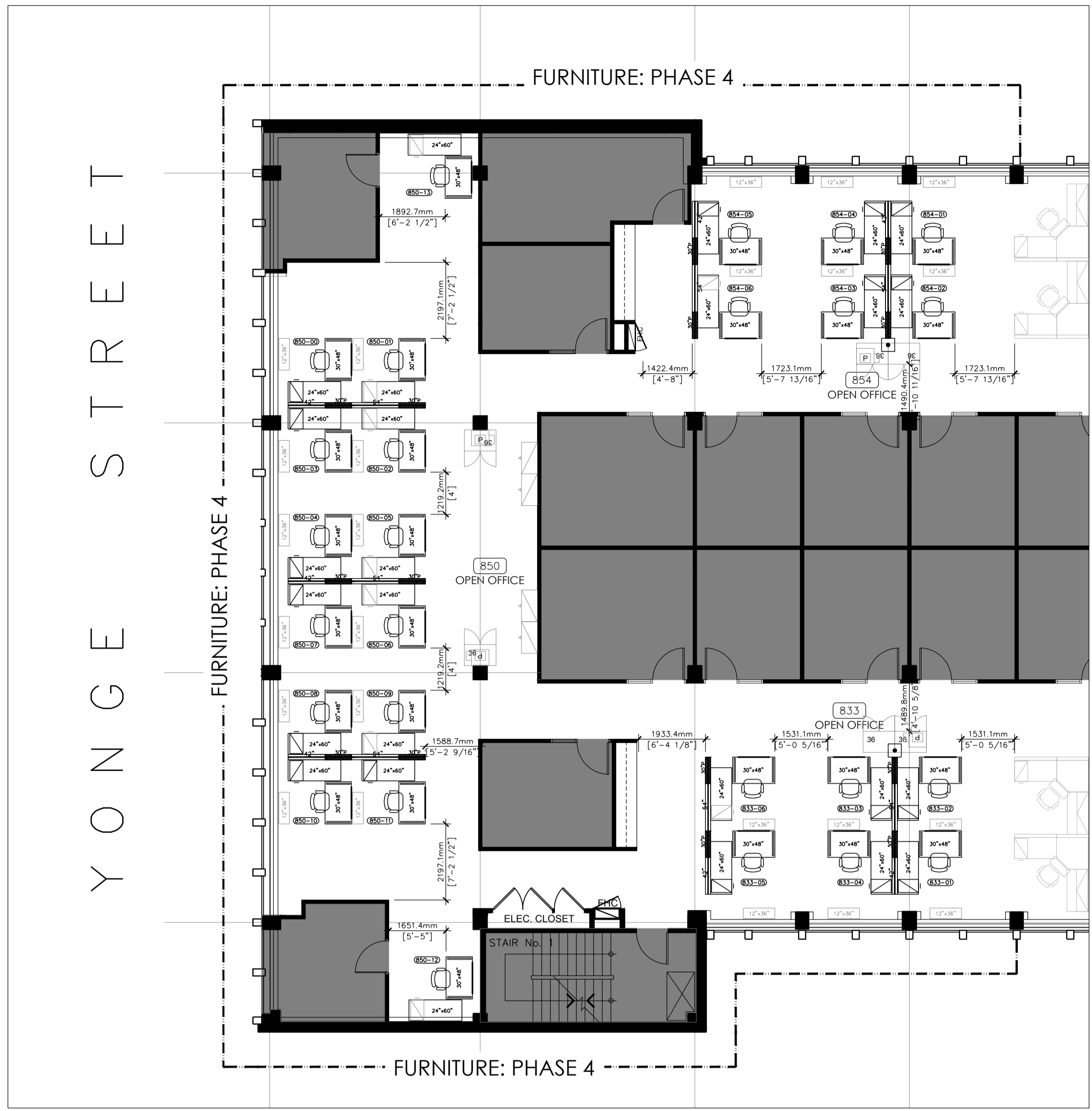
project date  
 date du projet  
**2018-11-01**

project no.  
 no. du projet  
**18208.00**

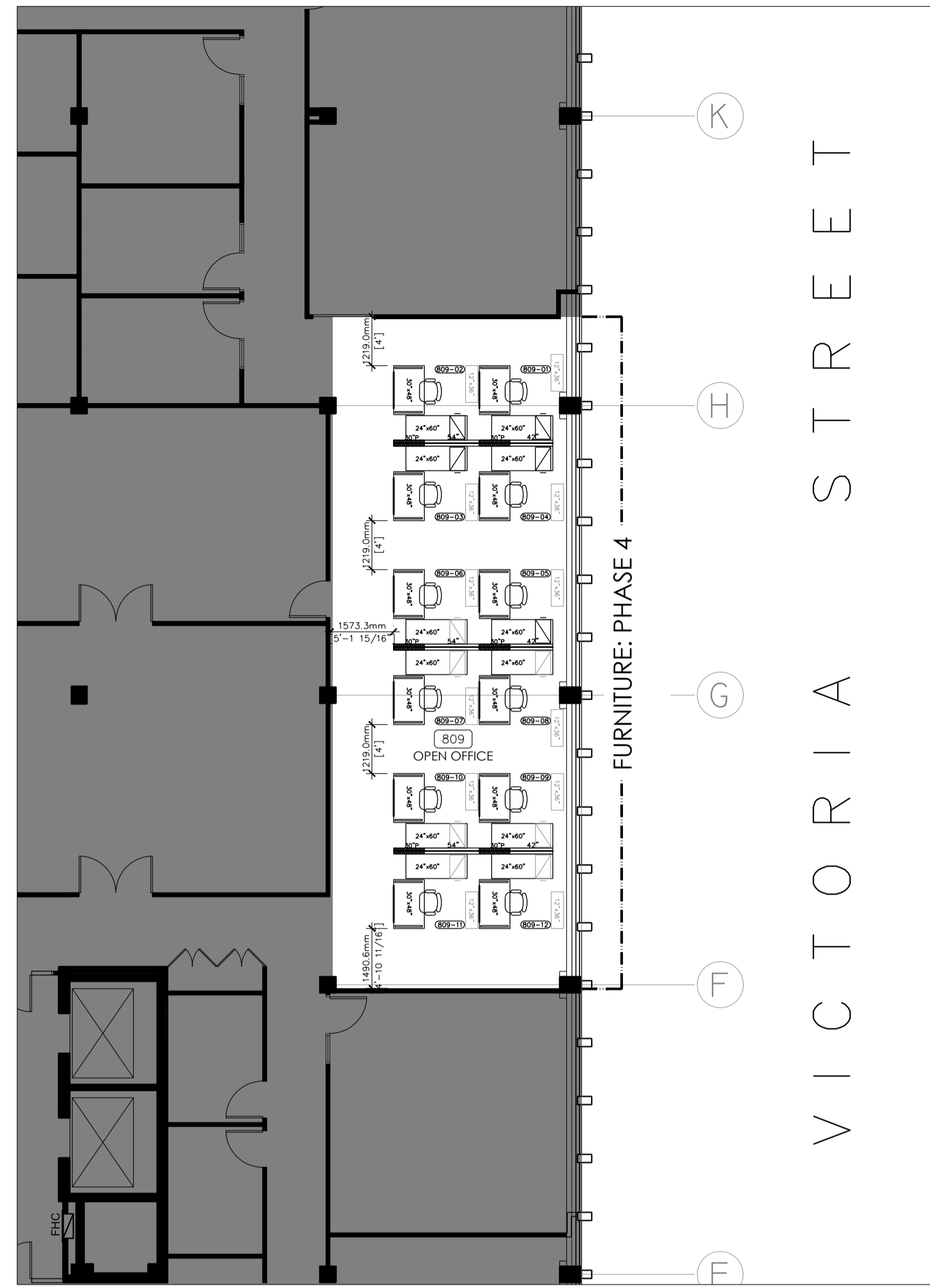
drawing no.  
 dessine no.  
**ID7.08**

project manager  
 administrateur de projets





1 PLAN: WEST YONGE SIDE  
D8.03 SCALE: 1:100



2 PLAN: EAST VICTORIA SIDE  
D8.03 SCALE: 1:100

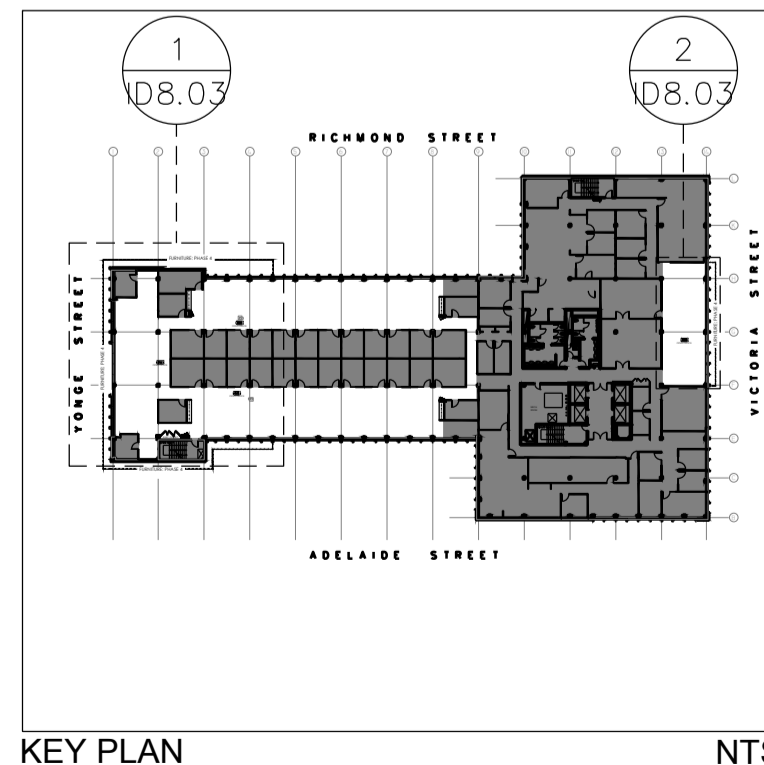
### FURNITURE AND EQUIPMENT PLAN NOTES

- AREA NOT IN CONTRACT
- ROOM OR AREA NUMBER
- WORK STATION NUMBER
- RELOCATED PHOTOCOPIER/PRINTER
- INDICATES FREESTANDING PANEL W/ OUTLETS
- INDICATES FREESTANDING PANEL
- INDICATES 30"x48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
- INDICATES 24"x60" FREESTANDING WORK SURFACE
- INDICATES TASK CHAIR
- INDICATES GUEST CHAIR
- INDICATES EXISTING FIXED PEDESTAL
- INDICATES NEW FIXED PEDESTAL
- INDICATES EXISTING 12"x36" 4-HIGH BOOKCASE
- INDICATES NEW 12"x36" 4-HIGH BOOKCASE
- INDICATES EXISTING RELOCATED LATERAL FILING
- INDICATES NEW LATERAL FILING
- INDICATES PAC POLE BY G.C.
- INDICATES EXISTING STORAGE UNIT
- INDICATES EXISTING PRINTER

### FURNITURE AND EQUIPMENT PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES 'PLAN NOTE A'

A. ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.  
B. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.  
TOTAL NEW WORKSTATIONS: 38



KEY PLAN NTS



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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN SIGNATURE 26046 BCIN  
NAME SIGNATURE

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN  
FIRM NAME BCIN



05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED TO ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**8TH FLOOR  
FURNITURE AND EQUIPMENT  
FLOOR PLAN**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

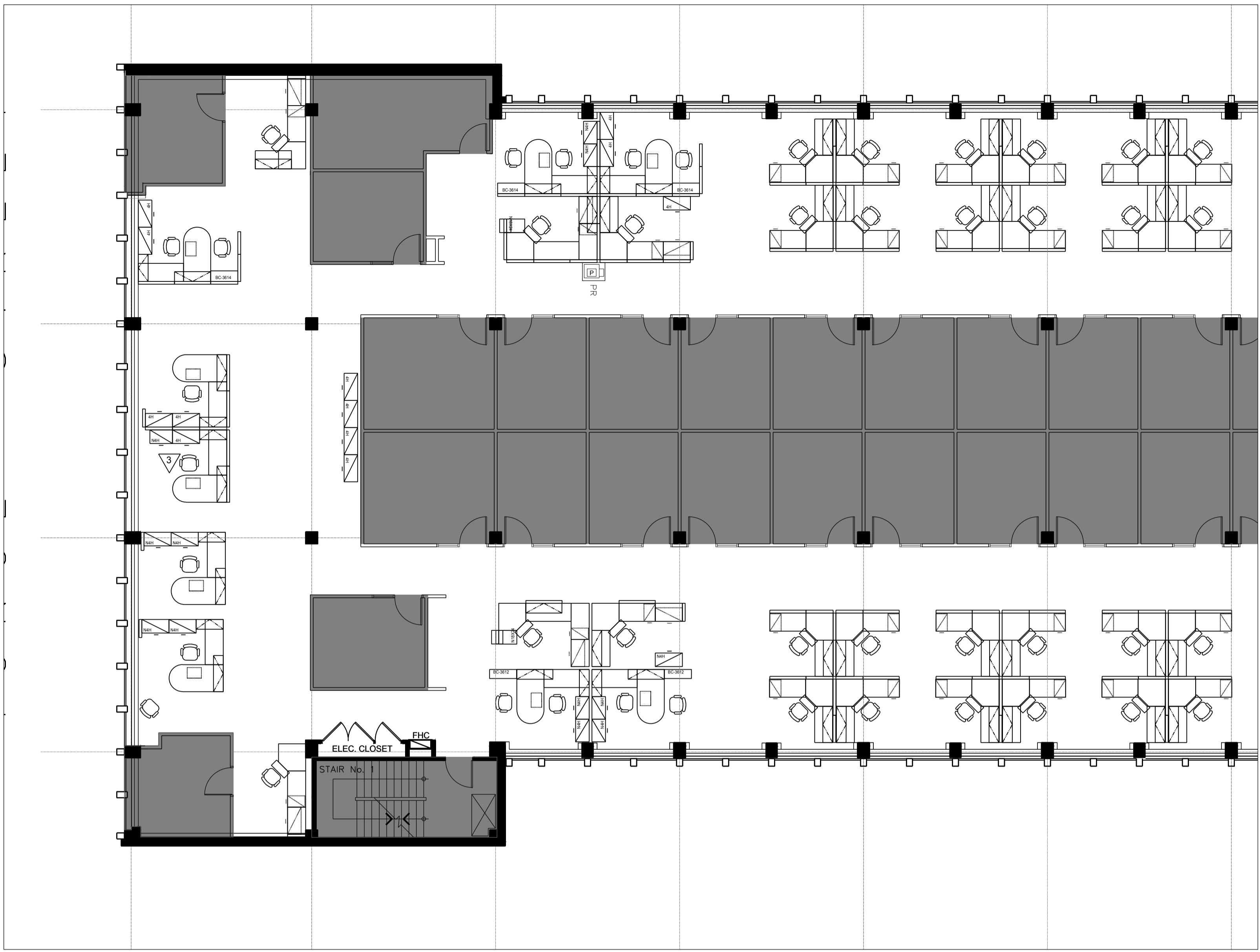
approved by  
approuve par

bid  
offre project manager  
administrateur de projets

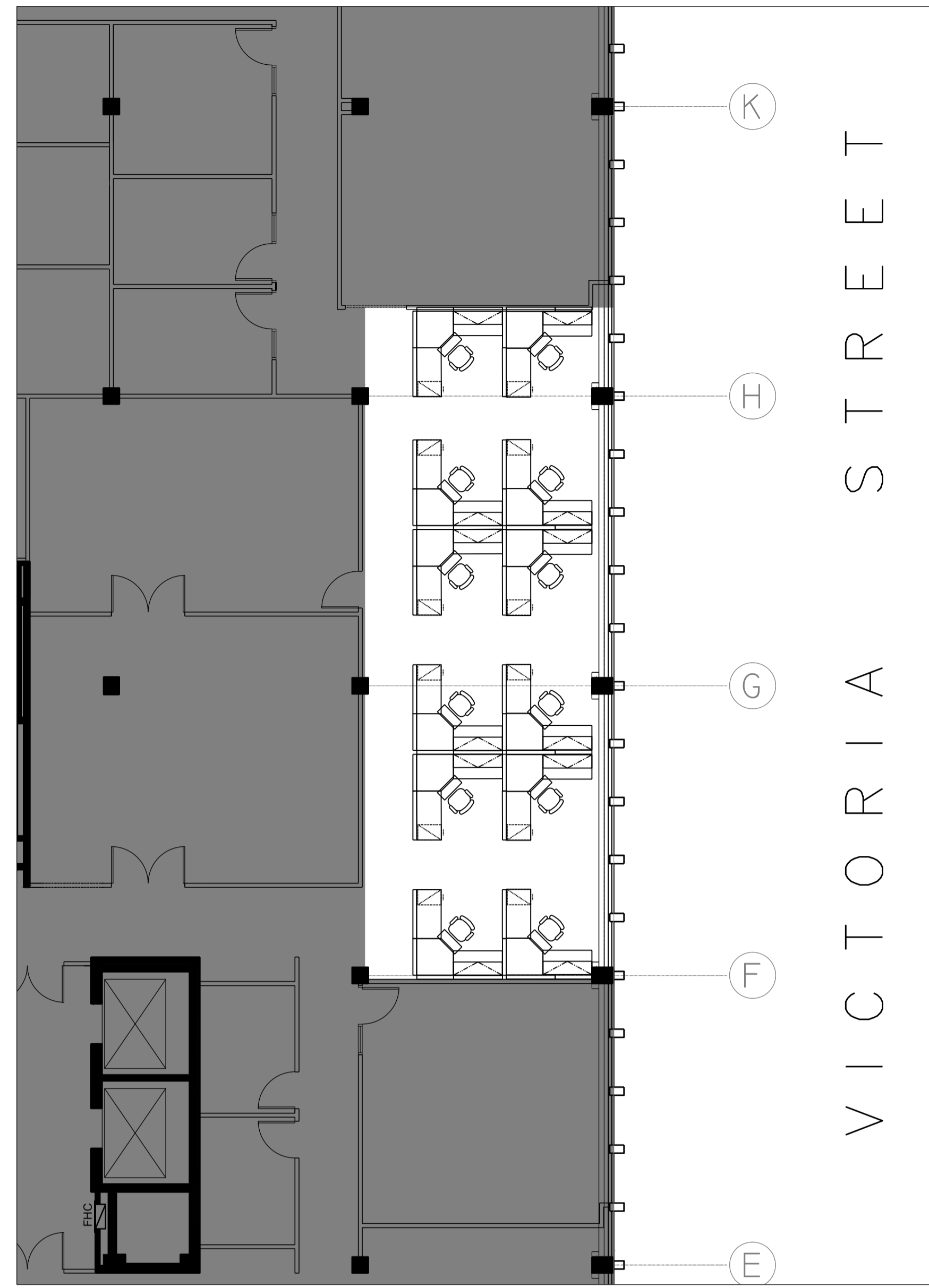
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

