

Parcs Canada

Gestion des biens et
réalisation de projets

Région du
Terre-Neuve Est

Parks Canada

Asset Management
and Project Delivery

Newfoundland East
Region



HAWTHORNE COTTAGE RESTORATION - PHASE II

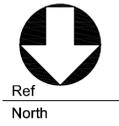
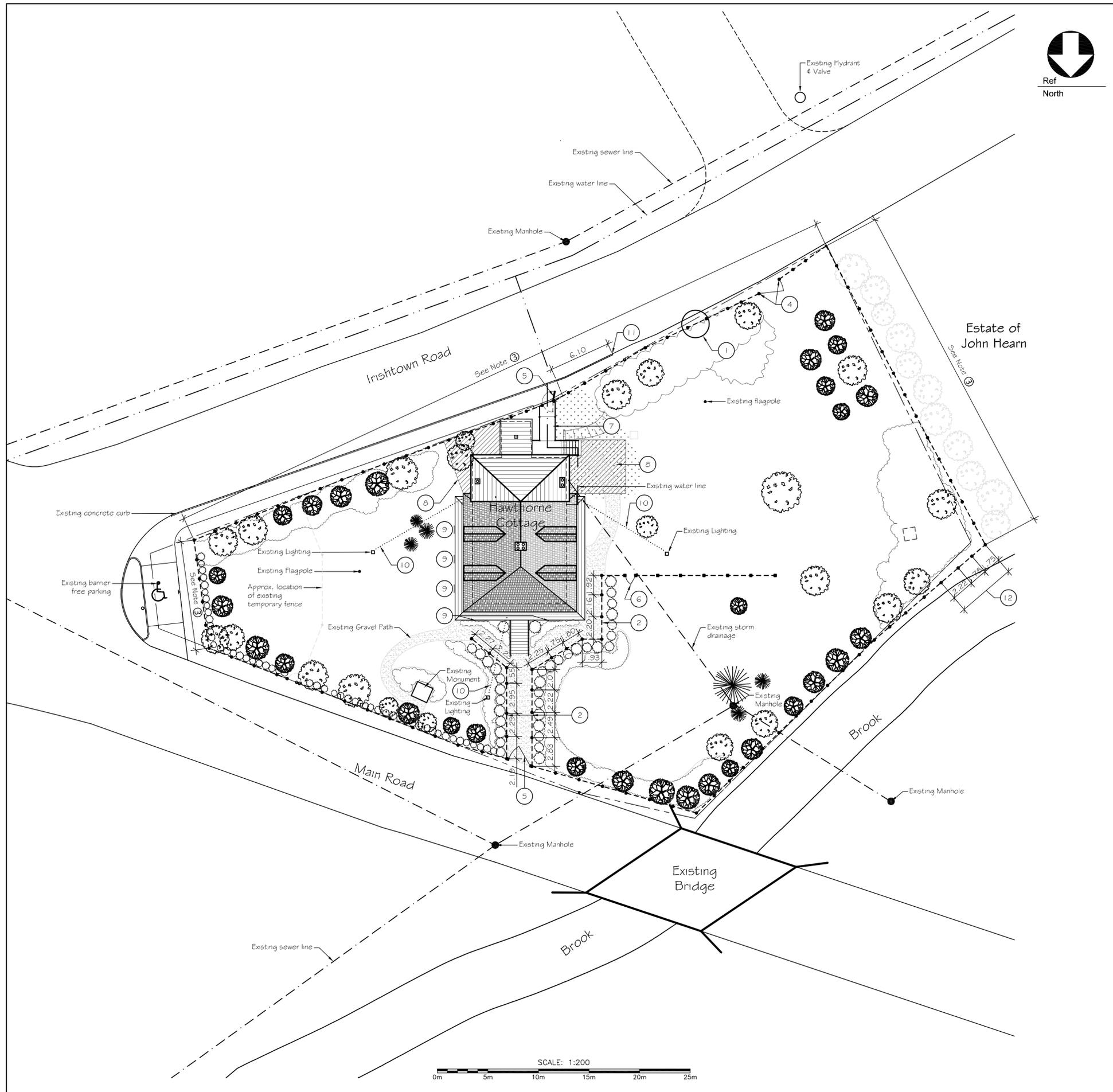
BRIGUS, NL.

PROJECT NO. 16-1475 - ISSUED FOR TENDER - 2019/06/14

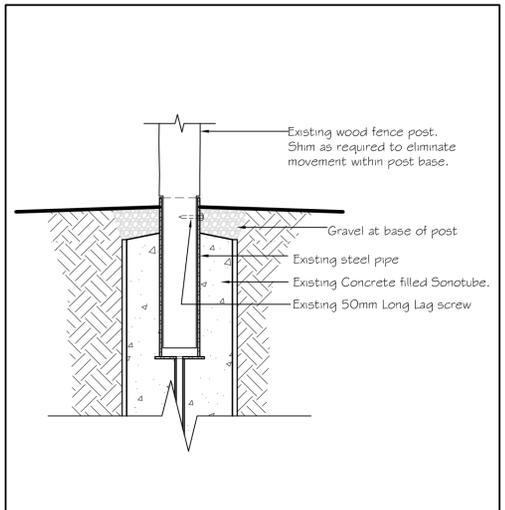
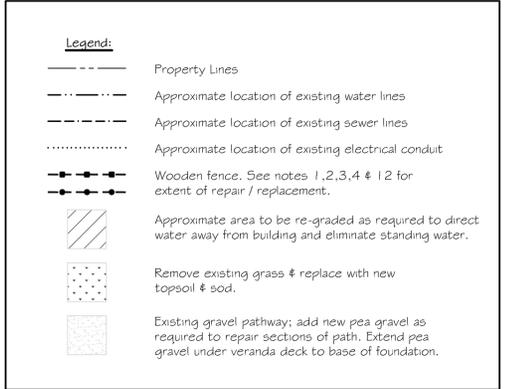
DRAWING LIST

ARCHITECTURAL:

A-101	SITE PLAN
A-201	BASEMENT FLOOR PLAN
A-202	LEVEL 1 FLOOR PLAN
A-203	LEVEL 2 FLOOR PLAN
A-204	ROOF PLAN
A-401	ELEVATIONS
A-401	ELEVATIONS
A-801	DETAILS



- 1 Damaged fence components in this area to be replaced with new as noted in Fence Type F1 below.
 - 2 All existing interior fence components to remain. Only where required scrape & repaint fence components. Replace all damaged or deteriorated components as noted in Fence Type F2 below.
 - 3 All existing fence type F1 post bases to be properly covered as shown in detail 2/A-101. Where required, posts to be shimmed as to eliminate movement within post base.
 - 4 Existing fence posts adjacent to gates to be painted green. Remove existing paint as required to provide adequate substrate for re-painting. Where posts have deformations from pressure treating process, deformations to be filled with wood filler, and sanded smooth prior to painting.
 - 5 Existing steel gate. Remove all loose / flaking paint, rust & debris from steel gate & repaint green to match existing colour. See also Note 4.
 - 6 Existing wooden gate to be painted green. Remove all loose / flaking paint, as required to provide adequate substrate for re-painting. See also Note 4.
 - 7 Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
 - 8 Existing finished grade to be adjusted as to direct water away from building. Lower as required to be 200mm below all wood elements, slope away from building and prevent the possibility of standing water.
 - 9 Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing.
 - 10 Approximate location of existing underground conduit for exterior lighting. Confirm on-site prior to any excavation work.
 - 11 Extend concrete curb along Inshtown Road as required to prevent excess water runoff from entering property. Coordinate all work with the Town of Brigus.
 - 12 Replace all damaged or deteriorated fence components as noted in Fence Type F1 below. Paint as per specifications.
- Existing Fence Construction :**
- Type F1:
- 25x100mm wood pickets @ 190mm o.c.
 - 50x100mm wood rails
 - Round wood posts (Diameter varies 50mm to 125mm) (Spacing indicated on drawings)
- Type F2:
- 19x89mm wood pickets @ 190mm o.c.
 - 38x84mm wood rails
 - 38x64mm wood top cap d/w beveled edges
 - 89x89mm wood posts
 - (Spacing indicated on drawings)
- NOTE:**
Where required to be painted, all fence components.



1 Site Plan
A-101 1:200

2 Section Detail - Fence F1 Post Base
A-101 1:10



- General Notes**
1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
 2. Planting shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site as required to complete work.
 3. Underground water & sewer shown on this drawing is based on information provided from previous design work. Exact extents to be determined on-site prior to any excavation work.
 4. All components that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size, profile & arrangement of various elements to be documented as to ensure they can be reinstated to match existing as accurately as possible. For wooden elements species of replacement to match the original.

