

AERIAL VIEW
SCALE: N/A



NORTH ENTRANCE (FORT ACCESS)



PROJECT NORTH



GEOG. NORTH

LHN DU FORT LENNOX

SAINT-PAUL-DE-L'ÎLE-AUX-NOIX, QUÉBEC

MEN'S BARRACK CONSERVATION PROJECT

LOT 2 - INTERIOR DESIGN

NAME	
#	LIST OF DRAWINGS
GENERALITIES	
A000	TITLE SHEET AND LIST OF DRAWINGS
A001	SITE PLAN
A002	JETTY PLAN
A003	IMPLEMENTATION PLAN OF EXISTING DRAINAGE
A004	STONE STAIRCASE CASEMATES WEST
EXISTENT - DEMOLITION	
R100	GROUND FLOOR AND FIRST FLOOR PLANS
R200	CEILINGS GROUND FLOOR AND FIRST FLOOR
R800	FLOOR AND GROUND FLOOR FINISH PLANS
NEW DEVELOPMENT	
A100	GROUND FLOOR AND FIRST FLOOR PLANS
A150	EXPANDED PLANS
A200	CEILINGS GROUND FLOOR AND FIRST FLOOR
A500	DETAILS
A501	DETAILS
A550	HANDICAPPED RAMP - DETAILS
A600	OFFICERS' QUARTERS' PLANS
A700	CABINET
A800	FLOOR AND GROUND FLOOR FINISH PLANS
A900	TABLES

GENERAL NOTES

1.- GENERAL

WORK MUST BE EXECUTED TO COMPLY WITH CANADIAN AND INTERNATIONAL HERITAGE CONSERVATION STANDARD AND TO ENSURE THAT ALL DECISIONS TAKEN ARE SOUND AND TAKE ACCOUNT OF ALL FACTORS IN PLAY. THIS APPROACH IS DESCRIBED IN THE "STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA" AND IN THE "CULTURAL RESOURCE MANAGEMENT POLICY" OF PARKS CANADA.

2.- ARCHEOLOGY

- FORT LENNOX NATIONAL HISTORIC SITE OF CANADA HAS BEEN RECOGNIZED BY THE GOVERNMENT OF CANADA AS ONE OF THE SITES HAVING THE HIGHEST HERITAGE VALUE. THUS ON THIS PROPERTY ALL WORKS EXCAVATING THE SOIL, RECOGNIZED AS CONTAINING ARCHEOLOGIST APPOINTED BY THE FEDERAL GOVERNMENT.
- DUE TO THE PROBABILITY OF RECOVERING ARTIFACTS DURING THE EXCAVATION WORK REQUIRED TO CARRY OUT THE WORK, THERE WORK MUST BE SUBJECT TO CONSTANT.
- REFER TO SPECIFICATIONS FOR GENERAL REQUIREMENTS FOR ACCESS AND COLLABORATION, ARCHAEOLOGICAL DISCOVERIES, ARCHEOLOGY RELATED BREAK AND STOP OF ARCHEOLOGY AND THE PROTECTION OF REMAINS AND WORKS.

3.- PROTECTION OF THE ENVIRONMENT

- REFER TO SPECIFICATIONS FOR GENERAL REQUIREMENT FOR ENVIRONMENTAL PROTECTION.

4.- MASONRY WORK AND RELATED WORKS

- DISMANTLING, CLEANING AND REPAIRS MUST FOLLOW RECOGNIZED CONSERVATION TECHNIQUES.
- REPAIRS OF DETERIORATED MASONRY ELEMENTS SHOULD BE PERFORMED WITH THE MOST APPROPRIATE INTERVENTION METHOD AND COMPATIBLE MATERIALS FOR EACH CASE.
- REPLACE TO MATCH IDENTICALLY MASONRY ELEMENTS THAT ARE TOO SEVERELY DETERIORATED TO BE REPAIRED.
- CANCELED
- MORTAR JOINTS MUST BE COHERENT WITH THE HISTORIC MORTARS AS REGARDS THE PROFILE AND DEPTH.
- IF NECESSARY, CLEANING THE BIOLOGICAL GROWTH AND SOILING ON STONES SHOULD BE DONE WITH CLEAN WATER AND SOFT BRUSHES.
- CLEAN AND REMOVE ANY INSECT NESTS.
- PROTECT STONES AND BRICKS IN GOOD CONDITION FOR REUSE.
- OVERALL COHERENCE IN THE VISUAL APPEARANCE SHOULD BE SEEN IN RESPECT OF INNER AND EXTERIOR MASONRY REPAIRS.
- DO NOT COVER THE WORKS BEFORE THE PHOTOGRAPHIC INSPECTIONS AND REPORTS HAVE BEEN COMPLETED.

5.- WINDOWS AND RELATED WORKS

- PAINTING OF WOODEN COMPONENTS MUST FOLLOW RECOGNIZED CONSERVATION METHODS FOR STRIPPING AND REPAINTING.
- DECOMPOSED OR DAMAGED WOOD ELEMENTS MUST BE COHERENTLY REPLACED WITH REGARD TO THE HISTORY OF MATERIALS AND THEIR PROFILES.
- REPAIR OF WINDOW LOCKS MUST FOLLOW METHODS COMPATIBLE WITH THE TYPE OF MATERIAL.

6.- HARDWARE AND IRONWORKS

- HARDWARE AND IRONWORKS REPAIRS WILL BE PERFORMED ACCORDING TO RECOGNIZED CONSERVATION METHODS. THE CHOSEN PAINT MUST BE COMPATIBLE WITH THE FERROUS ELEMENTS, BOTH VISUALLY AND FOR THEIR PHYSICAL PROPERTIES.

7.- TEMPORARY INSTALLATIONS

- NOTWITHSTANDING THE INDICATIONS TO THE ARCHITECTURE, STRUCTURE AND ELECTRICITY DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL THE TEMPORARY SHORING AND SUPPORTS NECESSARY FOR THE COMPLETION OF THE VARIOUS WORK.

8.- ASBESTOS AND LEAD CONDITIONS

- SEE ENCLOSED'S EXPERTISE REPORT "CARACTÉRISATION DES MATÉRIAUX SUSCEPTIBLES DE CONTENIR DE L'AMIANTE ET DES PEINTURES SUSCEPTIBLES DE CONTENIR LE PLOMB" AS APPENDIX TO SPECIFICATIONS.

9.- SAMPLES OF THE WORK (MOCK-UP)

- FOR ALL HERITAGE STRUCTURES COVERED BY THIS WORK, A SAMPLE OF THE STRUCTURE MUST BE DONE REGARDLESS OF THE INFORMATION PROVIDED IN THE SPECIFICATIONS IN THE SPECIFIC SECTIONS.

10.- PERFORATIONS

- ALL WORK REQUIRING PERFORATIONS IN HERITAGE MATERIALS, LIKE THE STONE AND BRICKS WALLS, THE COATING ON THE LATH AND ON THE FIRST FLOOR, MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.



MEN'S BARRACK - EAST ELEVATION (FRONT)



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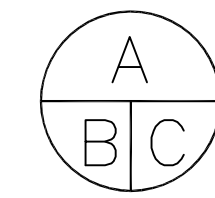
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02	EXÉCUTION 100% / EXECUTION 100%	2019-05-03
01	EXÉCUTION 100% / EXECUTION 100%	2019-03-28
révisions revisions		date



Projet Project

**PARCS CANADA
PARKS CANADA**
1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0

**PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2**

Dessin Drawing

**ARCHITECTURE
ARCHITECTURE**

**GÉNÉRALITÉS -
PAGE TITRE ET LISTE DE PLANS**

**GENERALITIES -
TITLE PAGE AND LIST OF DRAWINGS
OF CONTENTS**

Conçu par Designed by

C. RICHARD 2017-12
Date

Dessiné par Drawn by

C. RICHARD 2017-12
Date

Approuvé par Approved by

S. ST-MARTIN 2017-12
Date

Soumission Gestionnaire de projet PC

Tender Ana Arbones
PC Project Manager

No de projeProject number

5P301-16-0002/004 APC-17-2727

PC Client Client

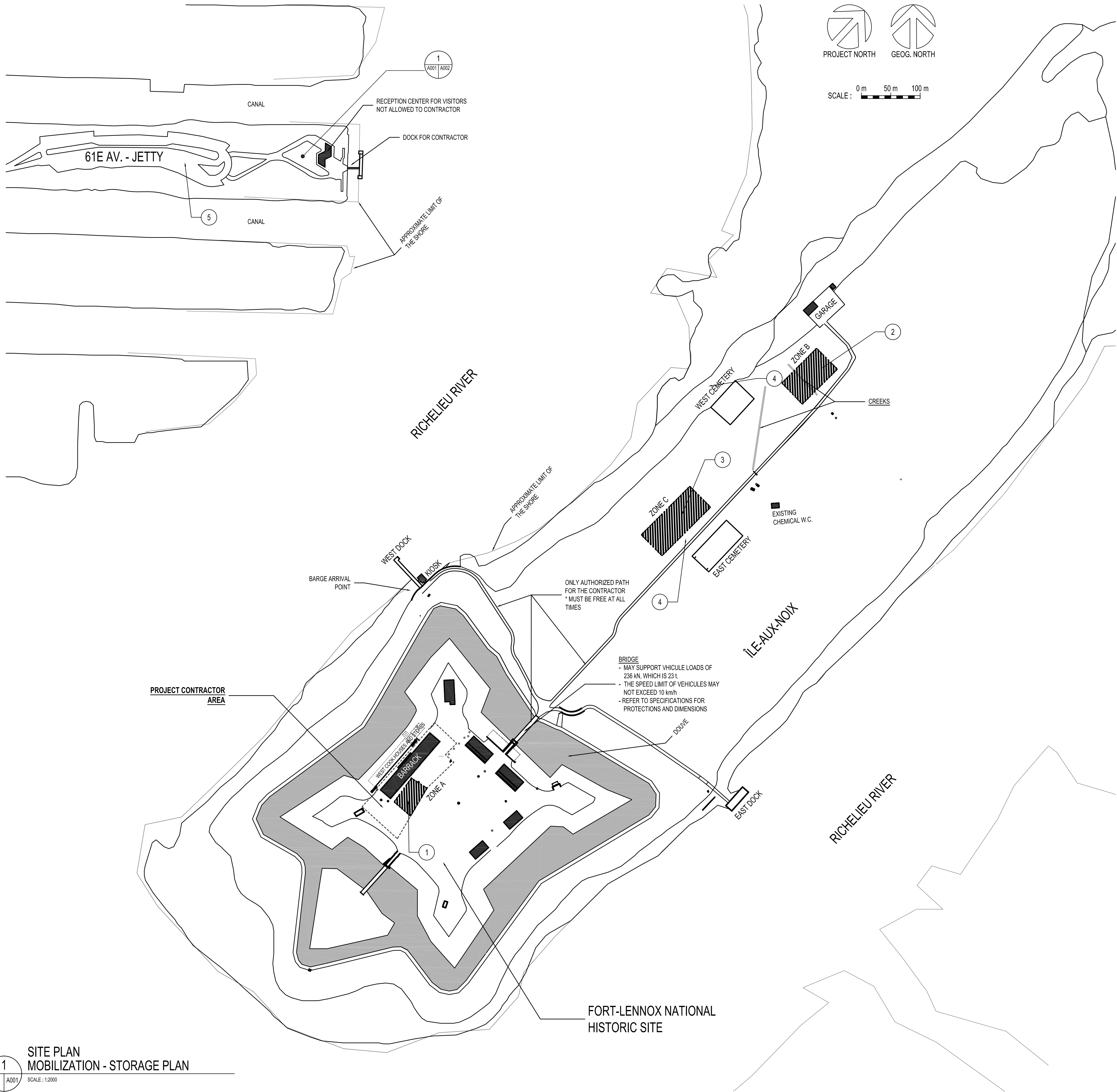
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No feuille Sheet no

A-000



LEGEND

- CONSTRUCTION ENCLOSURES
(SEE SPECIFICATIONS)
- AUTHORIZED STORAGE AREAS
(SEE SPECIFICATIONS AND TYPICAL NOTES)
- STORAGE AREA LIMITS NEED TO
 - BE VALIDATED BY THE ARCHEOLOGIST
SERVICE DESIGNATED BY PARKS CANADA
 - ALL STORAGE AREAS MUST BE CLOSED OFF
WITH CONSTRUCTION ENCLOSURES
 - SOIL PROTECTION MEASURES MUST
BE APPLY TO ALL THE STORAGE AREAS
- CONTRACTOR AREA (REFER TO THE PLAN 03
SHEET A002 FOR THE PARKING AREAS)
- ACCESSIBLE ROAD TO THE PUBLIC AT ALL TIMES
TO KEEP CLEAN AT ALL TIMES

GENERAL NOTES

- COORDINATE THE SITE WORK WITH ALL THE DISCIPLINES
INVOLVED (ARCHITECTURE, STRUCTURE, MECHANIC AND
ELECTRICITY)
- PROVIDE AND INSTALL ALL THE TEMPORARY ENCLOSURES,
FENCES, ACCESS CONTROLS AND SIGNALING IN ACCORDANCE
WITH THE INDICATIONS ON THE DRAWINGS AND SPECIFICATIONS
TO KEEP A SAFE WORK SITE
- ALL THE LANDSCAPING SURFACES (TURF, CRUSHED STONE, STONE
SCUPPERS, ETC) SHALL BE REHABILITATED AS EXISTING BY THE
CONTRACTOR
- COLLABORATION BETWEEN THE CONTRACTORS**
 - IN ADDITION TO THE PROJECT CONTRACTOR, OTHERS
CONTRACTORS WILL BE PRESENT ON THE FORT LENNOX
SITE DURING THE WORK PERIOD. FOUR (4) CONTRACTORS
ON-SITE AND THREE (3) ON THE ISLAND.
 - CONTRACTORS AREAS ARE INDICATED, FOR
INFORMATION ONLY, ON THE SITE PLAN
 - THERE IS NO OBLIGATION TO FENCE THE CONTRACTOR'S AREA.
THIS DECISION RETURNS TO THE CONTRACTOR.
 - CONTRACTORS WILL BE ASK TO COLLABORATE BETWEEN EACH
OTHER. IN PARTICULAR AS REGARDS THE SHARING OF
THE RESERVED PARKING AREA AND THE USE OF THE DOCK.
- MARINE FESTIVAL**
 - DUE TO THE MARINE FESTIVAL WHICH WILL BE HELD ON
THE SITE DURING THE FIRST WEEKEND OF JULY, EVERY YEAR :
 - THE CONTRACTOR WON'T BE ALLOWED TO USE THE
PARKING AREA FROM FRIDAY TO SUNDAY INCLUSIVELY.
 - BETWEEN TUESDAY AND THURSDAY BEFORE THE FESTIVAL
AND BETWEEN MONDAY AND THURSDAY AFTER THE
FESTIVAL INCLUSIVELY, ASSEMBLY AND DISASSEMBLY
OPERATIONS FOR THE FESTIVAL WILL TAKE PLACE ON THE
JETTY. THE CONTRACTOR MUST COLLABORATE WITH THE
CONTRACTORS WHO WILL PERFORM THE ASSEMBLY AND
DISASSEMBLY WORKS TO ALLOW THE FESTIVAL TO BE HELD.
- SOIL PROTECTION**
 - PROVIDE A PROTECTED ACCESS ROAD FOR ALL ELEMENTS
RELATED TO THE CONSTRUCTION THAT COULD DAMAGE THE
SOILS. ALL THE SOILS ON THE ISLAND HAVE ARCHAEOLOGICAL
VALUE AND MUST BE PROTECTED. TAKE SPECIAL PRECAUTIONS
WHEN THE GROUND IS WET, REFER TO THE SPECIFICATIONS
FOR THE PROTECTIONS TO BE TAKEN.

TYPICALS NOTES

- STORAGE ZONE (± 645m²)
 - STORAGE AREA OF MATERIALS NEAR THE BARRACK
 - DURING THE EXCAVATION WORK, THE DECLINING, THE
SEDIMENTATION AND/OR THE FILTRATION OUT OF GROUND
SYSTEMS, THE PUMPING WATER, MUST BE INSIDE THIS AREA
EXCLUSIVELY
- SPREADING AREA ZONE 'B' (± 1 500m²)
 - EXCESS EXCAVATION SOIL APPLICATION AREA
 - MAXIMUM HEIGHT 305mm (1'-0")
 - PROTECT THE EXISTENT STREAM
 - SPREADING METHOD OF APPLICATION SUBJECT TO THE
APPROVAL OF THE ARCHEOLOGIST (SEE SPECIFICATIONS)
- STORAGE AREA ZONE 'C' (± 2 100m²)
 - STORAGE BUFFER ZONE OUTSIDE THE FORT
- PROTECTION OF THE PIT :
 - A DITCH OF ±305mm (1'-0") TO ±610mm (2'-0") RUNS ON THE
FULL LENGTH OF THE ROAD THAT CROSSES THE ISLAND FROM
NORTH TO SOUTH.
 - TO REACH THE SPREADING ZONE 'B' AND THE STORAGE
ZONE 'C', THE CONTRACTOR SHALL PROVIDE AND INSTALL
TEMPORARY BRIDGES OR GATEWAYS TO PRESERVE THE
NATURAL ASPECT OF THE DITCH
- PARKING AREA FOR THE CONTRACTORS USE
- DOCK TO BE SHARED BETWEEN PARKS CANADA AND ALL
CONTRACTORS ON SITE

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A no. du détail detail no.	
B no. de la feuille—où détail exigé sheet no. — where detail required	
C no. de la feuille—où détaillé sheet no. — where detailed	

Projet	PARCS CANADA PARKS CANADA 1 61e Avenue, Ile-aux-Noix (QC) J1J 1G0	Project
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PROJET D'AMÉNAGEMENT DE LA CASERNE — LOT 2 MEN'S BARRACK PLANNING PROJECT — LOT 2
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Dessin	Architecture Architecture GÉNÉRALITÉS — PLAN DU SITE GENERALITIES — SITE PLAN	Drawing
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Congru par C. RICHARD	Designed by 2017-12 Date
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Dessiné par C. RICHARD	Drawn by 2017-12 Date
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Approuvé par S. ST-MARTIN	Approved by 2017-12 Date
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Soumission	Gestionnaire de projet PC Ana Arbones PC Project Manager
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GENERAL NOTES

1- MANAGEMENT OF SOIL SURPLUS

1. THE SOIL SURPLUS MUST STAY ON THE ISLAND. SEE ZONE 'B' SPREADING AREA - MOBILIZATION PLAN - STORAGE PLAN, SHEET A001.

2- DRAWINGS

1. IN NO EVENT SHALL THE DRAWINGS BE USED TO ESTABLISH THE REAL POSITION OF THE EXISTING POSITION IN THE PLANNING OF EXCAVATION WORKS FOR THE REPLACEMENT OF THE FRENCH DRAIN. DRAWINGS AND SECTIONS ARE INDICATIVE ONLY.

MORE INVESTIGATIONS / RESEARCH ON SITE WILL BE NECESSARY TO CONFIRM CONSTRUCTION CONDITIONS

3- DEPTH OF EXCAVATIONS

1. THE EXCAVATIONS MUST STOP AT THE RADIER SURFACE (WOOD BEAMS AND THE MUST NOT BE EXPOSED OR UNEARTH. THE CONTRACTOR CAN NOT, FOR WORKING METHODS REASONS, DECIDE TO EXCAVATE DEEPER AGAINST THE RADIER

4- SEQUENCES OF EXCAVATION WORKS

1. REFER TO THE STRUCTURAL ENGINEER PLANS AND SPECIFICATIONS

LEGEND

SOIL TO EXCAVATE FOR CONNECTIONS WORKS FOR ELECTRICITY. PROVIDE NEW FOUNDATIONS BREAKTHROUGHS ACCORDING TO STRUCTURE ENGINEER
PROVIDE TO TAKE OFF A SECTION OF THE EXISTENT FRENCH DRAIN AND REINSTALL AT THE END OF THE CONNECTIONS WORKS.
PROVIDE REPLACEMENT IF DAMAGED DURING THE EXCAVATION. SEE STRUCTURAL ENGINEER PLANS FOR NEW'S BREAKTHROUGHS ELECTRICITY FOR THE TRACE AND CONNECTIONS.
SEE SPECIFICATIONS FOR THE PROTECTION OF THE LANDSCAPING OF THE SITE.
ALL THE LANDSCAPING SURFACES (TURF, CRUSHED STONE, STONE SCUPPERS, ETC) SHALL BE REHABILITATED AS EXISTING BY THE CONTRACTOR

TYPICAL NOTES

- 1 STONE STAIR LEADING TO THE BATTLEMENTS TO BE DISMANTLED AND REASSEMBLED. REFER TO SPECIFICATION SECTION 04 03 43 - PERIOD WORK - MASONRY REPAIRS. PROVIDE FOR THE EXCAVATIONS NECESSARY FOR THE REPAIR OF THE FOUNDATION
2 EXCAVATION FOR ELECTRICITY CONNECTION



1 SITE PLAN EXISTING DRAINAGE
A003 SCALE: 1:200



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La Mauricie and
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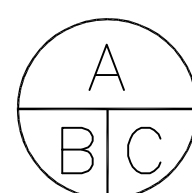
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Projet Project

PARCS CANADA
PARKS CANADA
1 61e Avenue,
Île-aux-Noix (QC) J1J 1G0

PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2

Dessin Drawing

ARCHITECTURE
ARCHITECTURE
GÉNÉRALITÉS -
PLAN D'IMPLANTATION DU
DRAINAGE EXISTANT
GENERALITIES -
IMPLEMENTATION PLAN OF
EXISTING DRAINAGE

