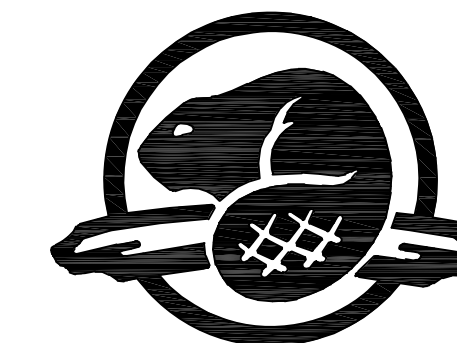


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Region



HAWTHORNE COTTAGE RESTORATION - PHASE II

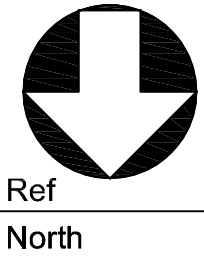
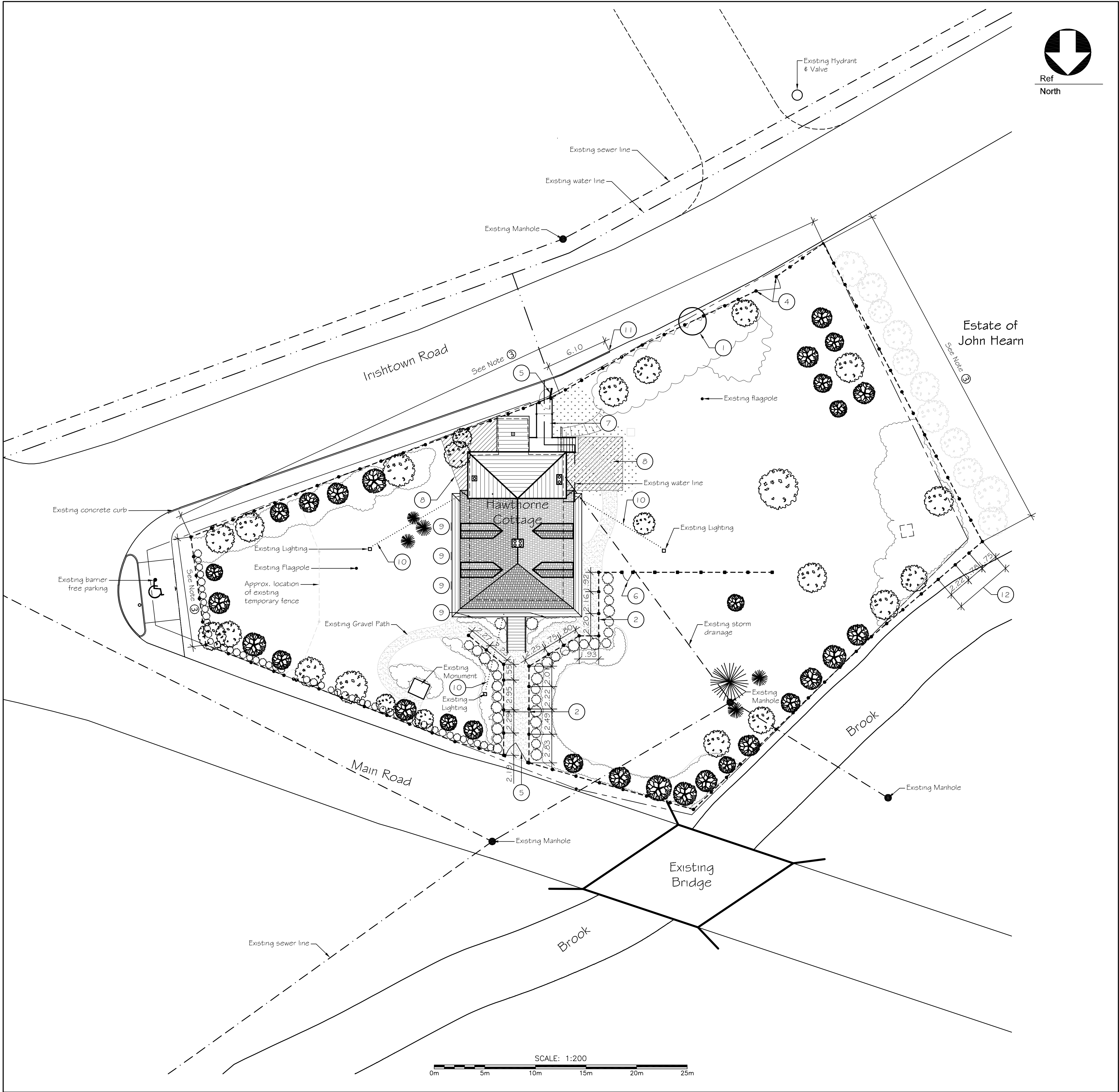
BRIGUS, NL.