Consultants

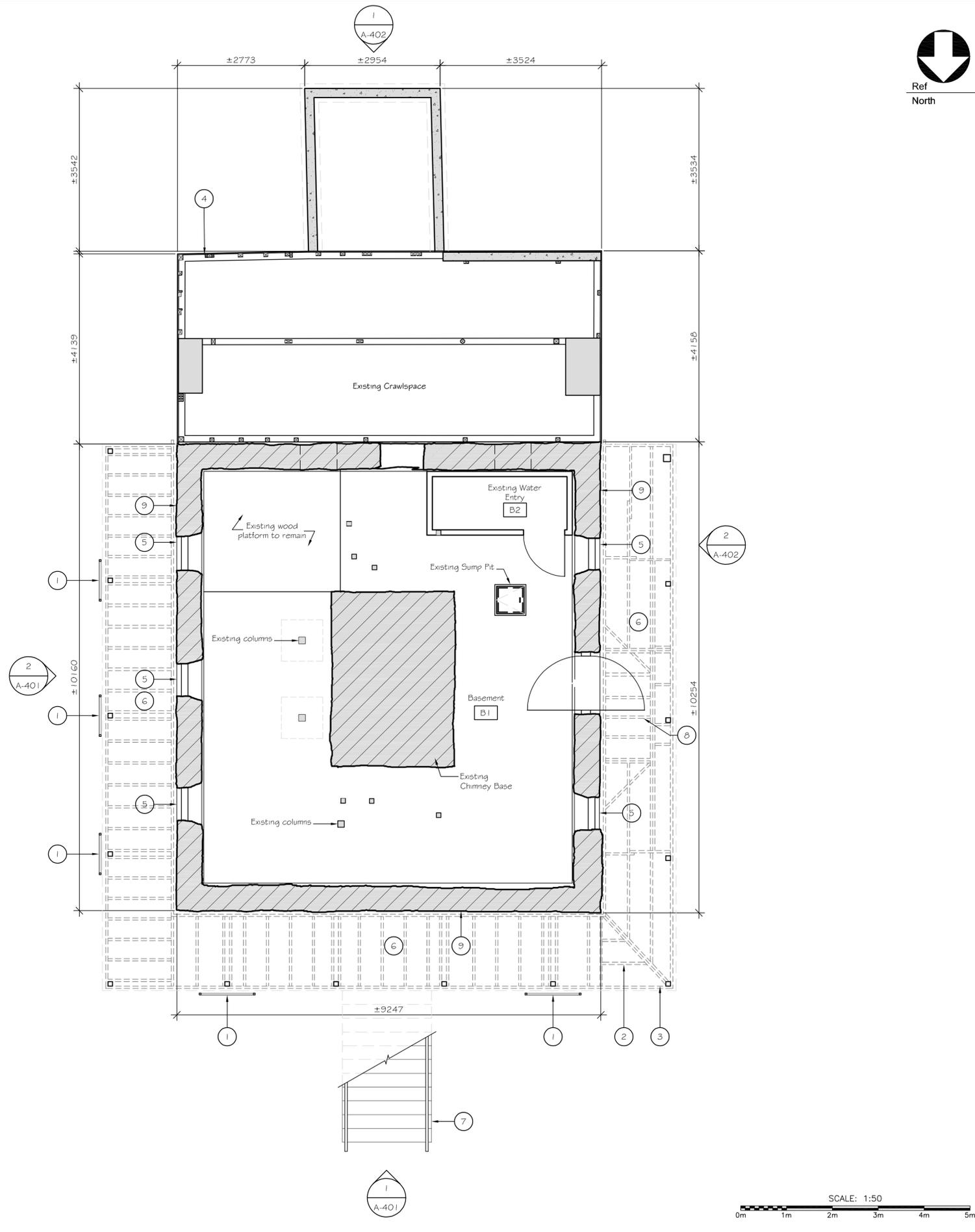
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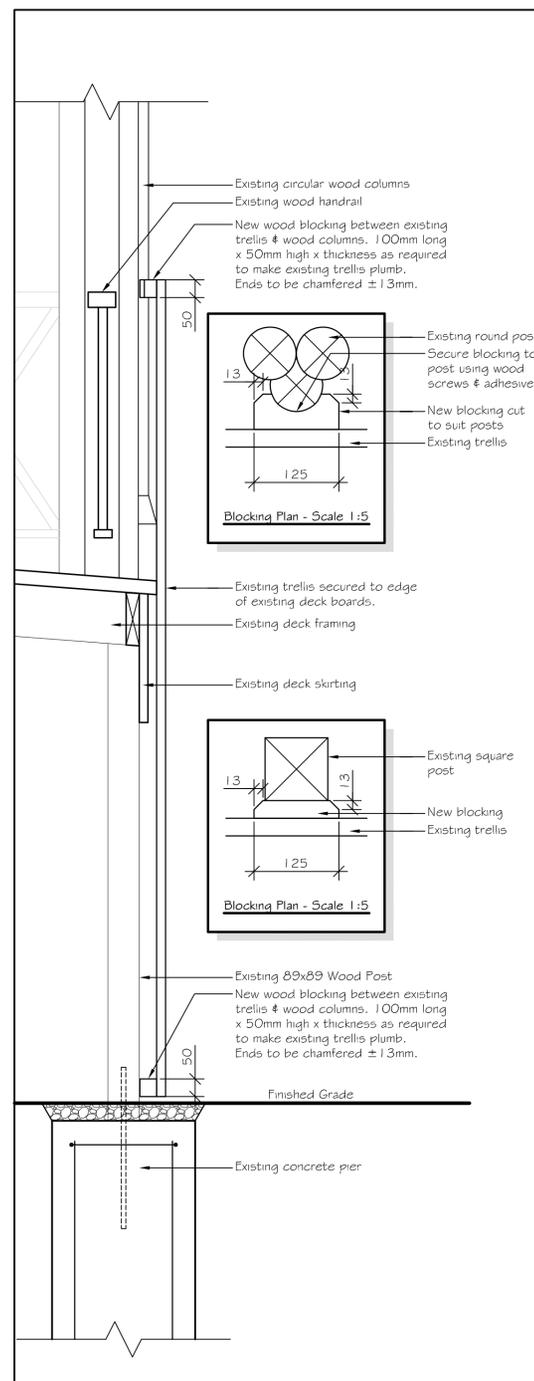
Project: **HAWTHORNE COTTAGE RESTORATION - PHASE II**

Project no. 16-1475

Project		Project	
HAWTHORNE COTTAGE RESTORATION - PHASE II			
Dessin		Drawing	
Site Plan			
Designed By	R. Symonds		
Date	2019/04/23		
Drawn By	G. Martin		
Date	2019/04/23		
Reviewed By	R. Symonds		
Date	2019/04/23		
Approved By	Approver		
Date	yyyy/mm/dd		
No. du projet	Project no.		
	16-1475		
APC	PCA		
No. du dessin	Drawing no.		
	A-101		



- 1 Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing. See 2/A-201.
- 2 Existing veranda deck framing above to remain. Exact configuration may differ from drawing. All joist hangers to have nails removed & replaced with 1 GD double dipped galvanized nails. All joist hangers that are damaged or incorrectly installed to be replaced with new to suit size of framing members.
- 3 Unnecessary joist hanger in this location to be removed.
- 4 Existing grade to be lowered as required to shed water away from building & prevent standing water.
- 5 Existing window framing & sashes to be scraped, cleaned, caulked, and repainted. Replace all damaged / deteriorated muntins, bars, stiles, glazing, & putty with new to match existing. Unless otherwise noted, sashes are to be sealed closed inside and out. Remove all loose / flaking paint, rust & debris from metal bars at exterior & repaint white to match existing.
- 6 Underside of veranda deck boards to be painted grey to match top.
- 7 Underside of stair framing to be painted green.
- 8 Broken joist in this area below bay window to be replaced with new to match existing.
- 9 Existing stone foundation; repair localized areas of paint scaling.



1 Floor Plan - Basement Level
A-201 1:50

2 Section - Trellis Blocking
A-201 1:10



Stamp
R. Symonds
MEMBER
NEWFOUNDLAND AND LABRADOR
ASSOCIATION OF ARCHITECTS
Expire Date: 31 Dec 2024
Date: Jan 02, 2024

General Notes
1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. All components that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size, profile & arrangement of various elements to be documented as to ensure they can be reinstated to match existing as accurately as possible. For wooden elements species of replacement to match the original.

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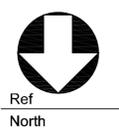
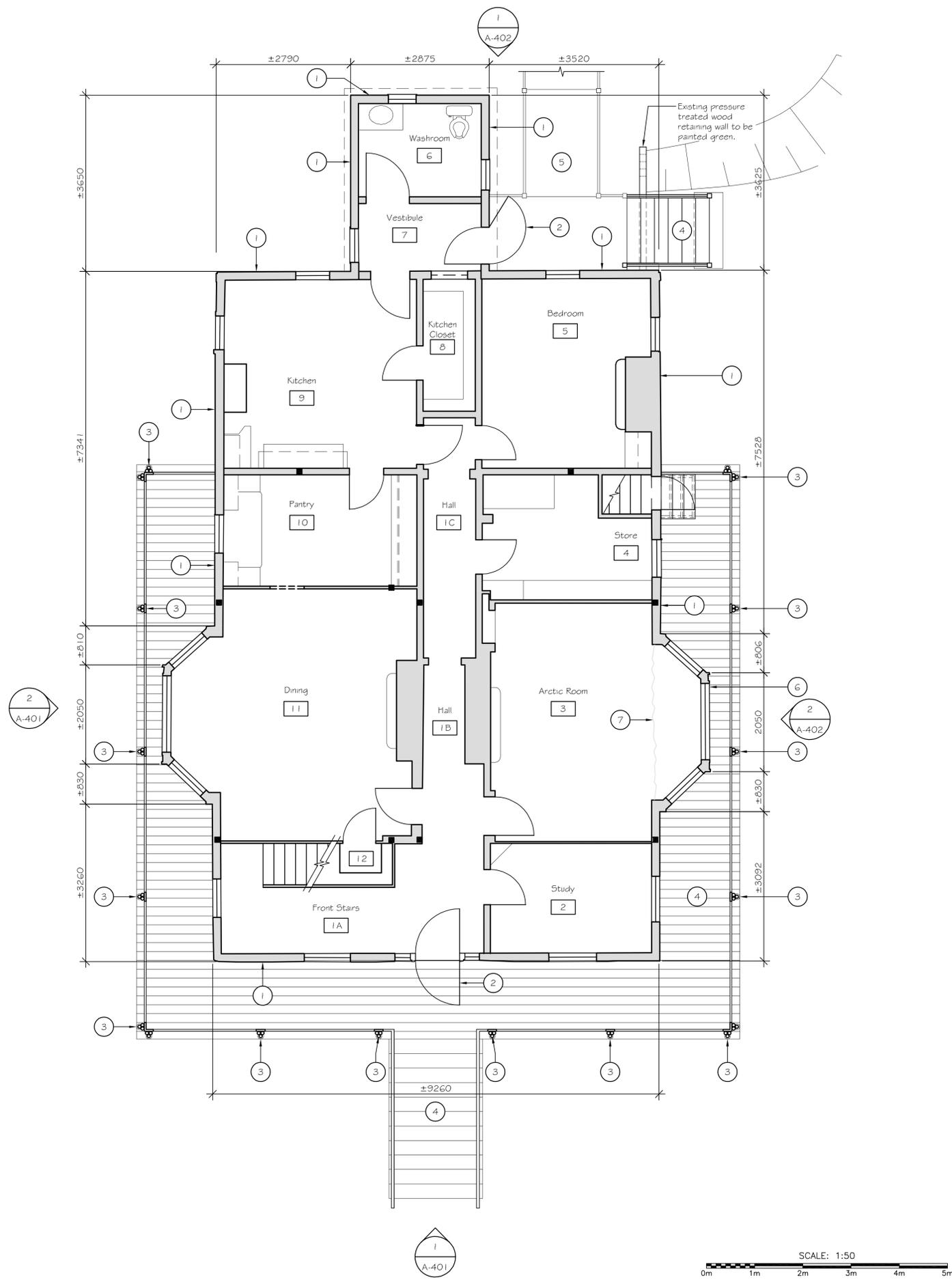
R0	Issued For Tender	2019/06/14
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C	C drawing no. dessin no.	C