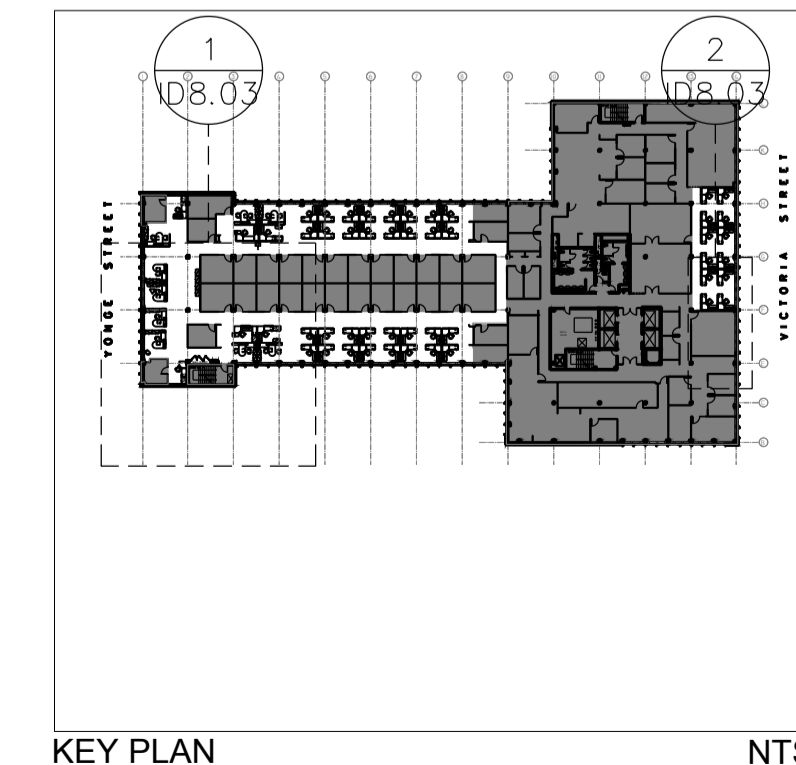
drawing no.  
dessine no. **ID8.03A**



1 PLAN: WEST YONGE SIDE  
D8.03 SCALE: 1:100



2 PLAN: EAST VICTORIA SIDE  
D8.03 SCALE: 1:100



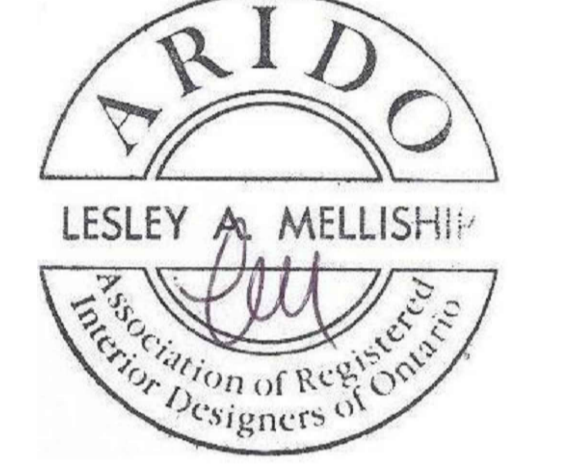
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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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X-DESIGN INC. 29386  
FIRM NAME BCIN



04		
03		
02	ISSUED FOR TENDER	16NOV18
01	ISSUED FOR 100% REVIEW	01NOV18
revision		date

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A Detail No.  
B No. du détail  
drawing no. - where detailed  
dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**8TH FLOOR  
FURNITURE AND EQUIPMENT  
AS-BUILTS**

drawn by  
dessine par  
**JN**

designed by  
conc par  
**LM/JR**

approved by  
approuve par

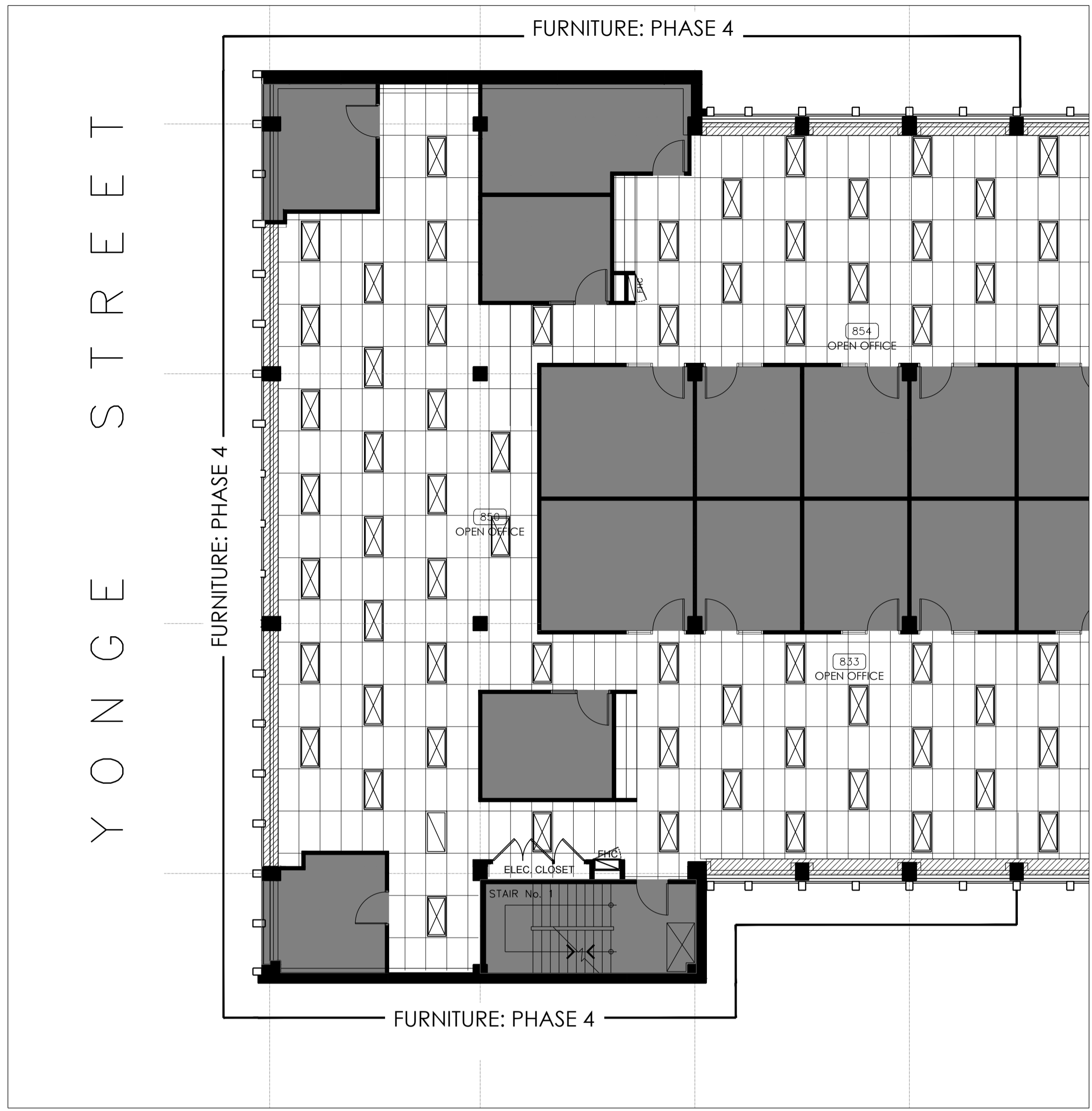
bid  
offre

project manager  
administrateur  
de projets

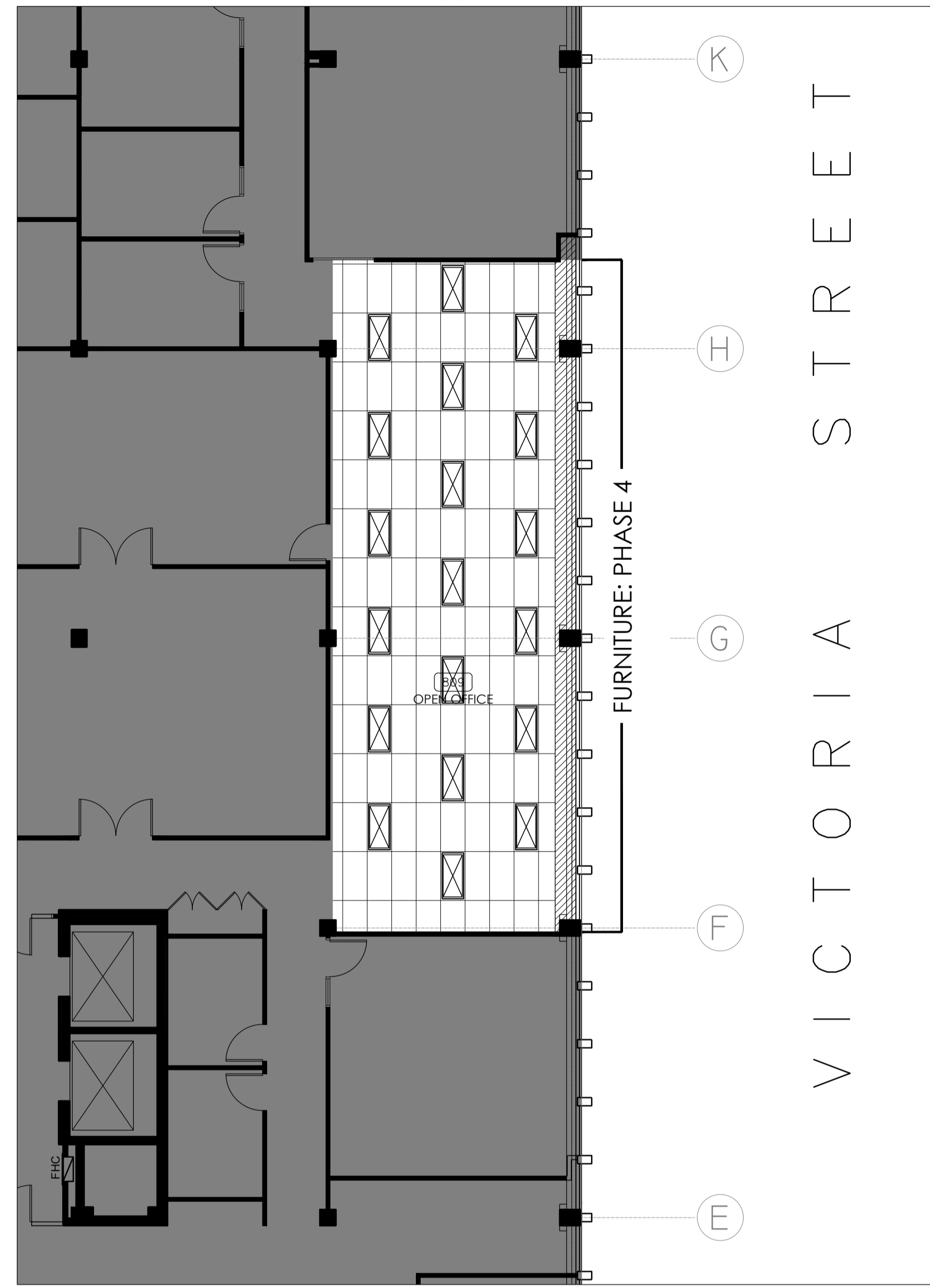
project date  
date du projet  
**2018-11-01**

project no.  
no. du projet  
**18208.00**

drawing no.  
dessine no.  
**ID8.03B**



1 PLAN: WEST YONGE SIDE  
D8.05 SCALE: 1:100

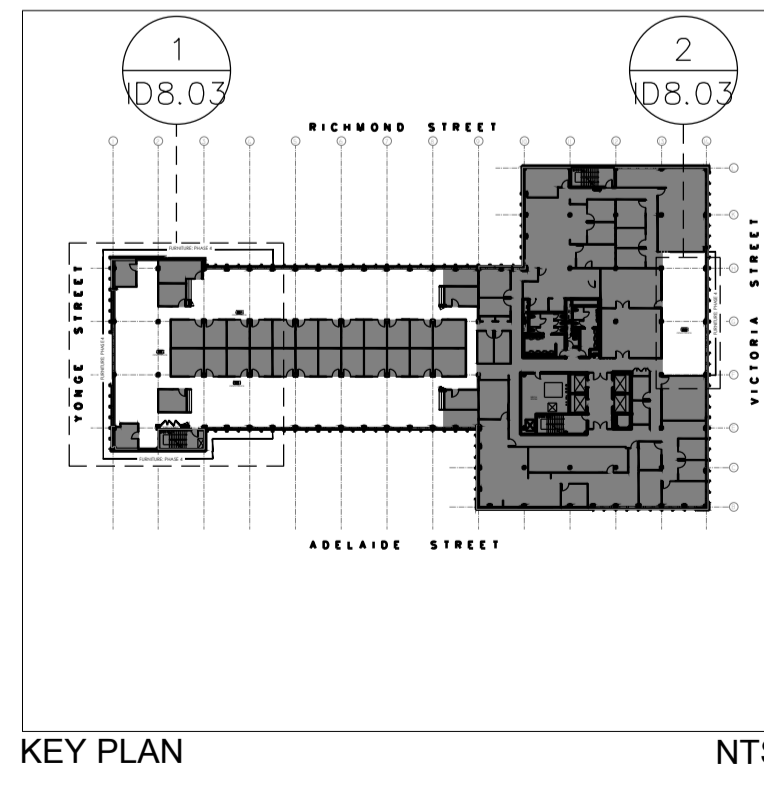


2 PLAN: EAST VICTORIA SIDE  
D8.05 SCALE: 1:100

**REFLECTED CEILING PLAN LEGEND**

- AREA NOT IN CONTRACT
- EXISTING ACOUSTICAL CEILING TILE
- EXISTING DRYWALL BULKHEAD / CEILING TO REMAIN. PATCH, REPAIR AND PAINT BULKHEAD TO MATCH EXISTING WHERE WALLS HAVE BEEN REMOVED.
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEERS DRAWING FOR FURTHER INSTRUCTIONS. LIGHT FIXTURE TO BE RETURNED TO LANDLORD.