PROJECT NO. 16-1475 - ISSUED FOR TENDER - 2019/06/14

DRAWING LIST

ARCHITECTURAL:

A-101	SITE PLAN
A-201	BASEMENT FLOOR PLAN
A-202	LEVEL 1 FLOOR PLAN
A-203	LEVEL 2 FLOOR PLAN
A-204	ROOF PLAN
A-401	ELEVATIONS
A-401	ELEVATIONS
A-801	DETAILS



- 1 Damaged fence components in this area to be replaced with new as noted in Fence Type F1 below.
- 2 All existing interior fence components to remain. Only where required scrape & repaint fence components. Replace all damaged or deteriorated components as noted in Fence Type F2 below.
- 3 All existing fence type F1 post bases to be properly covered as shown in detail 2/A-101. Where required, posts to be shimmed as to eliminate movement within post base.
- 4 Existing fence posts adjacent to gates to be painted green. Remove existing paint as required to provide adequate substrate for re-painting. Where posts have deformations from pressure treating process, deformations to be filled with wood filler, and sanded smooth prior to painting.
- 5 Existing steel gate. Remove all loose / flaking paint, rust & debris from steel gate & repaint green to match existing colour. See also Note 4.
- 6 Existing wooden gate to be painted green. Remove all loose / flaking paint, as required to provide adequate substrate for re-painting. See also Note 4.
- 7 Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
- 8 Existing finished grade to be adjusted as to direct water away from building. Lower as required to be 200mm below all wood elements, slope away from building and prevent the possibility of standing water.
- 9 Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing.
- 10 Approximate location of existing underground conduit for exterior lighting. Confirm on-site prior to any excavation work.
- 11 Extend concrete curb along Inshtown Road as required to prevent excess water runoff from entering property. Coordinate all work with the Town of Briggs.
- 12 Replace all damaged or deteriorated fence components as noted in Fence Type F1 below. Paint as per specifications.

Existing Fence Construction :

Type F1 :

- 25x100mm wood pickets @ 190mm o.c.
- 50x100mm wood rails
- Round wood posts (Diameter varies 50mm to 125mm) (Spacing indicated on drawings)

Type F2:

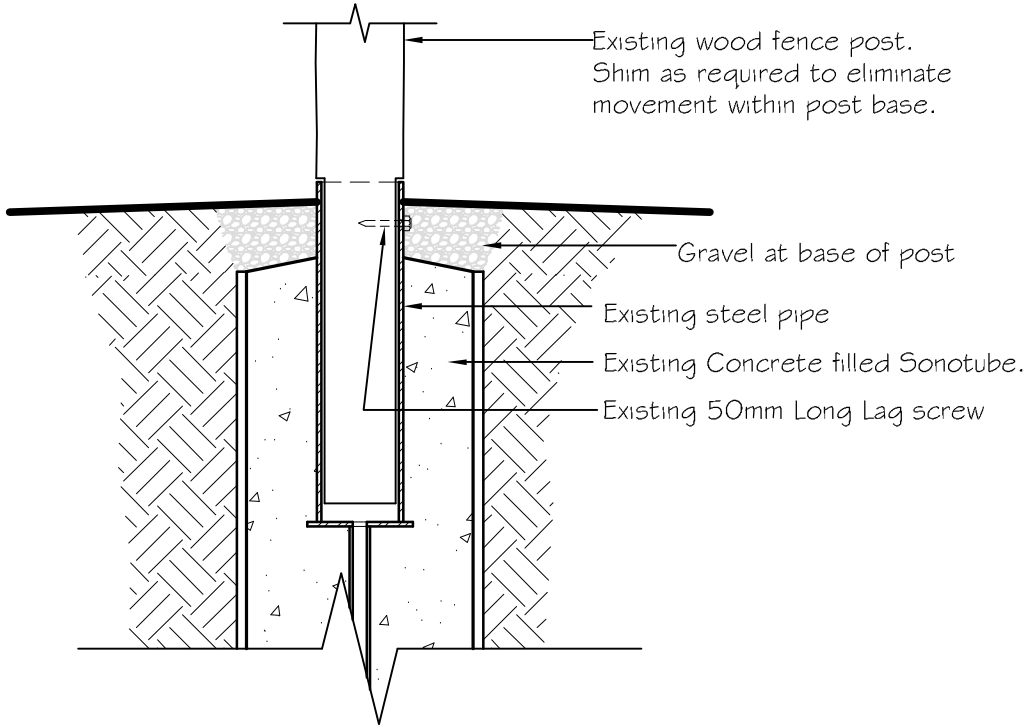
- 19x89mm wood pickets @ 190mm o.c.
- 38x89mm wood rails
- 38x64mm wood top cap d/w beveled edges
- 89x89mm wood posts (Spacing indicated on drawings)