Congru par Designed by

C. RICHARD 2017-12
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Soumission Gestionnaire de projet PC

Tender Ana Arbones
PC Project Manager

No de projeProject number No de projeProject number

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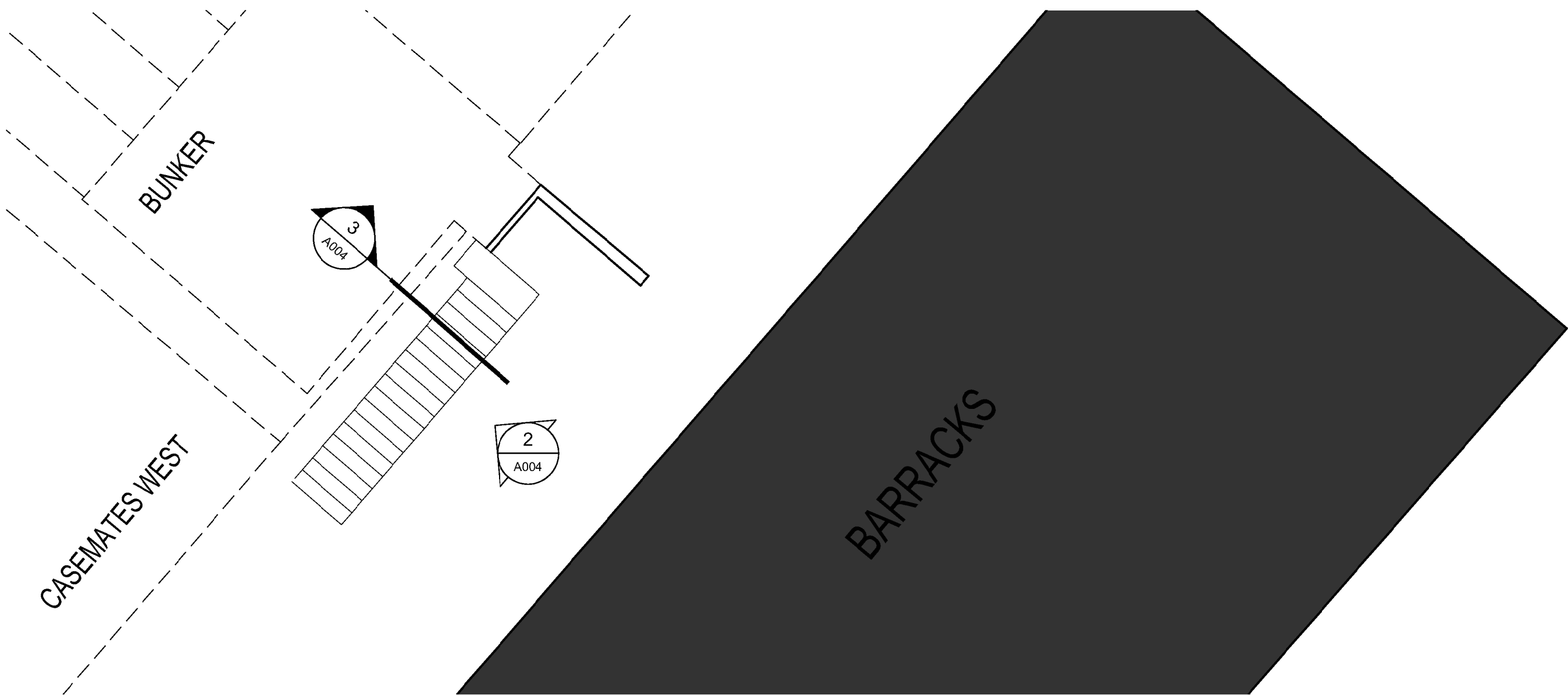
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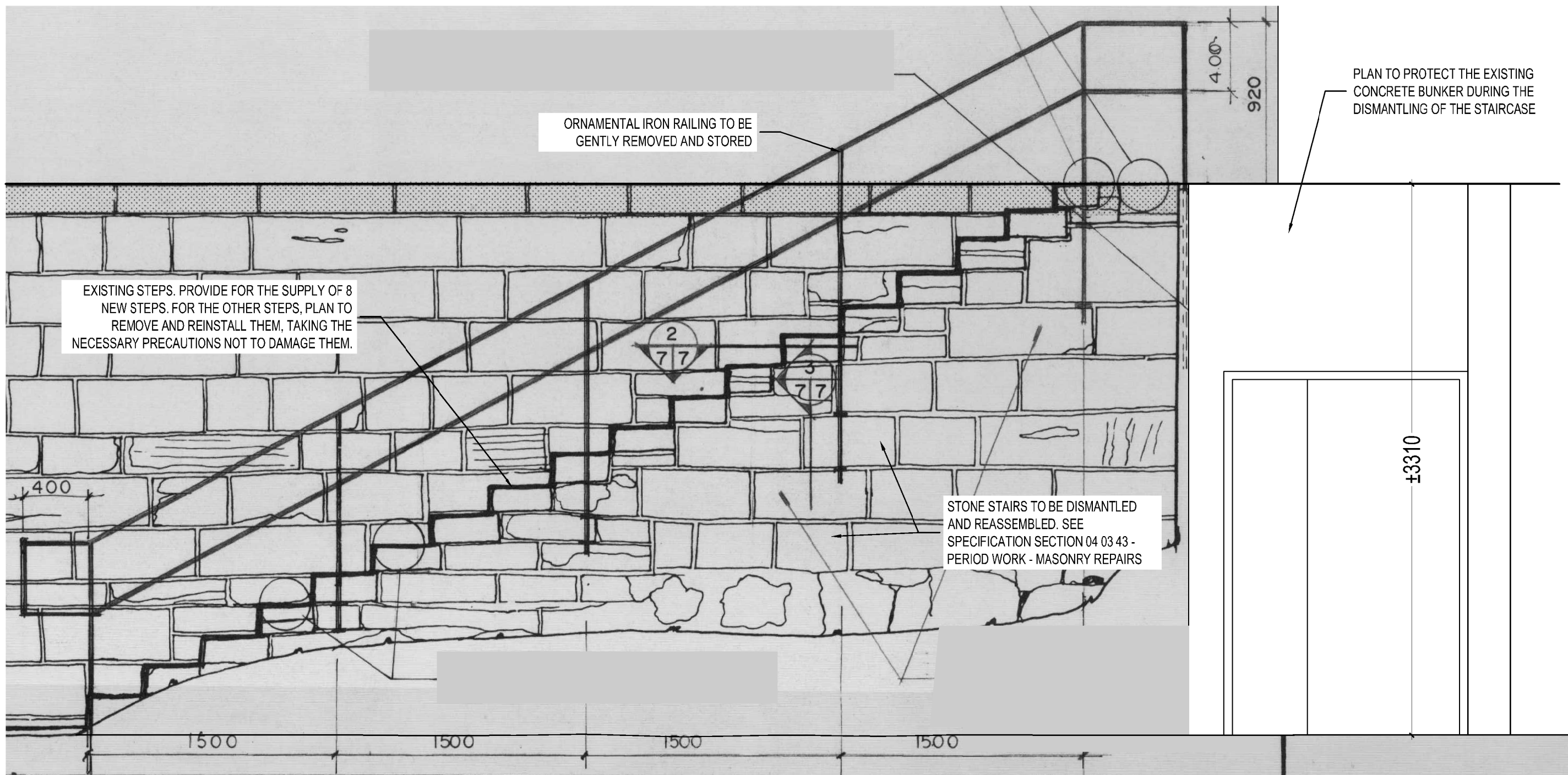
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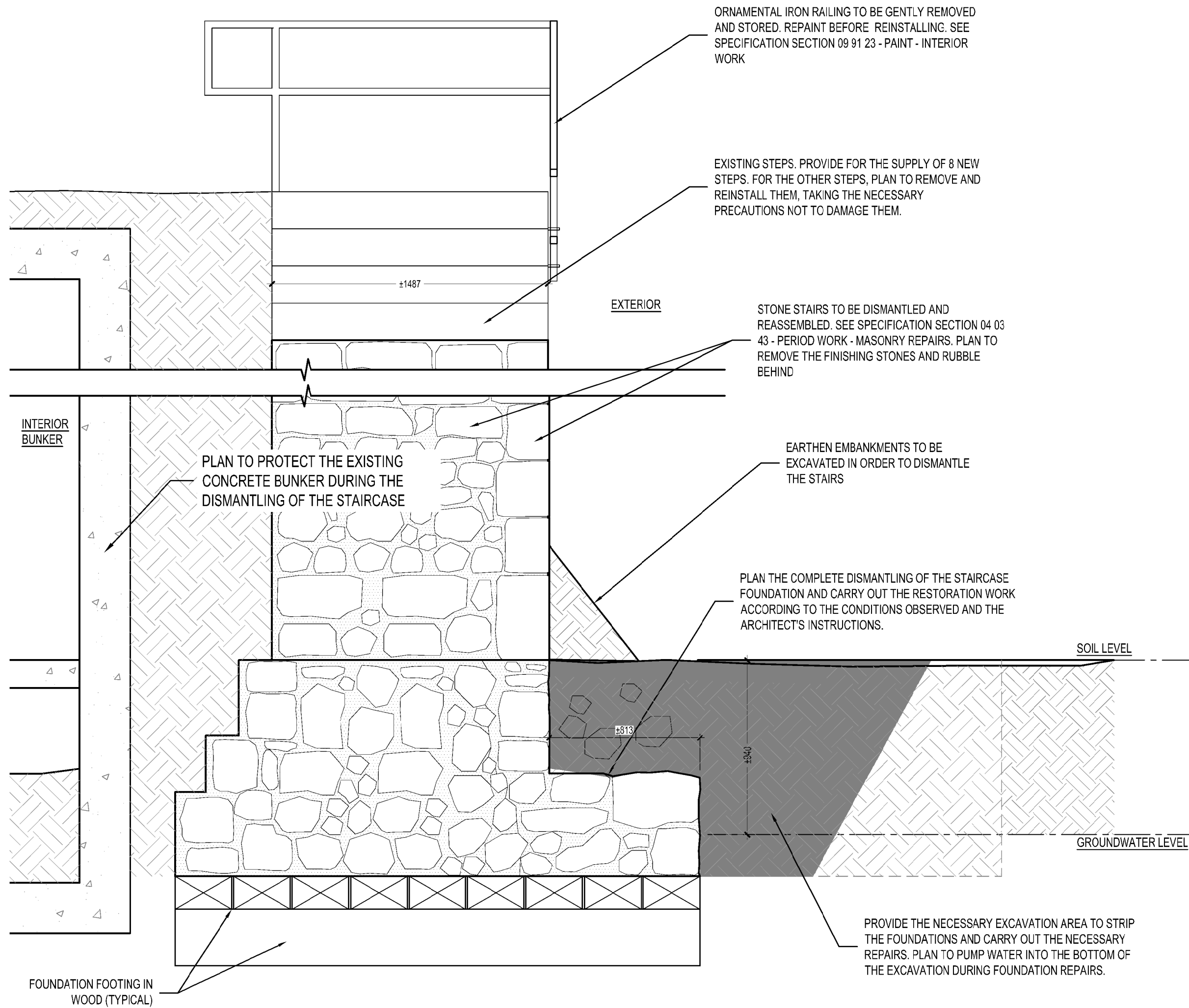
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1
A004
ENLARGED PLAN - STONE STAIRCASE
1:100



2
A004
ELEVATION - STONE STAIRCASE
1:100



3
A004
SECTION - ASSUMED CONDITIONS
1:25


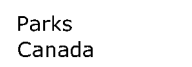





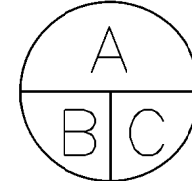
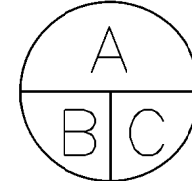
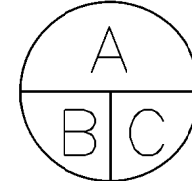
GENERAL NOTES

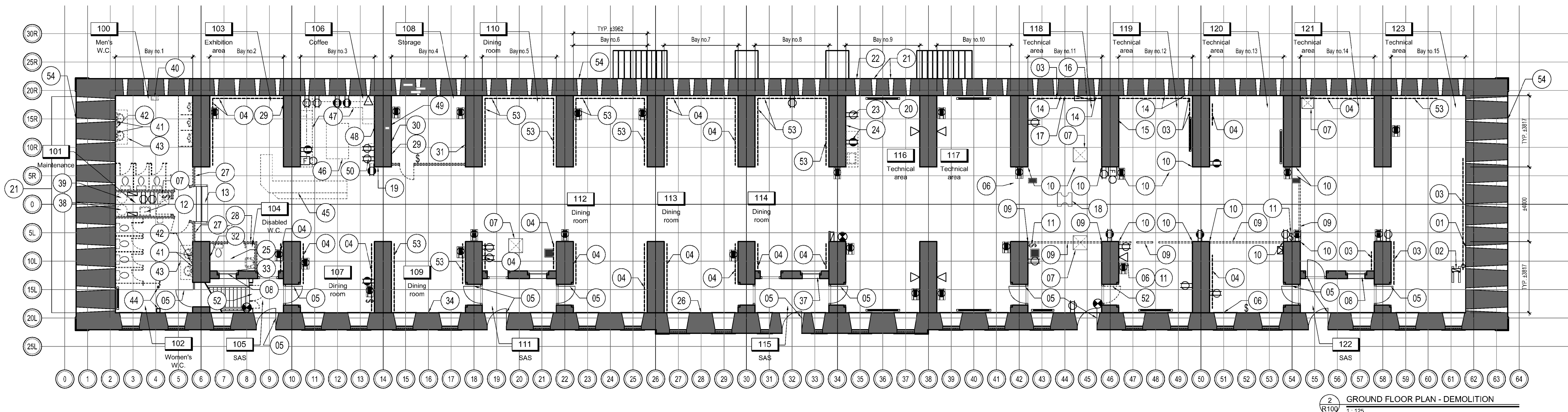
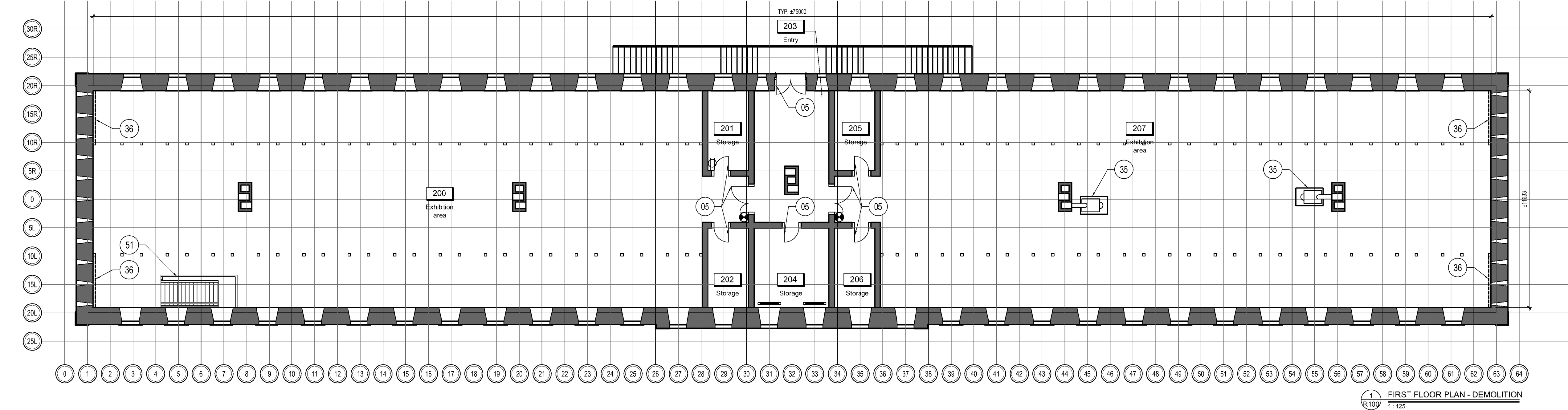
1- DRAWINGS

1. THE DRAWINGS AND THE SECTIONS ARE INDICATIVE ONLY. MORE INVESTIGATIONS / RESEARCH ON SITE WILL BE NECESSARY TO CONFIRM THE COMPOSITIONS AND CONSTRUCTION CONDITIONS.

2- TEMPORARY INSTALLATIONS

1. PROVIDE ALL THE TEMPORARY SHORING AND SUPPORTS REQUIRED.

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 Canada										
GENERAL NOTES 1. The general contractor must coordinate the site work with all the disciplines involved (architecture, structure, mechanical and electrical). The contractor must coordinate all the different steps of demolition and construction with all interveners and subcontractors. 2. The general contractor must verify all measurements and dimensions. Dimensions can not be taken directly on these drawings. These drawings may only be used for construction after have been signed by the consultants. 3. The building construction must meet all the requirements, codes, standards effects at the time of the construction in architecture, structure, mechanical, electrical and civil engineering, etc. 4. In case of an anomaly, error or omission in the plans, the contractor must notify the Architect as soon as possible. 5. It is understood that the contractor is aware of the site and the local conditions that may affect the work and is confident that he can do the work according to existing conditions. No additional costs will be paid to the contractor in regards of established limits by existing conditions. No additional costs will be paid for any expenses incurred as a result of a failure of the site exam and existing conditions analysis. 6. Plan all plumbing, ventilation, electrical and other elements according to engineering plans. 7. All holes in partitions shall be sealed according to the degree of the resistant required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conformed to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant. 8. In the areas considered non-contractual, plan to make electrical and mechanical interventions and connections, if it needed. 9. Process to general cleaning as described in the specifications, including new, existing, retained and/or recovered mechanical and electrical appliances and equipment.										
expert-conseil consultant  ROBERT QUESNEL DESIGNER										
expert-conseil consultant 										
expert-conseil consultant  RIOPEL+ASSOCIES ARCHITECTES										
société stamps  SYLVIE ST-MARTIN ARCHITECTE II										
<table><tr><td>03</td><td>POUR SOUMISSION / FOR TENDER</td><td>2019-06-18</td></tr><tr><td>02</td><td>EXÉCUTION 100%/EXECUTION 100%</td><td>2019-05-03</td></tr><tr><td>01</td><td>EXÉCUTION 100%/EXECUTION 100%</td><td>2019-03-28</td></tr></table>		03	POUR SOUMISSION / FOR TENDER	2019-06-18	02	EXÉCUTION 100%/EXECUTION 100%	2019-05-03	01	EXÉCUTION 100%/EXECUTION 100%	2019-03-28
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Dessin ARCHITECTURE ARCHITECTURE GÉNÉRALITÉS - ESCALIER EN PIERRE CASEMATES OUEST GENERALITIES - STONE STAIRCASE WEST CASEMATES										
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Soumission Gestionnaire de projet PC Ana Arbones PC Project Manager										
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LEGEND

- Power socket at the bottom of the wall, on existing wood baseboard (duct coming out of the floor) - to remove and repair holes in existing wood slats and baseboards.
- Power socket under removable slats floor - remove the socket and keep slats floor
- Baseboard electric heater - to be removed
- Power socket installed in the upper part of the masonry wall - to be removed
- Switch - to be removed
- Floor ventilation grid - to keep
- Numeric keypad - to be removed
- Output data / phone - to be removed
- Electrical panel - to be removed
- Fire alarm bell - to be removed
- Hook or wall cabinet for fire extinguisher - to be removed
- Existing door - to be removed
- Existing door - to keep
- Existing partitions - to be demolished
- Residual upper plate from old partitions - to be removed
- Existing walls and partitions - to keep

GENERAL NOTES - DEMOLITION

- A. Plan to remove all the washroom accessories (soap dispenser, toilet paper dispenser, changing table, hand dryer, grab bar, decorative device, mirror, sanitary towel receiver, etc) and disposed. Plan to repair masonry walls when the accessories are fixed. Plan to demolish all electrical connections according to the electrical engineer's plan.
- B. Plan to repair all holes, splinters, fragments, chips, cracks or damaged areas existing on masonry walls (mortar and brick), whether or not they are connected to the removal of existing elements. A photographic survey (appendix to specifications) of existing conditions and future repairs will be provided to evaluate the scope of the work. This survey is not necessarily exhaustive and does not release the contractor from repairing the existing masonry walls according to Parks Canada's convenience. It's the contractor's responsibility to validate the existing conditions of the masonry walls.
- C. Plan to repair all wooden floor slats, baseboards and lower wooden wall moldings with holes or openings. In case of a punctual repair is not possible, provide to replace the necessary slats, baseboards and wooden moldings by an element of the same size and species.
- D. Plan to remove all plumbing fixtures (toilets, urinals, sink, fountain, etc) according to mechanical engineer's plans. Plan to repair the floors with battens wooden slats (everywhere except raised section, see sheet A300), in the event that a punctual repair is not possible, provide to replace the necessary wooden slats by a element of the same size, species and finishes.
- E. Plan to remove all existing electrical elements and fire protection components (electrical outlet, mains socket, keypad, fire alarm bell, baseboard heaters, electrical panels, etc) according to the electrical engineer's plan. Provide to repair the floors and the masonry walls following the removal of these elements.
- F. For electromechanical elements and structure, see engineering plans.
- G. The raised floor of the bay no.1 must be completely demolished and lowered (see structure engineering plans).
- H. Refer to appendix report English - Caractérisation des matériaux susceptibles de contenir de l'amiante et des peintures susceptibles de contenir du plomb for the demolition of elements that may contain contaminants.
- J. All residual plates of all partitions in the vaults and on the masonry walls must be removed and the masonry behind must be repaired according to the Architect's instructions and the specification section 04 03 43 - Period works - Masonry repairs. Provide to repair masonry in areas where plates have already been removed.

SPECIFICS NOTES EXISTING / DEMOLITIONS

- 01 Window loophole missing. Plan to redo this window as detail of the existing one. Refer to plans in appendix 1999 - "As found" drawings - Men's barracks Fort Lennox National Historic Park, drawing no.37
- 02 Electrical panel on temporary structure and electrical duct installed on the wall exiting the floor. Plan to remove electrical elements according to electrical engineer's plans and patched the holes in the wooden slats floor, on the masonry wall and in woodwork embrasures. If the wooden slats can not be repair, provide to change the slats according to existing sizes and species. Refer to section 06 20 00 - Carpentry.
- 03 Original existing closet to keep. Gently brush to remove paint chips. Refer to section 06 40 00 - Cabinetwork.
- 04 Original closet refurbish. To keep
- 05 Existing door and frame - To keep
- 06 Hole for wires path in a wooden slat floor. Plan to remove electrical elements according to electrical engineer's plan and patched the holes in the wooden slats floor. If the wooden slats can not be repair, provide to change the slats according to existing sizes and species. Refer to section 06 20 00 - Carpentry.
- 07 Wooden access hatch leading to existing service basement to be modified. Refer to structural engineer's plan and details 5-6/A101.
- 08 Paint plywood in the hole of SAS window to remove.
- 09 Residual wooden plate from the old partition on the ceiling or wall to be removed. Plan to repair existing masonry according to specification section 04 03 43 - Period works - Masonry repairs.
- 10 Part of masonry damaged following the removal of the uprights and top plate of the old partition (ceiling and wall). Plan to repair existing masonry.
- 11 Wires and housing hanging from the ceiling to be removed according to the electrical engineer's plan.
- 12 Condenser tank to be removed according to the mechanical engineer's plan.
- 13 Wooden stair and ramp to demolished.
- 14 Old nailing bar installed on the upper molding of the loopholes to be removed. Plan to repair holes in the wooden moldings of loopholes according to section 06 40 00 - Cabinetwork.
- 15 Old nailing bar installed on the wall. Plan to repair the holes on masonry wall according to specification section 04 03 33 - Period works - Masonry repairs.
- 16 Electrical elements on plywood fixed in the masonry. Plan to remove all electrical components according to the electrical engineer's plan and repair holes in the masonry wall according to specifications section 04 03 43 - Period works - Masonry repair.
- 17 Junction box installed on the closet to be reconditioned. Plan to remove all electrical components according to the electrical engineer's plan and plan to repair the existing closet according to section 06 40 00 Cabinetwork.
- 18 Metal plate covering the hole of an old chimney to be removed. Repair the hole in the wooden floor slats. If the wooden slats cannot be repaired, plan to replace the slat according to existing dimensions and species. Refer to section 06 20 00 - Carpentry.
- 19 Missing wood baseboard section. Plan to redo this section of the baseboard according to size and existing wood species.
- 20 Electric baseboard heater installed on the lower part of the loopholes moldings. Plan to remove the baseboard heater according to the electrical engineer's plan and repair the loopholes woodwork.
- 21 Insulating wool or rigid insulating wool (styrofoam) installed in loopholes. Plan to remove the insulator. If loopholes windows are missing, plan to redo this window as detailed in the existing one. Refer to the plans in annex 1999 - "As found" drawings - Men's barracks Fort Lennox National Historic Park, drawing no.37
- 22 Dryer evacuation path from the murderer. Remove all existing installation components (ducts, plywood, insulation, etc) from the killer. Plan to brush the existing murder window and replace it.
- 23 Socket for dryer. Plan to remove this plug according to the electrical engineer's plan and repair the masonry according to specification section 04 03 43 - Period structures - Masonry repair.
- 24 Storage unit with integrated sink. Plumbing ventilation in the furniture. Plan to remove all plumbing components according to the mechanical engineer's plan as well as the furniture and sink. Provide for the repair of any visible fasteners or openings to the floor and masonry wall. If some wooden slats cannot be repaired, plan to change the slats) concerned in a punctual way according to existing dimensions.
- 25 Floor drain to be removed according to mechanical engineer's plans. Plan to repair wooden floor slats. If the wooden slats cannot be repaired, plan to replace the slat according to existing dimensions and species. Refer to section 06 20 00 - Carpentry.
- 26 Wall poster belonging to Parks Canada to be removed and disposed of.
- 27 Wall fountain to be removed according to the mechanical engineer's plan.
- 28 Corner mirror in the upper part of the vault installed on the wall of the disabled bathroom to be removed.
- 29 Cork bulletin board installed on the wall above the wall paneling. Plan to remove and return to Parks Canada. Repair masonry walls.
- 30 Brush hook (4) installed on the wall paneling. Plan to remove and repair wall paneling.
- 31 Rack installed on the wooden baseboard and wall paneling. Plan to remove and repair wall paneling and wooden baseboard.
- 32 Wall paneling painted white with modern hook (1). Toilet paper dispenser, sanitary towel holder and grab bar installed on the masonry wall. Remove toilet accessories and hook. Repair masonry wall and wall paneling.
- 33 Changing table to be installed on plywood from the chicane window. Remove the changing table and plywood.
- 34 Electrical wall duct passing through the masonry ceiling. Remove the electrical conduit according to the electrical engineer's drawings and plug the hole in the masonry.
- 35 Wood stove installed on existing brick floor to be kept.
- 36 Woodwork on uninstalled loopholes. Retain for reinstatement.
- 37 Plexiglass in the window of the baffle to be removed. Plan to brush the window frame according to the section.
- 38 Existing water heater to be removed according to mechanical engineering plans.
- 39 Pressurized water tank to be removed according to mechanical engineering plans.
- 40 Hand dryer installed on the masonry wall to be removed. Plan to repair the masonry wall.
- 41 Existing mirror installed on the masonry wall to be removed. Plan to repair the masonry wall.
- 42 Soap dispenser installed on the masonry wall to be removed. Plan to repair the masonry wall.
- 43 Bathroom furniture with two sinks that can be easily removed according to the plans of a mechanical engineer.
- 44 Existing structure of the stairs (wooden and steel posts) to be removed and replaced according to the structural plans. Provide temporary structure for replacement of supports and their foundations.
- 45 Laminate service counter with glass sections of the kitchenette to be demolished. Plan the patching/repair of the wooden slats of the floor following the removal of the furniture.
- 46 Central island with laminate storage shelf to be demolished. Plan the patching/repair of the wooden slats of the floor following the removal of the furniture.
- 47 Laminate counter section of the kitchenette with cabinet section at the top or shelf. Plan to demolish the furniture. Plan the patching/repair of the wooden slats of the floor, masonry wall and wall paneling following the removal of the furniture.
- 48 Paper towel dispenser installed on existing woodwork. Plan to repair the woodwork as per section 06 40 00 - Cabinetwork.
- 49 Towel bar installed on existing woodwork. Plan to repair the woodwork as per section 06 40 00 - Cabinetwork.
- 50 Mezzanine shelf installed over existing wall paneling. Plan to repair the woodwork as per section 06 40 00 - Cabinetwork.
- 51 Existing wooden guardrails to be kept.
- 52 Existing door to be demolished, frame to be kept.
- 53 Existing closet to be removed. (See also specific note no. 1, sheet A100). Plan to numbered original removed wardrobes and provide a plan with their existing situations. Fill in the holes in the masonry and/or its mortar joints after removing.
- 54 Provide for the removal of existing nets in all loopholes.