- REFLECTED CEILING PLAN NOTES**
- NOTE REFERENCES**  
NOTE "A" DENOTES NOTE "A"  
NOTE "D" DENOTES "PLAN NOTE A"
- A. RESERVED.
  - B. PROVIDE ALLOWANCE OF 20% NEW CEILING GRID & TILE.
  - C. CONTRACTOR TO INCLUDE IN THEIR SCOPE OF WORK ALL CEILING MODIFICATIONS IE. CUTTING, PATCHING, REMOVAL AND REPLACEMENT OF CEILING TILES RELATING TO MECHANICAL WORK IN ALL AFFECTED AREAS AS OUTLINED ON MECHANICAL DRAWINGS.



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
FIRM NAME BCIN



05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED TO ENGINEERS	18OCT18
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01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**8TH FLOOR  
REFLECTED CEILING  
FLOOR PLAN**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

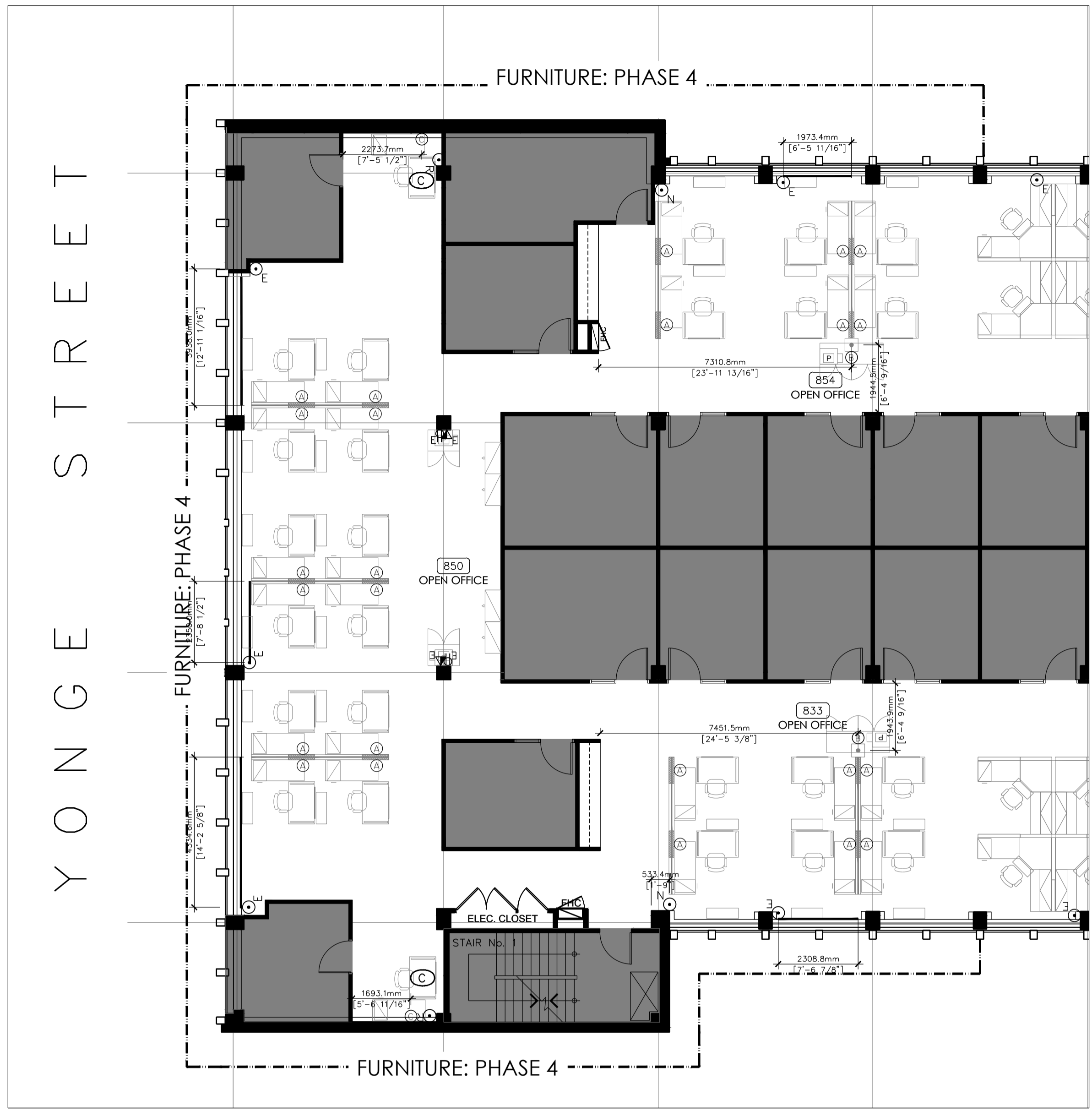
approved by  
approuve par

bid  
offre project manager  
administrateur  
de projets

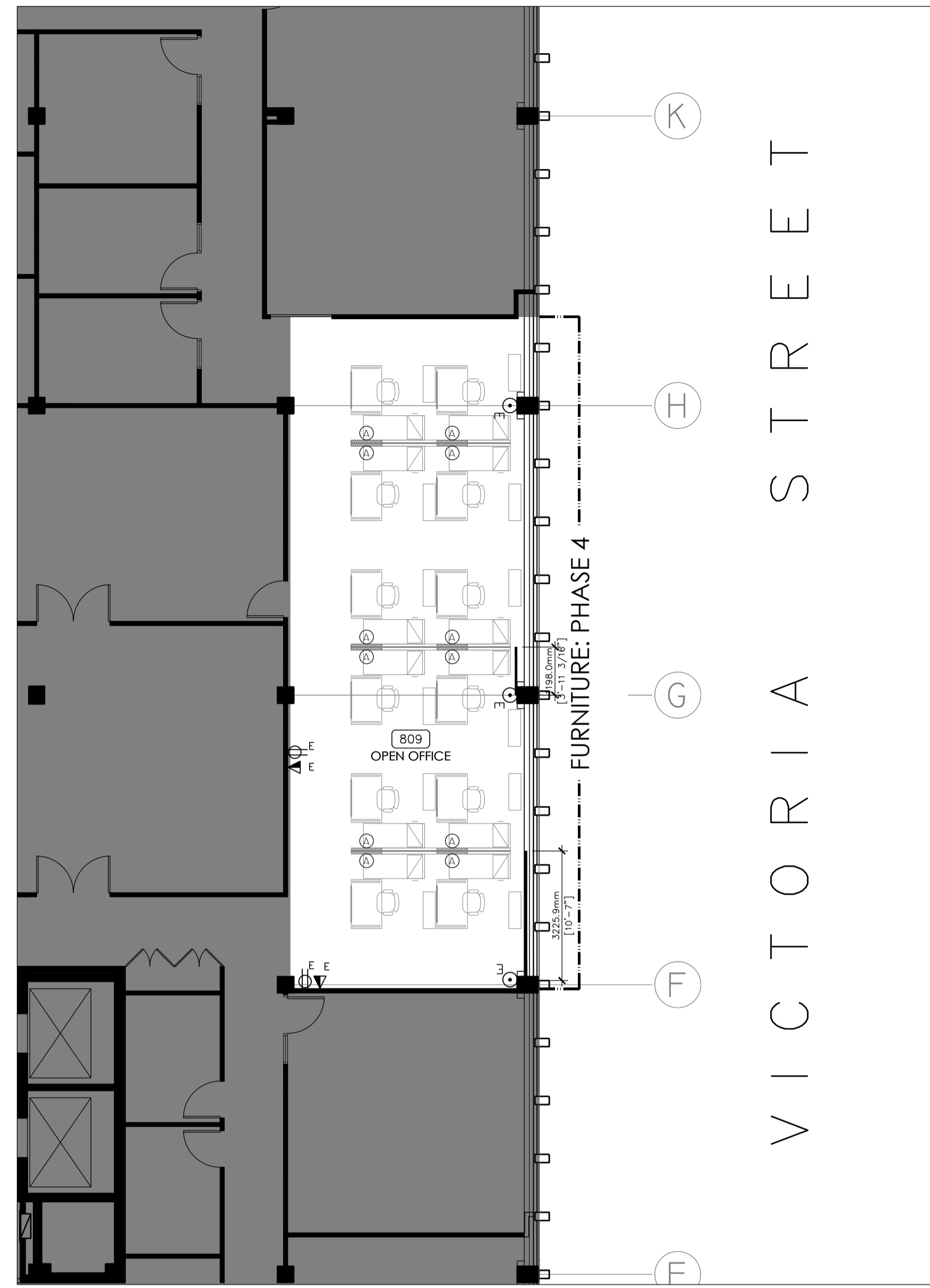
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

drawing no.  
dessine no. **ID8.05**



1 PLAN: WEST YONGE SIDE  
D8.06 SCALE: 1:100



2 PLAN: EAST VICTORIA SIDE  
D8.06 SCALE: 1:100

### POWER AND COMMUNICATION LEGEND

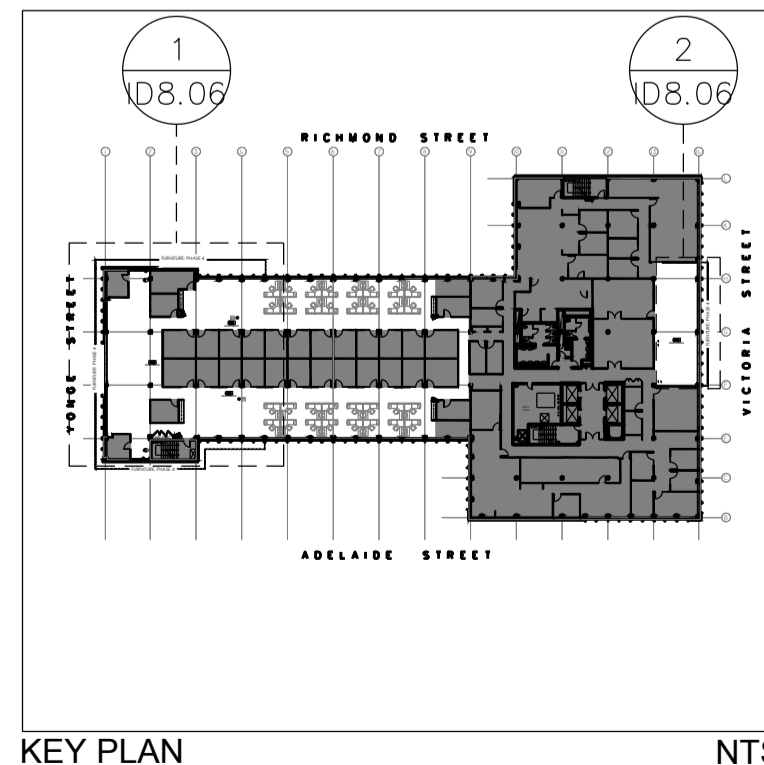
AREA NOT IN CONTRACT

- ⊕ WALL MOUNTED ELECTRICAL DUPLEX OUTLET
- "E" DENOTES EXISTING TO REMAIN  
"R" DENOTES TO BE REMOVED  
"N" DENOTES NEW
- ▽ WALL MOUNTED VOICE AND DATA OUTLET
- WALL FEED
- WIRE MOLD
- ⊙ 3 DUPLEX (1) DATA, (1) CIRCUIT PER 2 WORKSTATIONS
- ⊕ 1 SEPARATE CIRCUIT DUPLEX / 1 DATA
- ⊙ 3 DUPLEX (1) DATA WALL OR FURNITURE MOUNTED, FURNITURE OR WALL MOUNTED OUTLET.
- INDICATES PAC POLE BY G.C.

### POWER AND COMMUNICATION NOTES

NOTE REFERENCES  
NOTE "A" DENOTES NOTE "A"  
NOTE (A) DENOTES "PLAN NOTE A"

- A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.
- B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PERIMETER WALLS, CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.
- C. WHERE EXISTING INFEEED LOCATION REMOVED, REPLACED W/ NEW WALL MOUNTED OUTLETS AS NOTED.



**INTERGEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.

#### QUALIFICATION INFORMATION

Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

GREG QUINN 26046  
NAME SIGNATURE BCIN

#### REGISTRATION INFORMATION

Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
FIRM NAME BCIN

**ARIDO**  
GREG QUINN  
Association of Registered Interior Designers of Ontario

05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

Do not scale drawings.  
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(A)	A Detail No.
(B)	B No. du détail drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**8TH FLOOR  
POWER AND COMMUNICATIONS  
FLOOR PLAN**