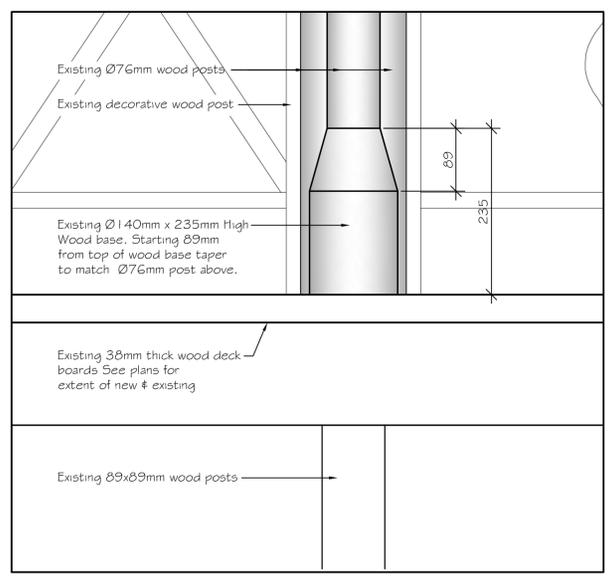
Projet
HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin
Basement Floor Plan

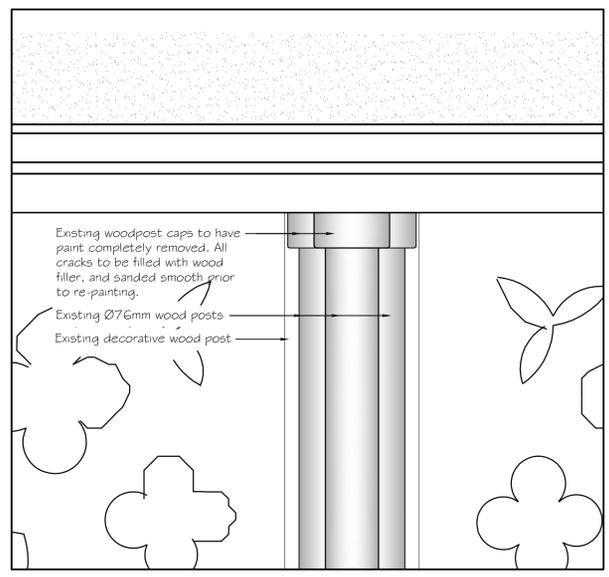
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Drawn By	G. Martin
Date	2019/04/23
Reviewed By	R. Symonds
Date	2019/04/23
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-201	



- 1 All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
- 2 Existing wood storm doors to have all existing paint removed. Fill large gaps and voids with wood filler & sanded smooth prior to re-painting.
- 3 Existing wood posts supporting veranda roof are not properly aligned / poorly fitted. Posts, post caps, and/or post bases require minor adjustments to achieve proper alignment. Posts and bases that have been recently installed require additional application of green paint. Imperfections in previously applied paint to be sanded smooth prior to re-painting. Original post caps to have paint completely removed. All cracks to be filled with wood filler, and sanded smooth prior to re-painting. See details 2 & 3 this sheet.
- 4 Existing decking / stair treads to remain. Scrape, clean, and repaint grey to match existing.
- 5 Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
- 6 Trim at base of bay windows at deck boards to be removed and replaced with new to match original.
- 7 Water damage at ceiling in this location. All damaged plaster to be removed & replaced with new. Re-paint section of ceiling to match existing. Existing substrate to be used where possible.



2 Elevation Detail - Verandah Post Base (Typ.)
A-202 1 : 5



3 Elevation Detail - Verandah Post Cap (Typ.)
A-202 1 : 5

1 Floor Plan - Level 1
A-202 1 : 50

Canada

Parcs Canada Parks Canada

Gestion des biens et réalisation de projets Asset Management and Project Delivery

Région du Terre-Neuve Est Newfoundland East Region

Stamp

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A no. du detail
detail no.
B sur dessin no.
location drawing no.
C drawing no.
dessin no.

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B
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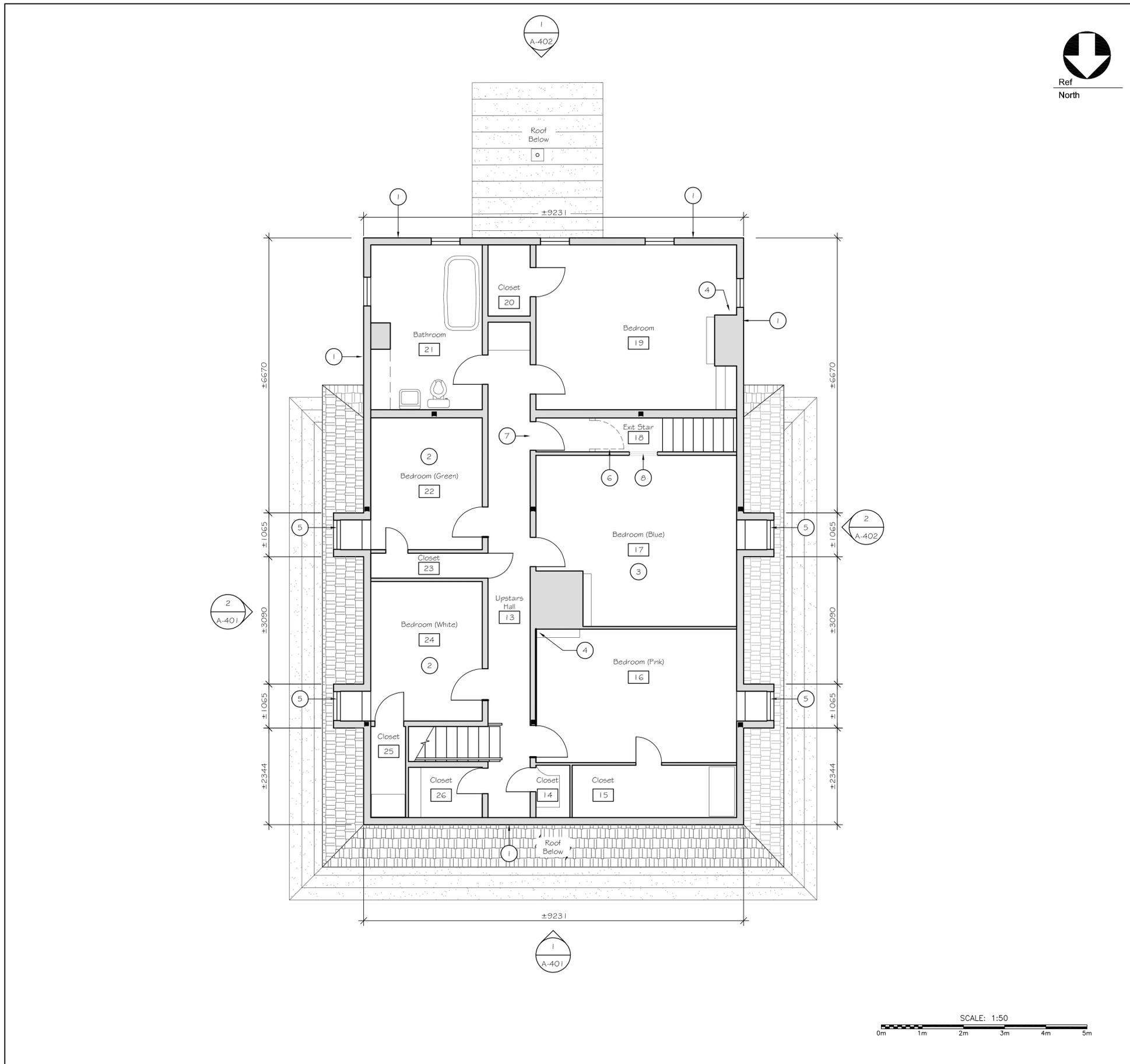
Projet

HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin

Level 1 Floor Plan

Designed By	R. Symonds
Date	2019/04/23
Drawn By	G. Martin
Date	2019/04/23
Reviewed By	R. Symonds
Date	2019/04/23
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-202	



- 1 All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
- 2 Remove existing wall paper. Prepare wall substrate to receive new wall paper. New wallpaper to be provided by Departmental Representative and installed by Contractor.
- 3 Remove existing wall paper. Prepare wall substrate to receive new paint finish. Colour to match existing.
- 4 Water damage in this location. Water stains on ceiling & wall to be painted. Colour to match existing.
- 5 Deteriorated sill at dormer windows to be removed & replaced with new to match existing. Install new metal flashing & wood shingles as required. See detail 7/A-801.
- 6 Existing door and associated wall to be removed. Make good all adjacent finishes.
- 7 Existing exit light to be removed, & electrical to be properly terminated. Make good all finished behind existing fixture.
- 8 Existing door to 'Stair 18' was previously covered on stair side. Cut door opening in wall on stair side & repair existing wood casing. Install new wood trims to match bedroom side. Submit sample of new wood trim to departmental representative prior to installation.

