

GENERAL NOTES, A121

- A. INSPECT THE EXISTING CONCRETE FLOOR SLAB FOR PREPARATION WORK REQUIRED FOR FINISH FLOOR APPLICATION AND REPORT FINDINGS TO FLOOR FINISH MANUFACTURER AND THE DEPARTMENTAL REPRESENTATIVE. REMOVE EXTRUSIONS AND PROJECTIONS (ASSUME 5% OF TOTAL AREA). FILL AND REPAIR ALL INDENTS, TRENCHES, GOUGES, DEPRESSIONS, FISSURES, OR CRACKS FOUND IN EXISTING CONCRETE FLOOR SLAB, (ASSUME 40% OF TOTAL AREA) WITH PATCHING COMPOUNDS COMPATIBLE WITH LEVELING COMPOUNDS AND FINISHED FLOOR.
- B. BASE BUILDING EXTERIOR ENCLOSURE WALLS ARE TO REMAIN. EXISTING PERIMETER GYPSUM BOARD FINISH ASSEMBLY OVER EXISTING STRUCTURE TO REMAIN. GYPSUM BOARD EXTENDS TO 3050mm ABOVE CONCRETE FLOOR SLAB. PATCH AND REPAIR COLLAPSED POLY VAPOUR BARRIER TO ENSURE ITS CONTINUITY TYPICALLY TO THE TOP OF THE EXTERIOR WALL ABOVE THE EXISTING PERIMETER GYPSUM BOARD FINISH. ASSUME 50% OF EXISTING WALL AREA ABOVE THE 3050mm HEIGHT OF EXTERIOR WALL REQUIRES VAPOUR BARRIER REPAIR. FINISH THE EXTERIOR WALL PERIMETER ABOVE 3050mm HEIGHT WITH GYPSUM BOARD AND CAULK AT PERIMETERS. SEE PHOTO 14/A124 FOR EXAMPLE OF THIS CONDITION.
- C. WHERE SHOWN FLUSH IN DRAWING, CONSTRUCT PARTITIONS/FURRING FLUSH WITH ADJACENT CONSTRUCTION.
- D. ALL PARTITION DIMENSIONS ARE TO FINISHED FACE OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- E. APPLY TRANSPARENT SECURITY FILM TO FULL INTERIOR FACE OF ALL PERIMETER GLAZING, INTERIOR AND EXTERIOR. APPLY CUSTOM PATTERNED PRIVACY FILM IN VISION AREA OVER SECURITY FILM AS SHOWN IN DETAILS ON A507 INCLUDING THE INTERIOR BAY WINDOW AND THE SPARKS STREET LANTERN.
- F. PATCH HOLES FROM REMOVALS IN INTERIOR GRANITE VENEER WITH MATCHING COLOUR TINTED FILL COMPOUND SUITED FOR THIS APPLICATION. SUBMIT COLOUR SAMPLES FOR APPROVAL. ALLOW FOR 16 HOLES.
- G. DOORS DRAWN CENTERED IN PLAN TO BE CENTERED IN PLAN OF PARTITION UNLESS NOTED OTHERWISE.
- H. DOOR OPENINGS TO BE OFFSET 150mm FROM THE FINISHED FACE OF ADJACENT PERPENDICULAR PARTITION, UNLESS NOTED OTHERWISE.
- I. REMOVE AND REINSTATE SUSPENDED ACOUSTIC TILE CEILING IN LEVEL C1 TO ENABLE ABOVE-CEILING MECHANICAL WORK. ALLOW FOR 3m² OF REMOVALS AT 3 LOCATIONS. REFER TO MECHANICAL.