drawn by  
dessine par  
**JN**

designed by  
conc par  
**LM/JR**

approved by  
approuve par

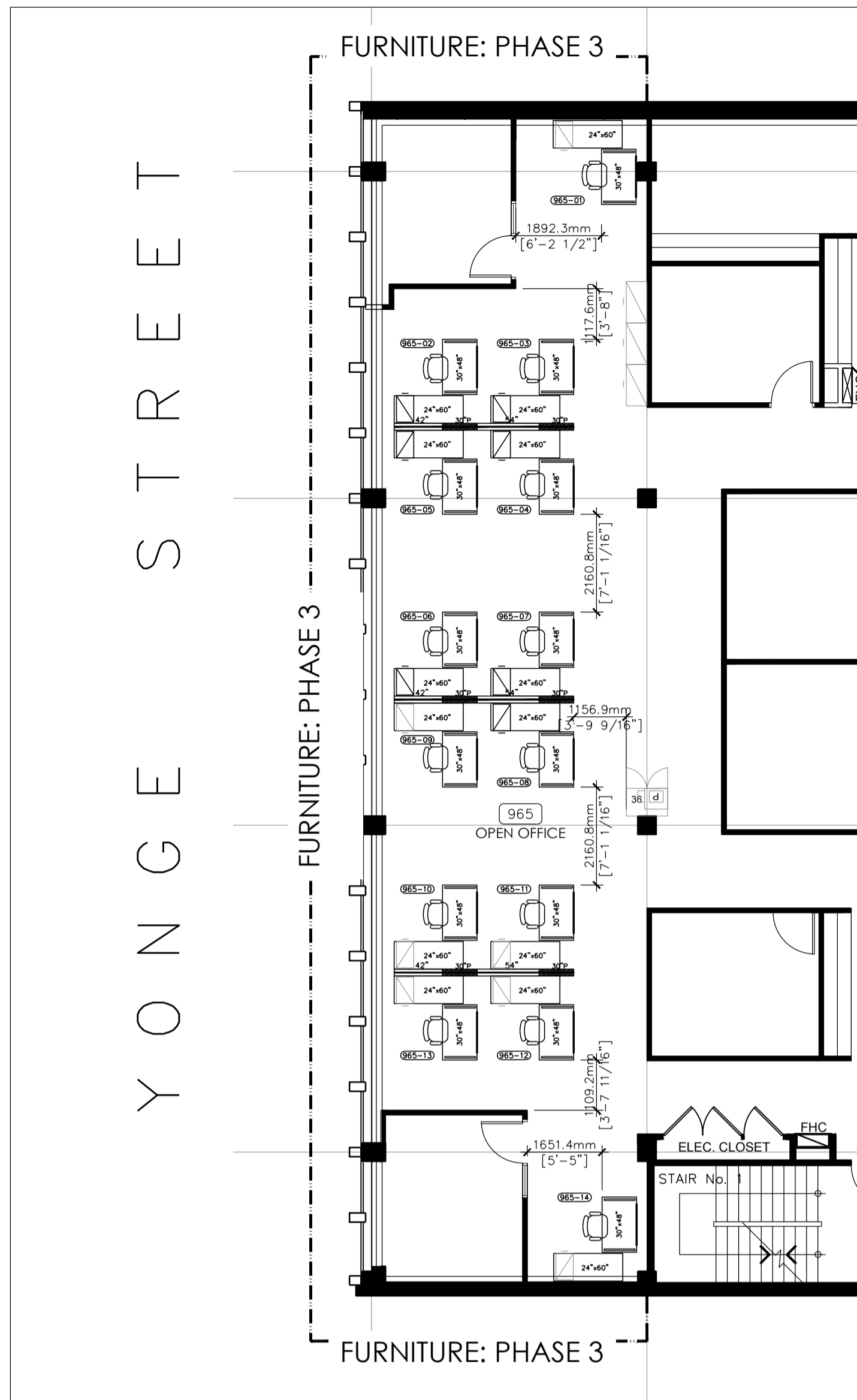
bid  
offre

project date  
date du projet  
**2018-11-01**

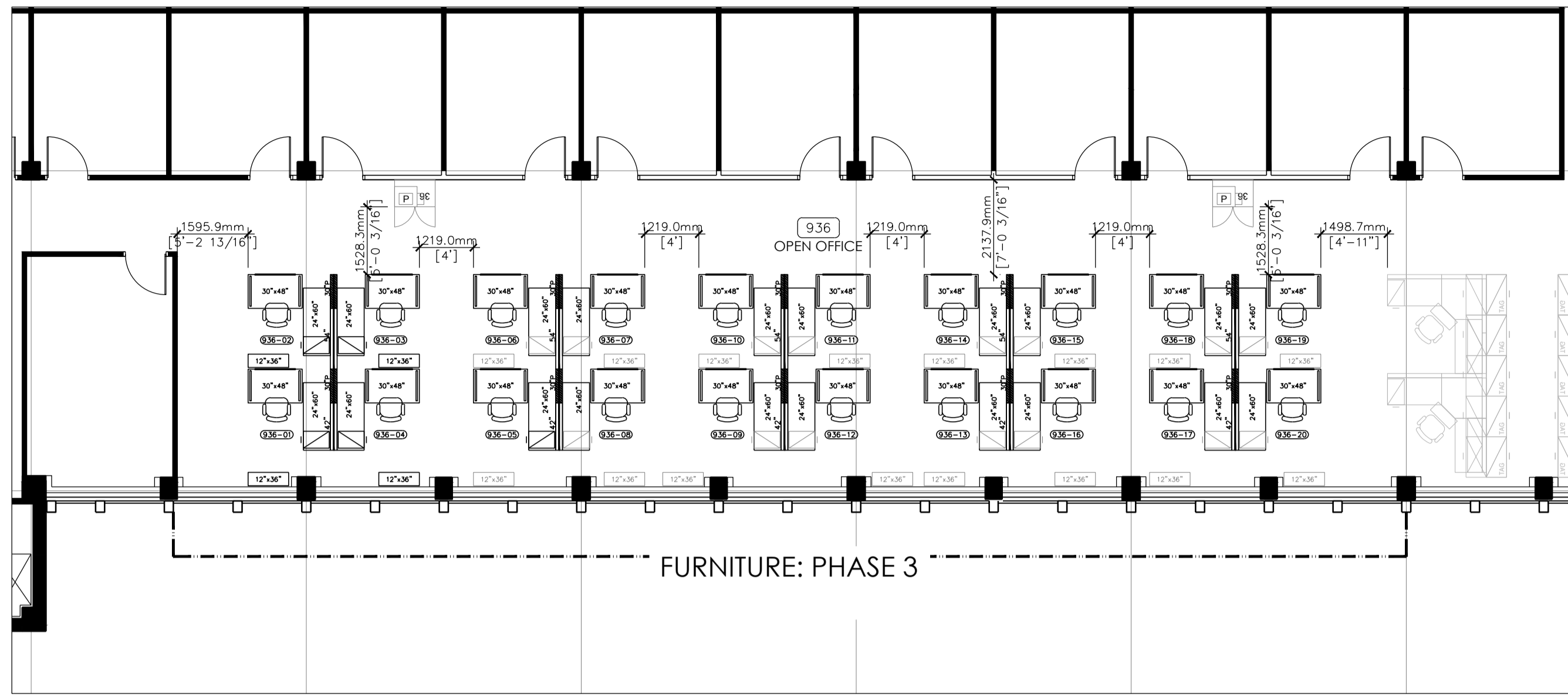
project no.  
no. du projet  
**18208.00**

drawing no.  
dessine no.  
**ID8.06**

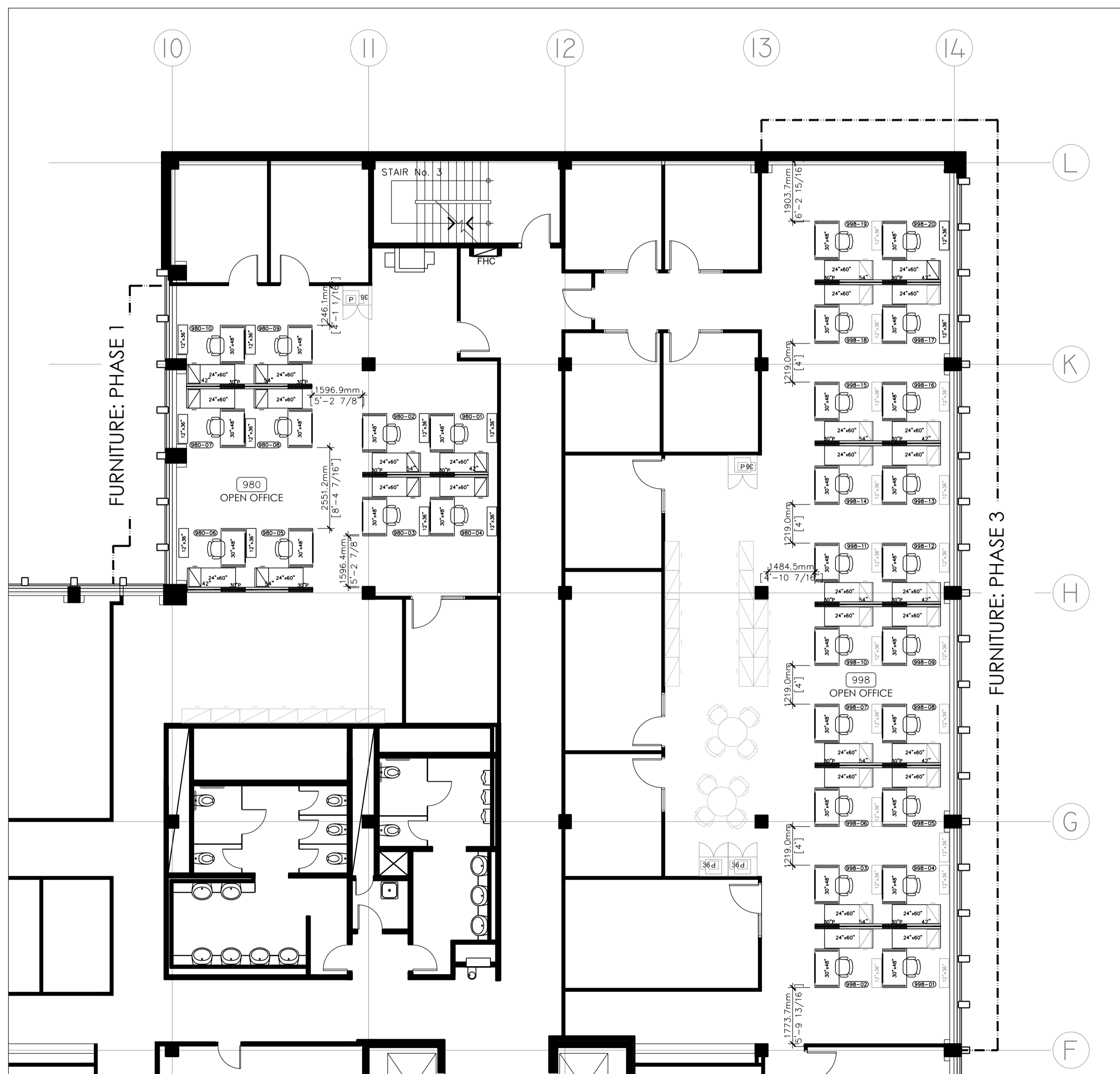
project manager  
administrateur de projets



1 PLAN: WEST YONGE SIDE  
D9.03 SCALE: 1:100



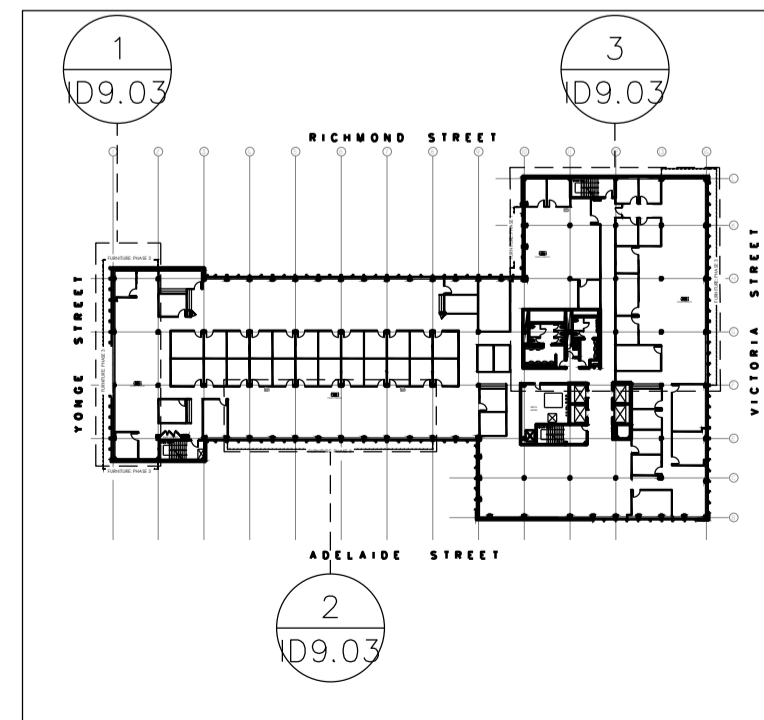
2 PLAN: SOUTH ADELAIDE SIDE  
D9.03 SCALE: 1:100



3 PLAN: NORTH EAST VICTORIA SIDE  
D9.03 SCALE: 1:100

- ### FURNITURE AND EQUIPMENT PLAN NOTES
- AREA NOT IN CONTRACT
  - XXXX ROOM OR AREA NUMBER
  - 000-00 WORK STATION NUMBER
  - RELOCATED PHOTOCOPIER/PRINTER
  - INDICATES FREESTANDING PANEL W/ OUTLETS
  - INDICATES FREESTANDING PANEL
  - INDICATES 30"x48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
  - INDICATES 24"x60" FREESTANDING WORK SURFACE
  - INDICATES TASK CHAIR
  - INDICATES GUEST CHAIR
  - INDICATES EXISTING FIXED PEDESTAL
  - INDICATES NEW FIXED PEDESTAL
  - INDICATES EXISTING 12"x36" 4-HIGH BOOKCASE
  - INDICATES NEW 12"x36" 4-HIGH BOOKCASE
  - INDICATES EXISTING RELOCATED LATERAL FILING
  - INDICATES NEW LATERAL FILING
  - INDICATES 36" ROUND MEETING TABLE
  - INDICATES EXISTING STORAGE UNIT
  - INDICATES EXISTING PRINTER

- ### FURNITURE AND EQUIPMENT NOTES
- NOTE REFERENCES  
NOTE "A" DENOTES NOTE "A"  
NOTE "A" DENOTES "PLAN NOTE A"
- A. ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.  
B. ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT.
- TOTAL NEW WORKSTATIONS: 64



KEY PLAN NTS



**INTERGEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B9  
TEL: 416-362-4610 FAX: 416-462-0626

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C 3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN  
FIRM NAME



04	ISSUED FOR TENDER	16NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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A	A Detail No.
B	No. du detail drawing no. - where detailed dessin no. - ou detaillé

project title / titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title / titre du dessin  
**9TH FLOOR FURNITURE AND EQUIPEMENT FLOOR PLAN**

drawn by / dessiné par  
JN

designed by / conçu par  
LM/JR

approved by / approuvé par

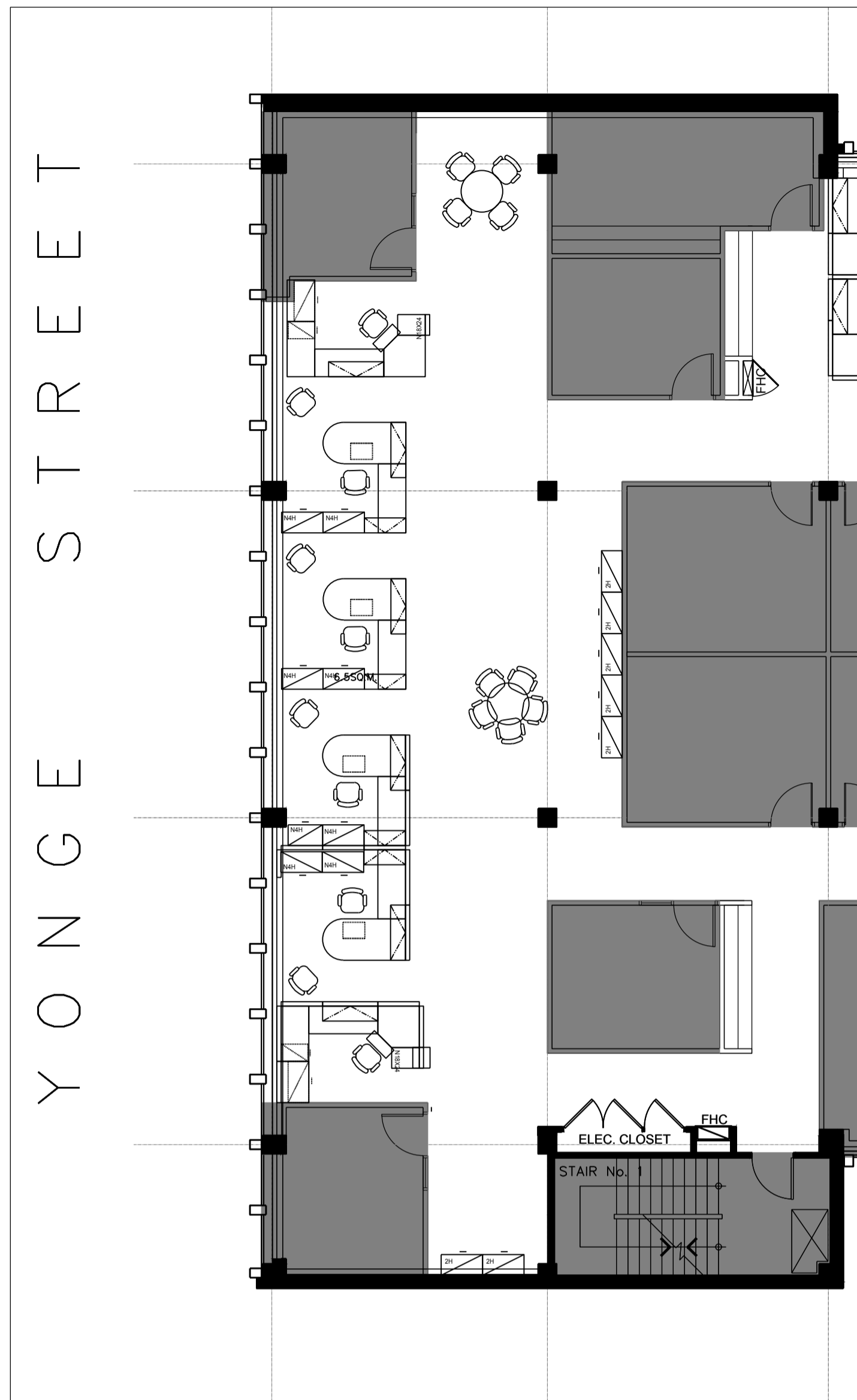
bid / offre project manager / administrateur de projets