Canada

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Gestion des biens et réalisation de projets Asset Management and Project Delivery

Région du Terre-Neuve Est Newfoundland East Region

Stamp

MEMBER
R. Symonds
Professional Engineer
No. 10000
Date: Jan 21, 2014
ASSOCIATION OF ARCHITECTS

General Notes

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revisions	description	date

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Projet Project

HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin Drawing

Level 2 Floor Plan

Designed By R. Symonds

Date 2019/04/23

Drawn By G. Martin

Date 2019/04/23

Reviewed By R. Symonds

Date 2019/04/23

Approved By Approver

Date yyyy/mm/ddd

No. du projet Project no.
16-1475

APC PCA

No. du dessin Drawing no.
A-203

1 Floor Plan - Level 2
A-203 1 : 50

Room #	Room Name	Wall Finish	Existing Substrate	Remarks
17	Bedroom	Paint	Plaster & Lath	New paint colour to match existing wallpaper. Repair substrate prior to painting.
22	Bedroom	Wallpaper (To be determined)	Wood	New plaster & lath substrate required
24	Bedroom	Wallpaper (To be determined)	Plaster & Lath	Repair substrate prior to application of new wallpaper



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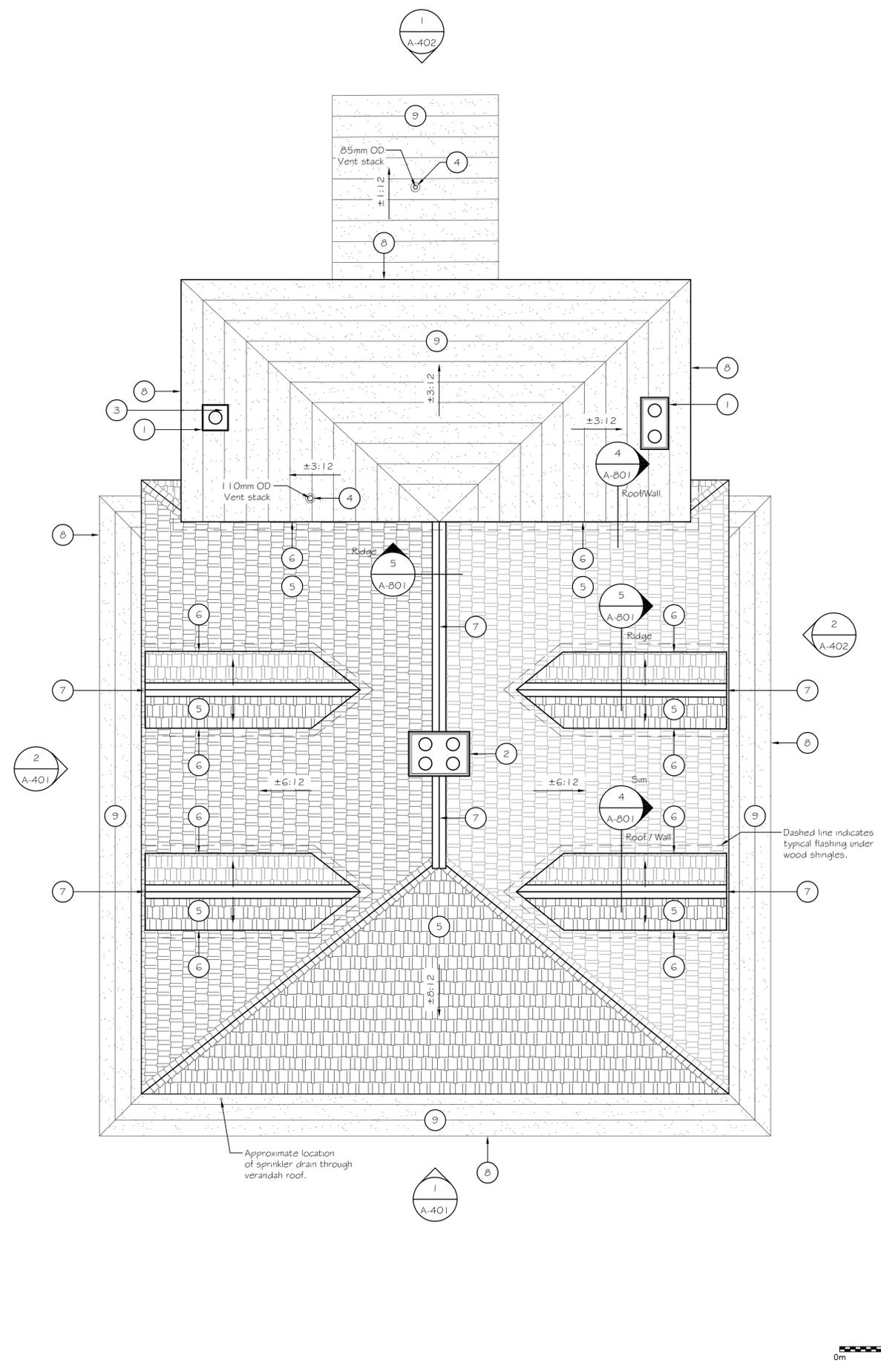
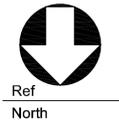
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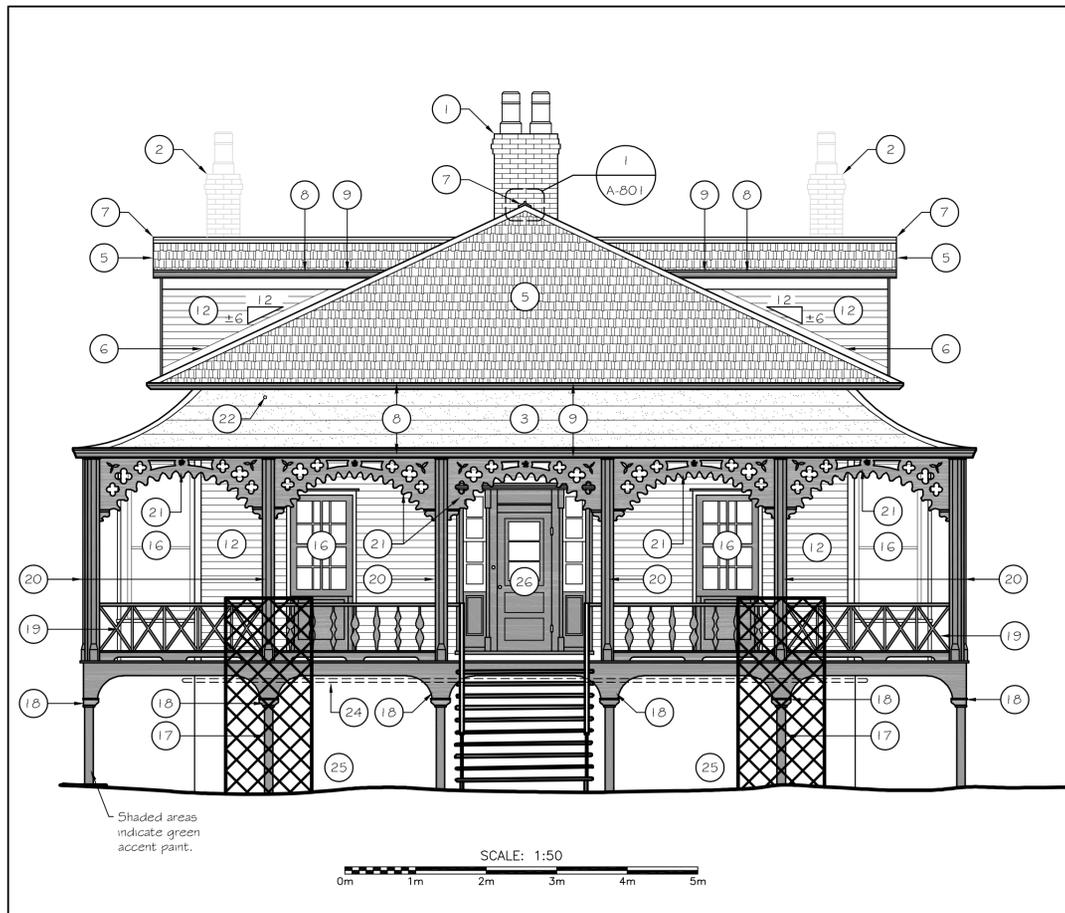
Projet Project
HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin Drawing
Roof Plan