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Parks Canada

La Mauricie and Western Quebec field unit

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GENERAL NOTES

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- The building construction must meet all the requirements, codes, standards effects at the time of the construction in architecture, structure, mechanical, electrical and civil engineering, etc. in event of an anomaly, error or omission in the plans, the contractor must notify the Architect as soon as possible.
- If it understood that the contractor is aware of the site and the local conditions that may affect the work and is confident that he can do the work according to existing conditions. No additional costs will be paid to the contractor in regards of established limits by existing conditions. No additional costs will be paid for any expenses incurred as a result of a failure of the site exam and existing conditions analysis.
- Plan all plumbing, ventilation, electrical and other elements according to engineering plans.
- All holes in partitions shall be sealed according to the degree of the residual required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conforming to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant.
- In the areas considered non-contradictory, plan to make electrical and mechanical interventions and connections, if needed.
- Process a general drawing as described in the specifications, including new, existing, retained and/or removed mechanical and electrical appliances and equipment.

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03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
01	EXECUTION 100% / EXECUTION 100%	2019-03-28
révisions revisions		date

A no. du détail detail no.
B no. de la feuille - où détail exigé sheet no. - where detail required
C no. de la feuille - où détaillé sheet no. - where detailed

Projet Project

PARCS CANADA
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PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2

Dessin Drawing

ARCHITECTURE
ARCHITECTURE

EXISTANT / DEMOLITION -
PLANS REZ-DE-CHAUSSEE
ET ETAGE

EXISTING / DEMOLITION -
GROUND AND SECOND
FLOOR PLANS

Conçu par Designed by
C. RICHARD 2017-12 Date

Dessiné par Drawn by
C. RICHARD 2017-12 Date

Approuvé par Approved by
S. ST-MARTIN 2017-12 Date

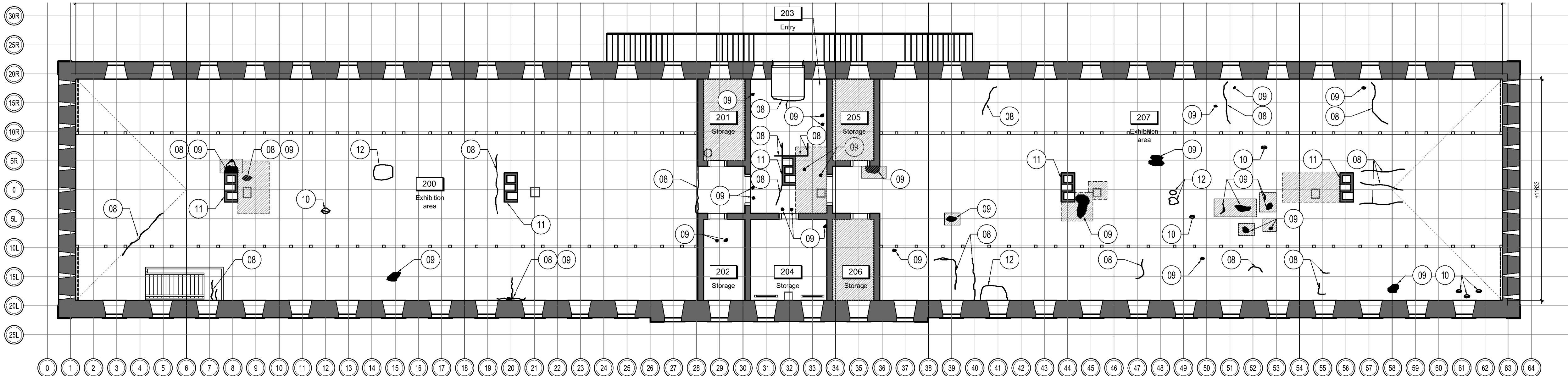
Soumission Gestionnaire de projet PC
Tender Anso Arbones PC Project Manager

No de projetProject number
5P301-16-0002/004 APC-17-2727

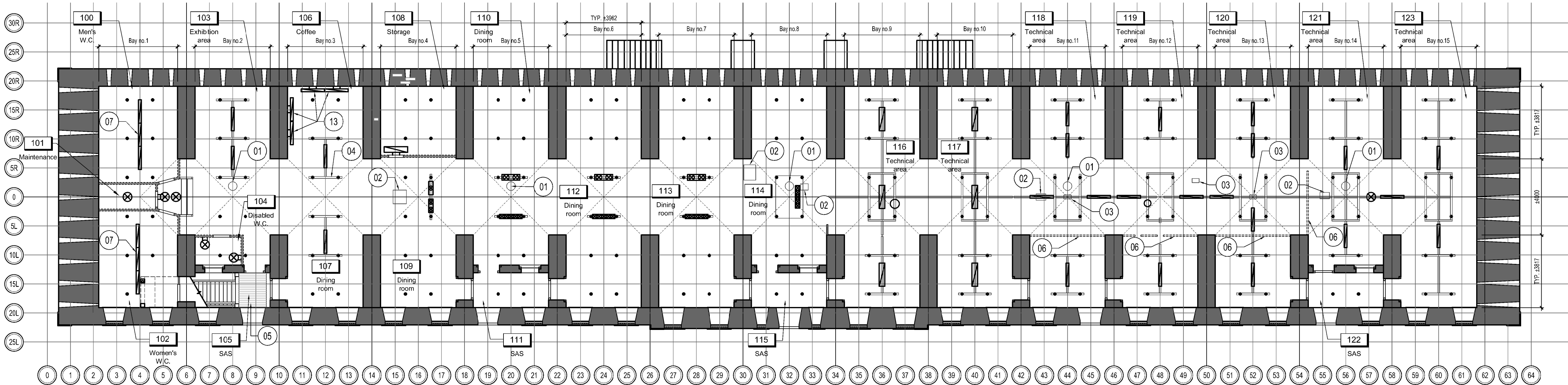
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No de plan ou dessin File name
APC-2727_ESQUISSE-PRÉSENTATION

No de feuille Sheet no
R-100



1 EXISTANT - PLAN CEILING FIRST FLOOR
R200 1:125



2 EXISTANT - PLAN CEILING GROUND FLOOR
R200 1:125

LEGEND


- Ceiling hook
- Lighting spot on the existing ceiling - to be removed
- Existing wall lighting fixture - to be removed
- Neon lighting on existing ceiling - to be removed
- Existing neon wall lighting - to be removed
- Lighting rail with spotlight that can be positioned on the existing ceiling - to be removed
- Smoke alarm - to be removed
- Safe area to avoid plaster falls - to remove and repair plaster from this area
- Old secure area to avoid plaster falls - repair plaster in this area
- Complete area to redo the plaster
- Access hatch to the inter-ceiling - Plan to remove existing traps to enlarge the hole (see A-200)

GENERAL NOTES - DEMOLITION


- A. Provide to repair all existing holes, splinters, bubbles, cracks, delaminations in the plaster ceiling on the floor's wooden lath, whether or not they are indicated. A photographic survey (Appendix of the specifications) of existing conditions and future repairs will be provided to assess the scope of the work. This survey is not necessarily exhaustive and does not release the contractor from repairing existing plaster ceilings at Park Canada's convenience. It is the contractor's responsibility to validate the existing conditions of the ceilings when visiting bidders.
- B. Plan to repair any holes, chips, fragments, chips, cracks or damaged areas in existing masonry vaults (mortar and brick), whether or not they are connected to the removal of existing elements. A photographic survey (Appendix of the specifications) of existing conditions and future repairs will be provided to assess the scope of the work. This survey is not necessarily exhaustive and does not release the contractor from repairing existing masonry walls at Park Canada's convenience. It is the contractor's responsibility to validate the existing conditions of the masonry walls during the bidder's visit.
- C. Plan to remove all wooden elements attached to the heritage hook on the ground floor of the fire station. Keep the hooks in place.
- D. Remove all existing electrical and fire protection components (electrical outlet, mains socket, keypad, keypad, fire alarm bell, baseboard heaters, electrical panels, etc.) according to the plans of electrical engineers. Plan to repair masonry floors and walls following the removal of these elements.
- E. For electromechanical elements and structure, see the engineering plans.
- F. Plan to demolish all non-original ceiling elements. Keep existing chimney holes and hooks in existing vaults only.

SPECIFICS NOTES EXISTING / DEMOLITIONS


- (01) Old hole in the blocked chimney. Plan to remove the obstructing elements to leave the hole exposed.
- (02) Painted wooden plaque hiding a hole. Remove the wooden plate and repair the existing masonry (brick and/or mortar).
- (03) Missing brick. Plan to repair the missing space with masonry such as that used at the time.
- (04) Menu attached to the wooden hanger to be removed and placed.
- (05) Existing wooden lath supported on wooden beam to be removed. Repair masonry walls after removing wooden elements. Plan to dismantle and reassemble the vault over a minimum of 3 layers of brick to repair the existing crack.
- (06) Remaining existing wooden beam to be removed. Plan to repair the masonry vault.
- (07) Fluorescent lighting fixture installed directly on the masonry of the vault to be removed according to the electrical engineer's plans. Plan to repair the vault after removing the lighting fixtures.
- (08) Existing crack in the plaster on wooden lath to be repaired. Plan a repair of 45° (150mm) in all directions.
- (09) Removed plasterboard, exposed wooden lath. Plan to redo the plaster in this section. Plan a repair of 45° (150mm) in all directions.
- (10) Bubble in the existing plaster. Plan to remove the existing plaster and redo it. Plan a repair of 45° (150mm) in all directions.
- (11) Crack at the junction of the plaster on the ceiling with the existing chimney (over the entire perimeter of the chimney). Plan to redo the plaster junction between the existing chimney and the ceiling.
- (12) Old visible repair. Plan to remove the plaster and redo this section.
- (13) Fluorescent lighting fixture located under existing cabinets / shelves to be removed according to electrical engineer's drawings.




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GENERAL NOTES


- The general contractor must coordinate the site work with all the disciplines involved (architecture, structure, mechanical and electrical). The contractor must coordinate all the different steps of demolition and construction with all interveners and subcontractors.
- The general contractor must verify all measurements and dimensions. Dimensions can not be taken directly on these drawings. These drawings may only be used for construction after have been signed by the consultants.
- The building construction must meet all the requirements, codes, standards effects at the time of the construction in architecture, structure, mechanical, electrical and civil engineering, etc. in event of an anomaly, error or omission in the plans, the contractor must notify the Architect as soon as possible.
- If it is understood that the contractor is aware of the site and the local conditions that may affect the work and to coordinate that he can do the work according to existing conditions. No additional costs will be paid to the contractor in regards of established limits by existing conditions. No additional costs will be paid for any expenses incurred as a result of a failure of the site even and existing conditions analysis.
- Plan all plumbing, ventilation, electrical and other elements according to engineering plans.
- All holes in partitions shall be sealed according to the degree of the resistant required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conforming to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant.
- In the areas considered non-contradictory, plan to make electrical and mechanical interventions and corrections, if it is needed.
- Process the general drawing as described in the specifications, including new, existing, retained and/or recovered mechanical and electrical appliances and equipment.

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ROBERT QUESNEL DESIGNER

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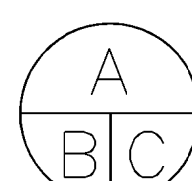
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ARCHITECTES

sceaux
stamps



Ordre des architectes
SYLVIE ST-MARTIN
ARCHITECTE R.
du Québec

03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
01	EXECUTION 100% / EXECUTION 100%	2019-03-28
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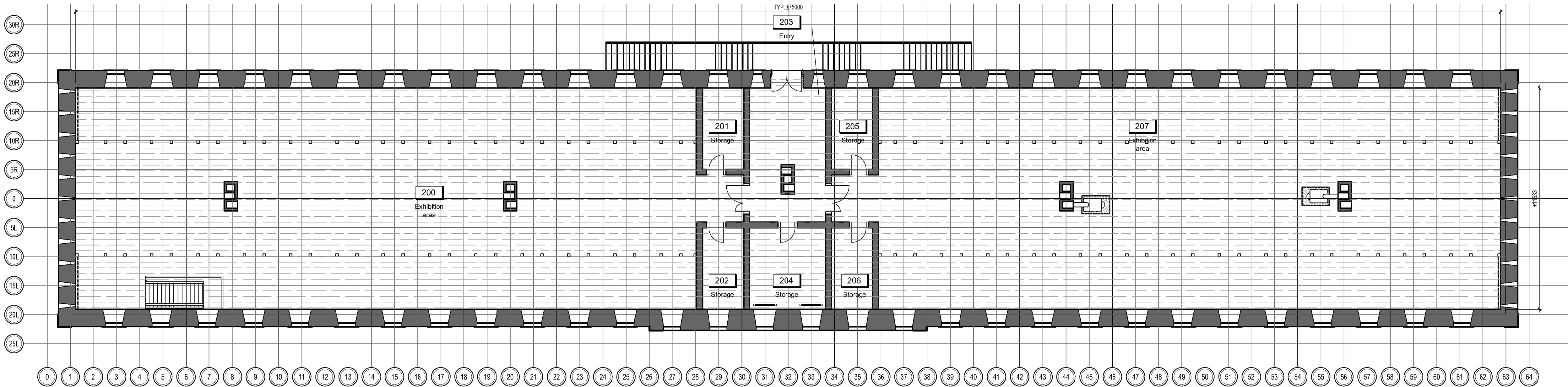
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Projet
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PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
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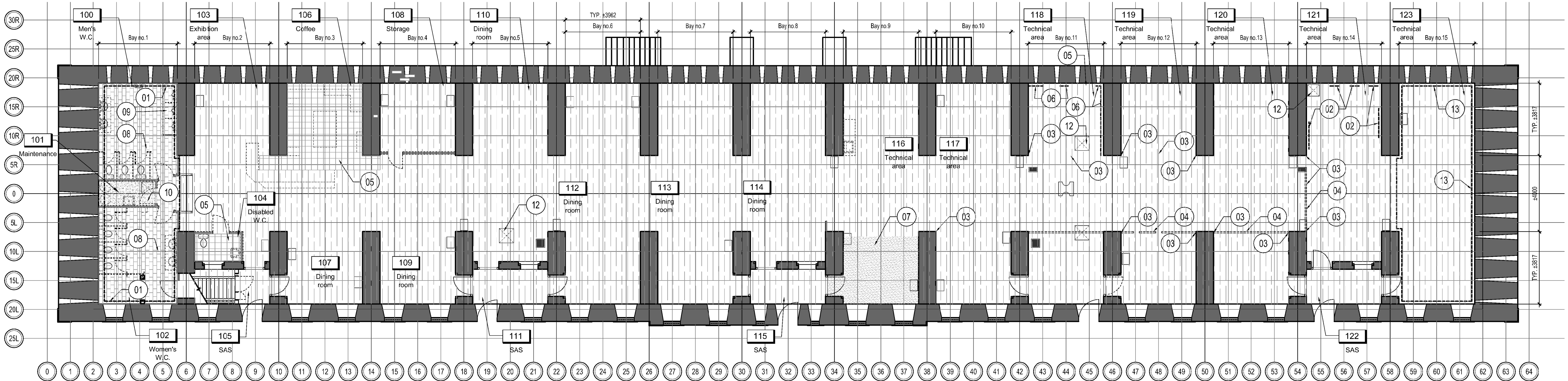
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EXISTANT / DÉMOLITION -
PLAFONDS REZ-DE-CHAUSSEE
ET ÉTAGE
EXISTING / DEMOLITION -
GROUND AND SECOND
FLOOR CEILINGS
Drawing

Conçu par C. RICHARD	Designed by 2017-12 Date
Dessiné par C. RICHARD	Drawn by 2017-12 Date
Approuvé par S. ST-MARTIN	Approved by 2017-12 Date
Soumission	Gestionnaire de projet PC Ana Arbones PC Project Manager
Tender	No de projet 5P301-16-0002/004
No de projet 5P301-16-0002/004	No de projet APC-17-2727
PC Client	Client
Norm du fichier APC-2727_ESQUISSE-PRÉSENTATION	No de classement File no
No de plan ou dessin File name	No feuille Sheet no

R-200



1 PLAN FIRST FLOOR - DEMOLITION FINISHING
1:125



2 PLAN GROUND FLOOR - DEMOLITION FINISHING
1:125

LEGEND

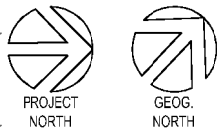
- Floor ventilation grid - to keep
- Existing door - to be removed
- Existing door - to keep
- Existing partitions - to be demolished
- Residual upper beam of old partitions - to be demolished
- Existing walls and partitions - to keep
- Wood slates floor - to be removed for sanding
- Existing ceramic - to be demolished
- Exposed concrete screed - to be demolished
- Flexible tile covering - to be removed
- Carpet covering - to be removed
- Raised brick cladding under wood stoves - to keep

GENERAL NOTES - DEMOLITION

- A. Provide to gently brush all wall panelling, loopholes, closets and ground floor doors to remove paint flakes. Refer to section 06 40 00 Cabinetwork.
- B. Provide to gently brush all existing wooden frames on the ground floor (doors and windows) to remove paint flakes. Refer to section 06 40 00 Cabinetwork.
- C. Provide to remove all the wooden slatted floor from the ground floor and the baseboards for sanding and passage of electro-mechanical elements and fire protection. Plan to number the boards to reinstall in the same place as the existing one. Plan to repair any holes or stains (oil / water) in these elements. If it is not possible to repair a wooden batten or a piece of skirting board, plan to redo the element as it already exists (same size and species of wood, refer to the plans in appendix 1985 - "As found" drawings - Men's barracks Fort Lennox National Historic Park, drawing no.42 for details of the skirting boards).
- D. Provide to leave the wooden batten floor on the first floor. Plan to protect during the work.

SPECIFICS NOTES EXISTING FINISHES

- 01 No plastering on existing masonry (wall and ceiling). Plan to make the necessary masonry repairs following the lowering of the floor of the roofing rooms and plan to redo a painting on the masonry walls and vaults. Mouldings of the murderers to be gently crushed.
- 02 Test wall section for asbestos removal without plaster on the masonry. Plan to brush these wall sections again.
- 03 Damaged plastered wall and ceiling section (former location of partitions/furniture). Plan to make the necessary repairs to the wall and masonry vaults and redo the painting on these wall sections.
- 04 Wall and ceiling section with residual high beam from the old partitions to be removed. Plan to make the necessary repairs to the wall and masonry vaults and redo the painting on these wall sections.
- 05 Flexible tile floor covering to be removed. Wooden baseboard to keep. Plan to remove the glue from the wooden slates and sand them.
- 06 Damaged wall painting. Plan to redo these brushing sections. Murderer's mouldings and wall mouldings to be brushed delicately according to estimate section 06 40 00 - Cabinetwork.
- 07 Section of carpet to be removed. Some electric hatches are also covered with carpets that will have to be removed.
- 08 Ceramic floor with matching baseboard on existing concrete screed resting on the wooden slate floor. Provide to completely demolish this floor.
- 09 Raised platform for ceramic urninal to be demolished.
- 10 Exposed concrete screed on wooden slate floor. Plan to completely demolish this floor.
- 11 Raised brick floor under wood stoves to keep as is.
- 12 Access hatch in the existing floor to be enlarged and modified. See drawing 2/A100 and details 5-B/A501.
- 13 No plastering on existing masonry (wall and ceiling) to be kept as is.



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- The general contractor must verify all measurements and dimensions. Dimensions can not be taken directly on these drawings. These drawings may only be used for construction after have been signed by the consultants.
- The building construction must meet all the requirements, codes, standards effects at the time of the construction in architecture, structure, mechanical, electrical and civil engineering, etc. In event of an anomaly, error or omission in the plans, the contractor must notify the Architect as soon as possible.
- If it understood that the contractor is aware of the site and the local conditions that may affect the work and to coordinate that he can do the work according to existing conditions. No additional costs will be paid to the contractor in regards of established limits by existing conditions. No additional costs will be paid for any expenses incurred as a result of a failure of the site exam and existing conditions analysis.
- Plan all plumbing, ventilation, electrical and other elements according to engineering plans.
- All holes in partitions shall be sealed according to the degree of the resistant required for a partitions. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conforming to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant.
- In the areas considered non-contradictory, plan to make electrical and mechanical interventions and corrections, if needed.
- Process in general drawing as described in the specifications, including new, existing, retained and/or recovered mechanical and electrical appliances and equipment.