project date / date du projet  
2018-11-01

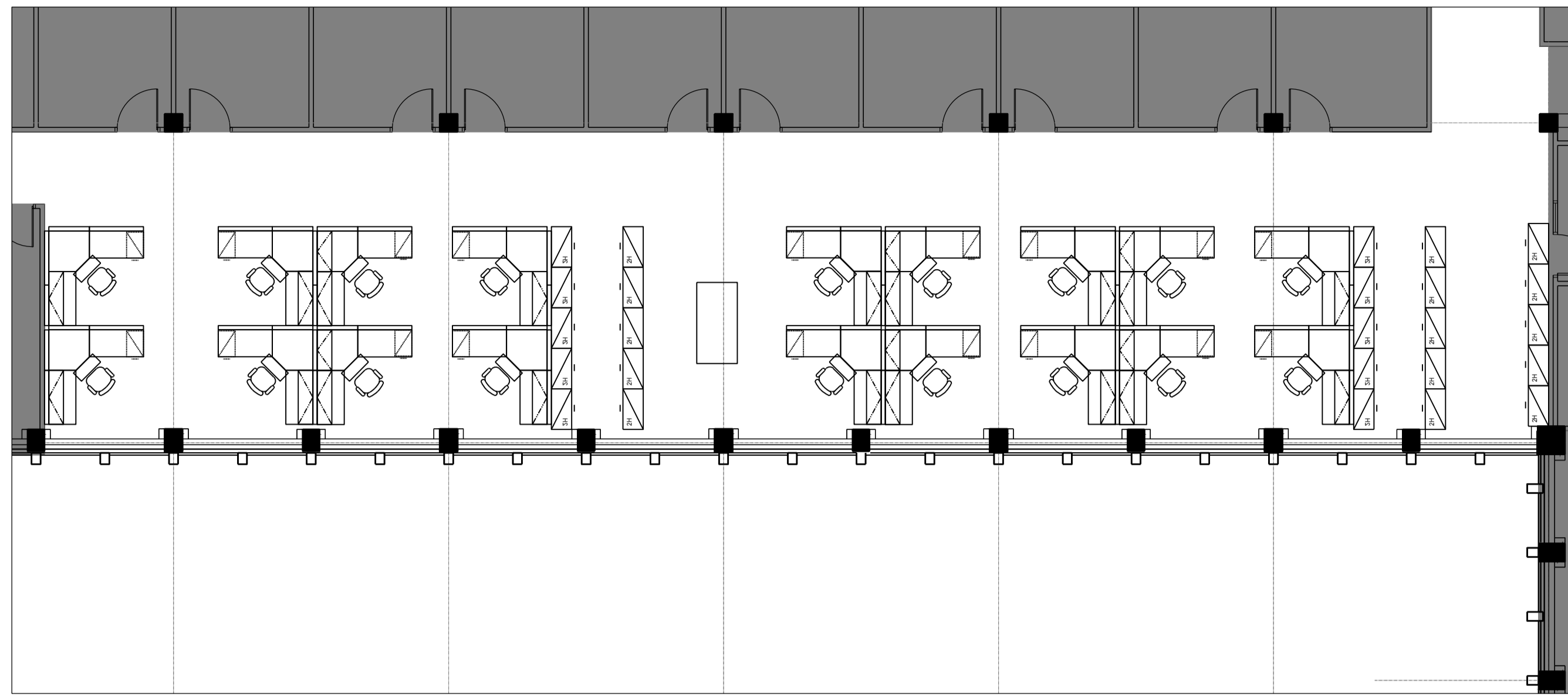
project no. / no. du projet  
18208.00

drawing no. / dessin no.  
ID9.03A

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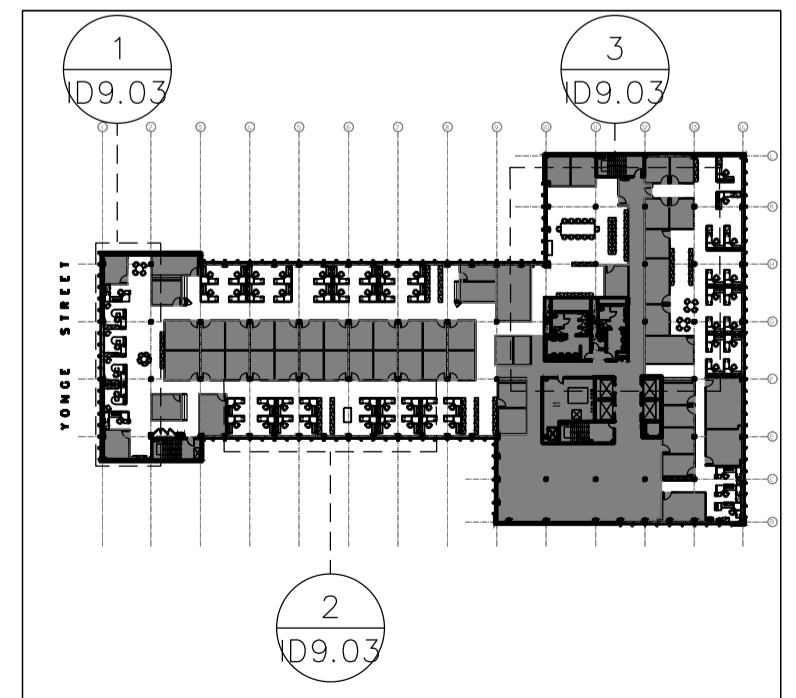
1 PLAN: WEST YONGE SIDE  
D9.03 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D9.03 SCALE: 1:100



3 PLAN: NORTH EAST VICTORIA SIDE  
D9.03 SCALE: 1:100

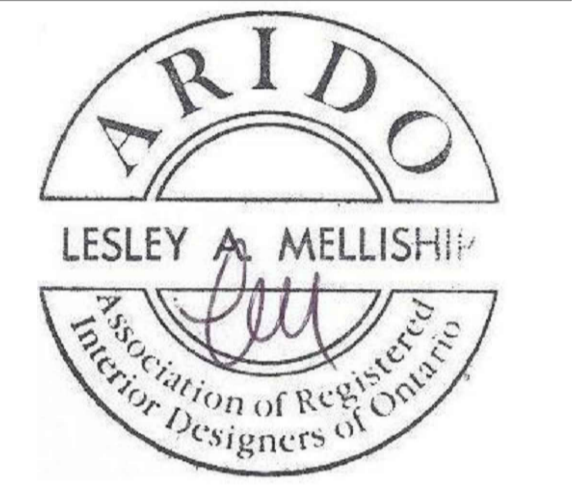


KEY PLAN NTS



**INTERGEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 200  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code  
NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN  
**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code  
FIRM NAME: X-DESIGN INC. 29386 BCIN

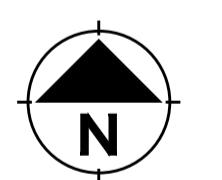


04		
03		
02	ISSUED FOR TENDER	16NOV18
01	ISSUED FOR 100% REVIEW	01NOV18
revision		date

Do not scale drawings.  
Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

A Detail No.  
B No. du détail  
drawing no. - where detailed  
dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario  
74 VICTORIA STREET  
TORONTO ON



drawing title  
titre du dessin  
**9TH FLOOR  
FURNITURE AND EQUIPEMENT  
AS-BUILTS**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

approved by  
approuve par

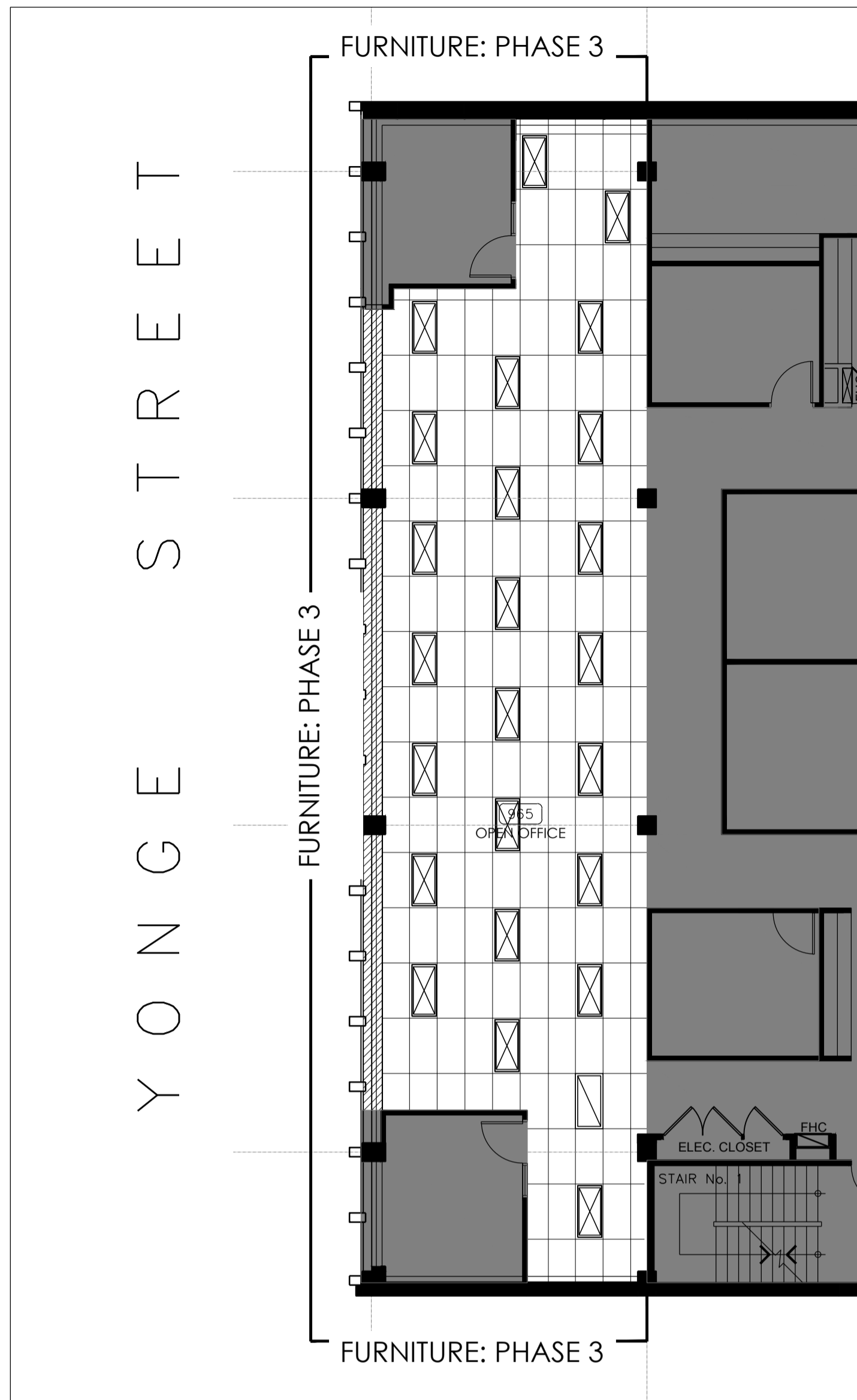
bid  
offre project manager  
administrateur de projets

project date  
date du projet **2018-11-01**

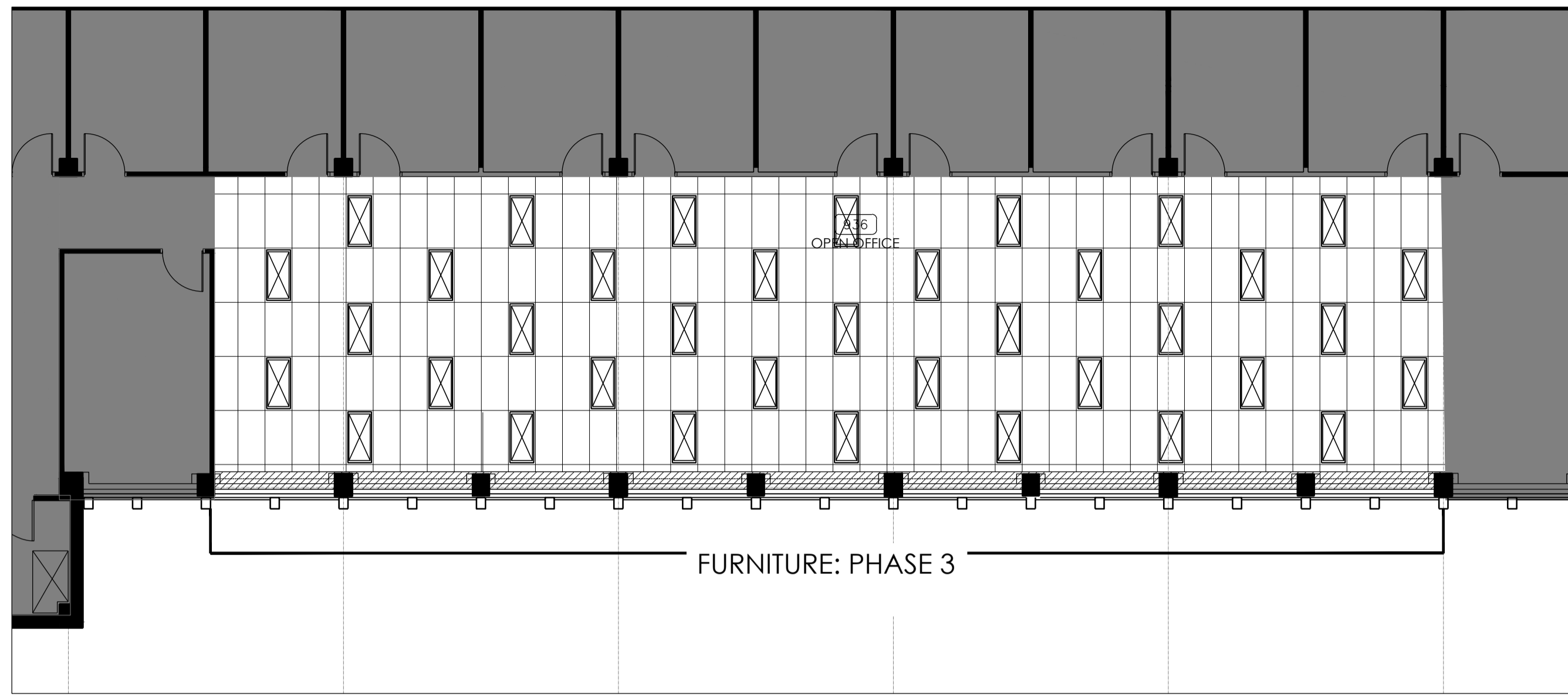
project no.  
no. du projet **18208.00**

drawing no.  
dessine no. **ID9.03B**

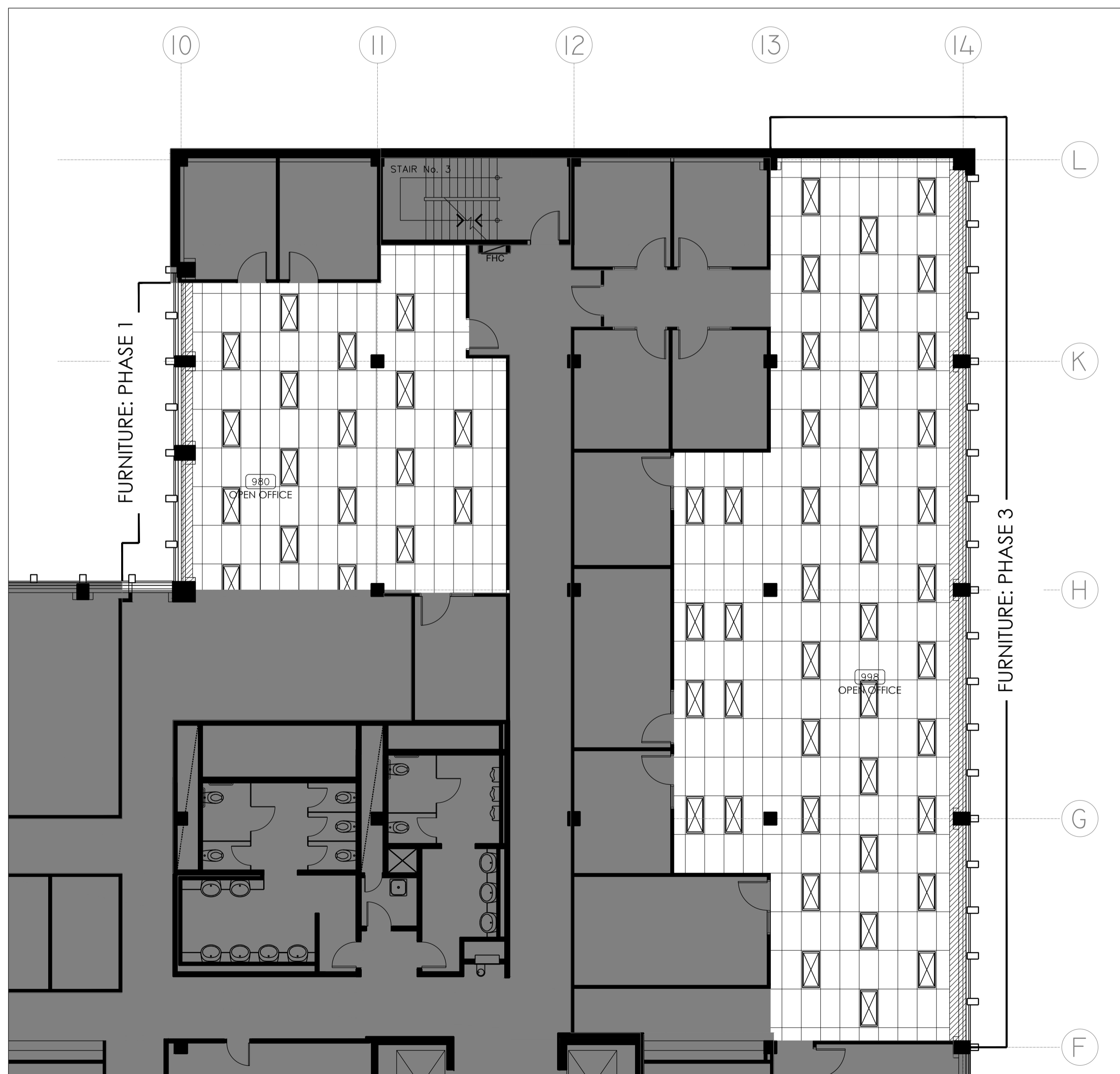
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1 PLAN: WEST YONGE SIDE  
D9.05 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D9.05 SCALE: 1:100=1'-0"