Designed By	R. Symonds
Date	2019/04/23
Drawn By	G. Martin
Date	2019/04/23
Reviewed By	R. Symonds
Date	2019/04/23
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-204	

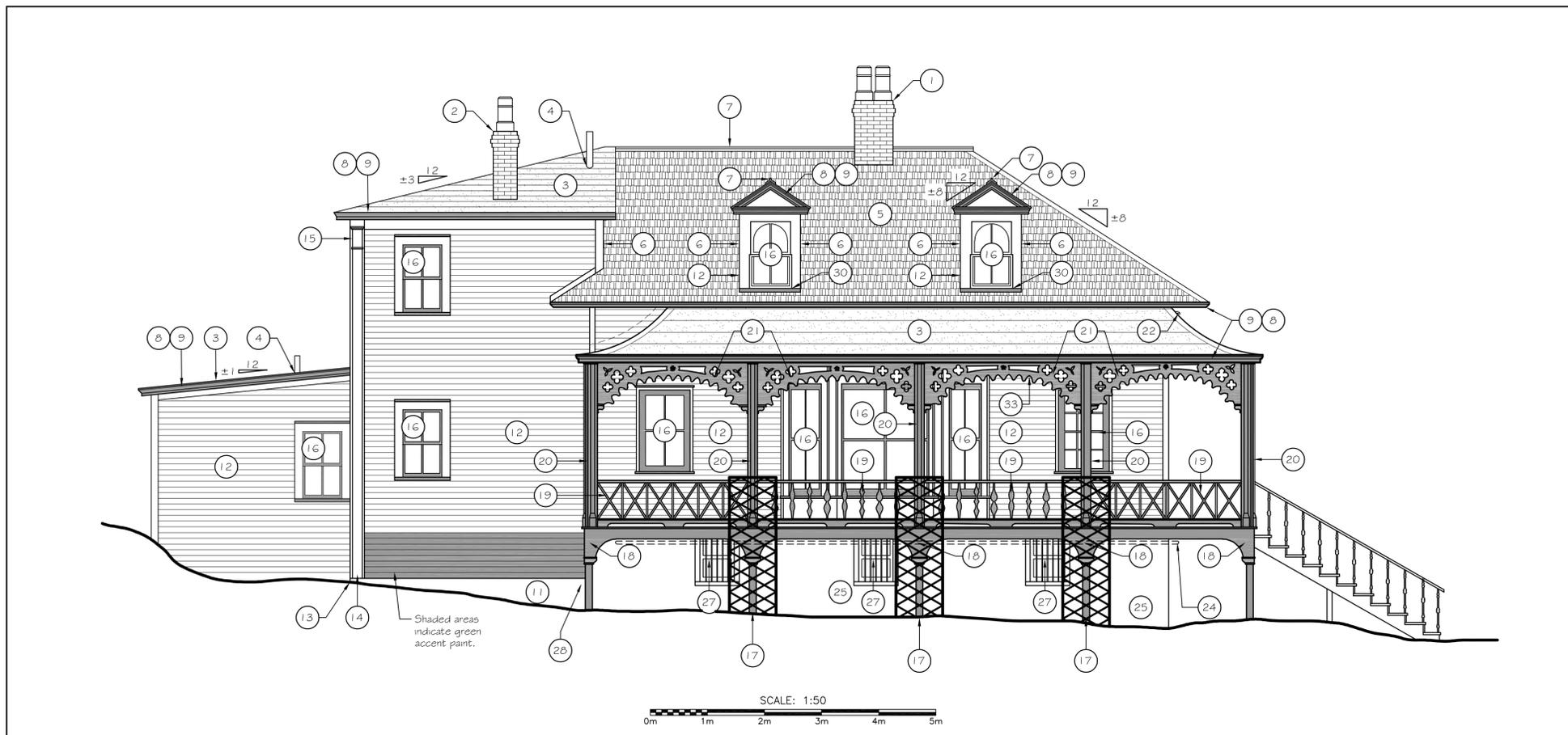


- 1 Existing chimney: All lead coated copper flashing to be removed and new installed as per detail 1/A-801 and specifications.
- 2 Existing chimney: All flashing and wood shingles at perimeter to be removed. Install new membrane flashing, wood shingles, step flashing, and counter flashing as per detail 2/A-801 and specifications.
- 3 Construction debris from previous phase adhered to top of chimney. Carefully remove as to avoid damage to original clay pot & recently applied mortar.
- 4 Existing pitch pocket to be removed carefully to ensure roofing is not damaged. Install new pitch pocket system d/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant as per detail 3/A-801.
- 5 All damaged wood roof shingles to be removed & new shingles installed. See specification for repair procedure.
- 6 Wood siding on walls above wood shingle roof to be removed & re-installed as required to achieve the roof / wall configuration illustrated in detail 4/A-801.
- 7 Lead coated copper cladding on ridge roll to have all existing solder removed & new applied at all seams. Where required new lead coated copper flashing to be installed as per detail 5/A-801.
- 8 Recently replaced fascia trim (feltmould) is misaligned in several locations. Trim to be re-aligned with gaps less than 6mm filled with wood filler & blended to match trim profile. Where new trim is required, new sections shall be scarf jointed to existing. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal.
- 9 All areas of modified bitumen roofing that are turning up at ends / edges to be re-adhered.



1 North Elevation

A-401 1 : 50



2 East Elevation

A-401 1 : 50

- 1 Existing chimney; All flashing and wood shingles at perimeter to be removed. Install new membrane flashing, wood shingles, step flashing, and counter flashing as per detail 2/A-801 and specifications.
- 2 Existing chimney; All lead coated copper flashing to be removed and new installed as per detail 1/A-801 and specifications.
- 3 All areas of modified bitumen roofing that are turning up at ends / edges to be re-adhered.
- 4 Existing pitch pocket to be removed carefully to ensure roofing is not damaged. Install new pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant as per detail 3/A-801.
- 5 All damaged wood roof shingles to be removed & new shingles installed. See specification for repair procedure.
- 6 Carefully remove wood siding and trims from walls as required to accommodate new 25x100mm trim board at base of siding along roof slope leaving a minimum gap of 3mm above wood shingles. Remove wood shingles immediately adjacent to wall and replace with new. Install new shingles within 6mm of wall sheathing. Reinstall wood siding after base trim is installed.
- 7 Lead coated copper cladding on ridge roll to have all existing solder removed & new applied at all seams. Where required new lead coated copper flashing to be installed as per detail 5/A-801.
- 8 Recently replaced fascia trim (feltmould) is misaligned in several locations. Trim to be re-aligned with gaps less than 6mm filled with wood filler & blended to match trim profile. Where new trim is required, new sections shall be scarf jointed to existing. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal.
- 9 All existing fascia and soffit boards to have all paint removed completely. Replace deteriorated & damaged sections as required. Remove all deteriorated caulking from fascia and recaulk all joints. Repaint fascia & soffit to match existing.
- 10 Recently replaced wood siding at south side of 'coal shed' to receive additional application of paint. All imperfections in previous applications to be sanded smooth & surface cleaned prior to application of new paint.
- 11 Section of stone foundation to be repaired. Replace stones where large voids are present. Remove loose & cracked mortar, paint & construction adhesive. Remove all solder from sill above foundation & re-solder all joints.
- 12 All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
- 13 Existing finished grade in this area is above the bottom edge of the wood siding. Adjust grade to be flush with bottom of wood wall. Remove all deteriorated siding and replace with new to match. Base course to be replaced with 25x140mm pressure treated board painted to match siding.
- 14 New trim boards at corners to receive additional application of paint. All imperfections in previous application of paint to be sanded smooth & surface cleaned prior to repainting. Original boards to have existing paint removed completely. All cracks & voids to be filled & sanded smooth prior to application of new paint.
- 15 Existing decorative trim pieces at top of corner trims to be replaced with new to match. Missing sections added to finish. New pieces to be scarf jointed to existing.
- 16 All new window & storm sashes to receive additional application of paint. All imperfections in previous applications to be sanded smooth & surface cleaned prior to repainting. All existing window trims, sills, & headers to have existing paint removed completely. All cracks & voids to be filled & sanded smooth prior to repainting. All deteriorated or damaged elements to be replaced with new to match. Install owner supplied storm sashes & hardware after repainting work is completed.
- 17 Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing.
- 18 Wood skirting at perimeter of deck to receive additional application of paint. All cracks & voids to be filled & sanded smooth prior to repainting; and all imperfections in previous paint applications to be sanded smooth & surface cleaned prior to repainting.
- 19 Existing wooden railing & decorative pickets at perimeter of verandah to receive additional application of paint. All cracks & voids to be filled & sanded smooth prior to repainting; and all imperfections in previous paint applications to be sanded smooth & surface cleaned prior to repainting. All damaged sections to be replaced with new to match. Fix alignment of previously repaired rails.
- 20 Existing wood posts supporting verandah roof are not properly aligned / poorly fitted. Posts, post caps, and/or post bases require minor adjustments to achieve proper alignment. Posts and bases that have been recently installed require additional application of green paint. Imperfections in previously applied paint to be sanded smooth prior to re-painting. Original post caps to have paint completely removed. All cracks to be filled with wood filler, and sanded smooth prior to re-painting.
- 21 Existing verandah filigree pieces to have all existing paint removed completely, & all cracks and voids to be filled & sanded smooth prior to repainting. Care to be taken with filigree work as elements are fragile. Remove metal straps only if wooden elements can be secured / reinforced by other means (eg. construction adhesive). All deteriorated or damaged areas to be repaired. Missing pieces to be added & blended into existing.
- 22 Existing sprinkler line drain termination penetrates roof here.
- 23 The underside of existing verandah roof structure is to have all existing paint removed completely, and be repainted gray to match existing.
- 24 Existing sprinkler lines under deck and verandah roof. coordinate with ongoing construction. Touch up paint where required.
- 25 Existing stone foundation; repair localized areas of paint scaling.
- 26 Existing exterior wood storm doors to have all existing paint removed completely. Fill all gaps & voids, & sand smooth prior to repainting. Not required for doors inside of storm doors.
- 27 Steel bars in front of basement windows to be cleaned as to remove all loose/flaking paint and rust. Repaint white to match existing.
- 28 Existing electrical conduit leaving building here and running underground to site lighting. Contractor to confirm all locations prior to any excavation on site.
- 29 Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
- 30 Deteriorated sill at dormer windows to be removed & replaced with new to match existing. Install new metal flashing & wood shingles as required. See detail 7/A-801.
- 31 Existing grade to be lowered as required to shed water away from building & prevent standing water.