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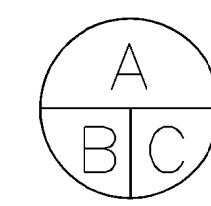
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03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
01	EXECUTION 100% / EXECUTION 100%	2019-03-28
révisions revisions		date



A no. du détail
detail no.
B no. de la feuille-où détail
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Projet
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PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2

Dessin
Drawing

ARCHITECTURE
ARCHITECTURE
EXISTANT / DÉMOLITION -
PLANS DES FINIS
REZ-DE-CHAUSSÉE ET ÉTAGE
EXISTING / DEMOLITION -
GROUND AND SECOND
FLOOR FINISHES PLANS

Conçu par
Designed by

C. RICHARD
2017-12
Date

Dessiné par
Drawn by

C. RICHARD
2017-12
Date

Approuvé par
Approved by

S. ST-MARTIN
2017-12
Date

Soumission
Gestionnaire de projet PC

Ana Arbones
PC Project Manager

Tender
Project number

5P301-16-0002/004
APC-17-2727

PC
Client
Client

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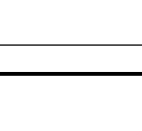



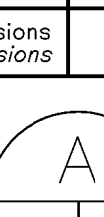
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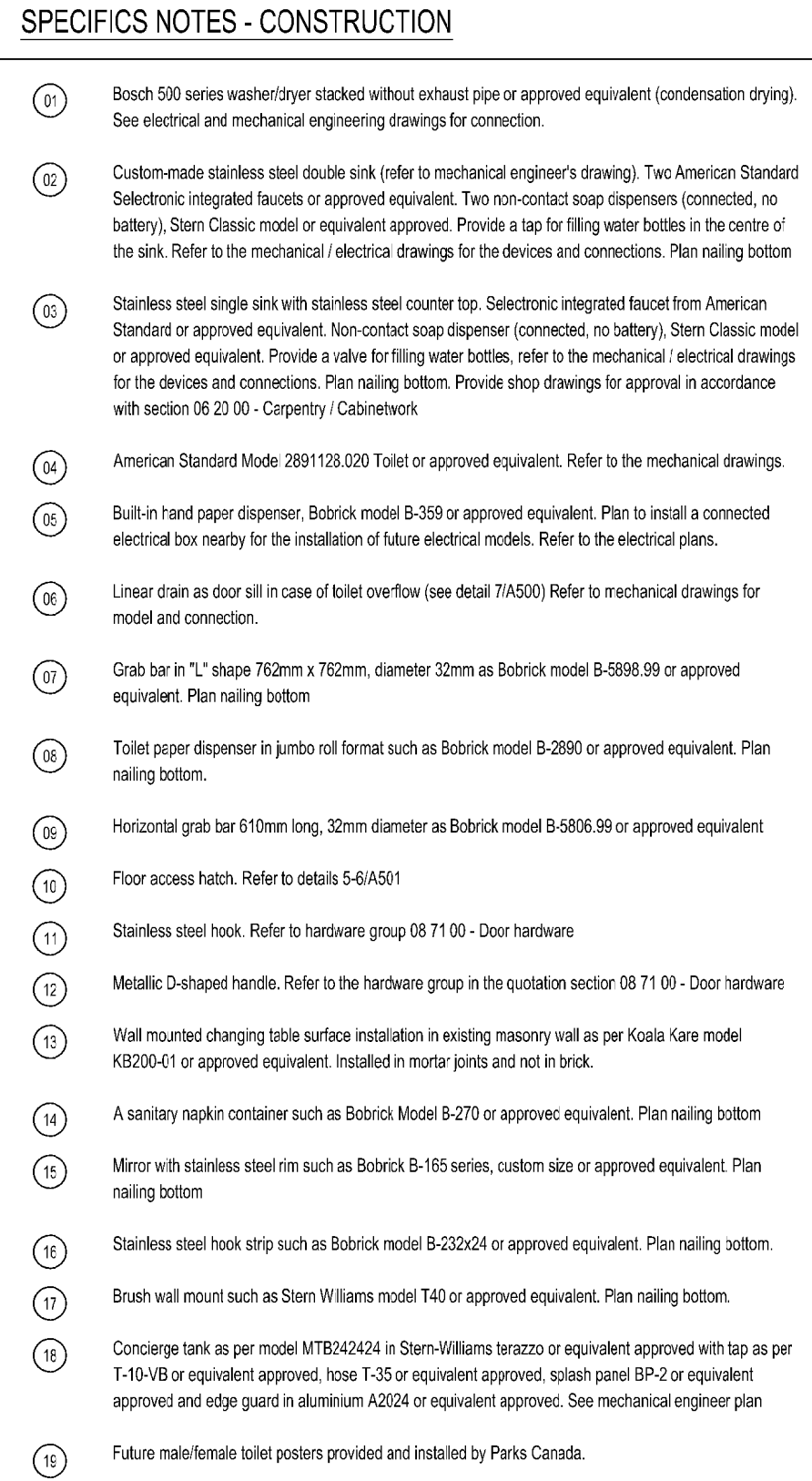
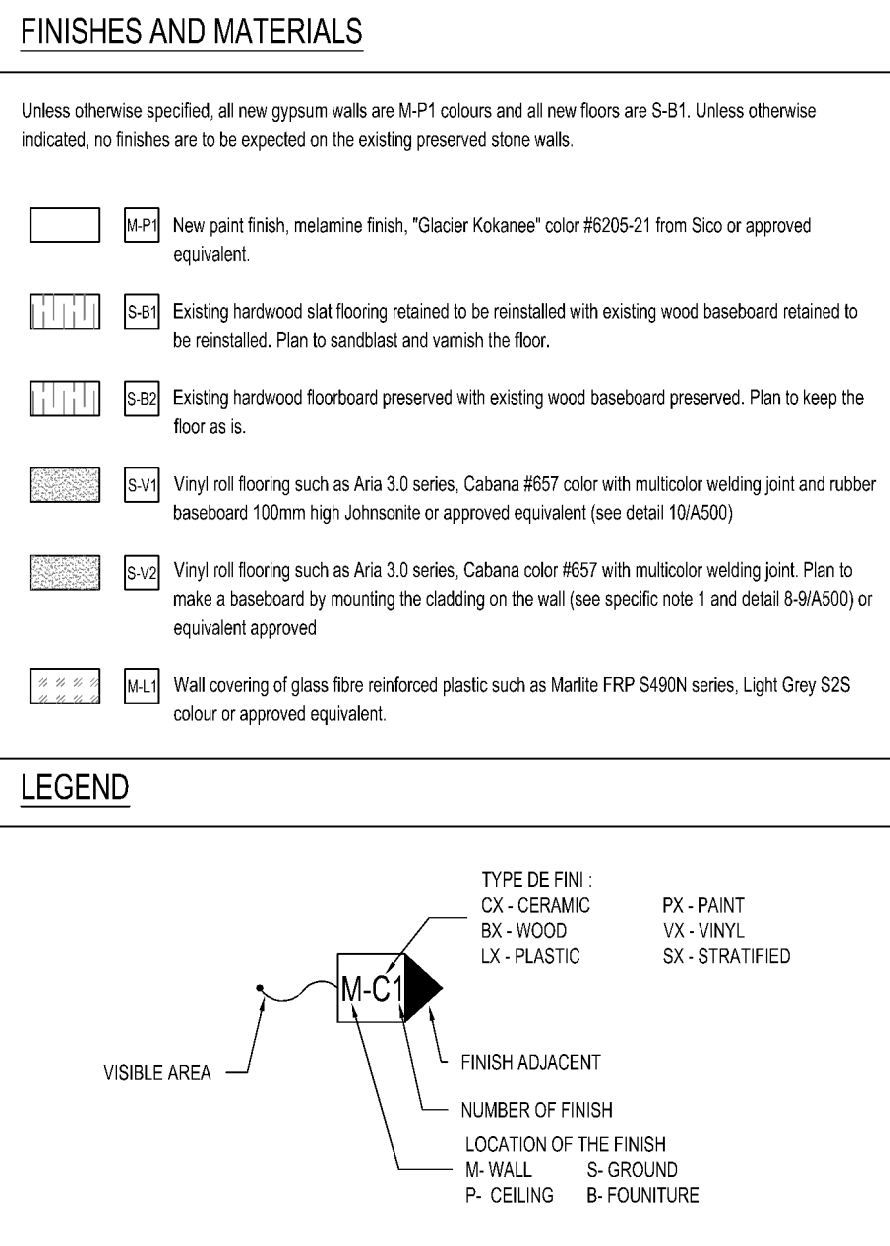


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Québec | | 
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|  | |  | |
| GENERAL NOTES
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7. All holes in partitions shall be sealed according to the degree of fire resistance required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conforming to IRC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant.
8. In the event considered non-structural, plan to make electrical and mechanical interventions and connections, if it is needed.
9. Process to general cleaning as described in the specifications, including new, existing, retained and/or recovered mechanical and electrical appliances and equipment. | | | |
| expert-conseil
consultant

ROBERT GUESNEL DESIGNER | | | |
| expert-conseil
consultant
 | | | |
| expert-conseil
consultant
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| sceaux
stamps
 | | | |
| 03 | | POUR SOUMISSION / FOR TENDER | 2019-06-18 |
| 02 | | EXECUTION 100 % / EXECUTION 100% | 2019-05-03 |
| 01 | | EXECUTION 100 % / EXECUTION 100% | 2019-03-28 |
| révisions
revisions | | | date |
| 
A no. du détail
detail no.
B no de la feuille-où détail
sheet no. - where detail
required
C no. de la feuille-où détaillé
sheet no. - where detailed | | | |
| Projet | | Project | |
| PARCS CANADA
PARKS CANADA
1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0

PROJET D'AMÉNAGEMENT
DE LA CASERNE – LOT 2
MEN'S BARRACK
PLANNING PROJECT – LOT 2 | | | |
| Dessin | | Drawing | |
| ARCHITECTURE
ARCHITECTURE

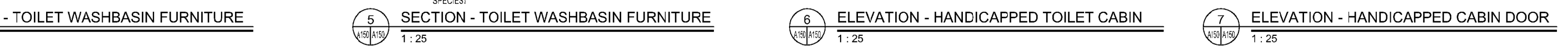
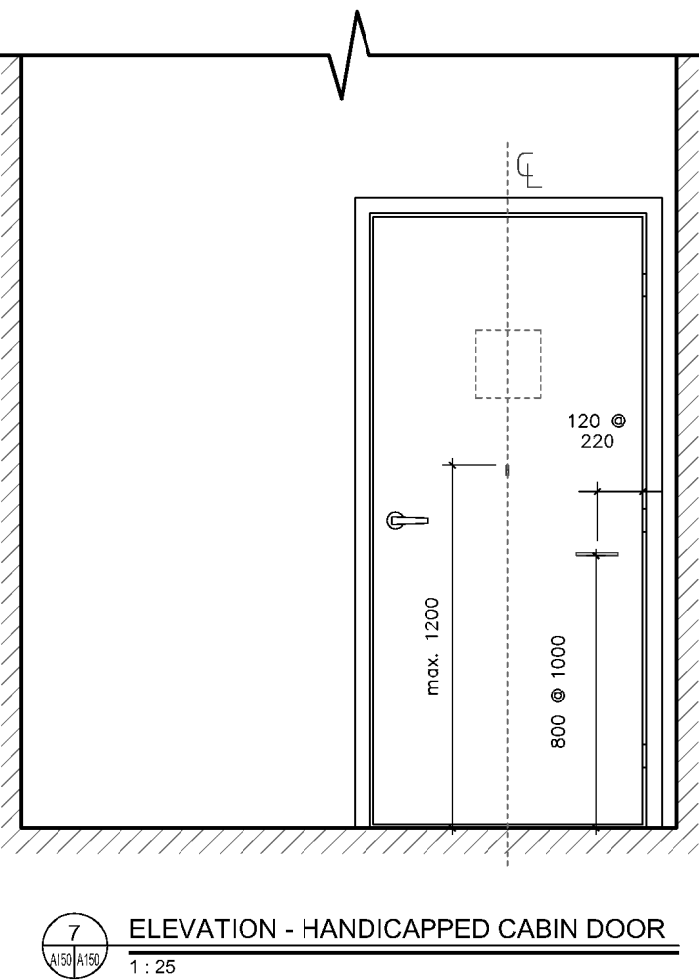
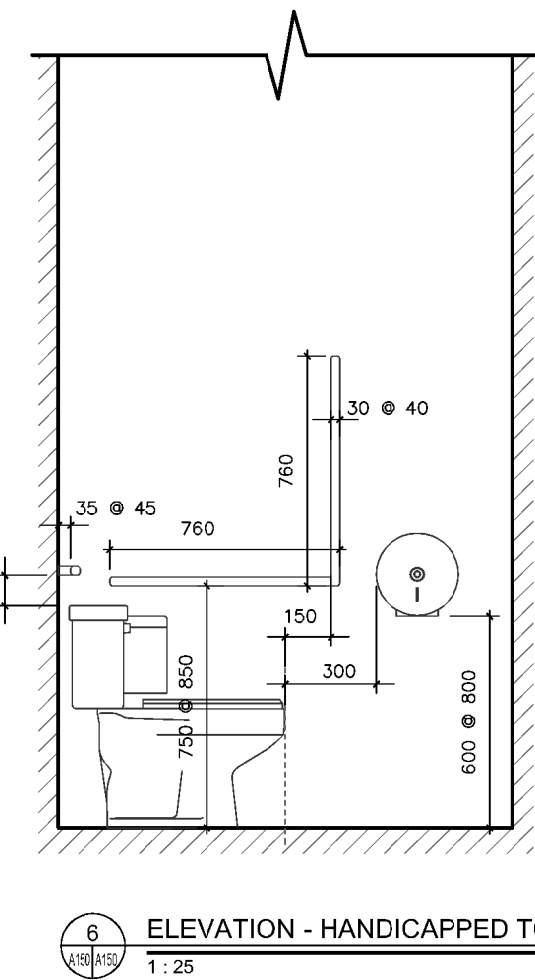
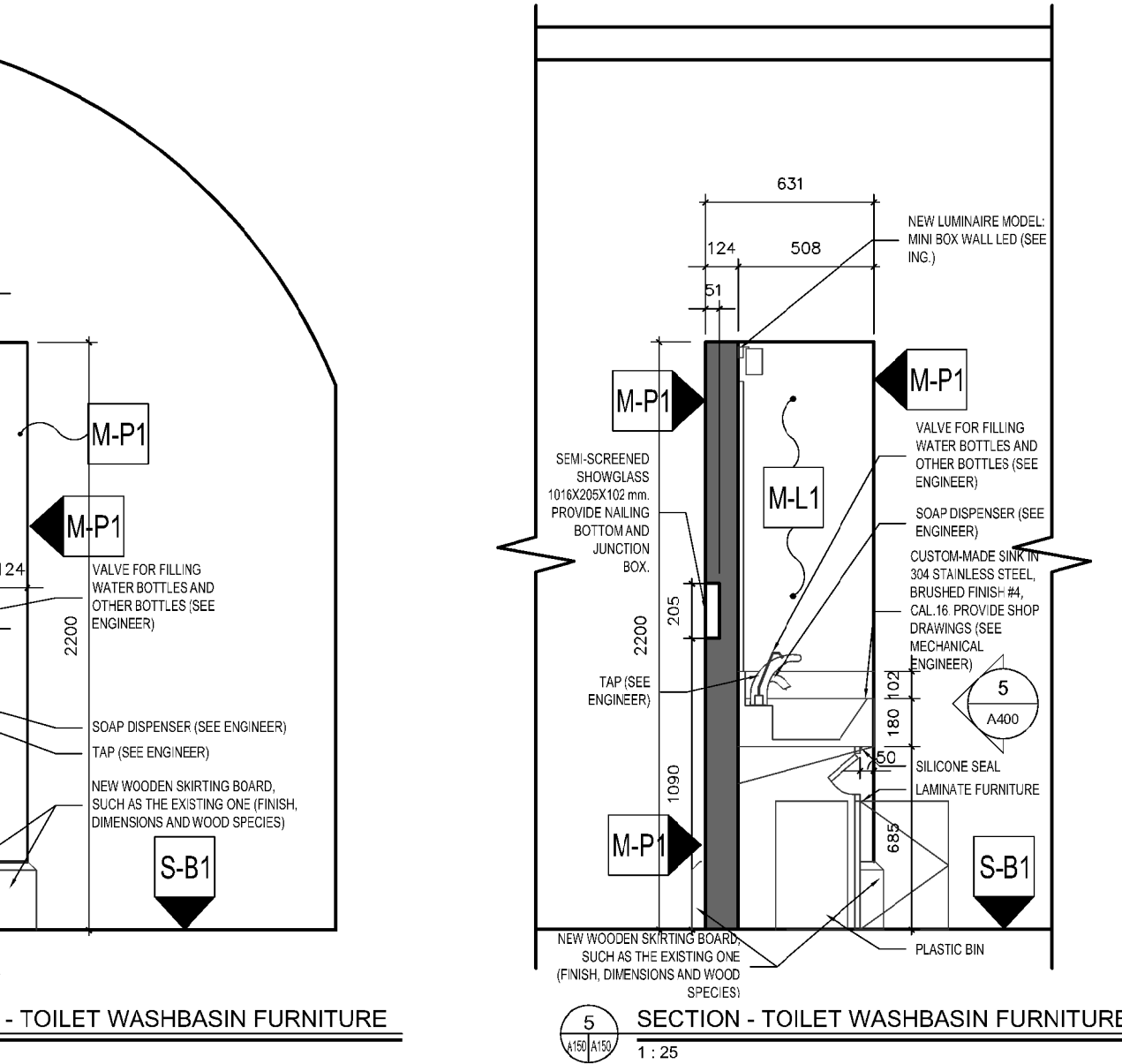
NOUVEL AMÉNAGEMENT
PLANS REZ-DE-CHAUSSEE
ET ÉTAGE

REHABILITATION –
GROUND AND SECOND
FLOOR PLANS | | | |
| Conçu par | | Designed by | |
| C. RICHARD | | 2017-12
Date | |
| Dessiné par | | Drawn by | |
| C. RICHARD | | 2017-12
Date | |
| Approuvé par | | Approved by | |
| S. ST-MARTIN | | 2017-12
Date | |
| Soumission | | Gestionnaire de projet PC
Arno Arbones
PC Project Manager | |
| Tender | | Arno Arbones
PC Project Manager | |
| No de projet/Project number | | No de projet/Project number | |
| 5P301-16-0002/004 | | APC-17-2727 | |
| PC Client | | Client | |
| Norm du fichier | | File name | |
| APC-2727_ESQUISSE-PRÉSENTATION | | No de classement | |
| File no | | File no | |
| No de plan ou dessin | | No feuille Sheet no | |
| | | A-100 | |



GENERAL NOTES CONSTRUCTION

- A. For all openings in the existing wood batten floor, provide a support structure (ground floor) or a subfloor (upper floor) following reinforcement to support the floor battens across the opening. For the first floor, plan to remove 2 boards of width on either side of the opening to install the supply reinforcement.
- B. Refer to sheet AR00 for door details and wall descriptions.
- C. Unless otherwise specified, the door jamb on the hinge side shall be positioned 100mm from a partition or transverse wall.
- D. Provide all nailing buttons, anchors and bolts (accessed or not) required for the fixation of the accessories and furniture presented on the plans. Nailing buttons must be completely hidden behind the gypsum unless otherwise specified.
- E. Provide to install new fire extinguishers in accordance with NFPA 10, the 2010 Fire Code and current municipal standards.
- F. On the ground floor, at all junctions between the exterior masonry walls and the masonry vault walls, provide for the gap to be sealed according to the procedure described in Specification Section 07 92 00 - Waterproofing Products. Plan to scrape off any remaining existing sealant beforehand.
- G. Provide for the sealing of all existing doors and windows on the inside following the procedure described in Specification Section 07 92 00 - Sealing Products. Plan to scrape off any remaining existing sealant beforehand.





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Québec

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Western Quebec
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- Plan all plumbing, ventilation, electrical and other elements according to engineering plans.
- All holes in partitions shall be sealed according to the degree of the residual required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conformed to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an acoustic sealant.
- In the areas considered non-contradictory, plan to make electrical and mechanical interventions and connections, if it is needed.
- Process in general drawing as described in the specifications, including new, existing, retained and/or removed mechanical and electrical appliances and equipment.

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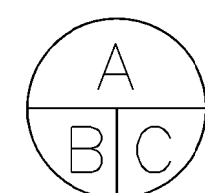
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consultant



sceaux
stamps



03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
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révisions revisions		date



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detail no.
B no. de la feuille-où détail
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sheet no. - where detailed

Projet

PARCS CANADA
PARKS CANADA
1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0

PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2

Dessin

ARCHITECTURE
ARCHITECTURE
NOUVEL AMÉNAGEMENT -
PLAFONDS REZ-DE-CHAUSSEE
ET ÉTAGE
REHABILITATION -
GROUND AND SECOND
FLOOR CEILINGS

Conçu par

C. RICHARD

Designed by

C. RICHARD

Dessiné par

C. RICHARD

Drawn by

C. RICHARD

Approuvé par

S. ST-MARTIN

Approved by

S. ST-MARTIN

Soumission

Gestionnaire de projet PC
Ana Arbones
PC Project Manager

Tender

No de projeProject number
5P301-16-0002/004

No de projeProject number
APC-17-2727

PC

Nom du fichier

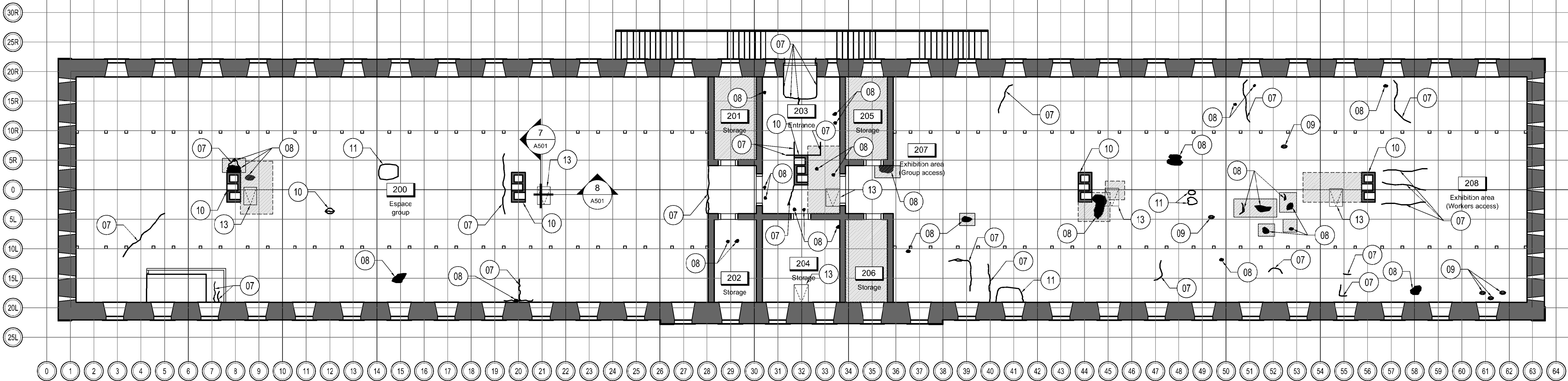
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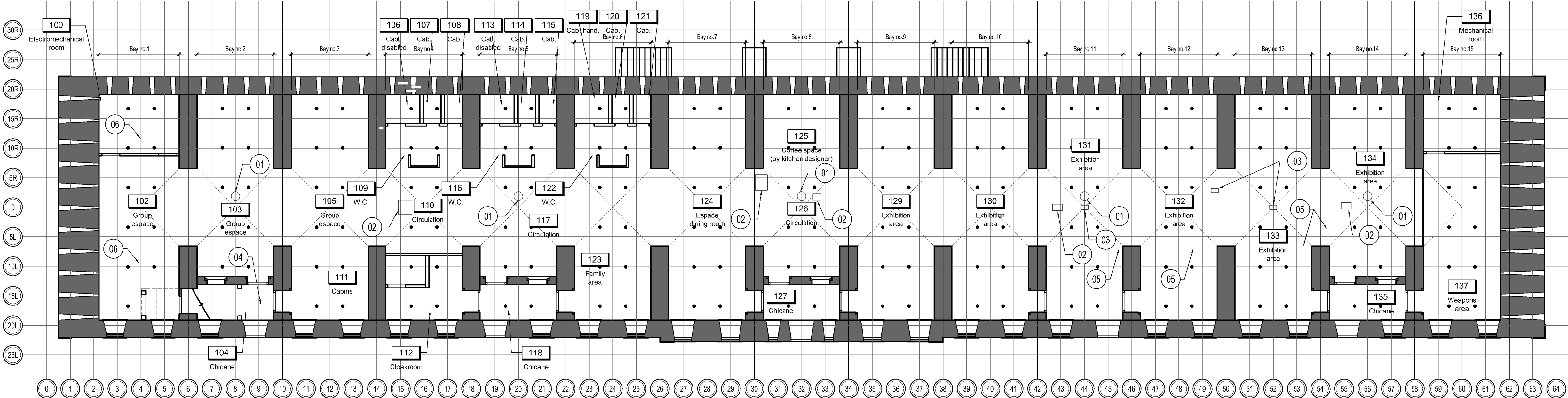
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No de feuille Sheet no