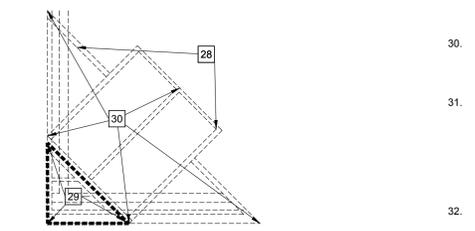
EXISTING CONSTRUCTION INFORMATION, A121

FOR ALL PHOTOS, REFER TO DRAWING NOTES AS INDICATED ON THE PHOTO. ADDITIONAL NOTES ARE GIVEN HERE.

- PHOTO 2:**
- UNDERSIDE OF EXISTING BULKHEAD AT EDGE OF C3 LEVEL FLOOR SLAB.
 - EXISTING FULL HEIGHT STRUCTURAL GLAZED FINIS OF LANTERN WALL.
 - EXISTING LOW CONCRETE LANDING SUPPORT WALL AND EXISTING METAL EDGE TRIM.
 - 100mm EXISTING GAP BETWEEN EXISTING GLASS AND METAL BALUSTRADE AND EXISTING STRUCTURAL GLAZED WALL.



2 SPARKS ST LANTERN LANDING SUPPORT WALL AT LEVEL C2
SCALE / ÉCHELLE: N/A

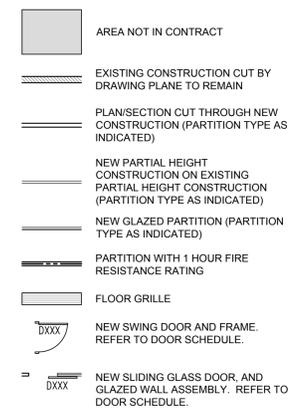


3 EXISTING RAISED FLOOR STRUCTURE IN QUEEN ST LANTERN
SCALE / ÉCHELLE: 1:100

DRAWING NOTES, A121

1. LAMINATE 13mm TYPE X GYPSUM BOARD DIRECTLY TO EXISTING CONCRETE BLOCK WALL. PAINT.
2. FURR OUT WITH METAL FRAMING AND GYPSUM BOARD FINISH ACROSS FULL WIDTH OF LANTERN LANDING CONCRETE SUPPORT WALL INCLUDING AREA UNDERNEATH THE EXISTING OPEN RISER STAIRS TO REMAIN FLUSH TO ADJACENT FACE OF PERIMETER FURRING P7. REFER TO SECTION 3/A508. SEE ALSO PHOTO 2/A121.
3. FURR OUT LOW CONCRETE WALL FLUSH WITH ADJACENT P7 FURRING. ENCLOSE FROM FACE OF EXISTING CONCRETE BEAM CONTINUOUS TO FLOOR SLAB BELOW. SIMILAR TO SECTION 3/A508. SEE PHOTO 2/A121.
4. SUPPLY AND INSTALL 64mm METAL FRAMING AND GYPSUM BOARD FINISH ASSEMBLY TO CONCEAL EXISTING MECHANICAL. PAINT FINISH.
5. EXTEND EXISTING FURRED OUT AREA (±550mm WIDE X ±60mm DEEP X ±2700mm HIGH) UP TO MIN. 100mm ABOVE NEW CEILING FINISH. REPAIR EXISTING GYPSUM BOARD AS REQUIRED.
6. EXISTING STRUCTURAL GLASS FINIS TO REMAIN. PROTECT DURING THE WORK. SEE PHOTO 2/A121.
7. CONSTRUCT PARTITION TYPE ASSEMBLY P11 ABOVE EXISTING 3050mm HIGH GRANITE VENEER PARTITION TO ACHIEVE CONTINUOUS SLAB PARTITION WITH CONTINUITY OF FACE OF FINISHES ON BOTH SIDES. SEE DETAIL 4/A503. SEE PHOTOS 11/A124 TO 14/A124 FOR EXISTING CONDITIONS.
8. PROVIDE 13mm CHANNEL CONTINUOUS VERTICAL REVEAL JOINT AT CONNECTION BETWEEN EXISTING GRANITE VENEER WALL FINISH AND NEW GYPSUM BOARD FINISH. PAINT REVEAL.
9. PROVIDE BLOCKING TO SUPPORT NEW PLUMBING FIXTURES OR MILLWORK. TYPICAL.
10. EXISTING THICK SLATE STONE SLAB TREADS TO REMAIN. RESET ALL 3 OUT-OF-LEVEL STONES ON TOP LANDING (NOMINALLY 400 DEEP BY 1200mm WIDE) TO BE ALIGNED AND LEVEL.