Stamp
NEWFOUNDLAND AND LABRADOR
MEMBER
R. Symonds
Professional Architect
English: Oct. 21, 2014
Date: 2014-10-21
ASSOCIATION OF ARCHITECTS

General Notes
1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. All components that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size, profile & arrangement of various elements to be documented as to ensure they can be reinstated to match existing as accurately as possible. For wooden elements species of replacement to match the original.

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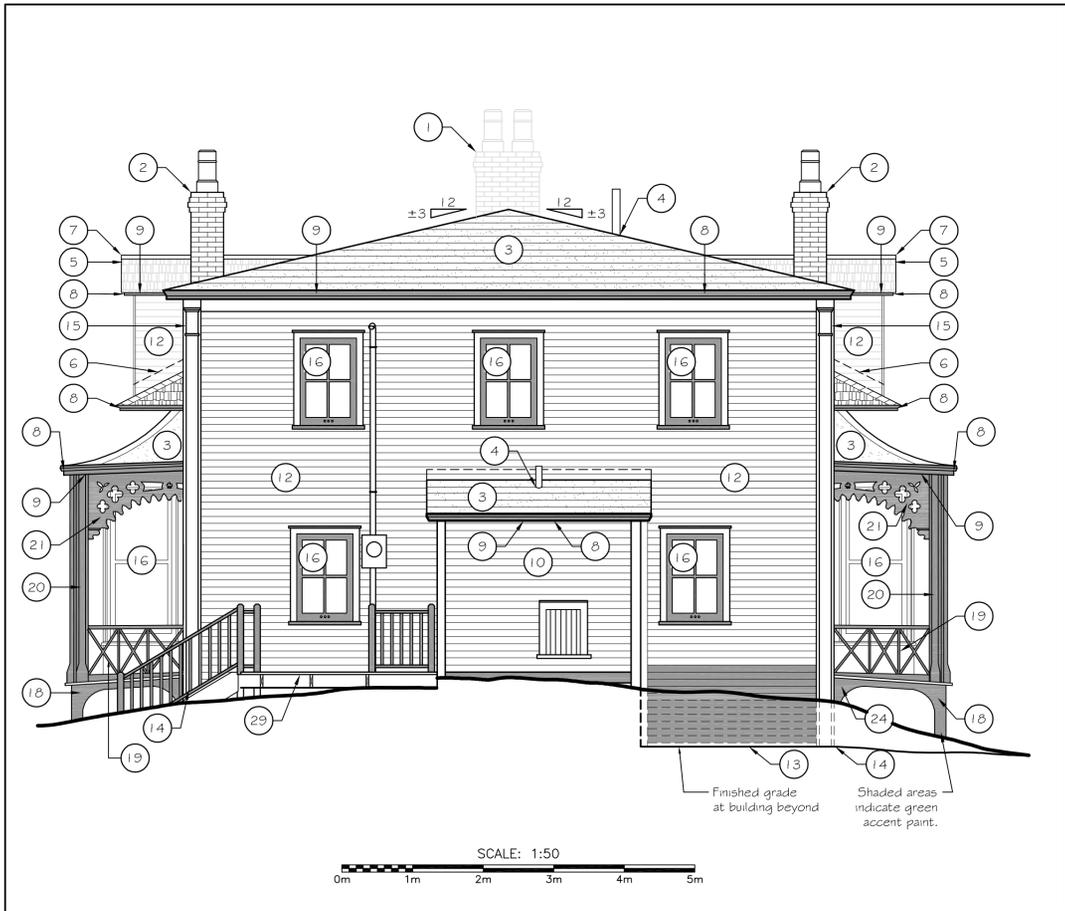
Projet Project

HAWTHORNE COTTAGE RESTORATION - PHASE II

Dessin Drawing

Elevations

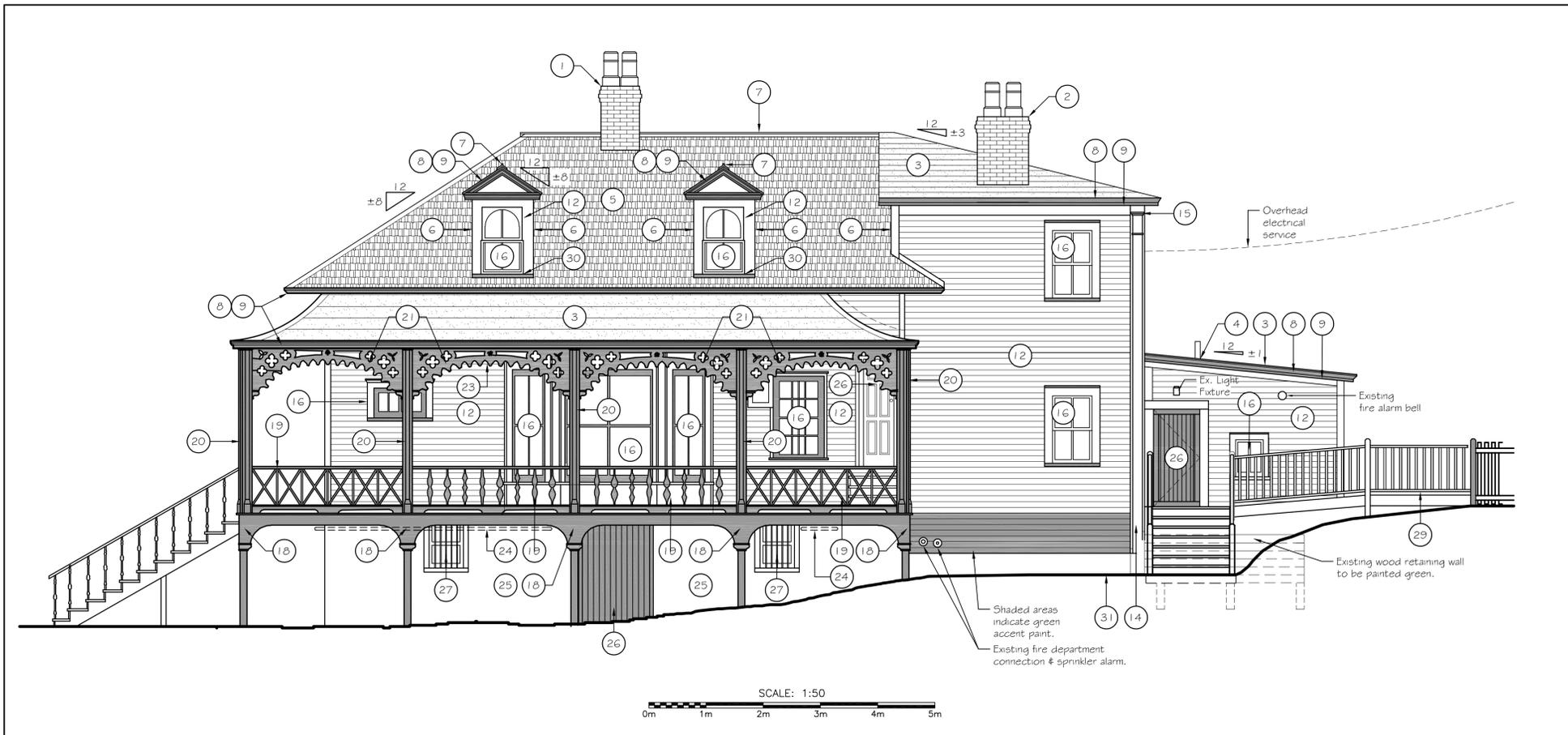
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Date	2019/04/23
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	Project no.
16-1475	
APC	PCA
No. du dessin	Drawing no.
A-401	