A-200



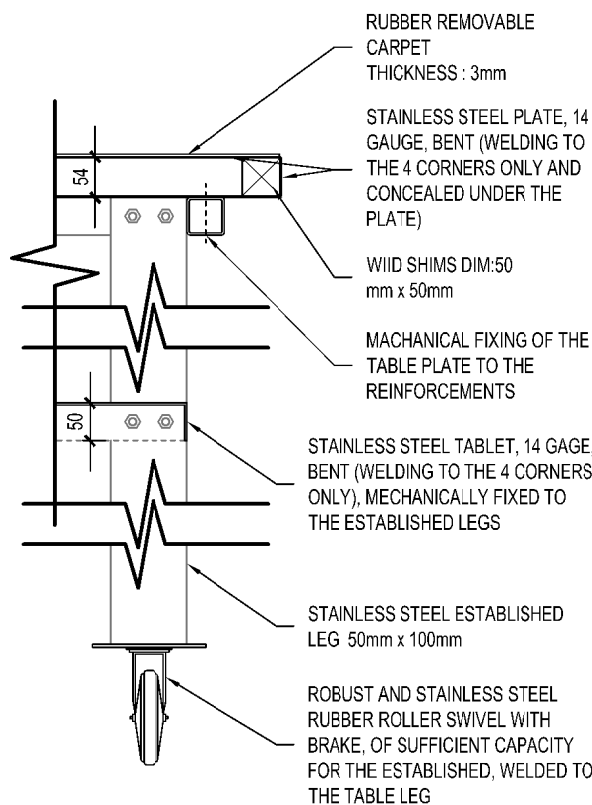
1 BARRACKS - FIRST FLOOR CEILING
1:125



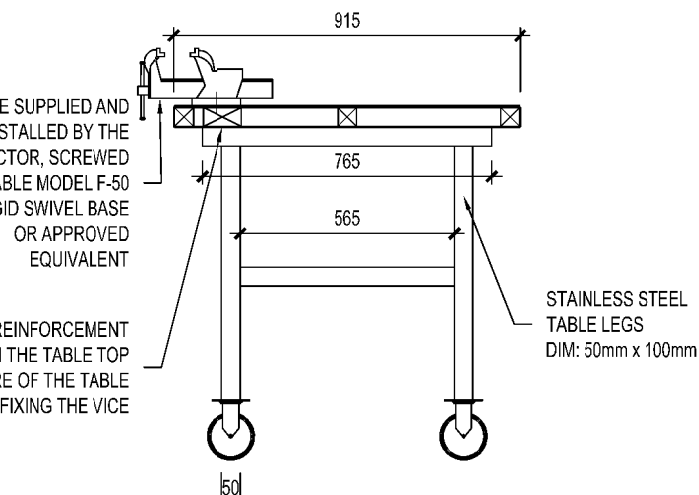
2 BARRACKS - GROUND CEILING
1:125

SPECIFICS NOTES - CEILING

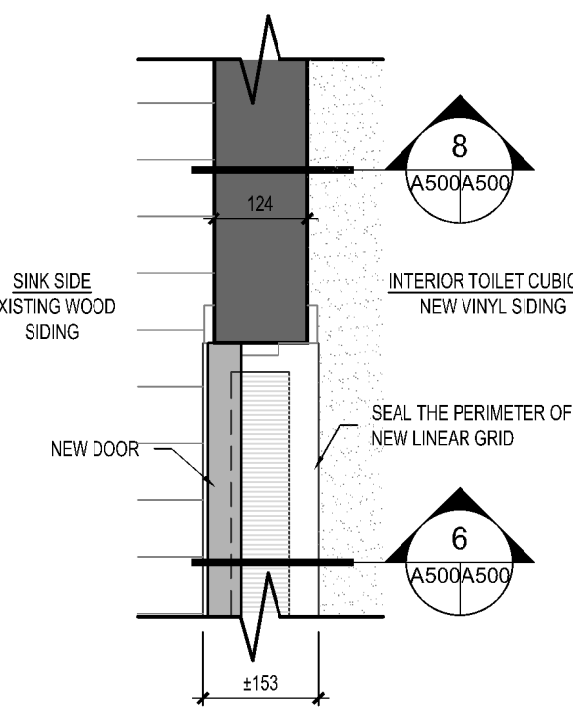
- Provide to install a "mosquito screen" in the hole of the existing chimney to prevent insects from entering the barracks. Provide for installation inside the chimney 100mm from the visible edge. Provide shop drawings of materials and installation for approval by the Architect.
- Old wooden plaque. Repair existing masonry (brick and/or mortar) as per Specification Section 04 03 43 - Period Works - Masonry Rehabilitation. Provide for line painting on repair according to section 09 91 23 - Paintings - interior work.
- Missing brick. Plan to repair the missing space with the masonry as it exists and according to the specifications section 04 03 43 - Period Works - Masonry Rehabilitation. Provide for line painting on repair according to section 09 91 23 - Paintings - interior work.
- Repair masonry walls and ceilings after removing wooden elements. Plan to dismantle and reassemble the vault over a minimum of 3 layers of brick to repair the existing crack (see structural engineer and following specification section 04 03 43 - Period Structures - Masonry Repairs). Provide for line painting on repair according to section 09 91 23 - Paintings - interior work.
- Repair the masonry vault following the removal of existing wooden beams and redo punctual painting according to section 09 91 23 - Paintings - interior work.
- Repair the masonry vault following the removal of fluorescent lighting fixtures as per Specification Section 04 03 43 - Period Structures - Masonry Repairs. Provide for line painting on repair according to section 09 91 23 - Paintings - interior work.
- Existing crack in the plaster on wooden lath to be repaired. Plan a repair of 25" (150mm) in all directions.
- Plaster section to be redone on existing wood lath. Plan a repair of 25" (150mm) in all directions.
- Plan to scrape the bubble in the plaster and redo the plaster of the exposed wooden lath section. Plan a repair of 25" (150mm) in all directions. Make sure to preserve and not damage the existing wood lath.
- Re-join the plaster between the existing chimney (over the entire perimeter of the chimney) and the ceiling.
- Remove the plaster from the old visible repair and repeat



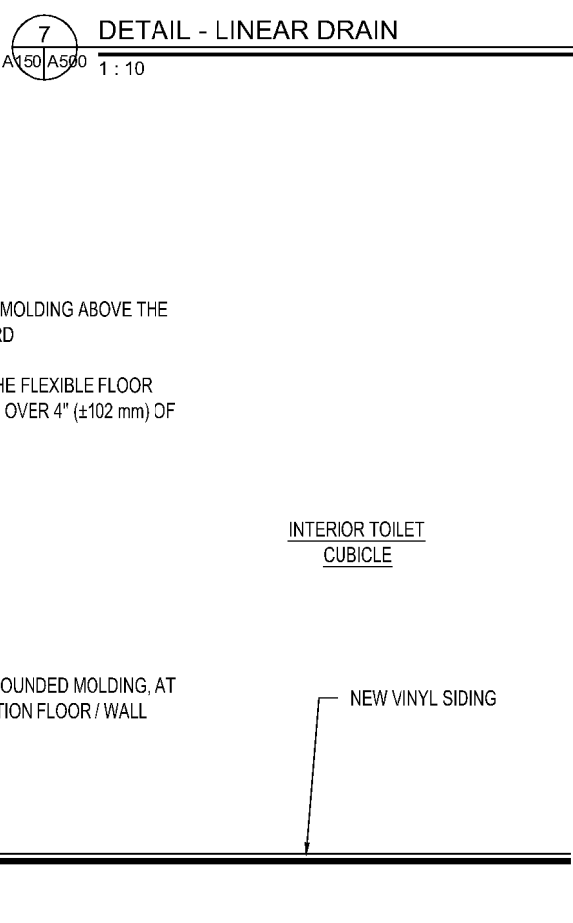
4 SECTION - ESTABLISHED WEAPONS WORKSHOP



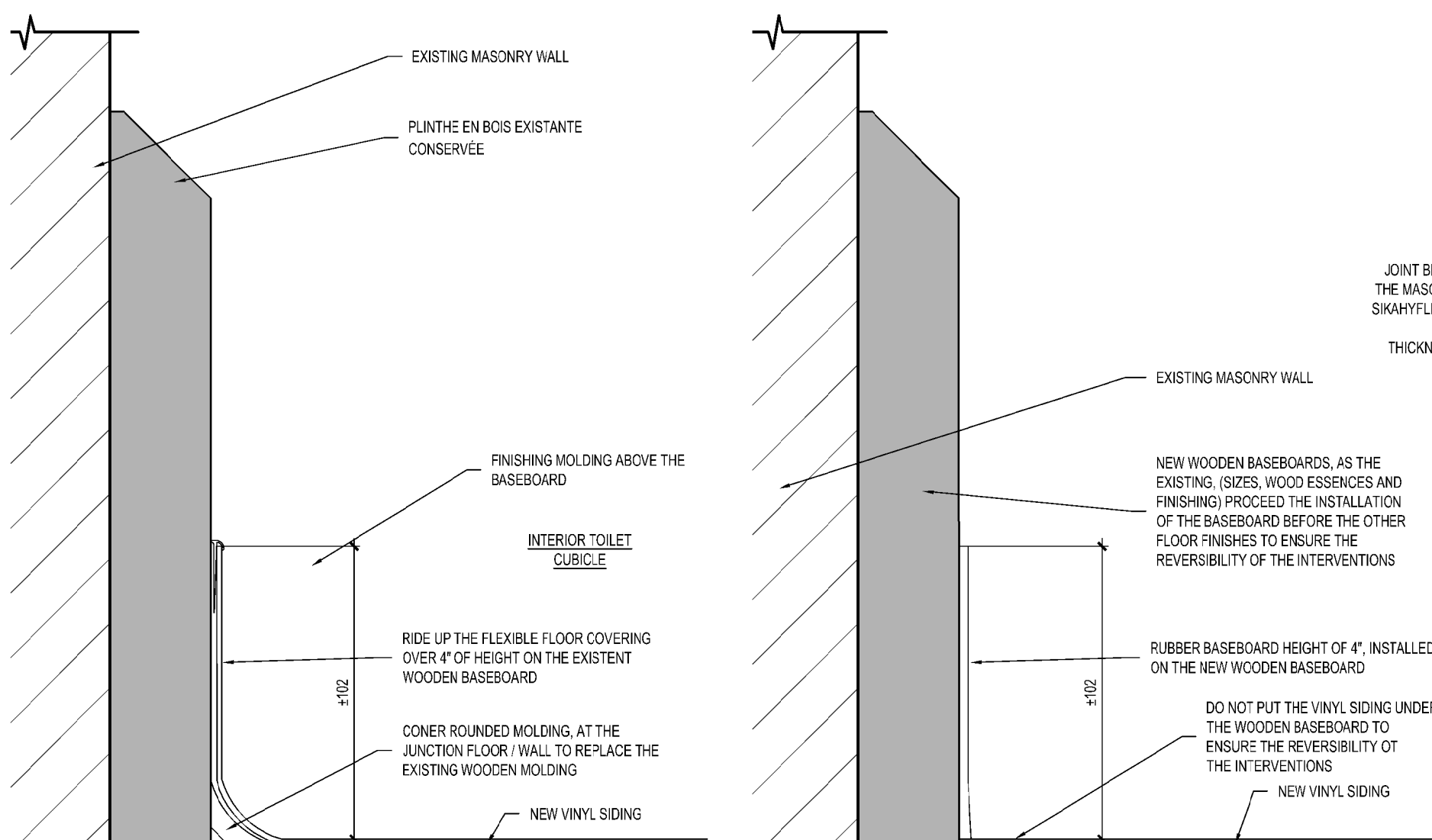
5 ELEVATION - ESTABLISHED WEAPONS WORKSHOP



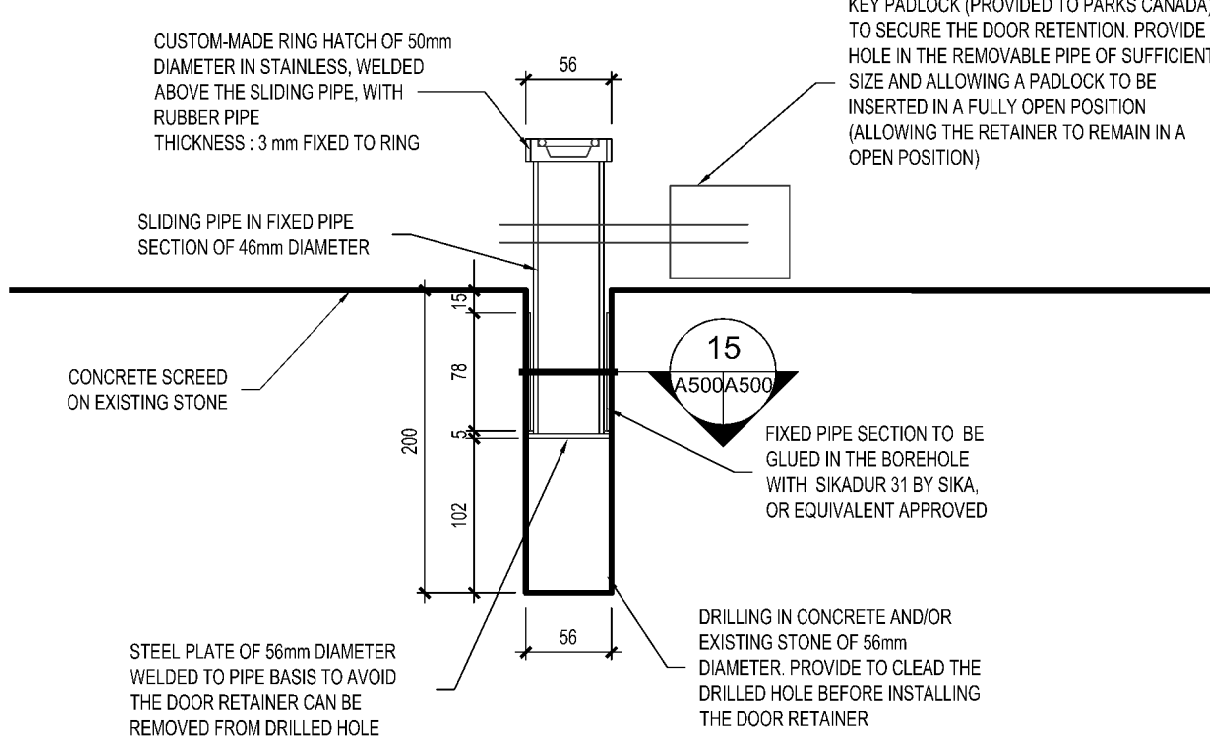
7
A150 A500
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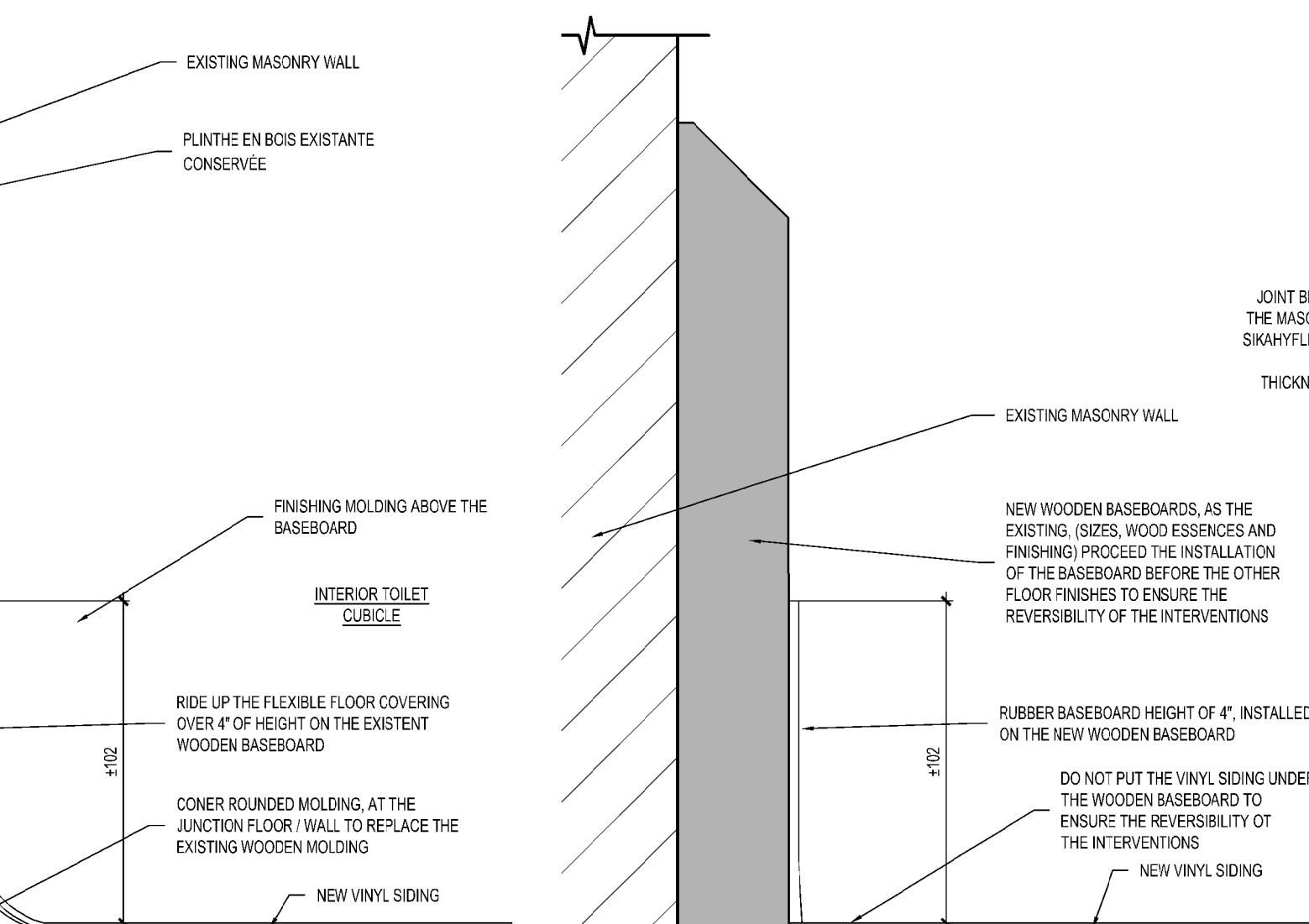
8 DETAIL - RIDE UP BASEBOARD WC.



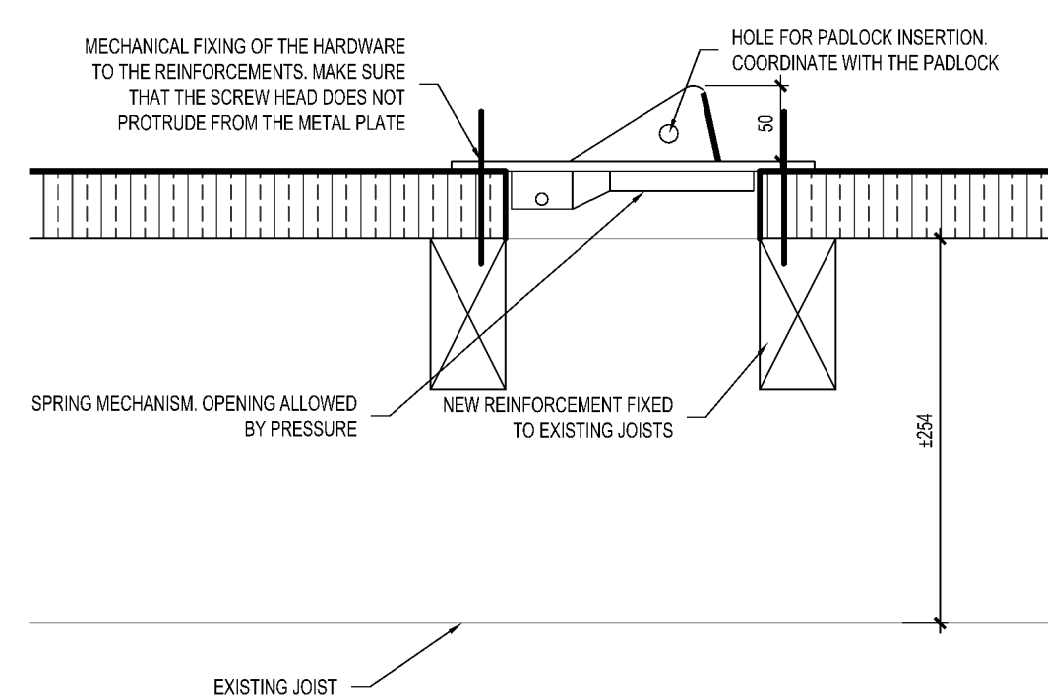
9 DETAIL - RIDE UP BASEBOARD WC.



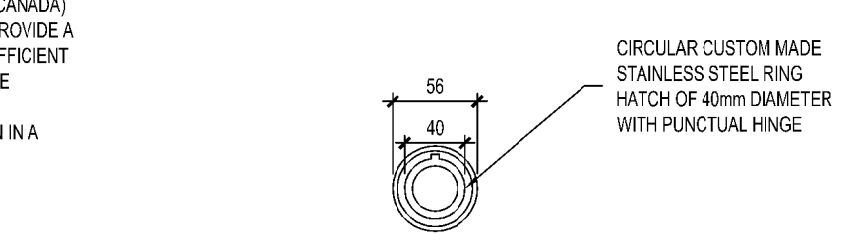
13 DETAIL - SPECIALTY HARDWARE - OPEN POSITION



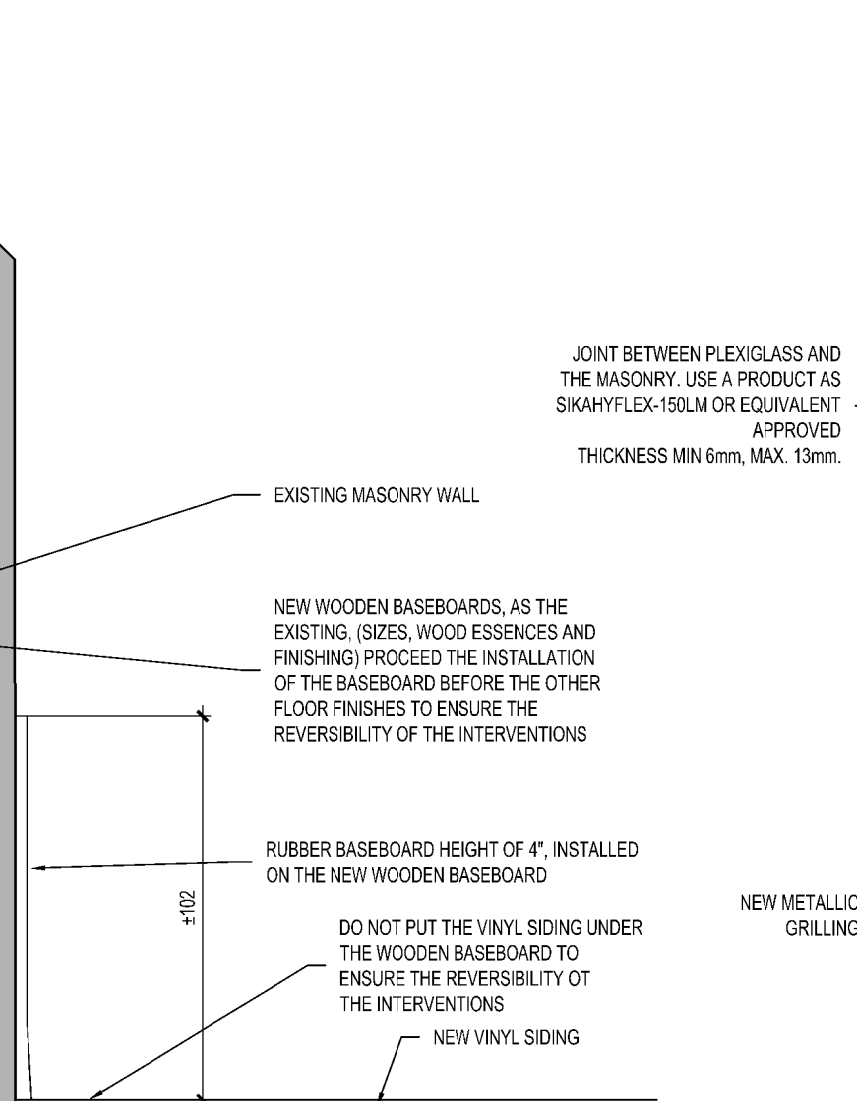
10 DETAIL - CLOAKROOM BASEBOARD



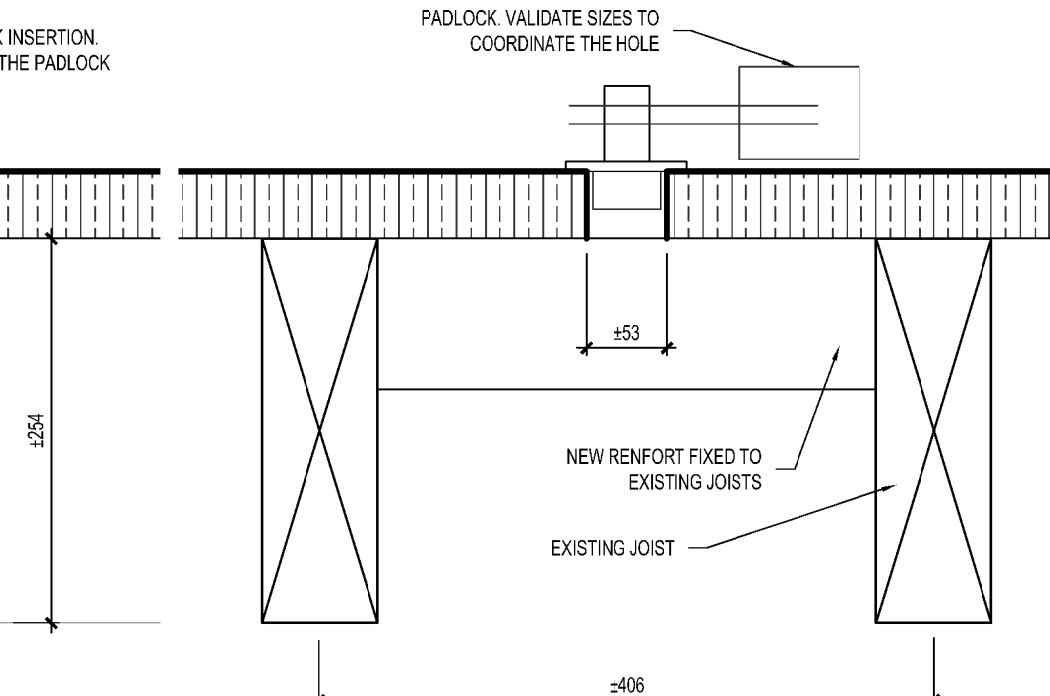
19 SECTION - SPECIALTY HARDWARE. - OPEN POSITION