11. PROVIDE TYPICAL P7 ASSEMBLY OVER EXISTING CONCRETE CURB AT BASE OF WINDOWS AND ACROSS AREA OF PLATFORM REMOVED IN DEMOLITION. CLEAN PATCH AND REPAIR EXISTING WOOD FRAME AT WINDOW HEAD. CLEAN AND EXAMINE EXPOSED GLAZING. JAMBS, SILL, GLASS JOINTS AND SEALS AND REPORT FINDINGS TO THE DEPARTMENTAL REPRESENTATIVES. FINISH EXPOSED JAMBS AND SILL WITH GYPSUM BOARD TO MEET AND MATCH NEW ADJACENT P7 FURRING.
12. MECHANICALLY FASTEN NEW PREFINISHED 35mm DIA. HANDRAIL TO EXISTING GRANITE VENEER WALL CONSTRUCTION AND NEW WALL CONSTRUCTION.
13. SUPPLY AND INSTALL TWO 305mm DEEP SHELVES AND TWO 19mm DIA. RODS AT TWO HEIGHTS. PLASTIC LAMINATE FINISH ON 19mm THICK SHELVES AND GABLE SUPPORT. ONE-THIRD OF CLOSET TO HAVE ROD AT BARRIER-FREE HEIGHT OF 1200mm COMPLIANT WITH CAN/CSA B651 2018.
14. PROVIDE CONTINUOUS 19mm GIS FIRE-RETARDANT TREATED PLYWOOD BACKER BOARD FROM TOP OF BASE TO 2440mm ABOVE BASE CONTINUOUS ON INSIDE FACE OF EXISTING NEW PARTITION OR SHAFT WALL CONSTRUCTION IN ROOMS 107 AND 109 TYPICAL. ALL JOINTS, SCREW AND NAIL HOLES ARE TO BE CAULKED AND / OR COVERED. APPLY 2 COATS WHITE NON CONDUCTIVE FIRE RETARDANT PAINT.
15. CUT THROUGH EXISTING EXTERIOR WALL ASSEMBLY TO ALLOW NEW WASHROOM EXHAUST DUCT AND VENT. REFER TO MECHANICAL. INSULATE AND SEAL AROUND DUCT SLEEVE. EXISTING 220mm THICK WALL ASSEMBLY IS GRANITE VENEER WITH STEEL RETENTION ANGLES TOP AND BOTTOM OF STEEL STRUTS. METAL FRAMING WITH INSULATED CAVITY, VAPOUR BARRIER AND GYPSUM BOARD FINISH.
16. LOCATION OF WALL-MOUNTED SMART BOARD / TV / MONITOR BY DEPARTMENTAL REPRESENTATIVE. PROVIDE BACKER SUPPORT IN WALL, 1219mm WIDE X 810mm HIGH MADE OF 19mm PLYWOOD, WITH BOTTOM EDGE MOUNTED 800mm ABOVE FINISHED FLOOR.
17. EXISTING ALUMINUM GUARDRAIL WITH GLASS BALUSTRADE BELOW. PROTECT FROM THE WORK. SEE PHOTOS 5/A111 AND 7/A112.
18. EXISTING 6mm TEMPERED GLASS BAY WINDOW 2794mm HIGH. PROTECT WITH PLYWOOD COVER DURING THE WORK. APPLY FULL HEIGHT TRANSPARENT SECURITY FILM. APPLY CONTINUOUS HORIZONTAL BAND OF CUSTOM PATTERNED PRIVACY FILM OVER SECURITY FILM SIMILAR TO APPLICATION ON VESTIBULE DOORS AND SIDELIGHTS D100 AND D101.
19. EXAMINE AND DOCUMENT CONDITION OF EXISTING FAN COIL GRILLE COVERS AND REPORT TO DEPARTMENTAL REPRESENTATIVE. CLEAN AND REPAIR ALL FAN COIL GRILLE COVERS. COVER WITH PLYWOOD TO PROTECT FROM THE WORK. ALLOW FOR 2 LINEAL METRES OF REPLACEMENT GRILLE COVERS.