3 PLAN: NORTH EAST VICTORIA SIDE  
D9.05 SCALE: 1:100

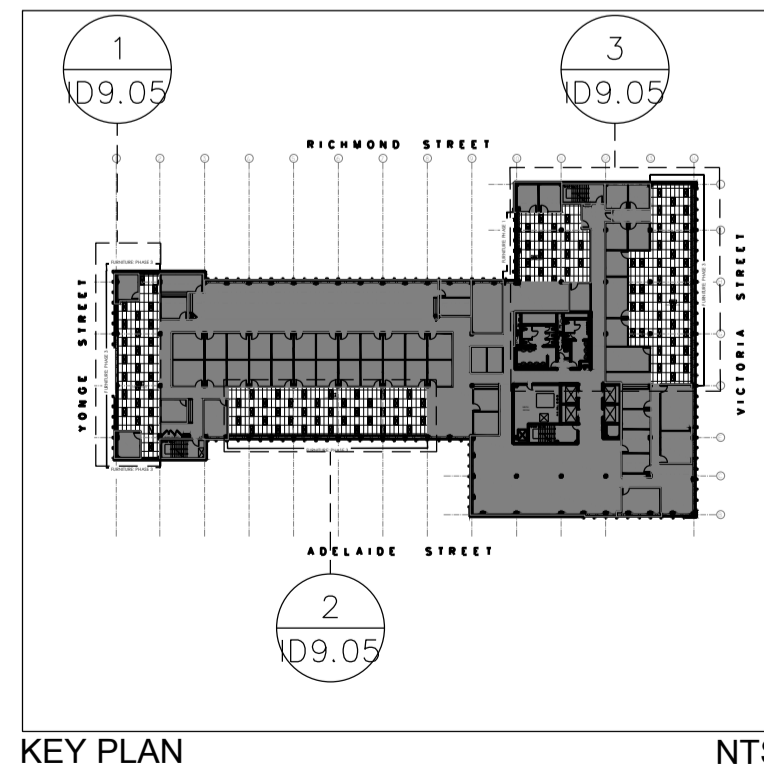
### REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING ACOUSTICAL CEILING TILE
- EXISTING DRYWALL BULKHEAD / CEILING TO REMAIN. PATCH, REPAIR AND PAINT BULKHEAD TO MATCH EXISTING WHERE WALLS HAVE BEEN REMOVED.
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS.
- NEW FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS. LIGHT FIXTURE TO BE RETURNED TO LANDLORD.

### REFLECTED CEILING PLAN NOTES

NOTE REFERENCES  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'B' DENOTES 'PLAN NOTE A'

- A. RESERVED.
- B. PROVIDE ALLOWANCE OF 20% NEW CEILING GRID & TILE.
- C. CONTRACTOR TO INCLUDE IN THEIR SCOPE OF WORK ALL CEILING MODIFICATIONS IE. CUTTING, PATCHING, REMOVAL AND REPLACEMENT OF CEILING TILES RELATING TO MECHANICAL WORK IN ALL AFFECTED AREAS AS OUTLINED ON MECHANICAL DRAWINGS.



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS  
1136 BUNDAS STREET EAST, SUITE 200  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

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#### QUALIFICATION INFORMATION

Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

NAME	GREG QUINN	26046
BCIN		

#### REGISTRATION INFORMATION

Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

FIRM NAME	X-DESIGN INC.	29386
BCIN		



05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

Do not scale drawings.  
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A	Detail No.
B	No. du détail
	drawing no. - where detailed
	dessin no. - ou detaillé

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**9TH FLOOR  
REFLECTED CEILING  
FLOOR PLAN**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

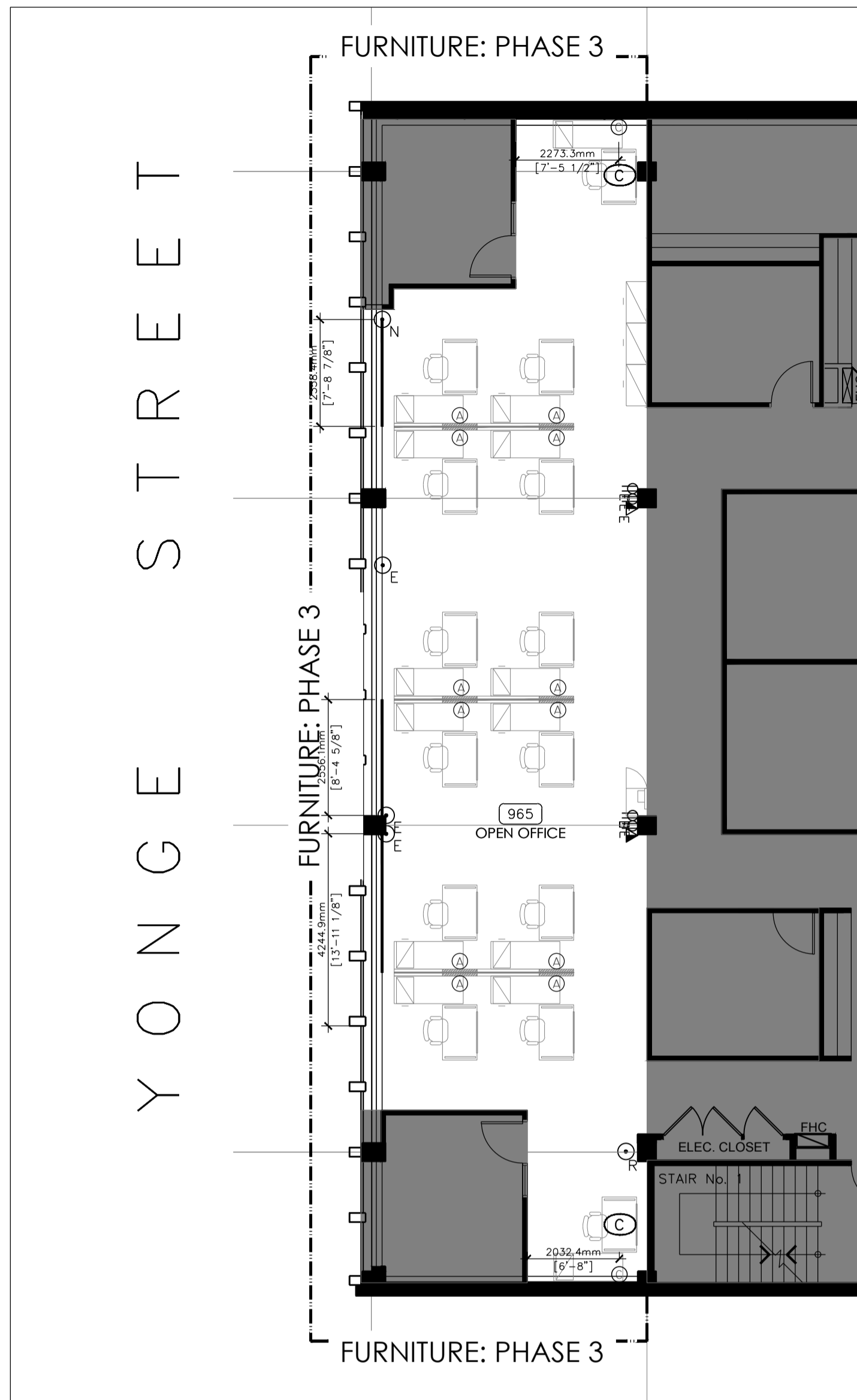
approved by  
approuve par

bid  
offre project manager  
administrateur de projets

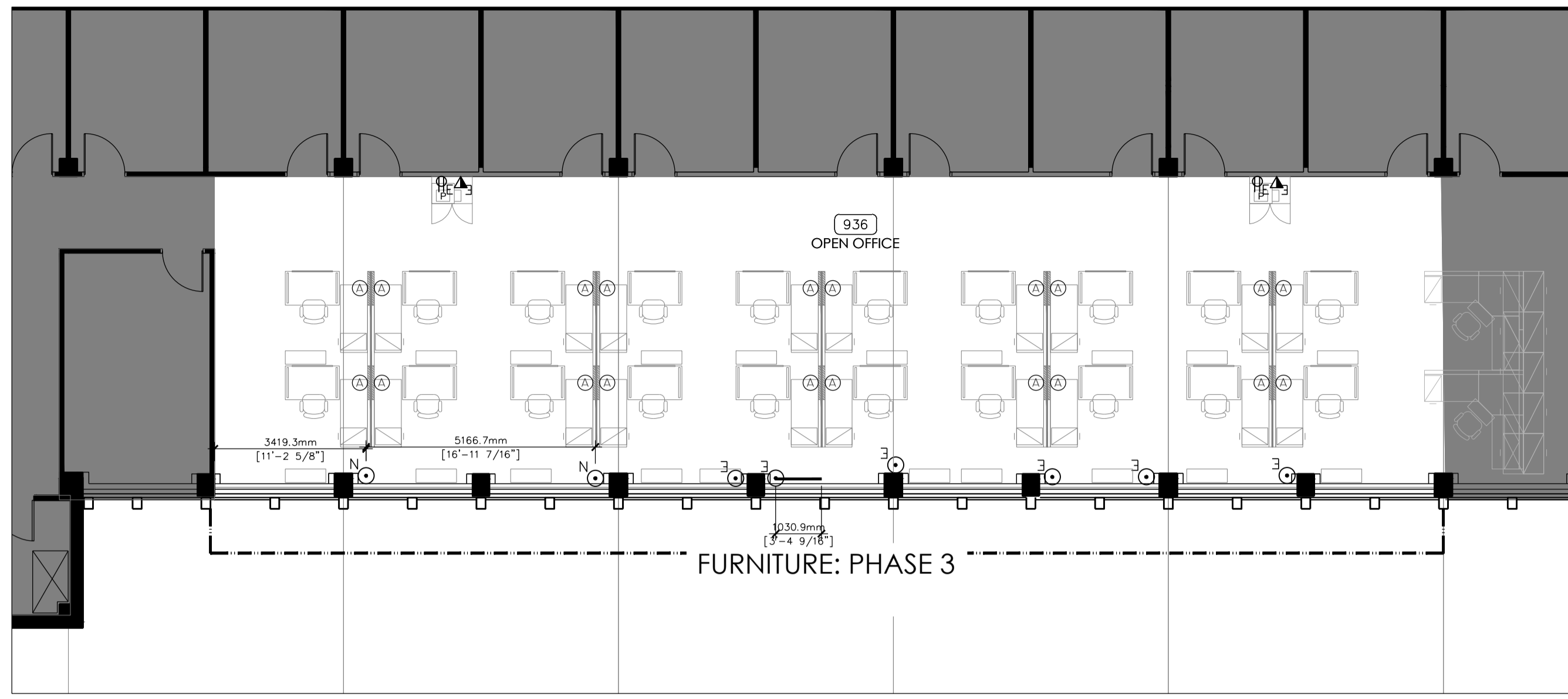
project date  
date du projet **2018-11-01**

project no.  
no. du projet **18208.00**

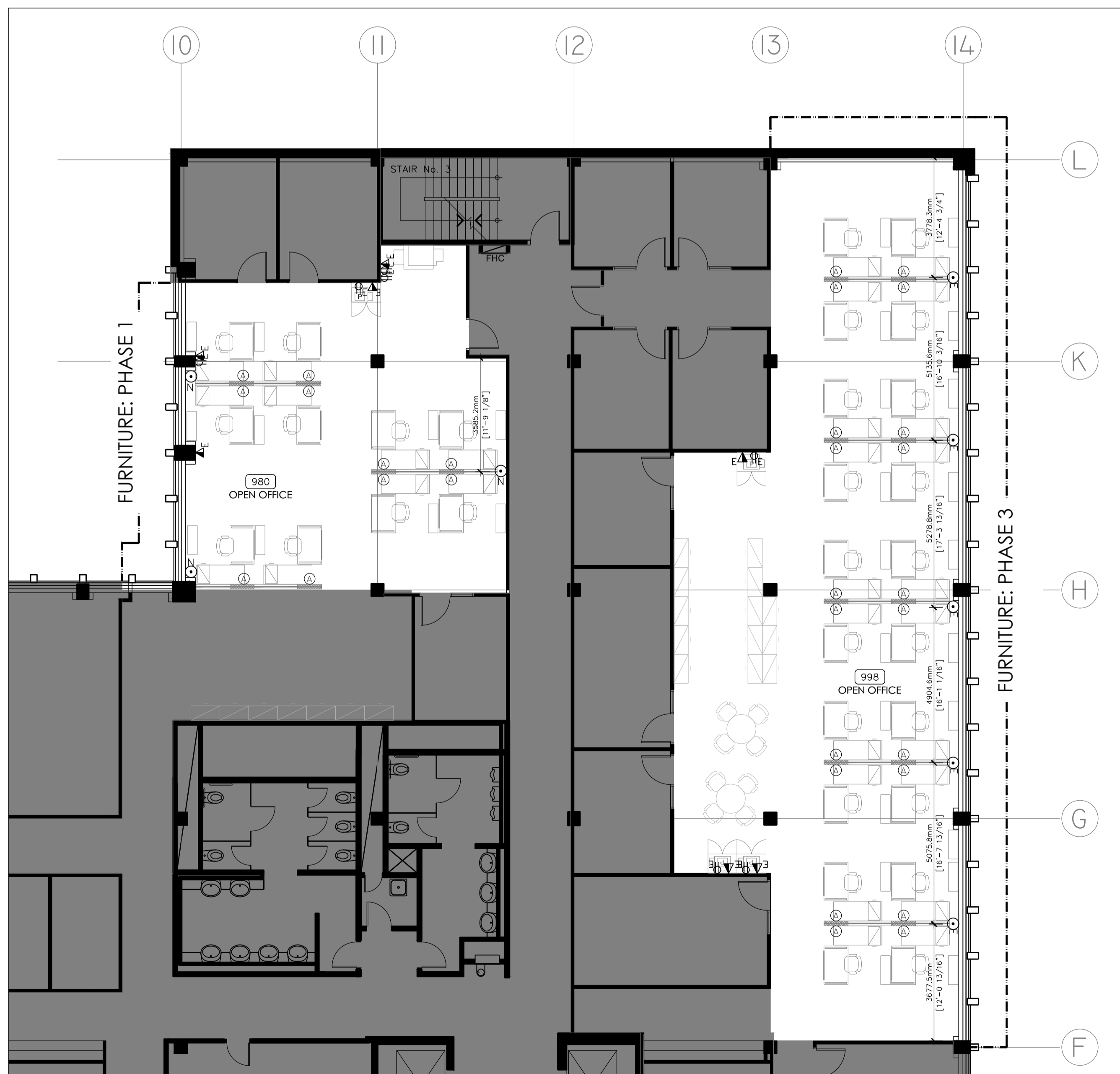
drawing no.  
dessine no. **ID9.05**



1 PLAN: WEST YONGE SIDE  
D9.06 SCALE: 1:100



2 PLAN: SOUTH ADELAIDE SIDE  
D9.06 SCALE: 1:100



3 PLAN: NORTH EAST VICTORIA SIDE  
D9.06 SCALE: 1:100

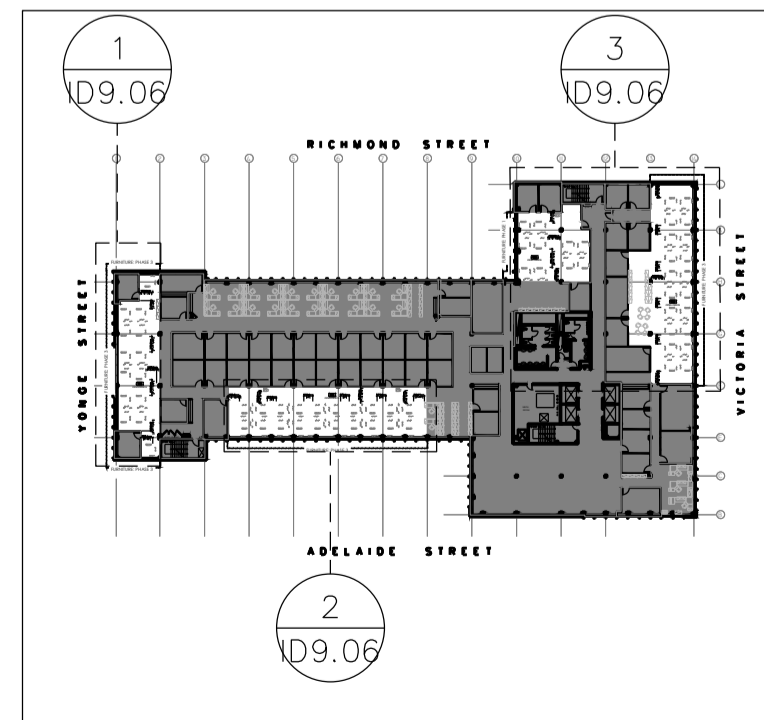
### POWER AND COMMUNICATION LEGEND

- AREA NOT IN CONTRACT
- WALL MOUNTED ELECTRICAL DUPLEX OUTLET
- "E" DENOTES EXISTING TO REMAIN  
"R" DENOTES TO BE REMOVED  
"N" DENOTES NEW
- WALL MOUNTED VOICE AND DATA OUTLET
- WALL FEED
- WIRE MOLD
- 3 DUPLEX (1) DATA, (1) CIRCUIT PER TWO WORKSTATIONS
- RESERVED.
- 3 DUPLEX (1) DATA MOUNTED AT 16" O.C. A.F.F. FURNITURE OR WALL MOUNTED OUTLET

### POWER AND COMMUNICATION NOTES

**NOTE REFERENCES:**  
NOTE "A" DENOTES NOTE "A"  
NOTE (A) DENOTES "PLAN NOTE A"

- A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.
- B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PERIMETER WALLS, CONTRACTOR TO PROVIDE ABAITEMENT PROCESS. REFER TO PROJECT MANUAL.
- C. WHERE EXISTING INFEEED LOCATION REMOVED, REPLACED W/ NEW WALL MOUNTED OUTLETS AS NOTED.