NOTE:

Where required to be painted, all fence components.

Legend:

- Property Lines
- Approximate location of existing water lines
- Approximate location of existing sewer lines
- Approximate location of existing electrical conduit
- Wooden fence. See notes 1,2,3,4 & 12 for extent of repair / replacement.
- Approximate area to be re-graded as required to direct water away from building and eliminate standing water.
- Remove existing grass & replace with new topsoil & sod.
- Existing gravel pathway; add new pea gravel as required to repair sections of path. Extend pea gravel under veranda deck to base of foundation.



Site Plan

1 : 200

Section Detail - Fence F1 Post Base

1 : 10

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Stamp

General Notes

1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. Planting shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site as required to complete work.
3. Underground water & sewer shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site prior to any excavation work.
4. All components that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size, profile & arrangement of various elements to be documented as to ensure they can be reinstated to match existing as accurately as possible. For wooden elements species of replacement to match the original.

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R0 Issued For Tender 2019/06/14

revisions description date

A no. du detail detail no.
B sur dessin no. location drawing no.
C drawing no. dessin no.

Projet Project

**HAWTHORNE COTTAGE
RESTORATION - PHASE II**

Dessin Drawing

Site Plan

Designed By R. Symonds

Date 2019/04/23

Drawn By G. Martin

Date 2019/04/23

Reviewed By R. Symonds

Date 2019/04/23

Approved By Approver

Date yyyy/mm/dd

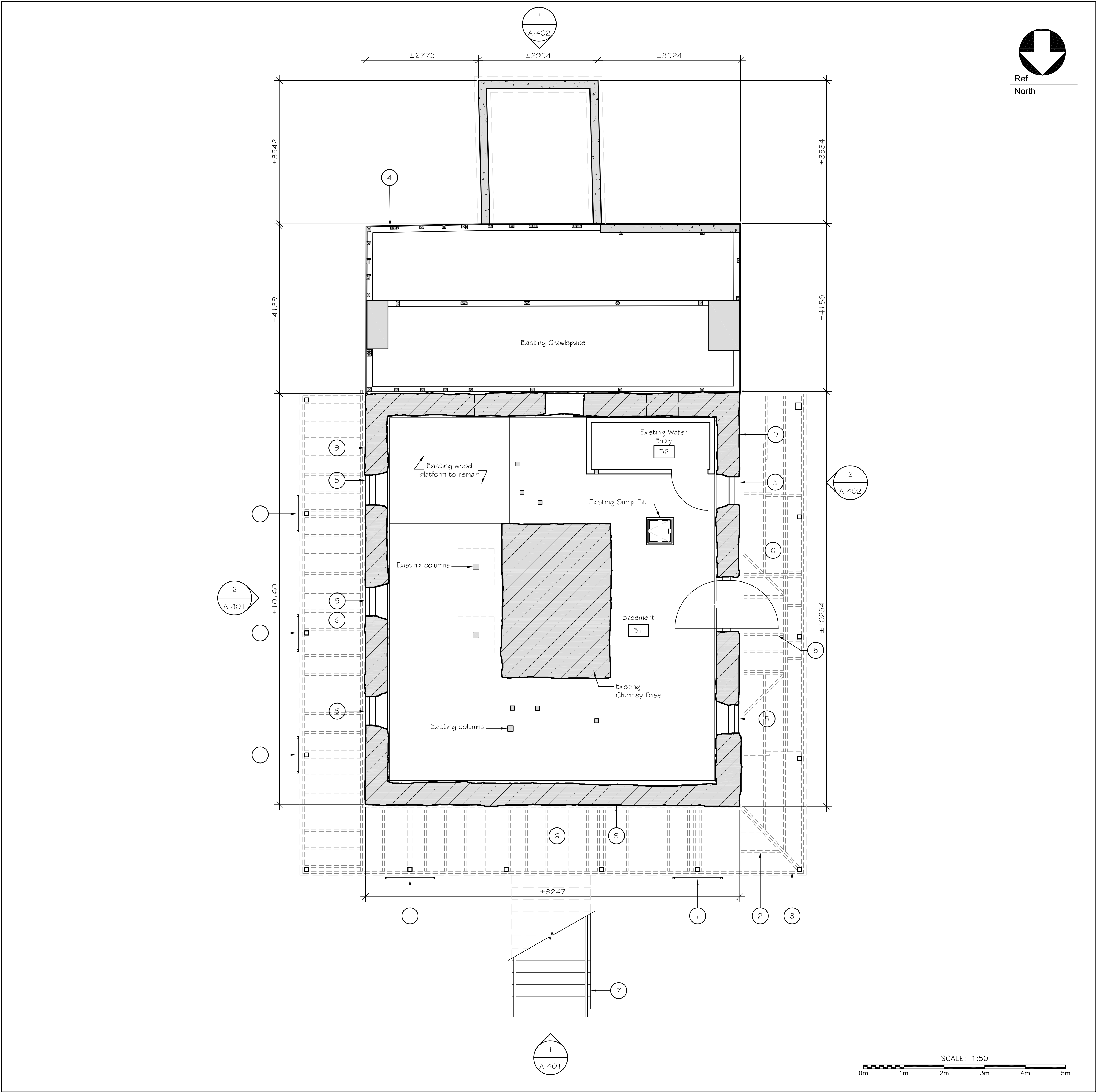
No. du projet Project no.

16-1475

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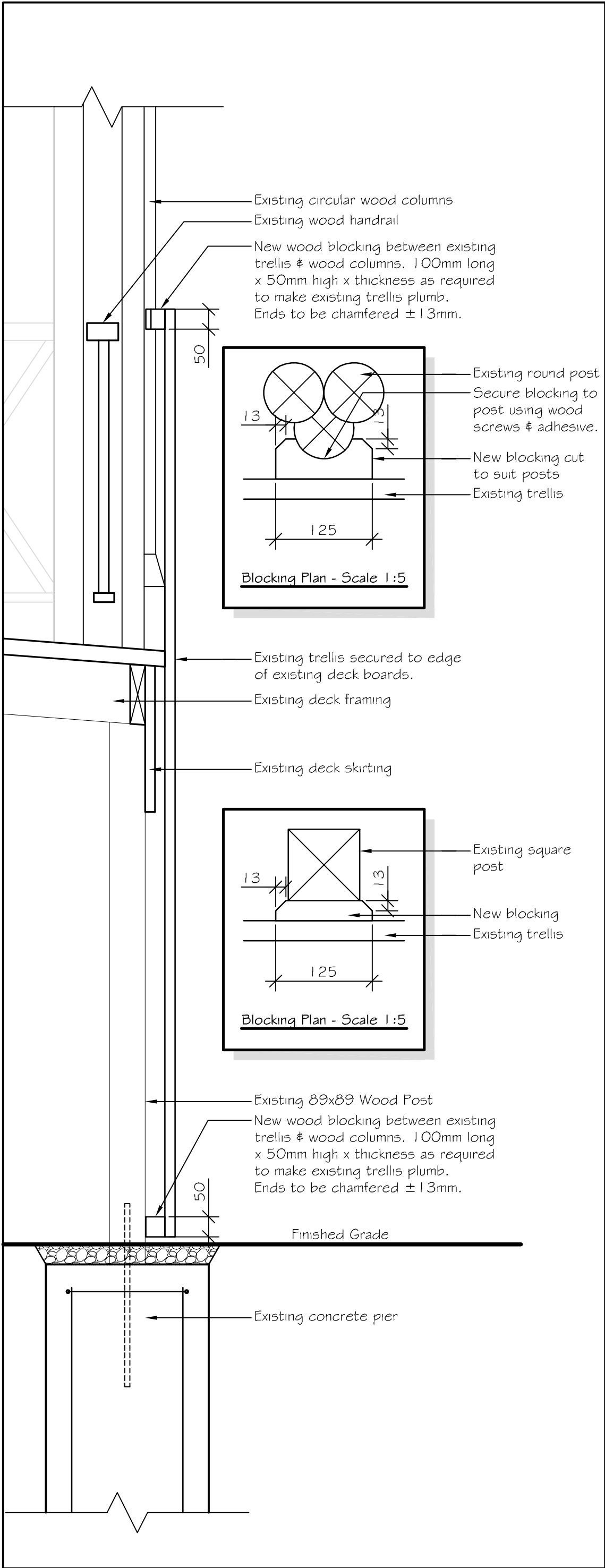
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A-101



