

1 Demolition Plan - 21st Floor
10 10 Scale: 1:100

Demolition Legend:

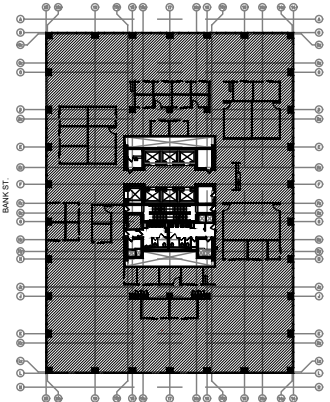
- Interior w/s of suspended T-bar partition to be removed and discarded.
- Interior w/s of suspended T-bar partition w/plenum barrier and/or slab to be removed and discarded.
- Existing door, door frame, hardware and related components to be removed and discarded.
- Existing door, door frame w/side light(s), hardware and related components to be removed and discarded.
- Existing carpet tile and related components to be removed and discarded throughout project area unless noted otherwise. Symbol not shown at all locations. Contractor to patch, repair and prepare floor to receive new floor finish per Floor Finish Plan on ID24, 25, 26, 27.
- Existing marmoleum flooring and related components to be removed and discarded. Contractor to patch, repair and prepare floor to receive new floor finish per Floor Finish Plan on ID24, 25, 26, 27.

Demolition Drawing Notes:

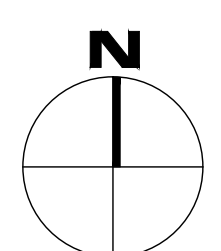
- Repair gypsum board at columns where partitions have been removed to Level 4.
- Existing lower millwork cabinets and related components to be removed and discarded. Refer to Mechanical drawings for related plumbing demolition work.
- Patch and repair to Level 4 all core partitions where demolition has occurred.
- Contractor to remove existing field applied vinyl wall covering, skin coat, and prepare to Level 4 ready to receive new wall finish.
- Remove existing elevator lobby directory signage with care and retain for reinstallation.
- Plastic corner guards to be removed and discarded.
- Contractor to remove existing wall sconce. Supply and install new cover plate.
- Existing taskboards to be removed and discarded.
- Existing projector screen and related hardware to be removed and discarded.
- Plenum constructed with two (2) layers of gypsum board.
- Contractor to remove existing roller blind mounted to partition with care. Supply and install new "L" bracket to mount blind to window mullion.
- Existing millwork reception desk to be removed and discarded.
- Existing lower cabinet to be removed and discarded.
- Contractor to protect existing plastic laminate drinking fountain and fire hose cabinet surround from damage during demolition and construction activities.

Demolition General Notes:

- It is the Contractor's responsibility to refer to all information in the Specification Document.
- It is the Contractor's responsibility to read this drawing in conjunction with all other drawings in this package. Report any discrepancies between drawings to prior to commencing with Construction.
- Contractor will be held responsible for any damage done to existing partitions, ceiling, finishes and all other components to remain and to adjacent spaces.
- Refer to Mechanical and Electrical drawings for extent of demolition.
- Unless otherwise noted, all existing partitions, door/side light assembly, floor finish, etc. to remain.
- Contractor to remove and turn over to Departmental Representative all items not being used for new construction, unless otherwise noted.
- Contractor to remove and discard all floor finishes and baseboards as indicated.
- Contractor to remove all existing carpet tile.
- All existing floor mounted door stops to be removed and discarded.
- Contractor to remove all non-essential data and communication wiring within plenum.
- All existing perimeter convectors to remain. Refer to Mechanical drawings. Refer to Wall Finish Plan on ID28, 29, 30, 31.
- Contractor to remove/clean all glue/2-way tape residue on perimeter window mullion where partition was removed and throughout the space where required.
- All existing perimeter blinds/window treatment to remain. Contractor to bundle and wrap blinds/window shades adequately for dust protection prior to Construction. Contractor to include for the removal and replacement of 50% of the existing roller shades with new. Width from centreline of mullion is 1525mm. Height of glazing 2067. Refer to Specification.



Key Plan



Project North



I, the undersigned have reviewed and take responsibility for this design work on behalf of the firm. I am qualified and the firm is registered, in the appropriate design discipline.		
David Gibbons	25030	2019
REGISTRATION INFORMATION		
LLWG Architectural Interiors Inc.		
42587	2019	

Contractor to verify all dimensions & conditions on site and immediately notify the engineer of all discrepancies.

03	Issued for Tender	2019-01-15
02	Issued for 99% Client Review	2018-03-09
01	Issued for 66% Client Review	2018-02-16

revisions	description	date
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A	detail no.	A
C	no. of detail	B
	location drawing no.	C
	sur. design no.	
	C drawing no.	
	design no.	

project project

LEL Generic Swing Space

300 Laurier West, Ottawa, N

drawing dessin

Demolition Plan 21st Floor

Scale: As Noted

Designed By RB & MB Conçu par

Date 2018-01-26 (yyyy/mm/dd)

Drawn By MB Dessiné par

Date 2018-03-09 (yyyy/mm/dd)

Reviewed By BW Examiné par

Date 2018-01-26 (yyyy/mm/dd)

Approved By BW Approuvé par

Date 2018-01-26 (yyyy/mm/dd)

Tender Soumission

Project Manager Brent Cheff Administrateur de projets

Project no. R.088901.013 (17096) No. du projet

Drawing no. ID10 No. du dessin