

1 Demolition Plan - 21st Floor  
Scale: 1:100

**Demolition Legend:**

- Interior walls of suspended T-bar partition to be removed and discarded.
- Interior walls of suspended T-bar partition w/ plenum barrier and/or slab to be removed and discarded.
- Existing door, door frame, hardware and related components to be removed and discarded.
- Existing door, door frame w/ sidelight(s), hardware and related components to be removed and discarded.
- Existing carpet tile and related components to be removed and discarded throughout project area unless noted otherwise. Symbol not shown at all locations. Contractor to patch, repair and prepare floor to receive new floor finish per Floor Finish Plan on ID24, 25, 26, 27.
- Existing masonry flooring and related components to be removed and discarded. Contractor to patch, repair and prepare floor to receive new floor finish per Floor Finish Plan on ID24, 25, 26, 27.

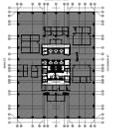
**Demolition Drawing Notes:**

- 1) Repair gypsum board at columns where partitions have been removed to Level 4.
- 2) Existing lower millwork cabinets and related components to be removed and discarded. Refer to Mechanical drawings for related plumbing demolition work.
- 3) Patch and repair to Level 4 all core partitions where demolition has occurred.
- 4) Contractor to remove existing field applied vinyl wall covering, skim coat, and prepare to Level 4 ready to receive new wall finish.
- 5) Remove existing elevator lobby directory signage with care and retain for reinstallation.
- 6) Plastic corner guards to be removed and discarded.
- 7) Contractor to remove existing wall sconce. Supply and install new cover plate.
- 8) Existing taskboards to be removed and discarded.
- 9) Existing projector screen and related hardware to be removed and discarded.
- 10) Plenum constructed with two (2) layers of gypsum board.
- 11) Contractor to remove existing roller blind mounted to partition with care. Supply and install new "L" brackets to mount blind to window mullion.
- 12) Existing millwork reception desk to be removed and discarded.
- 13) Existing lower cabinet to be removed and discarded.
- 14) Contractor to protect existing plastic laminate drinking fountain and the hose cabinet surround from damage during demolition and construction activities.

**Demolition General Notes:**

1. It is the Contractor's responsibility to refer to all information in the Specification Document.
2. It is the Contractor's responsibility to read this drawing in conjunction with all other drawings in this package. Report any discrepancies between drawings to prior to commencing work with Construction.
3. Contractor will be held responsible for any damage done to existing partitions, ceiling, finishes and all other components to remain and to adjacent spaces.
4. Refer to Mechanical and Electrical drawings for extent of demolition.
5. Unless otherwise noted, all existing partitions, door/sidelight assembly, floor finish, etc. to remain.
6. Contractor to remove and turn over to Departmental Representative all items not being used for new construction, unless otherwise noted.
7. Contractor to remove and discard all floor finishes and baseboards as indicated.
8. Contractor to remove all existing carpet tile.
9. All existing floor mounted door stops to be removed and discarded.
10. Contractor to remove all non-essential data and communication wiring within plenum.
11. All existing perimeter convectors to remain. Refer to Mechanical drawings. Refer to Wall Finish Plan on ID28, 29, 30, 31.
12. Cut, cap and fire stop plumbing lines flush with concrete slab. Refer to Mechanical Drawings.
13. Contractor to remove/clean all glue/2-way tape residue on perimeter window mullion where partition was removed and throughout the space where required.
14. All existing perimeter blinds/window treatment to remain. Contractor to bundle and wrap blinds/window shades adequately for dust protection prior to Construction. Contractor to include for the removal and replacement of 50% of the existing roller shades with new. Width from centreline of mullion is 1525mm. Height of glazing 2067. Refer to Specification.

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Key Plan



Project North



I, the undersigned, have reviewed and take responsibility for this design work on behalf of the firm, I am qualified, and the firm is registered, in the Professional Engineer category.  
David Gibbons *David Gibbons* 25000  
REGISTRATION INFORMATION  
No. 11111 of Engineers of Ontario  
LWG Architectural Interiors Inc. 42687  
Ottawa, Ontario

Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

03	Issued for Tender	2018-01-14
02	Issued for 90% Client Review	2018-03-09
01	Issued for 60% Client Review	2018-02-16

revisions	description	date
A	A detail no.	A
B	B location drawing no.	B
C	C drawing no.	C

project project

**LEL Generic Swing Space**

300 Laurier West, Ottawa, N

drawing dessin

**Demolition Plan 21st Floor**

Scale: As Noted

Designed By BB & MB Conçu par  
Date 2018-01-26 (yyyy/mm/dd)

Drawn By MB Dessiné par  
Date 2018-03-09 (yyyy/mm/dd)

Reviewed By *Brent Cheff* Examiné par  
Date 2018-01-26 (yyyy/mm/dd)

Approved By BW Approuvé par  
Date 2018-01-26 (yyyy/mm/dd)

Tender Soumission

Project Manager Brent Cheff Administrateur de projets

Project no. R.088901.013 (17096) No. du projet

Drawing no. ID10 No. du dessin