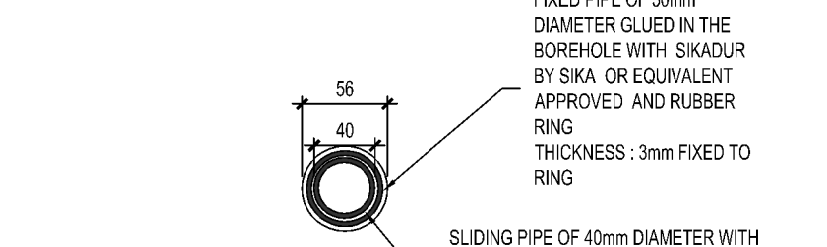
14 PLAN - SPECIALTY HARDWARE



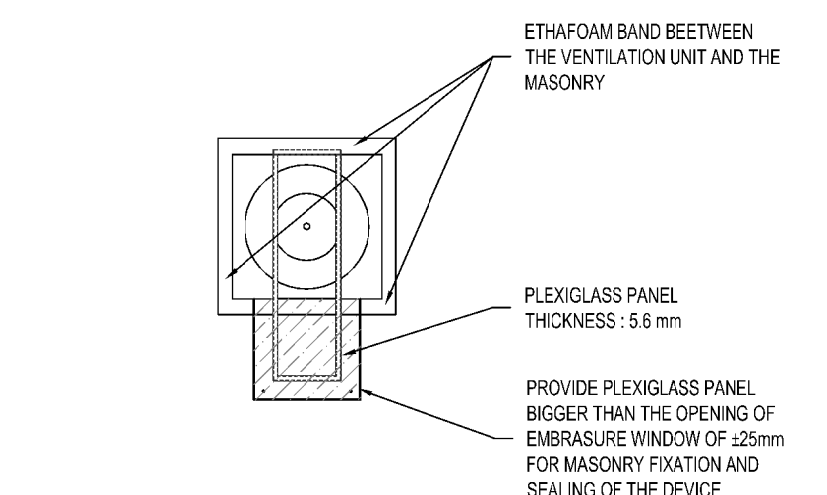
10 DETAIL - CLOAKROOM BASEBOARD



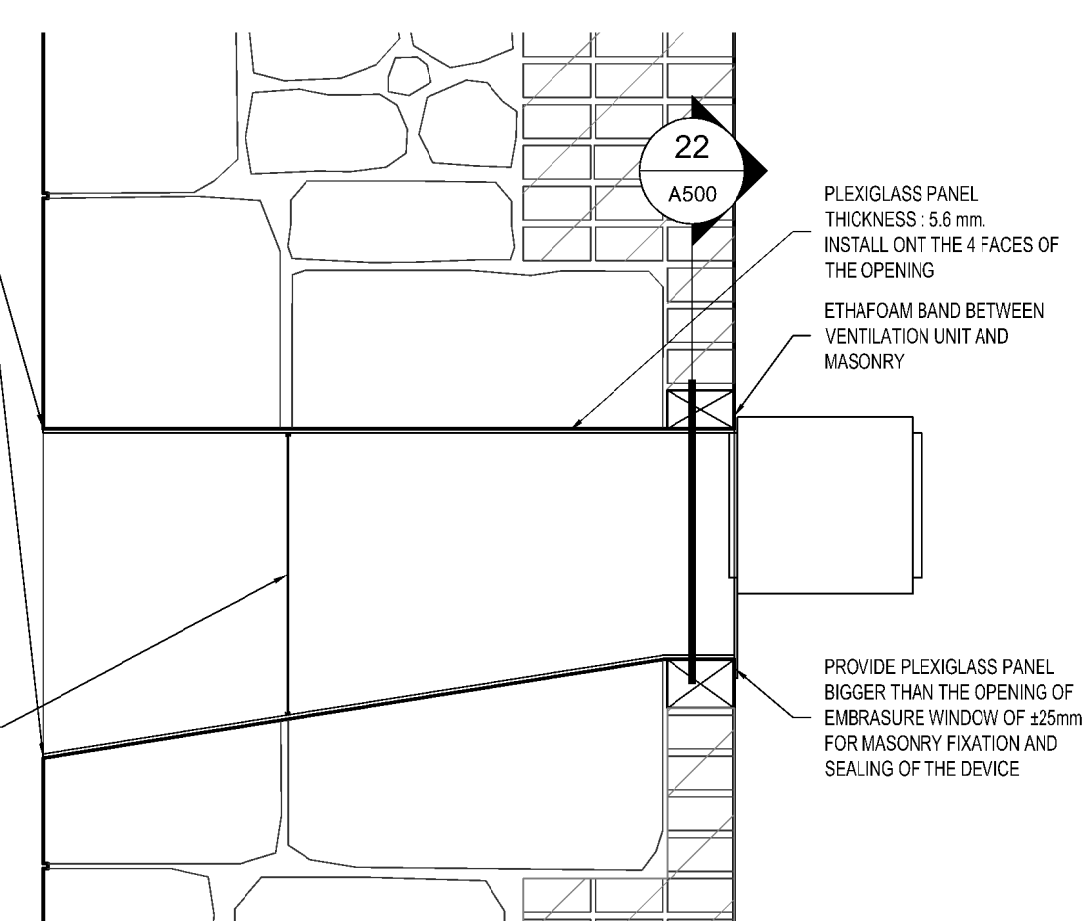
20 SECTION - SPECIALTY HARDWARE. - OPEN POSITION



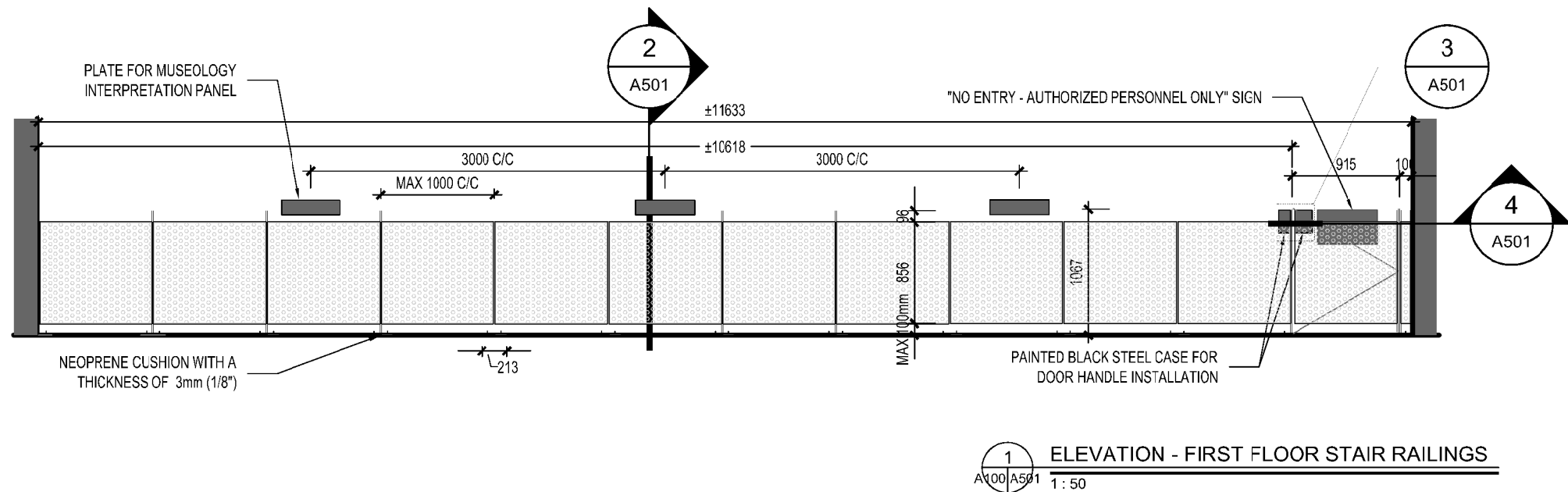
15 SECTION - SPECIALTY HARDWARE



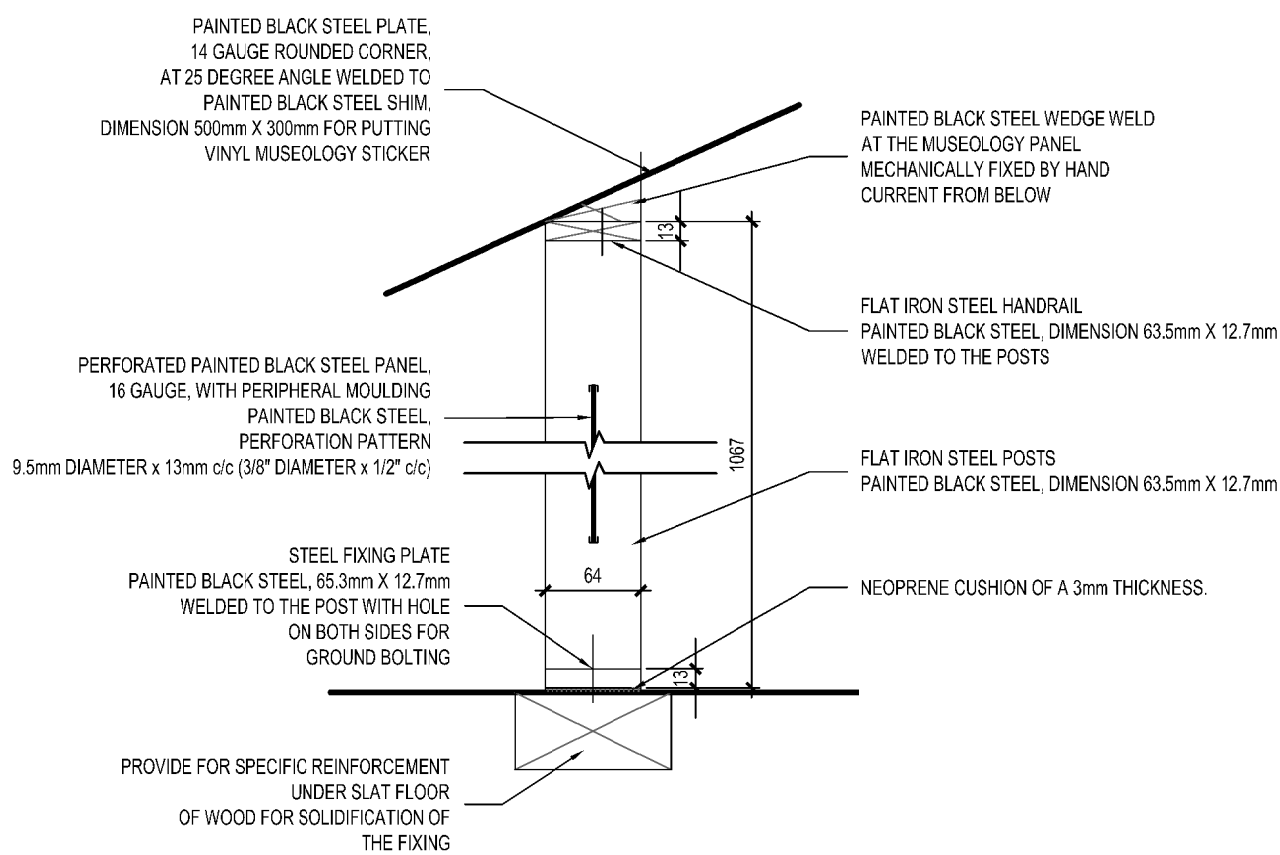
22 SECTION - EMBRASURE WINDOW C/A VENTILATION



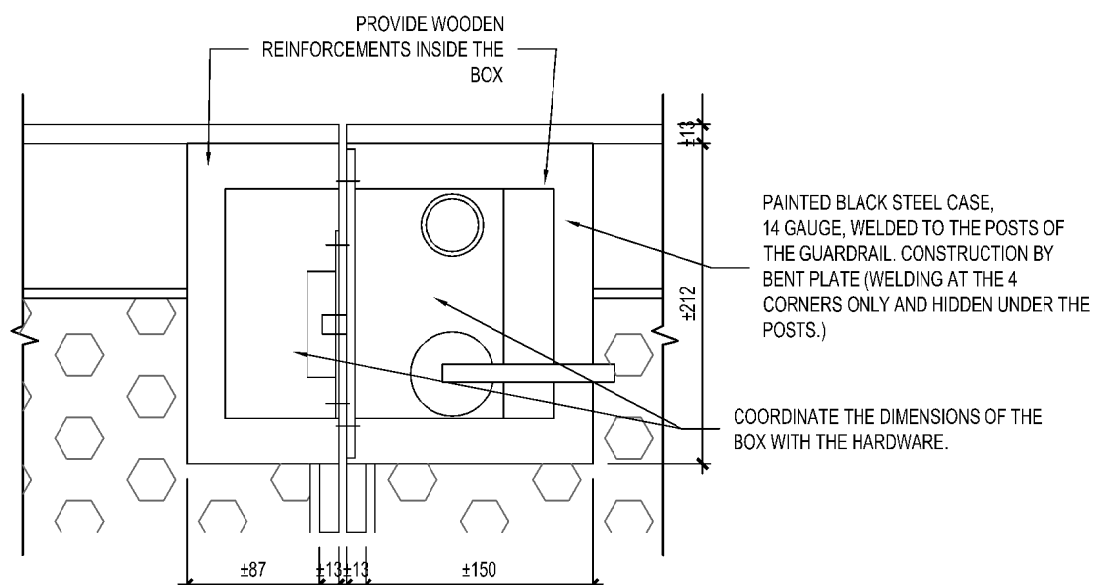
21 DETAIL - EMBRASURE WINDOW C/A VENTILATION



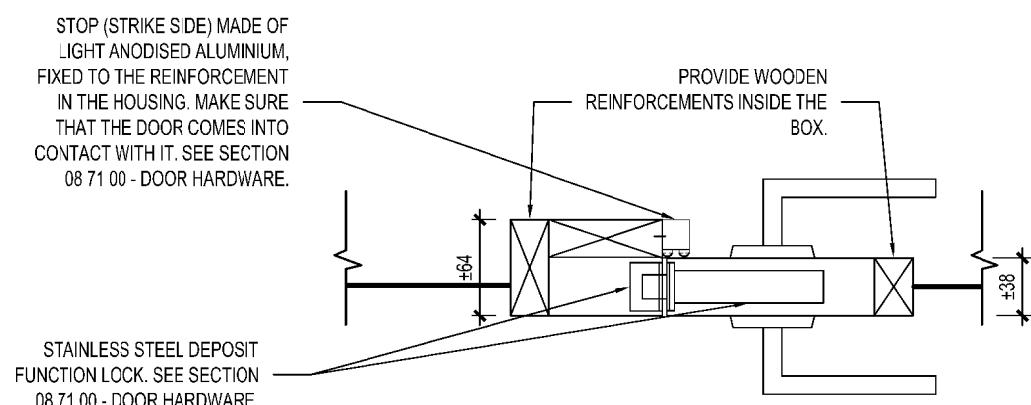
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A501 1:50



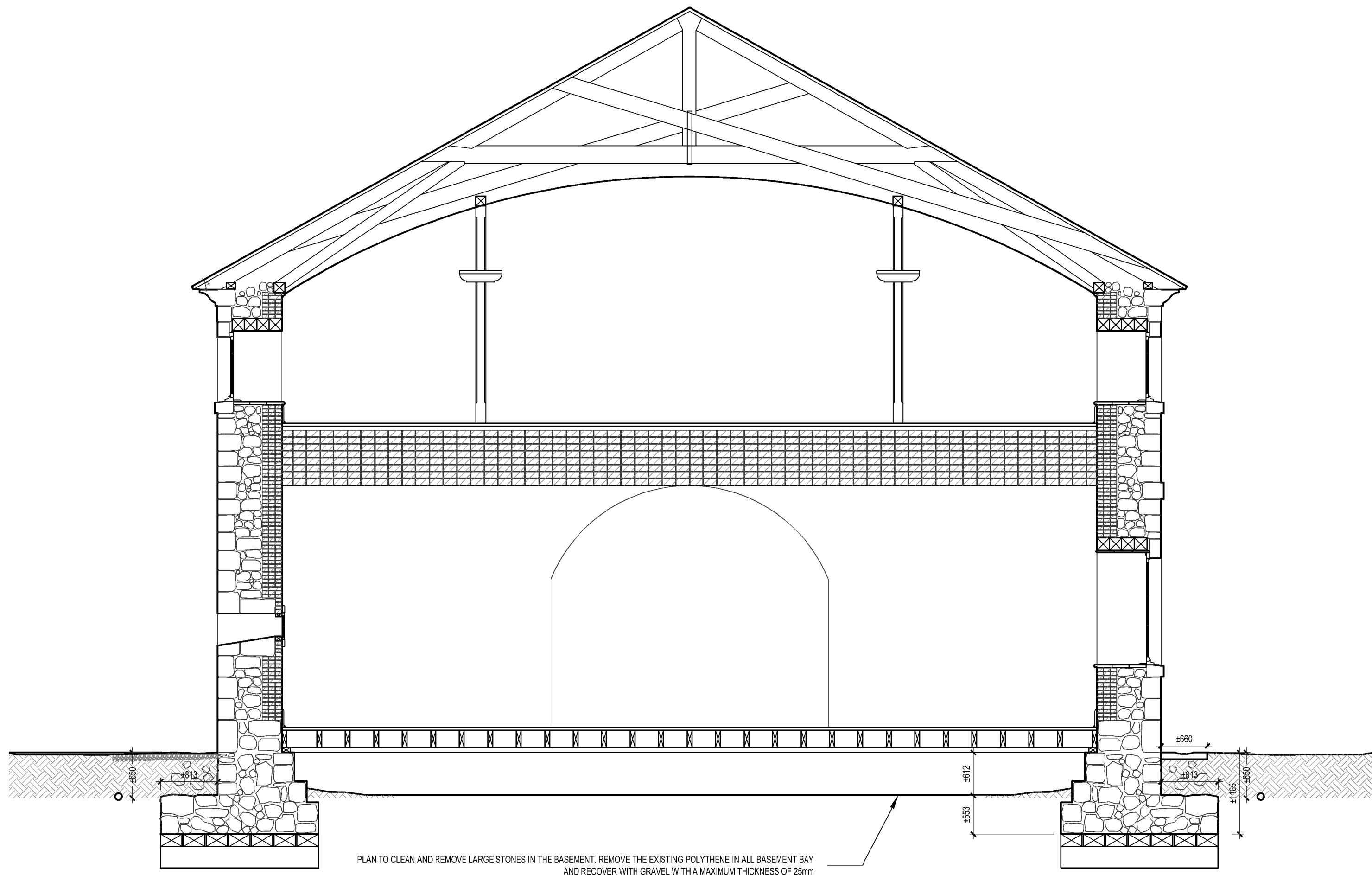
2 DETAIL - FIRST FLOOR STAIR RAILINGS
A501 1:5



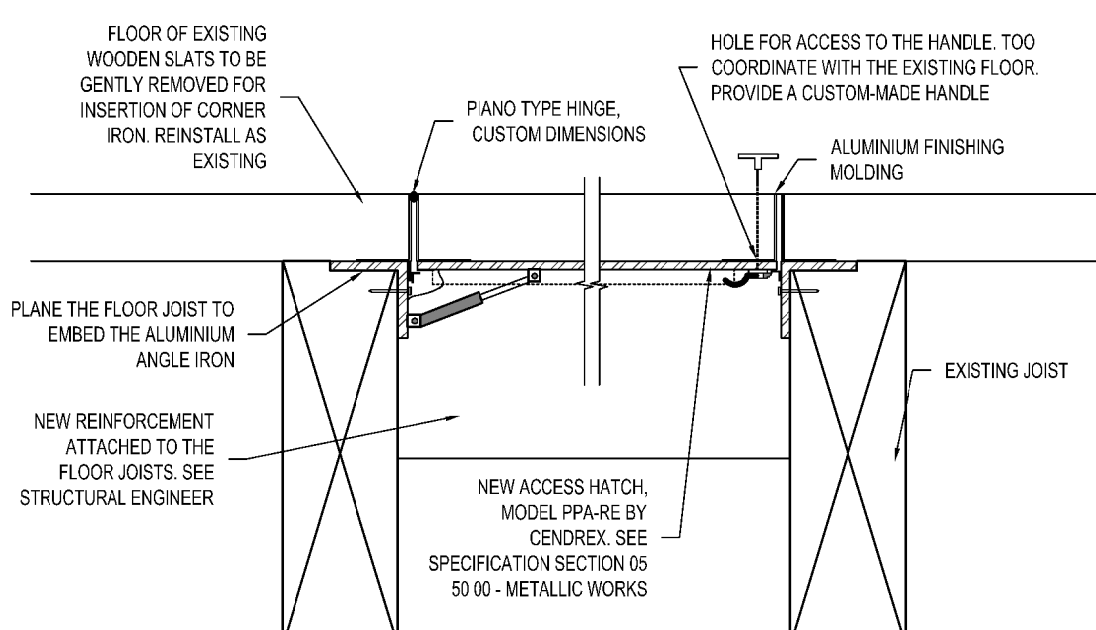
3 DETAIL - FIRST FLOOR STAIR RAILINGS
A501 1:5