1 South Elevation

A-402 1 : 50

- 1 Existing chimney; All flashing and wood shingles at perimeter to be removed. Install new membrane flashing, wood shingles, step flashing, and counter flashing as per detail 2/A-801 and specifications.
- 2 Existing chimney; All lead coated copper flashing to be removed and new installed as per detail 1/A-801 and specifications.
- 3 All areas of modified bitumen roofing that are turning up at ends / edges to be re-adhered.
- 4 Existing pitch pocket to be removed carefully to ensure roofing is not damaged. Install new pitch pocket system c/w premanufactured urethane curb, polyether adhesive, and two-part urethane sealant as per detail 3/A-801.
- 5 All damaged wood roof shingles to be removed & new shingles installed. See specification for repair procedure.
- 6 Carefully remove wood siding and trims from walls as required to accommodate new 25x100mm trim board at base of siding along roof slope leaving a minimum gap of 13mm above wood shingles. Remove wood shingles immediately adjacent to wall and replace with new. Install new shingles within 6mm of wall sheathing. Reinstall wood siding after base trim is installed.
- 7 Lead coated copper cladding on ridge roll to have all existing solder removed & new applied at all seams. Where required new lead coated copper flashing to be installed as per detail 5/A-801.
- 8 Recently replaced fascia trim (feltmould) is misaligned in several locations. Trim to be re-aligned with gaps less than 6mm filled with wood filler & blended to match trim profile. Where new trim is required, new sections shall be scarf jointed to existing. Exact profile to be duplicated with sample of existing and new provided to Departmental Representative prior to extensive removal.
- 9 All existing fascia and soffit boards to have all paint removed completely. Replace deteriorated & damaged sections as required. Remove all deteriorated caulking from fascia and recaulk all fascia joints. Repaint fascia & soffit to match existing.
- 10 Recently replaced wood siding at south side of 'coal shed' to receive additional application of paint. All imperfections in previous applications to be sanded smooth & surface cleaned prior to application of new paint.
- 11 Section of stone foundation to be repaired. Replace stones where large voids are present. Remove loose & cracked mortar, paint & construction adhesive. Remove all solder from sill above foundation & re-solder all joints.
- 12 All wood siding and all associated trims (base, top, corner, window, etc.) to have all existing paint completely removed. Replace all deteriorated wood siding and trims with new to match. All areas to be replaced shall be coordinate with architect prior to commencing any restoration work. Repaint all siding & trims to match existing colour. Existing paint contains lead; see specifications for abatement procedures and treatment.
- 13 Existing finished grade in this area is above the bottom edge of the wood siding. Adjust grade to be flush with bottom of wood wall. Remove all deteriorated siding and replace with new to match. Base course to be replaced with 25x140mm pressure treated board painted to match siding.
- 14 New trim boards at corners to receive additional application of paint. All imperfections in previous applications to be sanded smooth & surface cleaned prior to repainting. Original boards to have existing paint removed completely. All cracks & voids to be filled & sanded smooth prior to application of new paint.
- 15 Existing decorative trim pieces at top of corner trims to be replaced with new to match. Missing sections added to finish. New pieces to be scarf jointed to existing.
- 16 All new window & storm sashes to receive additional application of paint. All imperfections in previous applications to be sanded smooth & surface cleaned prior to repainting. All existing window trims, sills, & headers to have existing paint removed completely. All cracks & voids to be filled & sanded smooth prior to repainting. All deteriorated or damaged elements to be replaced with new to match. Install owner supplied storm sashes & hardware after repainting work is completed.
- 17 Existing wooden trellis; install blocking as required to adequately fasten trellis to wood deck posts. Temporarily remove trellis if required to facilitate installation of new blocking. Blocking to be painted Green to match trellis and deck framing.
- 18 Wood skirting at perimeter of deck to receive additional application of paint. All cracks & voids to be filled & sanded smooth prior to repainting; and all imperfections in previous paint applications to be sanded smooth & surface cleaned prior to repainting.
- 19 Existing wooden railing & decorative pickets at perimeter of verandah to receive additional application of paint. All cracks & voids to be filled & sanded smooth prior to repainting; and all imperfections in previous paint applications to be sanded smooth & surface cleaned prior to repainting. All damaged sections to be replaced with new to match. Fix alignment of previously repaired rails.
- 20 Existing wood posts supporting verandah roof are not properly aligned / poorly fitted. Posts, post caps, and/or post bases require minor adjustments to achieve proper alignment. Posts and bases that have been recently installed require additional application of green paint. Imperfections in previously applied paint to be sanded smooth prior to re-painting. Original post caps to have paint completely removed. All cracks to be filled with wood filler, and sanded smooth prior to re-painting.
- 21 Existing verandah filigree pieces to have all existing paint removed completely, & all cracks and voids to be filled & sanded smooth prior to repainting. Care to be taken with filigree work as elements are fragile. Remove metal straps only if wooden elements can be secured / reinforced by other means (eg. construction adhesive). All deteriorated or damaged areas to be repaired. Missing pieces to be added & blended into existing.
- 22 Existing sprinkler line drain termination penetrates roof here.
- 23 The underside of existing verandah roof structure is to have all existing paint removed completely, and be repainted gray to match existing.
- 24 Existing sprinkler lines under deck and verandah roof. coordinate with ongoing construction. Touch up paint where required.
- 25 Existing stone foundation; repair localized areas of paint scaling.
- 26 Existing exterior wood storm doors to have all existing paint removed completely. Fill all gaps & voids, & sand smooth prior to repainting. Not required for doors inside of storm doors.
- 27 Steel bars in front of basement windows to be cleaned as to remove all loose/flaking paint and rust. Repaint white to match existing.
- 28 Existing electrical conduit leaving building here and running underground to site lighting. Contractor to confirm all locations prior to any excavation on site.
- 29 Existing deck boards to be removed & reinstalled with a minimum gap of 6mm to promote water drainage. All deteriorated elements to be replaced with new to match.
- 30 Deteriorated sill at dormer windows to be removed & replaced with new to match existing. Install new metal flashing & wood shingles as required. See detail 7/A-801.
- 31 Existing grade to be lowered as required to shed water away from building & prevent standing water.



2 West Elevation

A-402 1 : 50

Canada

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Gestion des biens et réalisation de projets Asset Management and Project Delivery

Région du Terre-Neuve Est Newfoundland East Region

Stamp

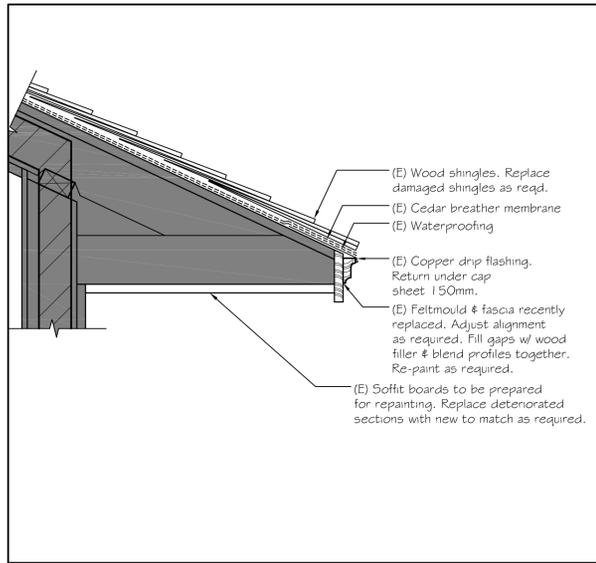
General Notes

1. Do not scale from this drawing. The Contractor is to verify all dimensions on site before proceeding with this work.
2. All components that are noted to be replaced with new or temporarily removed to refinish are to be thoroughly photographed prior to removal. Size, profile & arrangement of various elements to be documented as to ensure they can be reinstated to match existing as accurately as possible. For wooden elements species of replacement to match the original.

Consultants

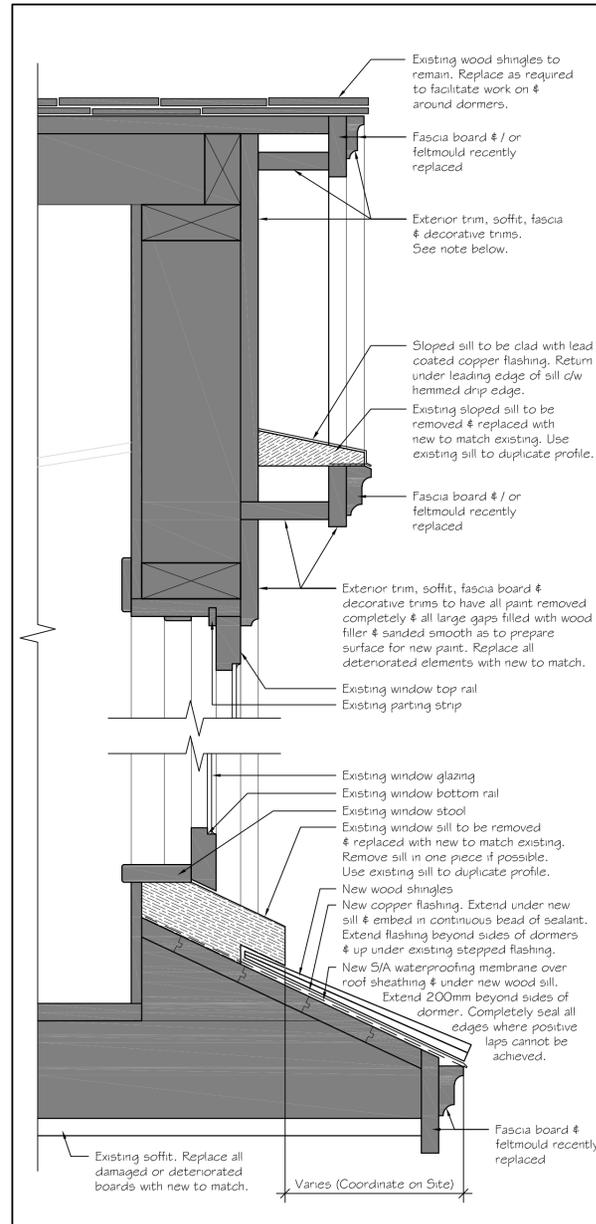
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R0	Issued For Tender	2019/06/14
revisions	description	date
A	A no. du detail detail no.	A
B	B sur dessin no. location drawing no.	B C
C	C drawing no. dessin no.	
Projet	Project	
HAWTHORNE COTTAGE RESTORATION - PHASE II		
Dessin	Drawing	
Elevations		
Designed By	R. Symonds	
Date	2019/04/23	
Drawn By	G. Martin	
Date	2019/04/23	
Reviewed By	R.Symonds	
Date	2019/04/23	
Approved By	Approver	
Date	yyyy/mm/dd	
No. du projet	16-1475	Project no.
APC		PCA
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A-402		