1 Floor Plan - Basement Level
A-201 1 : 50

- Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing. See 2/A-201.
- Existing veranda deck framing above to remain. Exact configuration may differ from drawing. All joist hangers to have nails removed & replaced with 16D double dipped galvanized nails. All joist hangers that are damaged or incorrectly installed to be replaced with new to suit size of framing members.
- Unnecessary joist hanger in this location to be removed.
- Existing grade to be lowered as required to shed water away from building & prevent standing water.
- Existing window framing & sashes to be scraped, cleaned, caulked, and repainted. Replace all damaged / deteriorated muntins, bars, stiles, glazing, & putty with new to match existing. Unless otherwise noted, sashes are to be sealed closed inside and out. Remove all loose / flaking paint, rust & debris from metal bars at exterior & repaint white to match existing.
- Underside of veranda deck boards to be painted grey to match top.
- Underside of stair framing to be painted green.
- Broken joist in this area below bay window to be replaced with new to match existing.
- Existing stone foundation; repair localized areas of paint scaling.



2 Section - Trellis Blocking
A-201 1 : 10

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Asset Management
and Project Delivery

Région du Terre-Neuve Est

Newfoundland East Region

Stamp

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revisions	description	date
R0	Issued For Tender	2019/06/14

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A no. du detail
detail no.
B sur dessin no.
location drawing no.
C drawing no.
dessin no.

A
B
C

Projet

Project

HAWTHORNE COTTAGE
RESTORATION - PHASE II

Dessin

Drawing

Basement Floor Plan

Designed By

R. Symonds

Date

2019/04/23

Drawn By

G. Martin

Date

2019/04/23

Reviewed By

R. Symonds

Date

2019/04/23

Approved By

Approver

Date

yyyy/mm/dd

No. du projet

16-1475

APC

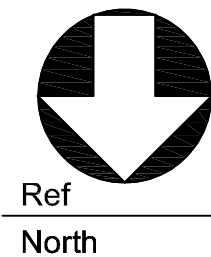
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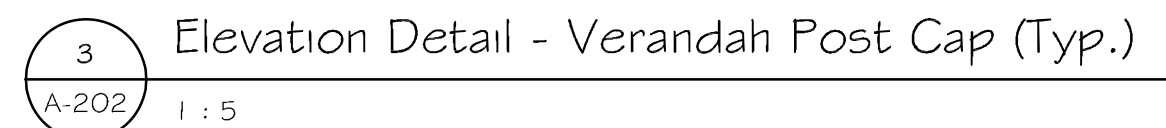
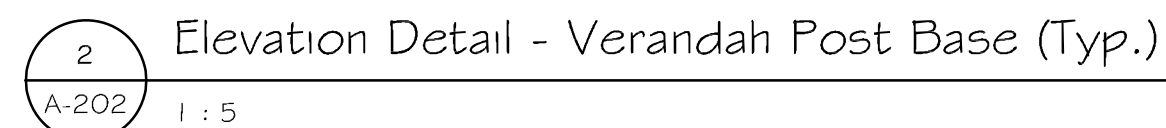
A-201