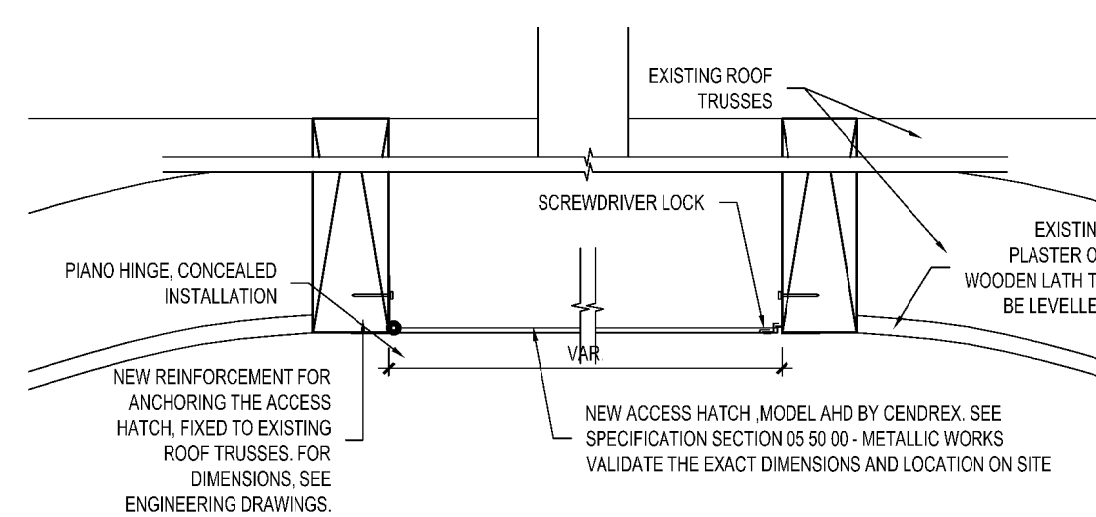
4 DETAIL - FIRST FLOOR STAIR RAILINGS
A501 1:5



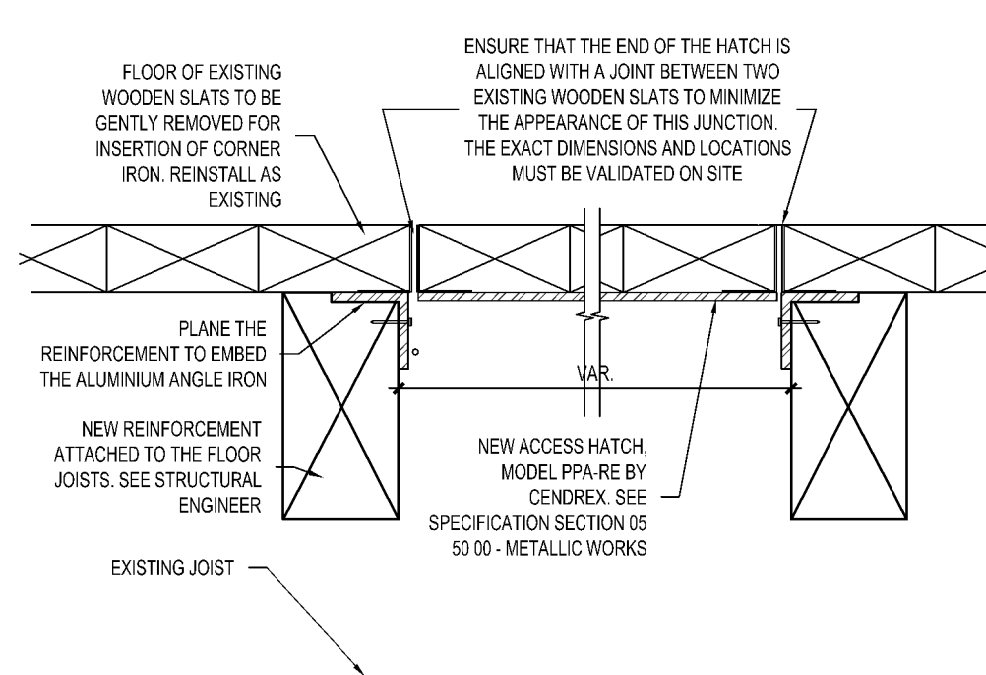
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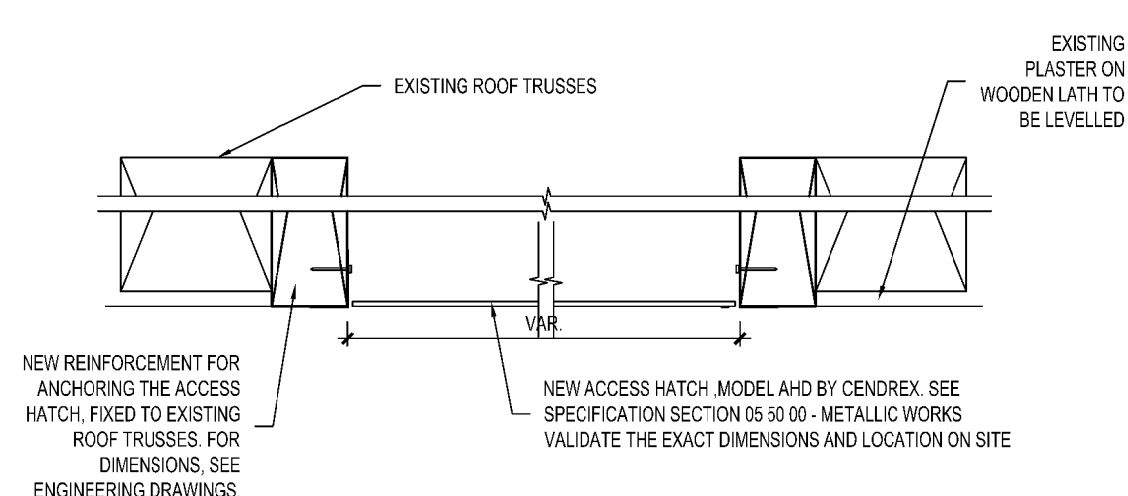
5 DETAIL - BASEMENT ACCES HATCH
A501 1:5



7 DETAIL - CEILING ACCES HATCH
A501 1:5



6 DETAIL - BASEMENT ACCES HATCH
A501 1:5



9 DETAIL - CEILING ACCES HATCH
A501 1:5

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Parks Canada

La Mauricie and Western Quebec field unit

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expert-conseil consultant

ROBERT QUESNEL DESIGNER

expert-conseil consultant

expert-conseil consultant

RIOPHEL ASSOCIÉS ARCHITECTES

sceaux stamps

03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
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révisions revisions		date

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A no. du détail
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Projet

**PARCS CANADA
PARKS CANADA**
**1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0**

**PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2**

Dessin

Drawing

**ARCHITECTURE
ARCHITECTURE**

**NOUVEL AMÉNAGEMENT -
DÉTAILS**

**REHABILITATION -
DÉTAILS**

Conçu par

Designed by

C. RICHARD

2017-12

Date

Dessiné par

Drawn by

C. RICHARD

2017-12

Date

Approuvé par

Approved by

S. ST-MARTIN

2017-12

Date

Soumission

Gestionnaire de projet PC

Ana Arbones

PC Project Manager

Tender

Project number

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APC-17-2727

PC

PC Client

Client

Norm du fichier

File name

APC-2727_ESQUISSE-PRÉSENTATION










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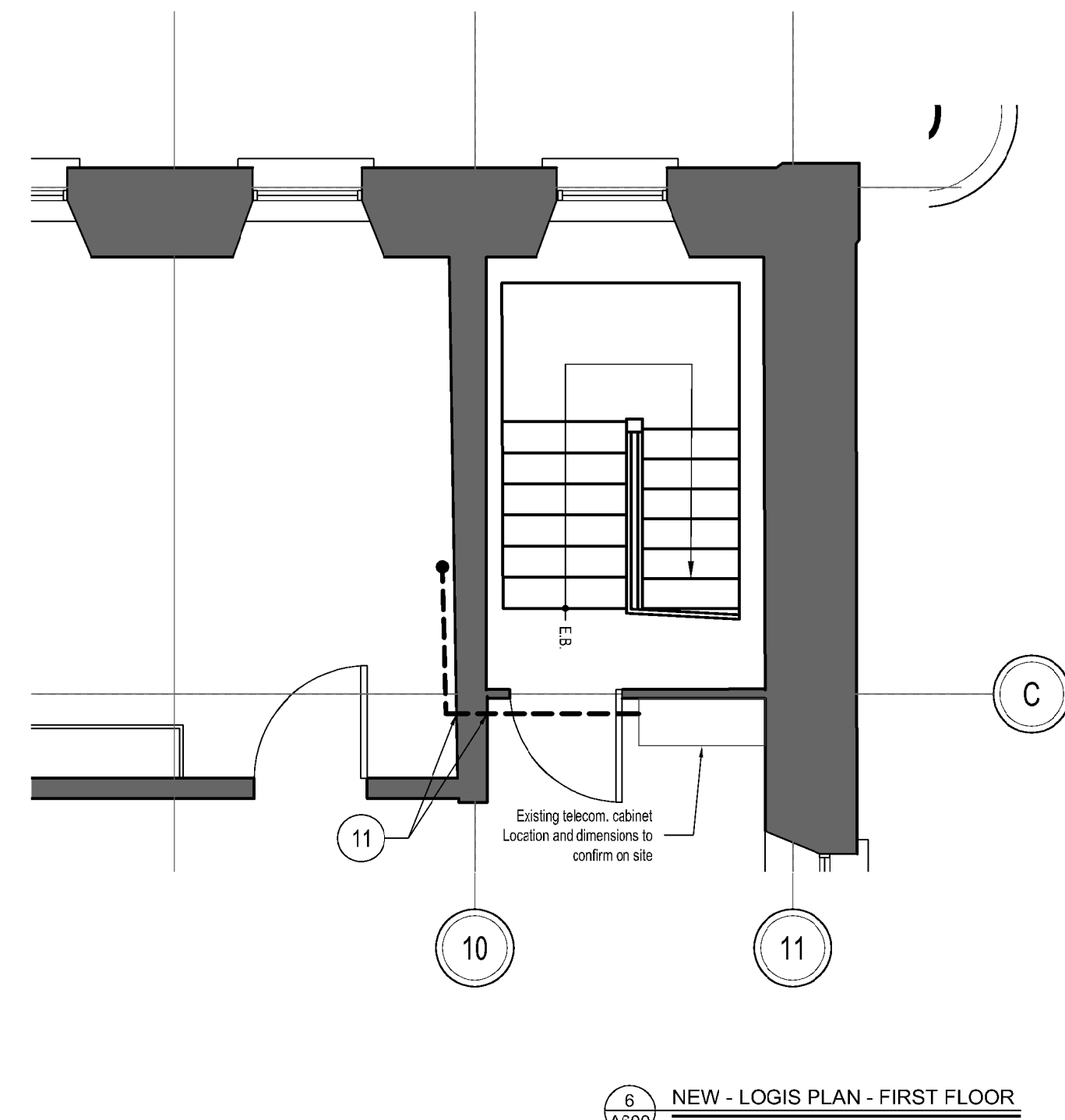
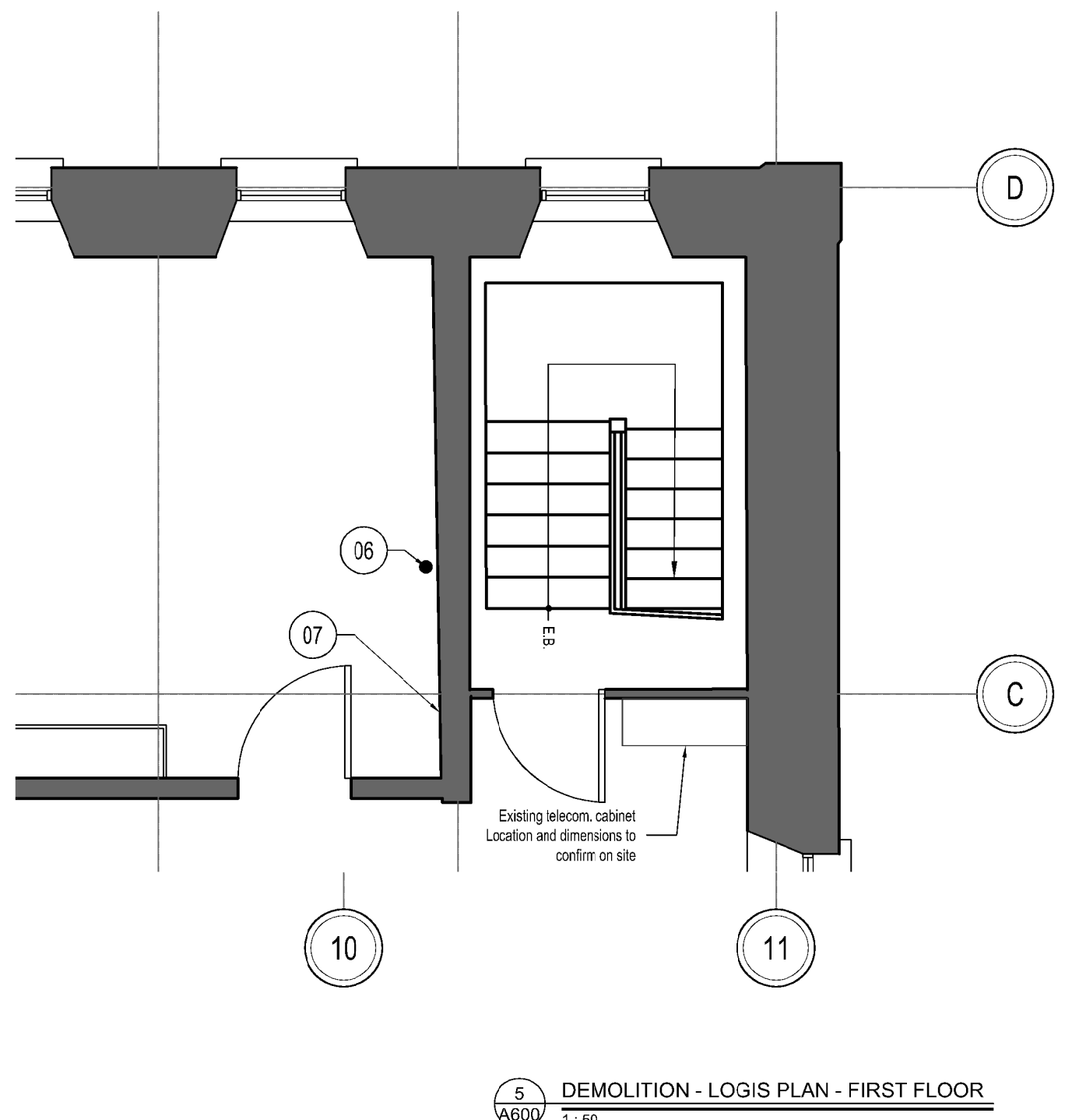
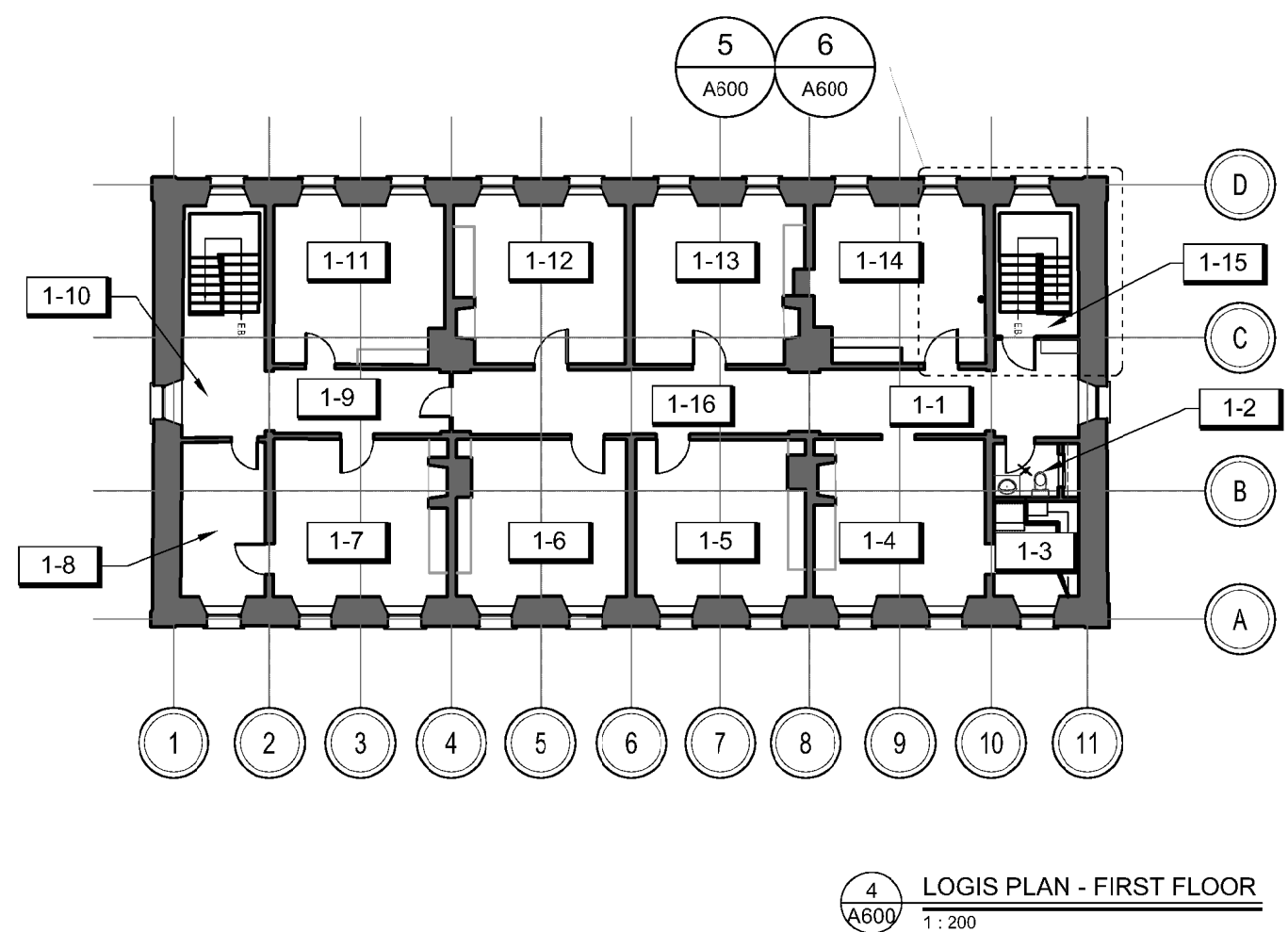
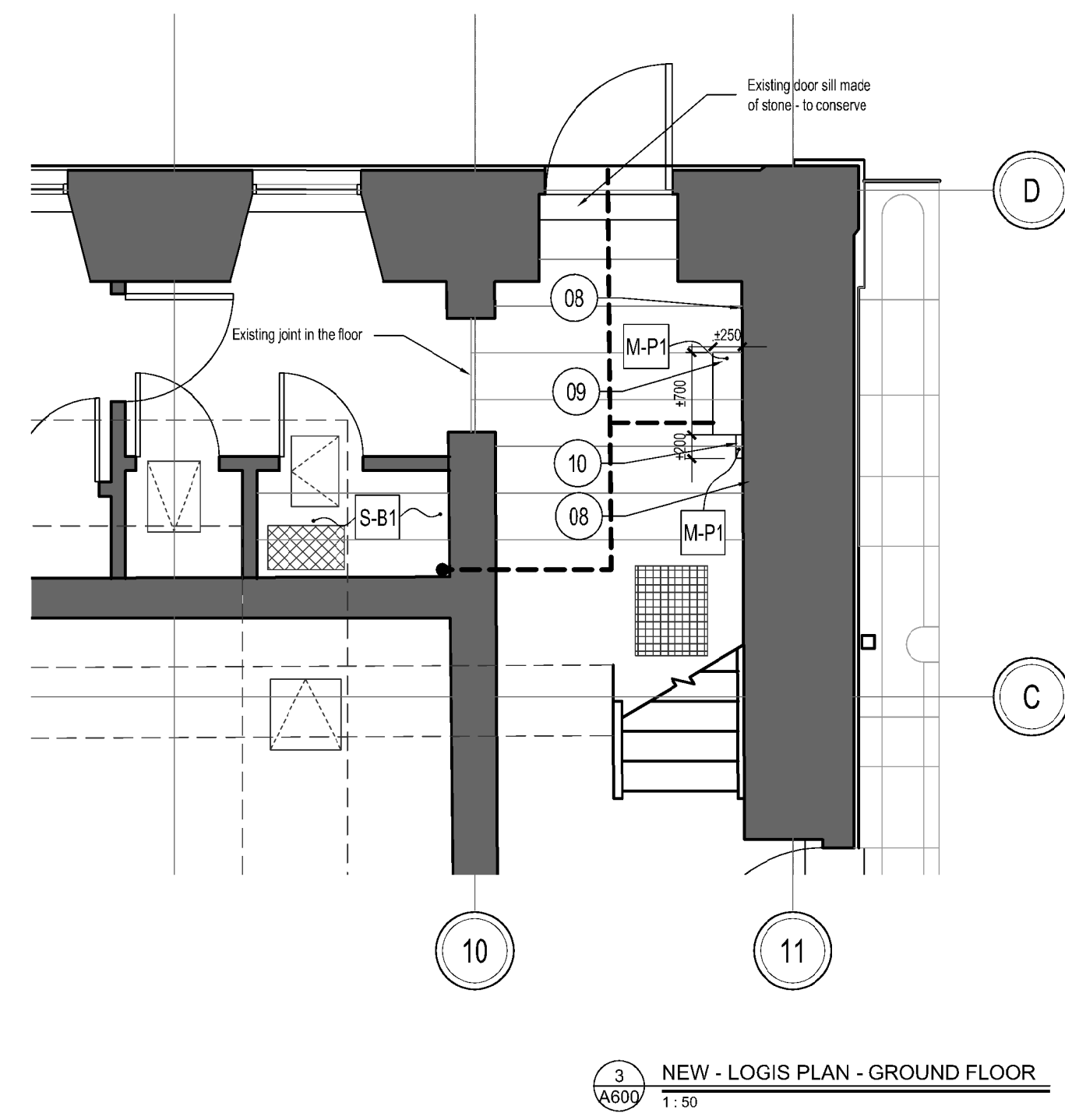
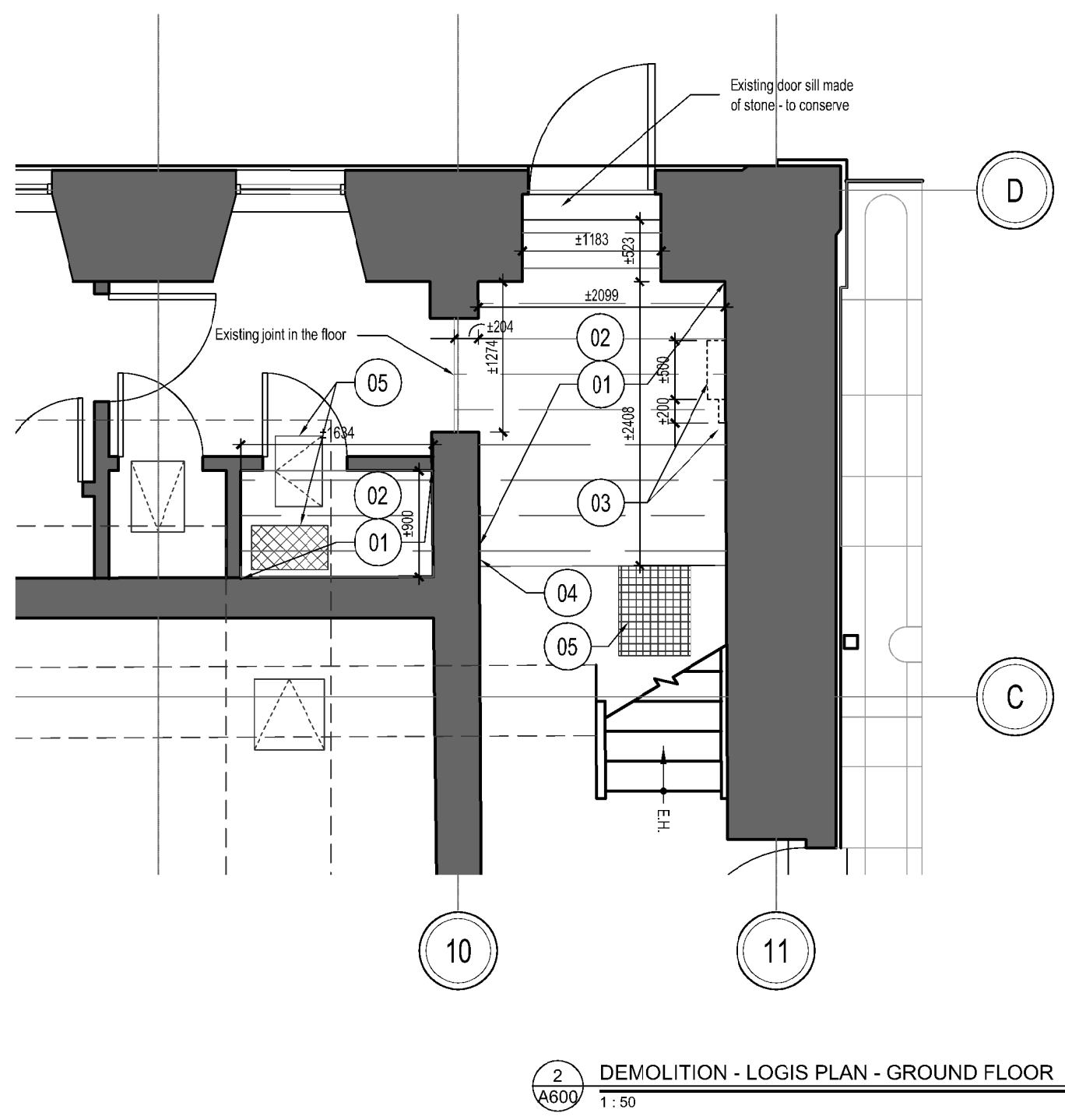
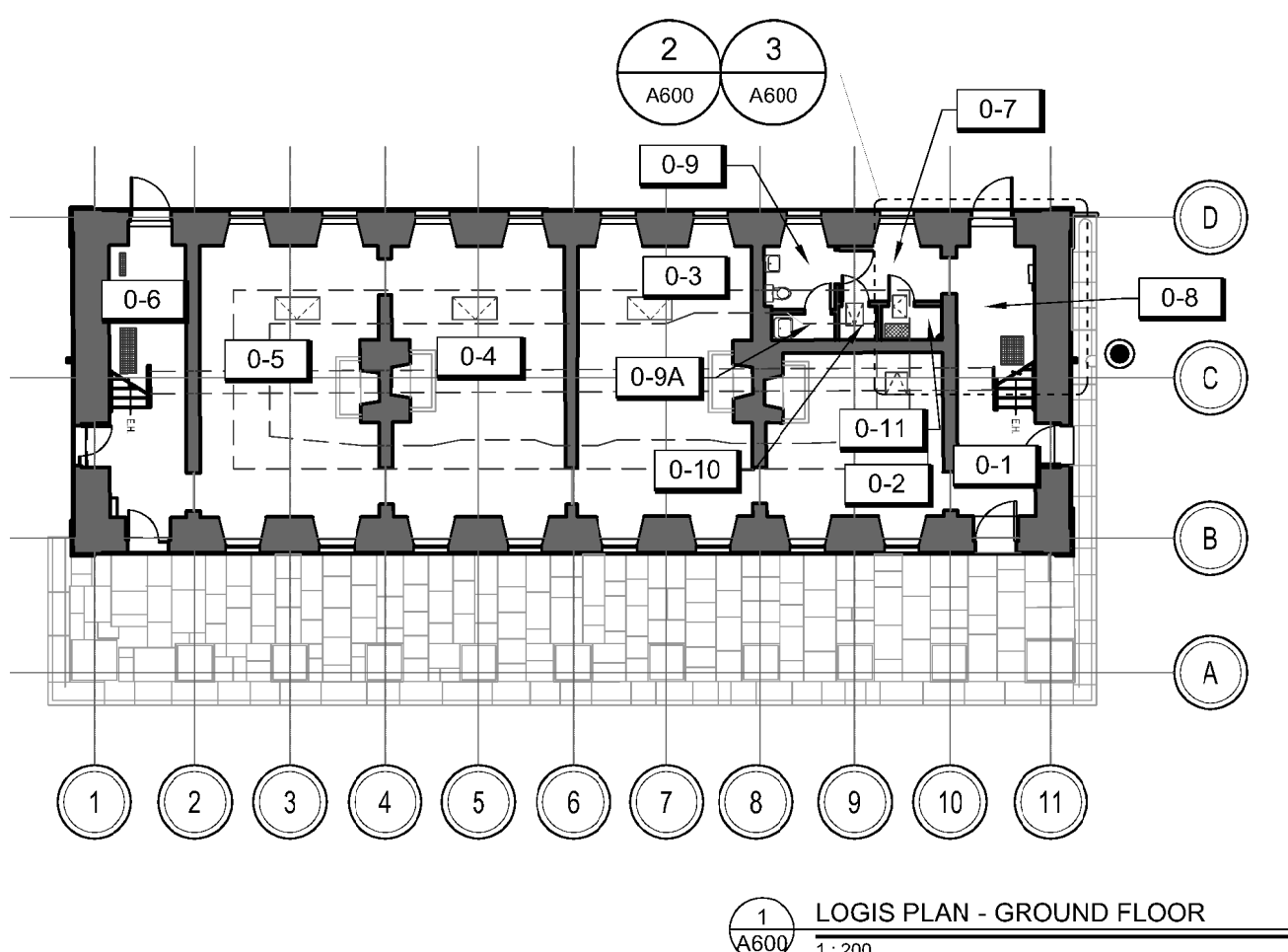
File name