20. LINE OF EXISTING HEADER ABOVE. SEE PHOTO 7/A111.
21. FILL EXISTING TRENCH IN FLOOR WITH STEEL FRAME, PAN AND AND CONCRETE ASSEMBLY TO ACHIEVE CONTINUOUS FLOOR LOAD BEARING CAPACITY, AND FINISH UNDERLAYMENTS TO BE LEVEL WITH ADJACENT SURFACES. MAKE READY FOR LEVELLING TOPPING TO RECEIVE CARPET TILE. PROVIDE ENGINEERED SHOP DRAWINGS FOR INFILL ASSEMBLY.
22. SUPPLY AND INSTALL CONTINUOUS 35mm DIA. PREFINISHED HANDRAIL WITH INTEGRATED CONTINUOUS MATCHING UPSTANDS SUPPORTED BY THE CONCRETE FLOOR SLAB AND LANDING USING MECHANICAL FASTENERS TO SUPPORT LOADS AND CONCEAL WITH MATCHING FINISHED FLOOR FLANGES.
23. EXTEND FURRING FURTHER OUT IN THIS LOCATION TO ALIGN AS SHOWN WITH EDGE OF EXISTING ATRIUM GLASS ASSEMBLY.
24. ALIGN OUTSIDE FACE OF THESE PARTITIONS WHILE MAINTAINING MINIMUM INTERIOR DIMENSIONS OF 3050mm X 3050mm INSIDE DATA CLOSET ROOM 109.
25. NEW STRUCTURAL GLAZED EXTERIOR WALL ENCLOSURE. SEE DETAILS ON A508.
26. EXISTING FIRE DEPARTMENT ENTRANCE TO REMAIN.
27. CLEAR OPENING TYPICAL 968mm. COORDINATE WITH POSITION OF DOOR HARDWARE TO ENSURE CLEARANCES IN COMPLIANCE WITH CODE REQUIREMENTS OF 860mm CLEAR.
28. SEE 3/A121 FOR EXISTING EXTERIOR PRECAST CONCRETE UNIT FLOOR AND EXISTING CONCRETE FILLED METAL PAN FLOOR ALL SUPPORTED BY EXISTING STUB WALLS. DASHED LINE INDICATES LOCATION OF EXISTING MASONRY OR CONCRETE SUPPORT STRUCTURE TO REMAIN AND BE REUSED.
29. DESIGN AND PROVIDE NEW ENGINEERED CONCRETE FILLED METAL PAN INFILL IN THIS TRIANGLE SHAPED AREA SUCH THAT FINISHED FLOOR HEIGHTS AT QUEEN STREET LANTERN WILL BE CONTINUOUS. SEE 15/A508 FOR NEW FLOOR INFILL DETAIL.
30. INDICATES EXTENT OF EXISTING CONCRETE FILLED METAL PAN ABOVE AND SUPPORTED BY LIGHT WEIGHT CONCRETE BLOCK MASONRY AND PRECAST CONCRETE STUB WALLS TO REMAIN. PREPARE THIS AREA TO RECEIVE NEW FLOOR FINISH.
31. FLOOR LOADING (STATIC AND DYNAMIC) CAPACITY IN THE SPACE MUST BE SUFFICIENT TO BEAR BOTH THE DISTRIBUTED AND CONCENTRATED LOAD OF THE INSTALLED EQUIPMENT. A STRUCTURAL ENGINEER MUST BE CONSULTED DURING THE DESIGN TO SPECIFY THE FLOOR LOADING LIMIT. IF EQUIPMENT THAT EXCEEDS THESE LIMITS IS ANTICIPATED, THE FLOORS FOR THE AREAS WHERE THE EQUIPMENT WILL BE MOVED AND INSTALLED MUST BE APPROPRIATELY REINFORCED.
32. REMOVE "HOLT RENFREY" LETTERING (NOMINALLY 75mm HIGH) FROM ATRIUM SIDE OF GLAZING.