KEY PLAN NTS



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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN



05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
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01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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(A)	A Detail No.
(B)	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**9TH FLOOR  
POWER & COMMUNICATIONS  
FLOOR PLAN**

drawn by  
dessine par **JN**

designed by  
conc par **LM/JR**

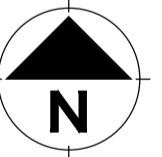
approved by  
approuve par

bid  
offre

project date  
date du projet **2018-11-01**

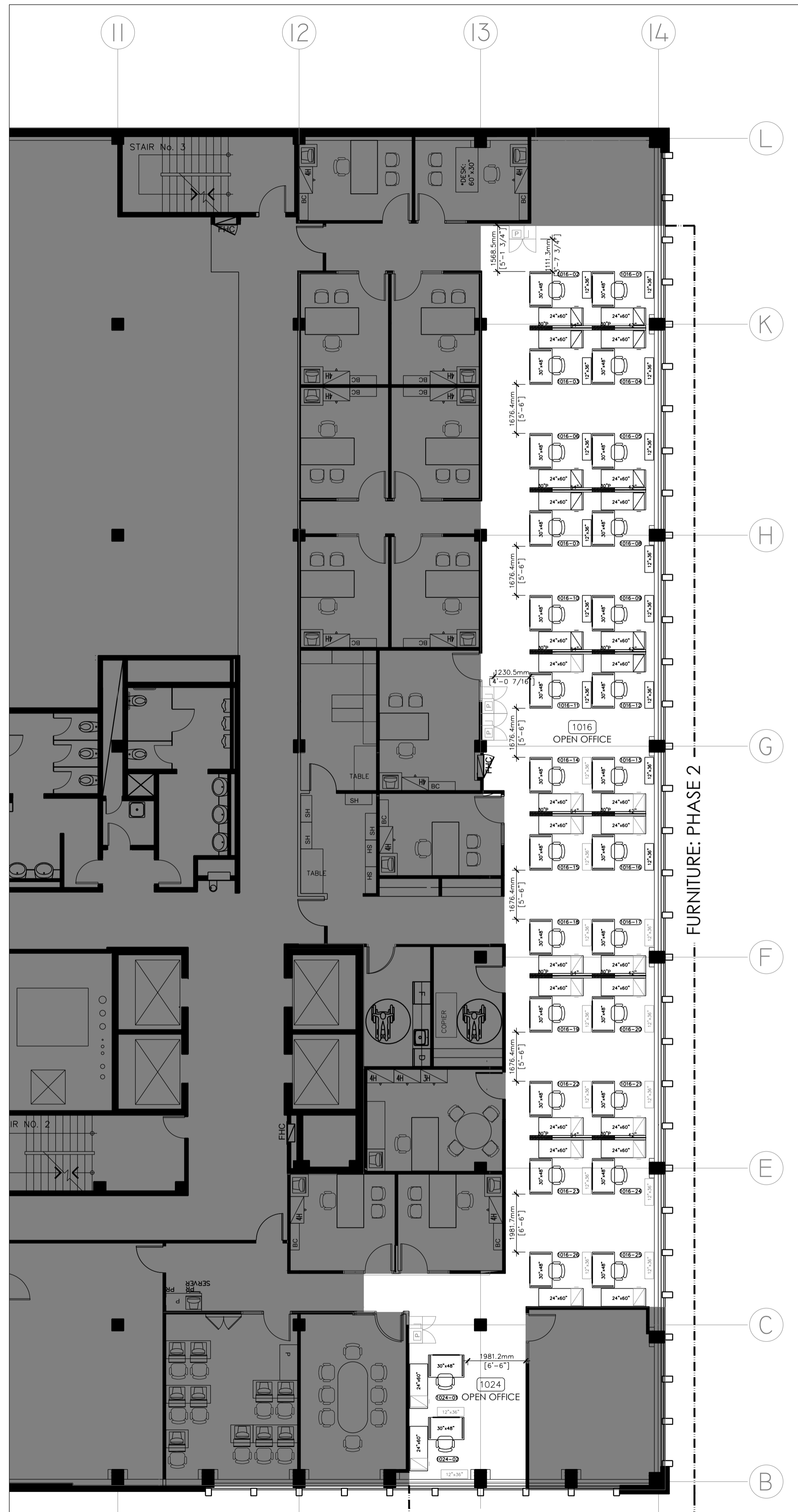
project no.  
no. du projet **18208.00**

drawing no.  
dessine no. **ID9.06**



project manager  
administrateur de projets





1 PLAN: EAST VICTORIA SIDE  
SCALE: 1:100

### FURNITURE AND EQUIPMENT PLAN NOTES

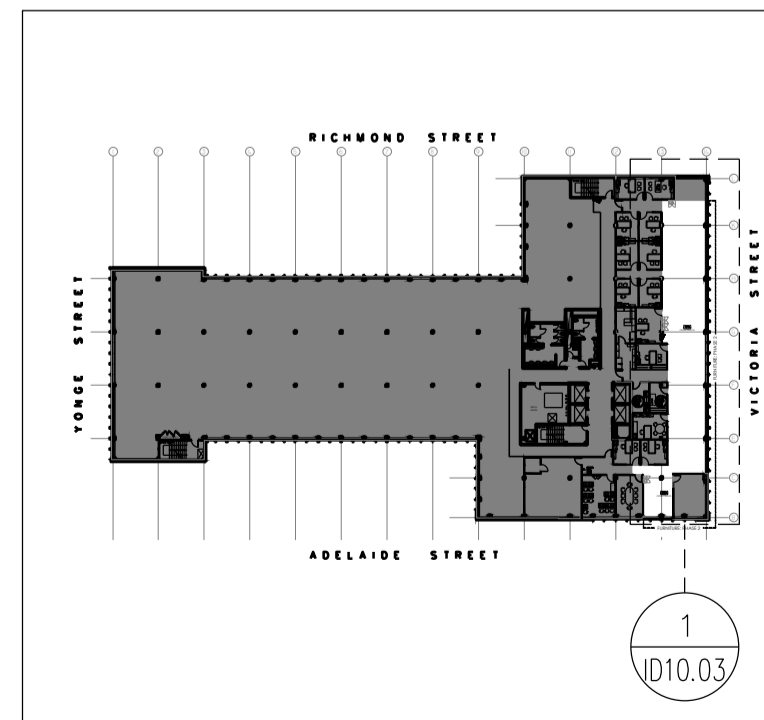
- AREA NOT IN CONTRACT
- ROOM OR AREA NUMBER
- WORK STATION NUMBER
- RELOCATED PHOTOCOPIER/PRINTER
- INDICATES FREESTANDING PANEL W/ OUTLETS
- INDICATES FREESTANDING PANEL
- INDICATES 30"X48" AUTOMATED HEIGHT ADJUSTABLE WORK SURFACE W/ SIDE MOUNTABLE PRIVACY PANEL 24" ABOVE WORK SURFACE
- INDICATES 24"X60" FREESTANDING WORK SURFACE
- INDICATES GUEST CHAIR
- INDICATES EXISTING FIXED PEDESTAL
- INDICATES NEW FIXED PEDESTAL
- INDICATES EXISTING 12"X36" 4-HIGH BOOKCASE
- INDICATES NEW 12"X36" 4-HIGH BOOKCASE
- INDICATES EXISTING RELOCATED LATERAL FILING
- INDICATES NEW LATERAL FILING
- INDICATES EXISTING STORAGE UNIT
- INDICATES EXISTING PRINTER

### FURNITURE AND EQUIPMENT NOTES

**NOTE REFERENCES**  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'

**A.** ALL FURNITURE AND EQUIPMENT ON THIS PLAN REPRESENTS DESIGN INTENT ONLY.

**B.** ALL FURNITURE AND EQUIPMENT TO BE SUPPLIED BY CLIENT FROM EXISTING INVENTORY.



KEY PLAN NTS



**INTERCEDE**  
FACILITY MANAGEMENT LTD  
DESIGN CONSULTANTS

118 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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X-DESIGN INC. 29386  
FIRM NAME BCIN



04	ISSUED FOR TENDER	16NOV18
03	ISSUED FOR 100% REVIEW	01NOV18
02	ISSUED TO ENGINEERS	18OCT18
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revision		date

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A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaille

project title  
titre du projet  
**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

drawing title  
titre du dessin  
**10TH FLOOR  
FURNITURE AND EQUIPEMENT  
FLOOR PLAN**

drawn by  
dessine par  
**JN**

designed by  
conc par  
**LM/JR**

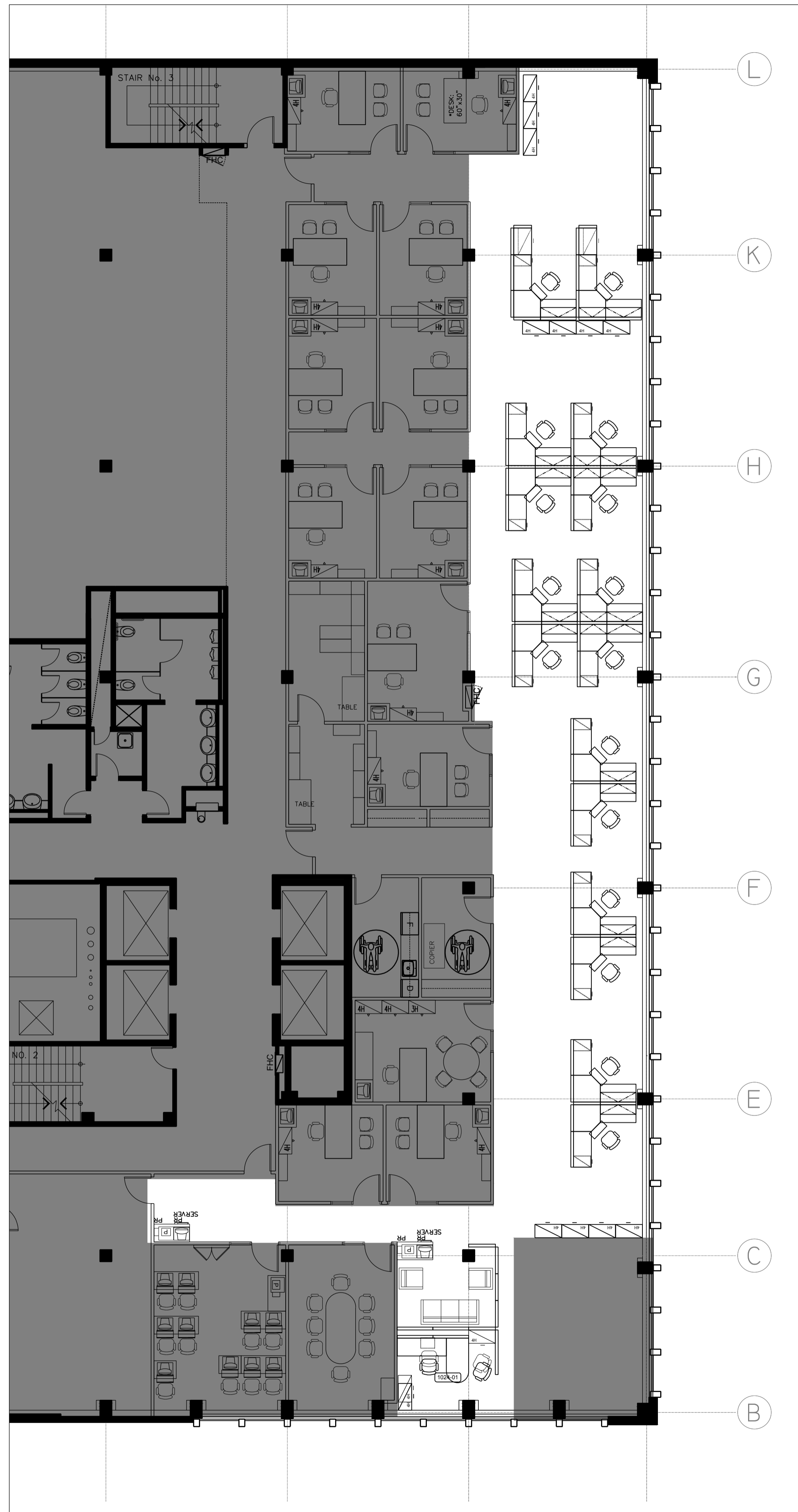
approved by  
approuve par

bid offer  
project manager  
administrateur de projets

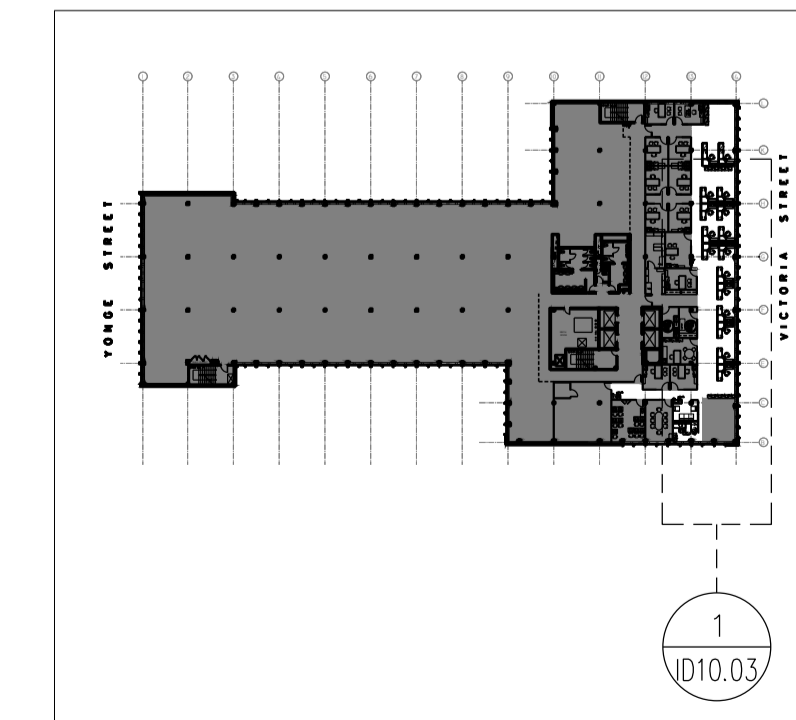
project date  
date du projet  
**2018-11-01**

project no.  
no. du projet  
**18208.00**

drawing no.  
dessine no.  
**ID10.03A**



1 PLAN: EAST VICTORIA SIDE  
ID10.03 SCALE: 1:100



KEY PLAN NTS



1136 BUNDAS STREET EAST, SUITE 800  
TORONTO, ONTARIO, CANADA M4M 1B7  
TEL: 416-362-4610 FAX: 416-462-0626

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GREG QUINN 26046  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386  
FIRM NAME BCIN