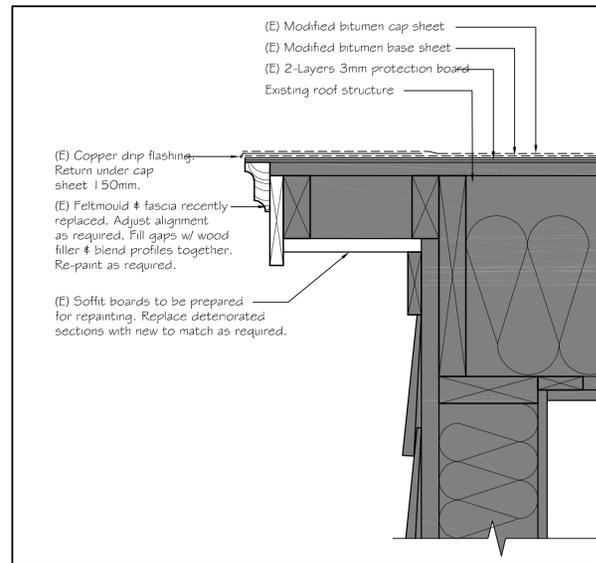
9 Section Detail - Wood Shingle Roof at Eave

A-801 1:10



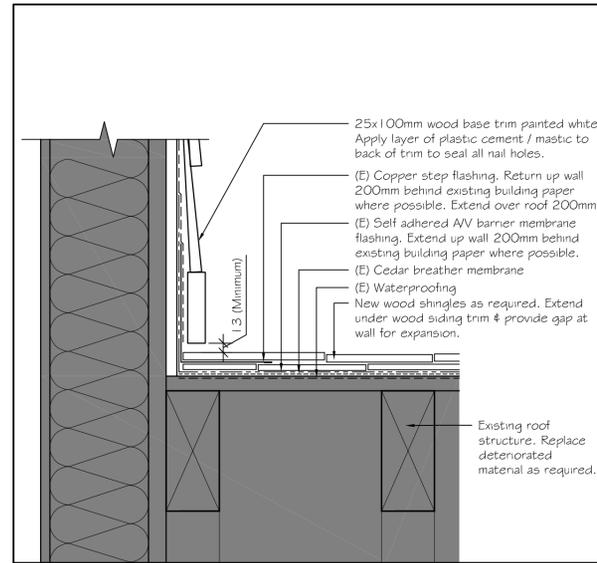
7 Section Detail - Dormer Window

A-801 1:5



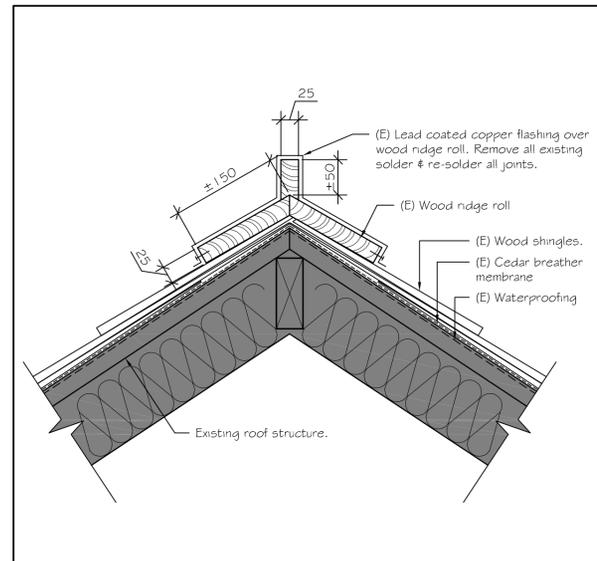
8 Section Detail - Lean-To Roof at Rake

A-801 1:5



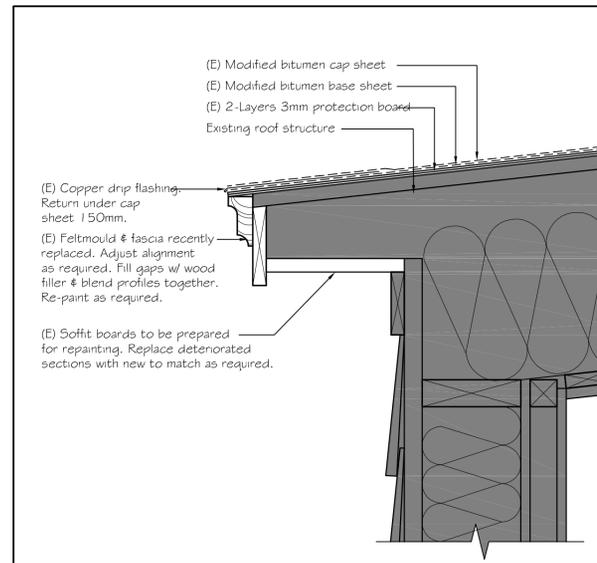
4 Section Detail - Shingle Roof at High Wall / Dormer

A-801 1:5



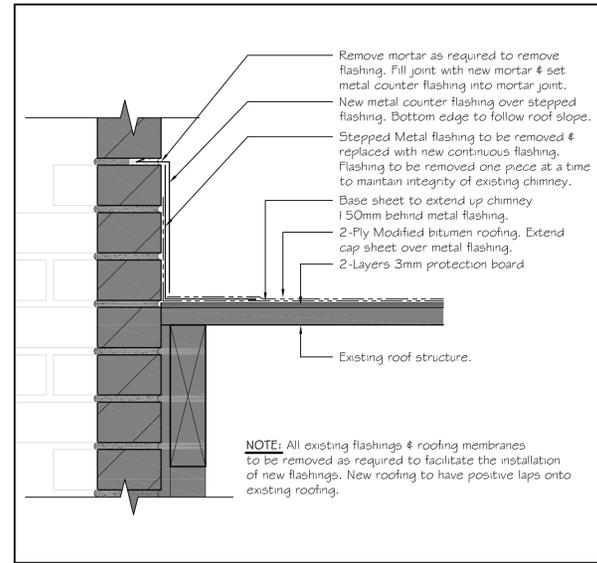
5 Section Detail - Ridge Roll (Typ.)

A-801 1:5



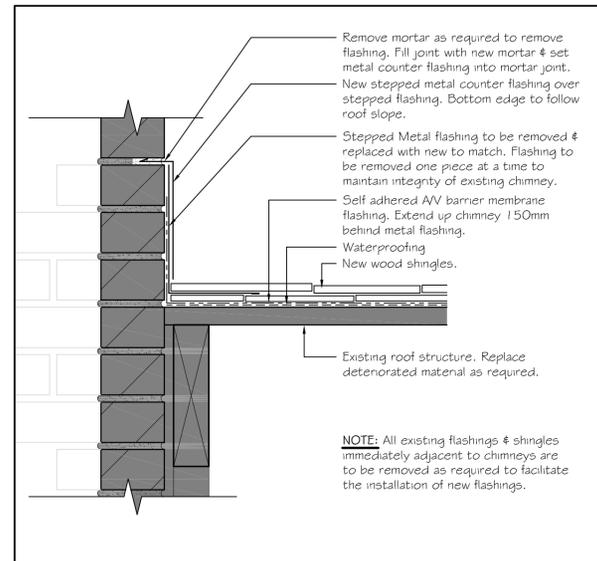
6 Section Detail - 2-Ply Mod-Bit Roof at Low Eave

A-801 1:5



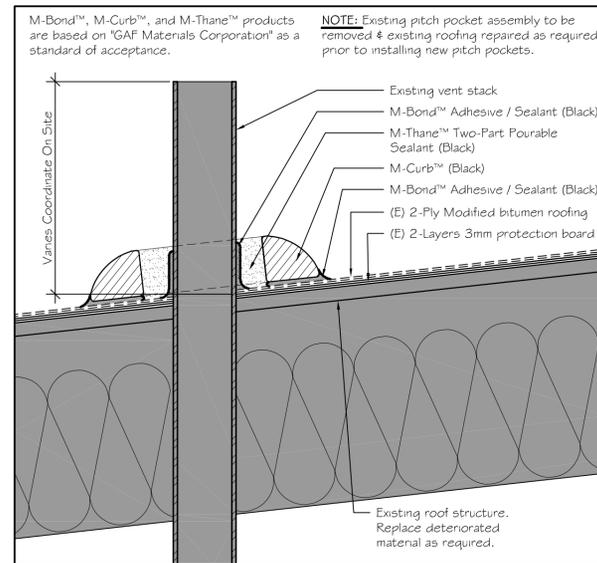
1 Section Detail - Chimney Flashing (Mod-Bit Roof)

A-801 1:5



2 Section Detail - Chimney Flashing (Shingle Roof)

A-801 1:5



3 Section Detail - Vent Stack Flashing (Typical)

A-801 1:5

Canada
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Région du Terre-Neuve Est / Newfoundland East Region

Stamp: R. Symonds, MEMBER, PROFESSIONAL ENGINEER, CIVIL, License No. 10114, ASSOCIATION OF ARCHITECTS

General Notes:
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3. (E) Indicates existing elements. See detail notes for further instruction.

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revisions	description	date
R0	Issued For Tender	2019/06/14

Project: HAWTHORNE COTTAGE RESTORATION - PHASE II

Details

Designed By	R. Symonds
Date	2019/05/08
Drawn By	G. Martin
Date	2019/05/08
Reviewed By	R. Symonds
Date	2019/05/08
Approved By	Approver
Date	yyyy/mm/dd
No. du projet	16-1475
APC	PCA
No. du dessin	A-801