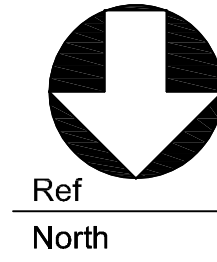
Drawing no.

A-201



1. All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
2. Existing wood storm doors to have all existing paint removed. Fill large gaps and voids with wood filler & sanded smooth prior to re-painting.
3. Existing wood posts supporting veranda roof are not properly aligned / poorly fitted. Posts, post caps, and/or post bases require minor adjustments to achieve proper alignment. Posts and bases that have been recently installed require additional application of green paint. Imperfections in previously applied paint to be sanded smooth prior to re-painting. Original post caps to have paint completely removed. All cracks to be filled with wood filler, and sanded smooth prior to re-painting. See details 2 & 3 this sheet.
4. Existing decking / stair treads to remain. Scrape, clean, and repaint grey to match existing.
5. Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
6. Trim at base of bay windows at deck boards to be removed and replaced with new to match original.
7. Water damage at ceiling in this location. All damaged plaster to be removed & replaced with new. Re-paint section of ceiling to match existing. Existing substrate to be used where possible.





1. All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
2. Remove existing wall paper. Prepare wall substrate to receive new wall paper. New wallpaper to be provided by Departmental Representative and installed by Contractor.
3. Remove existing wall paper. Prepare wall substrate to receive new paint finish. Colour to match existing.
4. Water damage in this location. Water stains on ceiling & wall to be painted. Colour to match existing.
5. Deteriorated sill at dormer windows to be removed & replaced with new to match existing. Install new metal flashing & wood shingles as required. See detail 71A-801.
6. Existing door and associated wall to be removed. Make good all adjacent finishes.
7. Existing ext light to be removed, & electrical to be properly terminated. Make good all finished behind existing fixture.
8. Existing door to 'Star 18' was previously covered on star side. Cut door opening in wall on star side & repair existing wood casing. Install new wood trims to match bedroom side. Submit sample of new wood trim to departmental representative prior to installation.

General Notes

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location drawing no.

C drawing no.
dessin no.

Projet	Project
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HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin	Drawing
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Level 2 Floor Plan

Designed By R. Symonds

Date 2019/04/23

Drawn By G. Martin

Date 2019/04/23

Reviewed By R. Symonds

Date 2019/04/23

Approved By	Approver
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Date yyyy/mm/dd

No. du projet	Project no.
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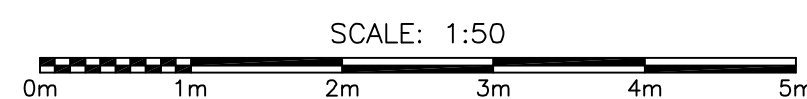
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A-203

Floor Plan - Level 2

1 : 50

Room Finish Schedule				
Room #	Room Name	Wall Finish	Existing Substrate	Remarks
17	Bedroom	Paint	Plaster & Lath	New paint colour to match existing wallpaper. Repair substrate prior to painting.
22	Bedroom	Wallpaper (To be determined)	Wood	New plaster & lath substrate required
24	Bedroom	Wallpaper (To be determined)	Plaster & Lath	Repair substrate prior to application of new wallpaper





Ref
North

- | General Notes | |
|---------------|--|
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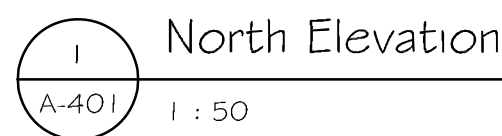
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detail no.
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location drawing no.
 C drawing no.
dessin no.

HAWTHORNE COTTAGE RESTORATION - PHASE II

Roof Plan

APC	PCA
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A-204



- 2 East Elevation
A-401 1 : 50