LEGEND, A121



DRAWING NOTES, A121 CONTINUED

33. ROOM SCHEDULING TABLE SUPPLIED BY DEPARTMENTAL REPRESENTATIVE. WALL MOUNT USING SUPPLIED BRACKET WITH CENTERLINE OF TABLE 1150mm ABOVE FINISH FLOOR. TABLE WEIGHS 0.71kg AND HAS 256mm DIAGONAL SCREEN.
34. WORKSTATION BOOKING TABLE BY DEPARTMENTAL REPRESENTATIVE. WALL MOUNT USING SUPPLIED BRACKET WITH CENTERLINE OF TABLE 1150mm ABOVE FINISH FLOOR. TABLE WEIGHS 4.3kg AND HAS 559mm DIAGONAL SCREEN.
35. PROVIDE GYPSUM BOARD FINISH. TYPICAL, AT WINDOW HEAD, SILL, AND JAMB TO MEET AND MATCH EXISTING PAINT FINISH.

Canada

PETER J. KINDREE ARCHITECT

79 Hinton Avenue N. Ottawa K1Y 0Z7 (613) 860-1530

CLELAND JARDINE ENGINEERING LTD.

1000 BROADVIEW AVE. SUITE 100 OTTAWA, ONTARIO K1K 1S3 (613) 591-1533

Goodkey Weedmark Consulting Engineers

1668 Woodward Dr. Ottawa, Ontario K2C 3R8 (613) 727-5111 Voice (613) 727-5115 Fax (613) 727-5115 www.gwoi.com Web

ONTARIO ASSOCIATION OF ARCHITECTS

PETER JAMES KINDREE LICENCE 3474

L'ENTREPRENEUR DEVRA VÉRIFIER TOUTES LES DIMENSIONS ET LES CONDITIONS SUR LE CHANTIER ET AVISER SANS DÉLAI LE REPRÉSENTANT DU MINISTRE DE TOUTE ANOMALIE.

Contractor to verify all dimensions and conditions on site and immediately notify the departmental representative of all discrepancies.

revisions	description	date
4	ISSUED FOR TENDER	2019/05/23
3	ISSUED FOR TENDER	2019/05/03
2	ISSUED FOR 100% REVIEW	2019/04/08
1	ISSUED FOR 99% REVIEW	2019/03/19

A detail no. du détail
B location drawing no. sur dessin no.
C drawing no. dessin no.

project **C.D. HOWE BLDG. LEVEL C2 FIT-UP** project

235 QUEEN ST., OTTAWA, ONTARIO

drawing **LEVEL C2 CONSTRUCTION PLAN** dessin

Designed By	DL	Conçu par	
Date		(yyyy/mm/dd)	
Drawn By	BB/PJKA	Dessiné par	
Date		(yyyy/mm/dd)	
Reviewed By	DL	Examiné par	
Date	2019/05	(yyyy/mm/dd)	
Approved By	PK/DL	Approuvé par	
Date		(yyyy/mm/dd)	
Tender		Submission	
Project Manager	ISMAT BEGUM	Administrateur de projets	
Project no.		No. du projet	
	R.100325.004		
Drawing no.		No. du dessin	
	A121		