No de classement

File no

A-501

			
Unité de gestion de la Mauricie et de l'Ouest du Québec		La Mauricie and Western Québec field unit	
			
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expert-conseil consultant			
			
expert-conseil consultant			
			
sexeux stamps			
			
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révisions revisions		date	
			
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Projet	PARCS CANADA PARKS CANADA 1 61e Avenue, Ile-aux-Noix (QC) J1U 1G0 PROJET D'AMÉNAGEMENT DE LA CASERNE – LOT 2 MEN'S BARRACK PLANNING PROJECT – LOT 2		Projet
Dessin	ARCHITECTURE ARCHITECTURE RAMPE HANDICAPÉE – DÉTAILS WHEELCHAIR RAMP – DETAILS		Drawing
Conçu par C. RICHARD	Designed by C. RICHARD		2017-12-12 Date
Dessiné par C. RICHARD	Drawn by C. RICHARD		2017-12-12 Date
Approuvé par S. ST-MARTIN	Approved by S. ST-MARTIN		2017-12-12 Date
Soumission	Gestionnaire de projet PC Ana Arbones PC Project Manager		
Tender	No de projet/Project number 5P301-16-0002/004 PC Client APC-2727-ESQUISSE-PRÉSENTATION File name		No de projet/Project number APC-17-2727- Client No de classement File no
No de plan ou dessin	File name		No feuille Sheet no
A-550			



LEGEND	
	Access trap - to conserve
	Existing walls and partitions - to conserve
	Existing door - to conserve
	Existing wooden slat floor - to take off delicately
	Existing partitions - to demolish
	Path for new pipes (basement/ceiling)

FINISHES AND MATERIALS

Unless otherwise specified, all new gypsum walls and baseboards are M-P1 colours and all new floors are S-B1. Damaged walls will be painted in M-P1 colour.

	M-P1 New paint finish, color as the existing adjacent.
	S-B1 Existing hardwood slat floor and existing baseboards to conserve and reinstall. Plan to reassemble the floor as it is.

LEGEND

FINISH TYPE:
CX - CERAMIC
BX - WOOD
LX - PLASTIC

FINISH NUMBER
FINISH LOCATION:
M - WALL
P - CEILING
S - FLOOR
F - FURNITURE

PX - PAINT
VX - VINYL
SX - LAMINATE

ADJACENT FINISH

VISIBLE SURFACE

GENERAL NOTES - DEMOLITION

GENERAL

A. Existing dimensions are indicative only and must be confirmed on site, including the dimensions of existing fire protection installations, since no measurement has been done on the site.

B. Without limitation, repair and refurbish all existing elements and finishes damaged by demolition work.

C. Provide to remove mechanical, electrical and fire protection components in order to do the present work and according to the engineering plans. Plan to repair masonry and foundation floors and walls following drilling and extension work of existing installations.

D. For electromechanical elements, fire protection and structure, see the engineering drawings.

FLOOR

E. Provide to remove the wooden slat floor (complete slats) and the baseboards for the passage of electromechanical and fire protection elements, limiting to an area where the work can be carried out. Provide to number the boards to reinstall in the same place as the existing one. If it is possible to repair the wooden slat or a piece of baseboard, plan to redo the element as the existing one (same dimensions, same wood species and same finish). Protect the rest of the floor during the work.

ASBESTOS OR LEAD

F. Refer to the Enbridge appendix for materials that may contain asbestos or lead.

CONSTRUCTION GENERAL NOTES AND FINISHES

A. All removed wooden slat floors and their baseboards must be reinstalled in their original arrangement. If necessary, repaint the damaged baseboards as the existing. If new wooden slats or baseboards must be installed, plan to install a element as the existing one (same dimensions, same wood species and same finish). Protect the rest of the flooring during the work.

B. The contractor must make sure that all the partitions, existing and new ones, are smooth and have no rough edges before painting work.

C. Provide to paint the new partitions as the existing adjacent ones and to repaint the damaged partitions or the ones with defects, until the nearest stop.

D. Provide all fixations for the new pipes.

- SPECIFICS NOTES EXISTING / DEMOLITION**
- 01 Existing baseboards to remove delicately. Conserve to reinstall.
 - 02 Existing wooden slat floor to remove delicately. Conserve to reinstall as the original.
 - 03 Blowing and nailing bottom to be demolished. Level up damaged adjacent walls.
 - 04 Drilling to be done in the existing concrete wall in the basement. Validate with the structural engineer for exact location and dimensions.
 - 05 Existing access trap to remove temporarily to execute the work and the removal of the existing floor.
 - 06 Drilling to be made on the existing wooden slat floor for the passage of the new pipes to be connected to the telecom cabinet. Extend the pipe to the ceiling of the first floor and follow the wall to reach the second hole.
 - 07 Drilling to be made on the wooden lath wall, for the passage of the pipe to be connected to the telecom cabinet. Drill the hole near to the ceiling to allow the pipe and its connection to the cabinet to be fixed.

- SPECIFICS NOTES CONSTRUCTION AND FINISHES**
- 08 Provide to level up the adjacent partitions following the replacement of the fire alarm panel.
 - 09 New blowing for installation of the fire alarm panel. Location to validate on site according to existing installations. Provide a steel stud blowing with the appropriate dimensions and a gypsum thickness.
 - 10 New railing bottom. Dimensions to be validated according to existing conditions on site and to mechanical/electrical engineer recommendations.
 - 11 Provide to level up the partitions after they have been drilled for the passage of the pipes according to the existing conditions.

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RIPEL ASSOCIÉS
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sceaux
stamps

Ordre des architectes
du Québec
SYLVIE ST-MARTIN
ARCHITECTE

03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
01	EXECUTION 100% / EXECUTION 100%	2019-03-28
révisions revisions		date

A

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A no. du détail
detail no.
B no. de la feuille-où détail
exigé
sheet no. - where detail
required
C no. de la feuille-où détaillé
sheet no. - where detailed

Projet
**PARCS CANADA
PARKS CANADA**
1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0

PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
**MEN'S BARRACK
PLANNING PROJECT - LOT 2**

Dessin
**ARCHITECTURE
ARCHITECTURE**

EXISTANT / DÉMOLITION /
PLANS DU LOGIS DES OFFICIERS
REZ-DE-CHAUSSEE ET ÉTAGE

EXISTING / DEMOLITION
GROUND FLOOR AND FIRST FLOOR
OFFICERS' QUARTERS' FLOOR PLANS

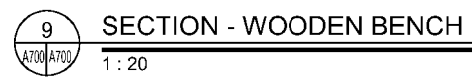
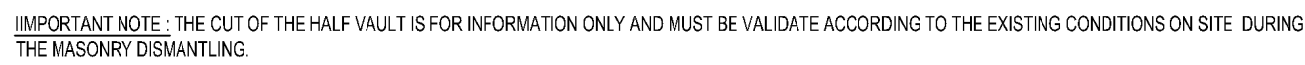
Dessiné par
C. RICHARD
2017-12
Date

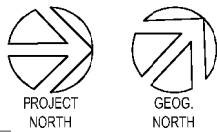
Approuvé par
S. ST-MARTIN
2017-12
Date

Soumission
Gestionnaire de projet PC
Ana Arbones
PC Project Manager

Tender
No de projetProject number
5P301-16-0002/004
APC-17-2727
PC Client
Nom du fichierFile name
APC-2727_ESQUISSE-PRÉSENTATION
No de classement

No de plan ou dessinFile name
No feuilleSheet no
A-600





Canada

GENERAL NOTES

- The general contractor must coordinate the site work with all the disciplines involved (architecture, structure, mechanical, electrical, etc.). The contractor must coordinate all the different steps of demolition and construction with all interveners and subcontractors.
- The general contractor must verify all measurements and dimensions. Dimensions can not be taken directly on these drawings. These drawings may only be used for construction after have been signed by the consultants.
- The building construction must meet all the requirements, codes, standards effects at the time of the construction in architecture, structure, mechanical, electrical and civil engineering, etc. In event of an anomaly, error or omission in the plans, the contractor must notify the Architect as soon as possible.
- It is understood that the contractor is aware of the site and the local conditions that may affect the work and is confirmed that he can do the work according to existing conditions. No additional costs will be paid to the contractor in regards of established limits by existing conditions. No additional costs will be paid for any expenses incurred as a result of a failure of the site exam and existing conditions analysis.
- Plan all plumbing, ventilation, electrical and other elements according to engineering plans.
- All holes in partitions shall be sealed according to the degree of the resistant required for a partition. The contractor is responsible for ensuring the integrity of fire separations. Sealing systems conforming to NBC shall be installed at holes and openings. All holes in partitions shall be sealed with an approved sealant.
- In the areas considered non-contradictory, plan to make electrical and mechanical interventions and connections, if it is needed.
- Process to general drawing as described in the specifications, including new, existing, retained and/or removed mechanical and electrical appliances and equipment.

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sceaux
stamps



03	POUR SOUMISSION / FOR TENDER	2019-06-18
02	EXECUTION 100% / EXECUTION 100%	2019-05-03
01	EXECUTION 100% / EXECUTION 100%	2019-03-28
révisions revisions		date

A	A no. du détail detail no.
B	B no. de la feuille-où détail exigé sheet no. - where detail required
C	C no. de la feuille-où détaillé sheet no. - where detailed

Projet
**PARCS CANADA
PARKS CANADA**
1 61e Avenue,
Ile-aux-Noix (QC) J1J 1G0

Projet
**PROJET D'AMÉNAGEMENT
DE LA CASERNE - LOT 2
MEN'S BARRACK
PLANNING PROJECT - LOT 2**

Dessin
**ARCHITECTURE
ARCHITECTURE**

**NOUVEL AMÉNAGEMENT -
PLANS DES FINIS
REZ-DE-CHAUSSEE ET ÉTAGE
REHABILITATION -
GROUND AND SECOND
FLOORS FINISHES PLANS**

Conçu par
C. RICHARD
2017-12
Date

Dessiné par
C. RICHARD
2017-12
Date

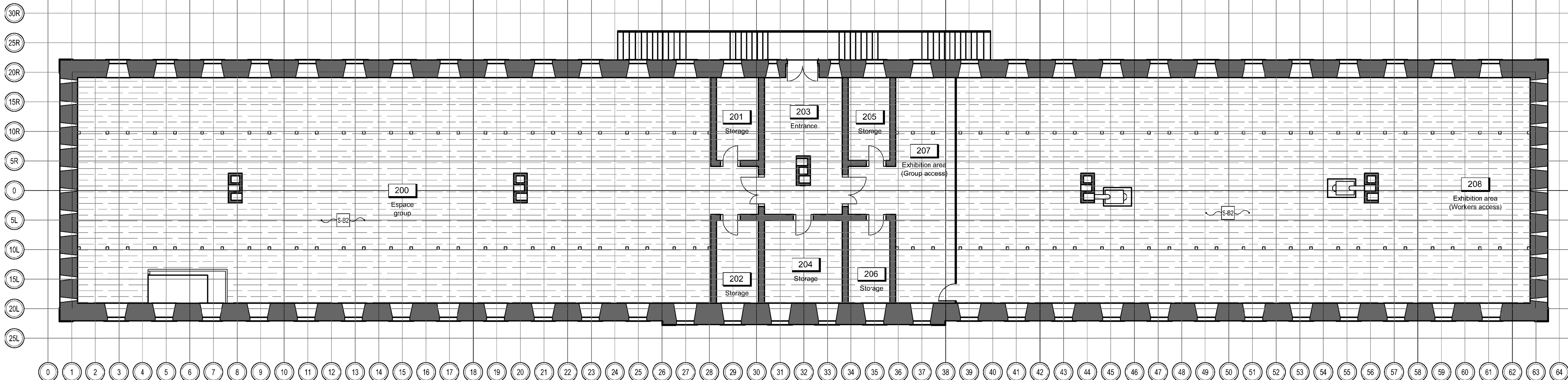
Approuvé par
S. ST-MARTIN
2017-12
Date

Soumission
Gestionnaire de projet PC
Ana Arbones
PC Project Manager

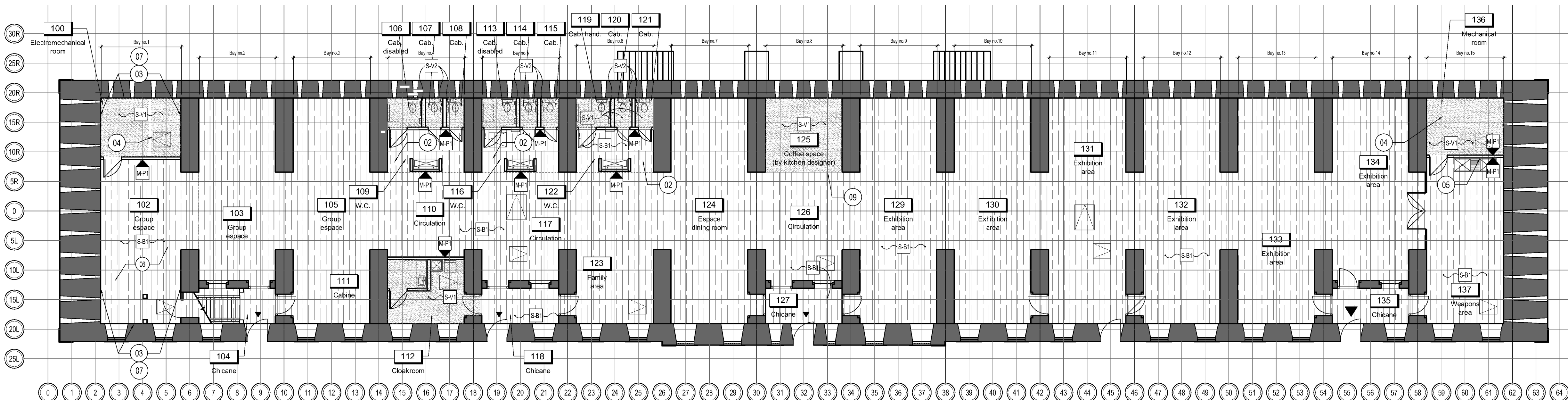
Tender
No de projet/Project number
5P301-16-0002/004
PC Client
APC-17-2727
No de classement
Client

Norm du fichier
APC-2727_ESQUISSE-PRÉSENTATION
File name
No de plan ou dessin
File name
No de feuille Sheet no

A-800



1 PLAN FIRST FLOOR - FINISHES
1:125



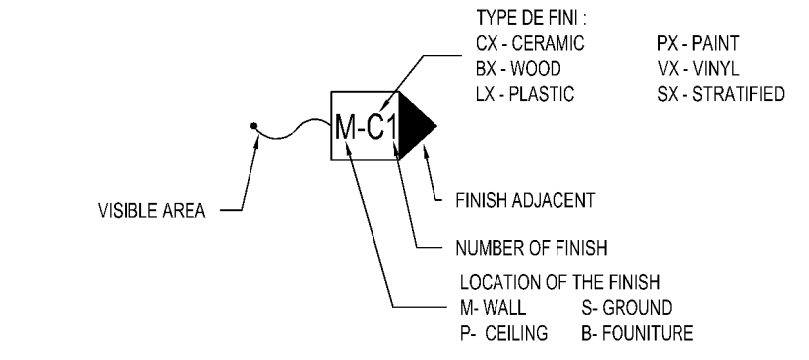
2 PLAN GROUND FLOOR - FINISHES
1:125

FINISHES AND MATERIALS

Unless otherwise specified, all new gypsum walls are M-P1 colours and all new floors are S-B1. Unless otherwise indicated, no finishes are to be expedited on the existing preserved stone walls.

- M-P1 New paint finish, mezzanine finish, "Glacier Kokanee" color #6205-21 from Sico or approved equivalent.
- S-B1 Existing hardwood floor retained to be reinstated with existing wood baseboard retained to be reinstated. Plan to sandblast and varnish the floor.
- S-B2 Existing hardwood floorboard preserved with existing wood baseboard preserved. Plan to keep the floor as is.
- S-V1 Vinyl roll flooring such as Aria 3.0 series, Cabana #657 color with multicolor welding joint and rubber baseboard 100mm high Johnsonite or approved equivalent (see detail 10A500).
- S-V2 Vinyl roll flooring such as Aria 3.0 series, Cabana #657 color with multicolor welding joint. Plan to make a baseboard by mounting the cladding on the wall (see specific note 1 and detail 9-BA500) or equivalent approved.
- M-L1 Wall covering of glass fibre reinforced plastic such as Martile FRP S490N series, Light Grey S2S colour or approved equivalent.

LEGEND



SPECIFICS NOTES - FINISHES

- In bathroom cabins only, raise the resilient floor covering 4" high. Provide rounded corner molding under the floor covering at the junction of the floor and wall such as Johnsonite CFS-00 or equivalent approved. Provide finishing trim on top of the baseboard such as Johnsonite SCC-XX-D or approved equivalent. See detail 8-BA500.
- Provide a double coat of varnish on the existing wooden battens board.
- Plan to reapply lime whitewash as the rest of the building on existing masonry walls and ceilings (1 wall and ceiling bay, partial repair elsewhere as indicated on sheet A100). Refer to section 09 91 23 - Paintings - Interior Work.
- Provide access hatch in the floor (see structural engineer), finished as adjacent floor (see detail 5-6A501). Typical for all floor traps.
- Provide wall plastic panels such as M-L1 above the wash basin of the same width as the latter over a height of 600mm from the top of the basin.
- New section of wooden floor (complete bay no. 1). Plan to create wooden slats according to existing floor dimensions and the same wood species.
- Provide to reinstall a thickness of new brick for wall finishing following the lowering of the floor of bay no.1. Plan to brush time for finishing throughout the bay.
- Finishing of the vinyl roll siding aligned with the front of the fixed furniture. Provide transition molding for visible section under inlet flap.
- Coordinate the boundary of the vinyl siding with the alignment of the new fixed kitchen furniture.

FINISHED GENERAL NOTES

- All the wooden battens floor on the ground floor and its baseboards must be sanded, varnished and reinstated in its original layout.
- All the wooden battens floor on the first floor will be kept as is.
- Plan to brush all wall paneling, closets, loghole paneling, doors (interior), windows (interior, in baffles) and their frames on the ground floor, refer to section 06 20 00 - Carpentry/ Cabinet Making.
- Plan to keep the finishes as they are on the first floor.
- Provide all necessary transition moldings between new flooring and existing wooden battens floor. Provide all finishing moldings for reinforced plastic wall coverings. All transition and finishing moldings must be in brushed stainless steel finish.
- All wood baseboards and ground floor wooden slats must be repaired in accordance with section 06 20 00 - Carpentry and as it exists. Sections that cannot be replaced must be redone as they exist (same size and species of wood). Refer to the plans in annex 1989 - "As found" drawings - Men's barracks Fort Lemoine National Historic Park.
- No prefabricated elements will be accepted, all elements must be varnished once they are placed on the site.
- All new doors and frames will be Sico "Pavé Gris" #6204-31, semi-gloss finish.
- All new paint systems will be designed as outdoor systems. Refer to the quotation section 09 91 23 - Paintings and interior works.
- The plaster ceiling on the first floor will be completely repainted following multiple color repairs such as Sico Pure White, matt finish.
- New rubber baseboards will have to be installed over existing wood moldings.

3 ENLARGED - W.C.
1:50

4 ENLARGED - CLOACKROOM
1:50