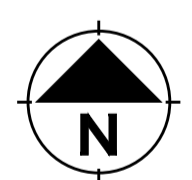


04		
03		
02	ISSUED FOR TENDER	16NOV18
01	ISSUED FOR 100% REVIEW	01NOV18
revision		date

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A Detail No.  
B No. du detail  
drawing no. - where detailed  
dessin no. - ou detaille

project title  
titre du projet  
IRB CANADA Ontario  
74 VICTORIA STREET  
TORONTO ON



drawing title  
titre du dessin  
10TH FLOOR  
FURNITURE AND EQUIPEMENT  
AS-BUILTS

drawn by  
dessine par JN

designed by  
conc par LM/JR

approved by  
approuve par

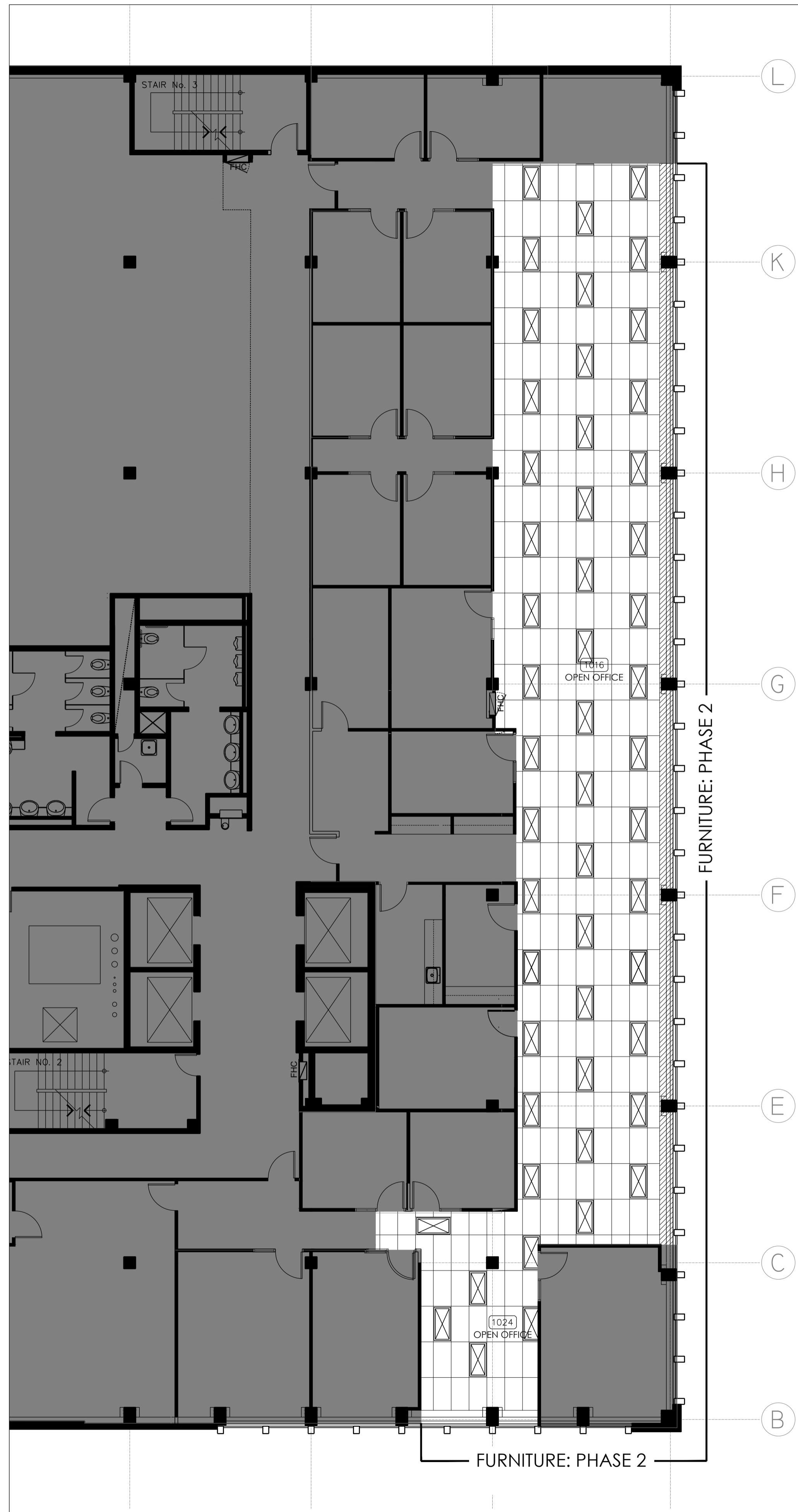
bid  
offre project manager  
administrateur de projets

project date  
date du projet 2018-11-01

project no.  
no. du projet 18208.00

drawing no.  
dessine no. ID10.03B

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 millimetres



1 PLAN: EAST VICTORIA SIDE  
ID10.06 SCALE: 1:100

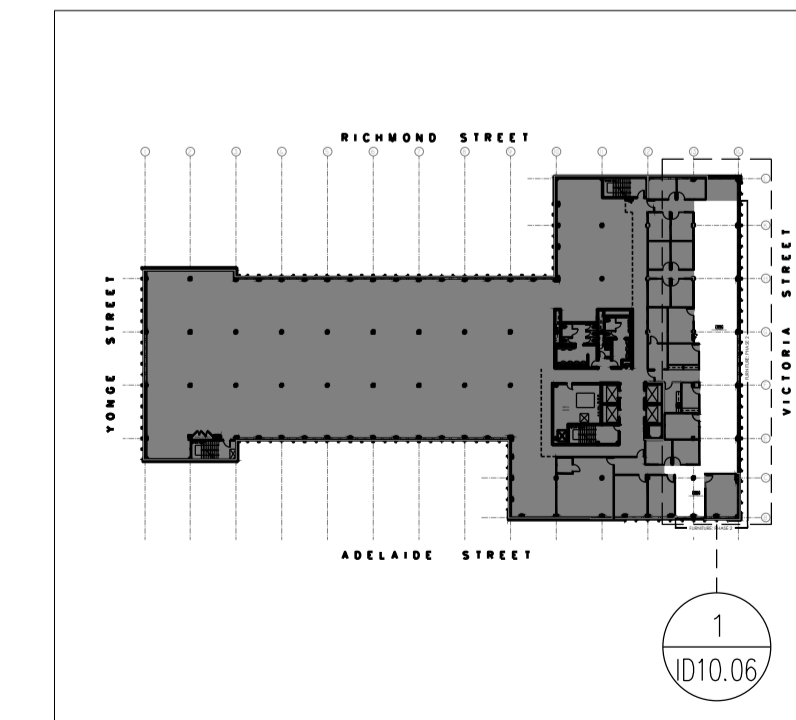
### REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING ACOUSTICAL CEILING TILE
- EXISTING DRYWALL BULKHEAD / CEILING TO REMAIN. PATCH, REPAIR AND PAINT BULKHEAD TO MATCH EXISTING WHERE WALLS HAVE BEEN REMOVED.
- EXISTING FLUORESCENT LIGHTING FIXTURE. REFER TO ENGINEER'S DRAWING FOR FURTHER INSTRUCTIONS.

### REFLECTED CEILING PLAN NOTES

**NOTE REFERENCES**  
NOTE "A" DENOTES NOTE "A"  
NOTE "Ø" DENOTES "PLAN NOTE A"

- A. RESERVED.
- B. PROVIDE ALLOWANCE OF 20% NEW CEILING GRID & TILE.
- C. CONTRACTOR TO INCLUDE IN THEIR SCOPE OF WORK ALL CEILING MODIFICATIONS IE. CUTTING, PATCHING, REMOVAL AND REPLACEMENT OF CEILING TILES RELATING TO MECHANICAL WORK IN ALL AFFECTED AREAS AS OUTLINED ON MECHANICAL DRAWINGS.



KEY PLAN NTS



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2006 Ontario Building Code to be a Designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.1 of the 2006 Ontario Building Code

NAME: GREG QUINN SIGNATURE: [Signature] 26046 BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Div. C.3.2.4.11 of the 2006 Ontario Building Code

X-DESIGN INC. 29386 BCIN



04		
03	ISSUED FOR TENDER	16NOV18
02	ISSUED FOR 100% REVIEW	01NOV18
01	ISSUED FOR ENGINEERS	18OCT18
revision		date

Do not scale drawings.  
Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

A	A Detail No.
B	B drawing no. - where detailed dessin no. - ou detaille

project title / titre du projet: IRB CANADA Ontario  
74 VICTORIA STREET TORONTO ON

drawing title / titre du dessin: 10TH FLOOR REFLECTED CEILING FLOOR PLAN

drawn by / dessine par: JN

designed by / conc par: LM/JR

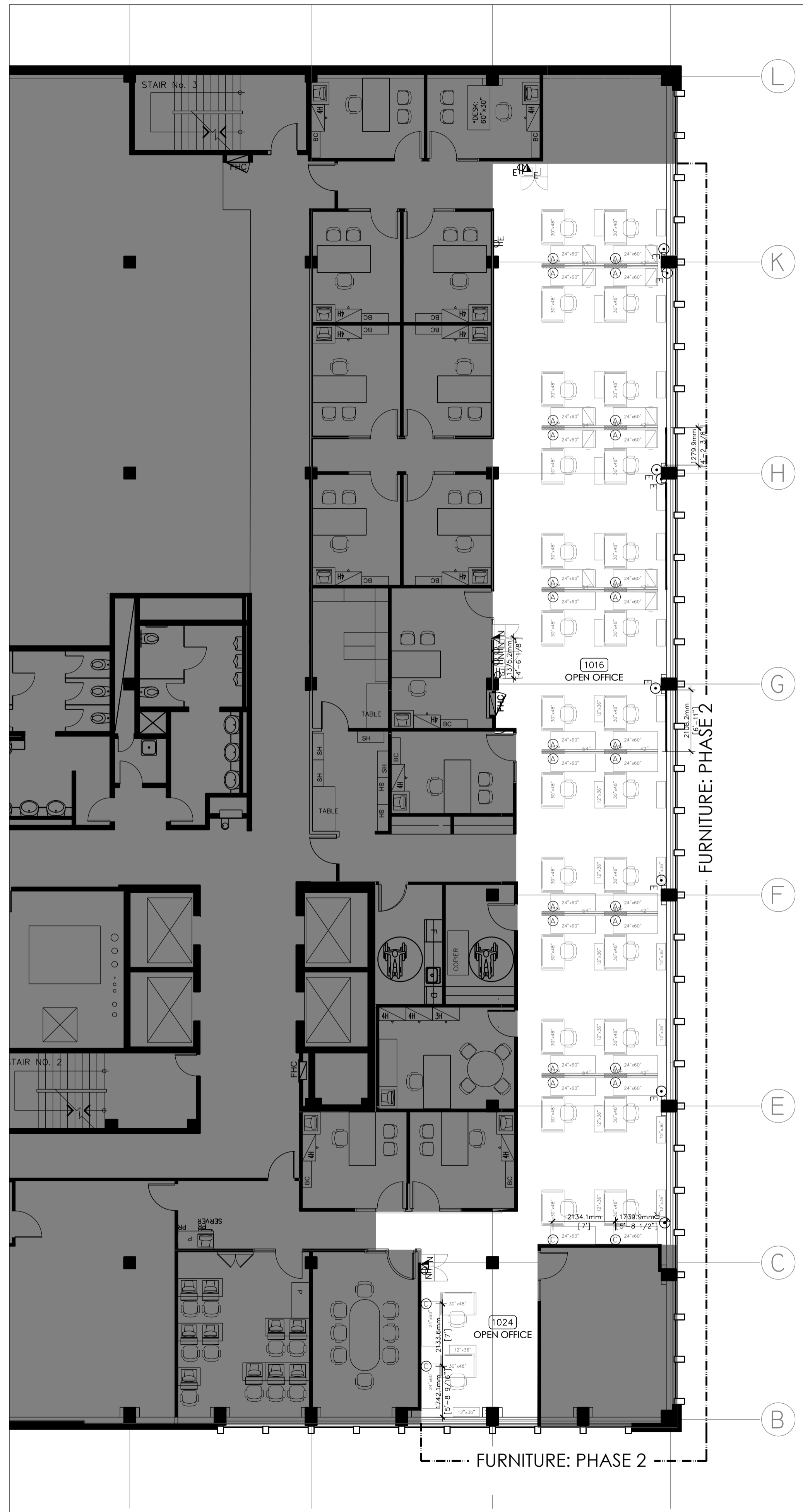
approved by / approuve par:

bid / offre: project manager / administrateur de projets

project date / date du projet: 2018-11-01

project no. / no. du projet: 18208.00

drawing no. / dessine no.: ID10.05



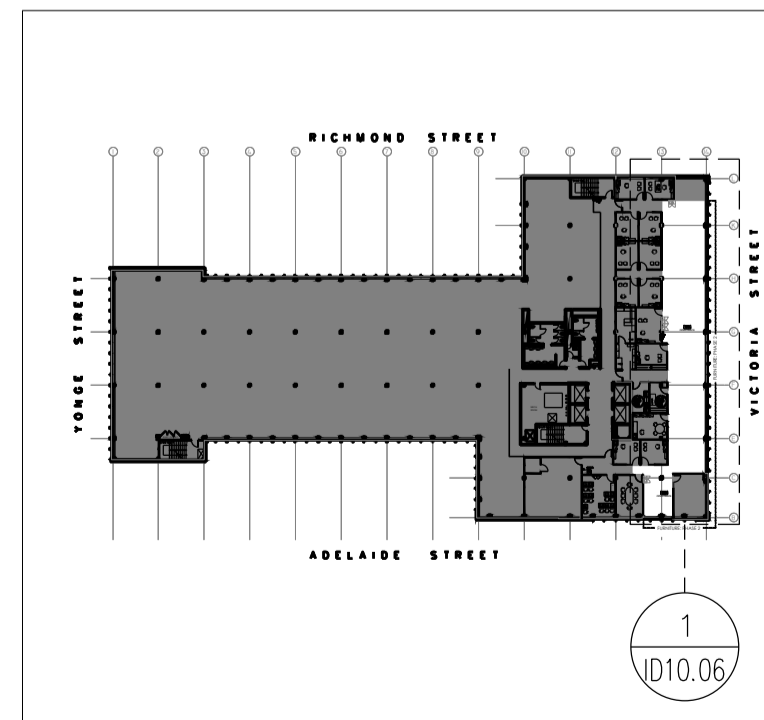
1 PLAN: EAST VICTORIA SIDE  
SCALE: 1:100

POWER AND COMMUNICATION LEGEND

- AREA NOT IN CONTRACT
- ⊕ WALL MOUNTED ELECTRICAL DUPLEX OUTLET
- ⊖ WALL MOUNTED VOICE AND DATA OUTLET
- WALL FEED
- WIRE MOLD
- ⊙ 3 DUPLEX (1) DATA, (1) CIRCUIT PER TWO WORKSTATIONS
- ⊙ RESERVED
- ⊙ 3 DUPLEX (1) DATA MOUNTED AT 34" O.C A.F.F.

POWER AND COMMUNICATION NOTES

- NOTE REFERENCES:  
NOTE 'A' DENOTES NOTE 'A'  
NOTE 'A' DENOTES 'PLAN NOTE A'
- A. THIS DRAWING IS PROVIDED FOR OUTLET LOCATIONS ONLY. CONTRACTOR TO REFER TO ENGINEERS DRAWINGS FOR ALL INSTRUCTIONS.
  - B. WHERE NEW OUTLETS ARE REQUIRED ON ALL EXISTING COLUMNS, CORE WALLS AND PERIMETER WALLS, CONTRACTOR TO PROVIDE ABATEMENT PROCESS. REFER TO PROJECT MANUAL.



KEY PLAN NTS



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GREG QUINN 26046 BCIN  
NAME SIGNATURE

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X-DESIGN INC. 29386 BCIN  
FIRM NAME



05	ISSUED FOR TENDER	16NOV18
04	ISSUED FOR 100% REVIEW	01NOV18
03	ISSUED FOR ENGINEERS	18OCT18
02	ISSUED FOR CLIENT APPROVAL	17OCT18
01	ISSUED FOR CLIENT APPROVAL	11OCT18
revision		date

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**IRB CANADA** Ontario

74 VICTORIA STREET  
TORONTO ON

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**10TH FLOOR  
POWER AND COMMUNICATIONS  
FLOOR PLAN**

drawn by  
dessine par  
**JN**

designed by  
conçue par  
**LM/JR**

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project manager  
administrateur  
de projets