

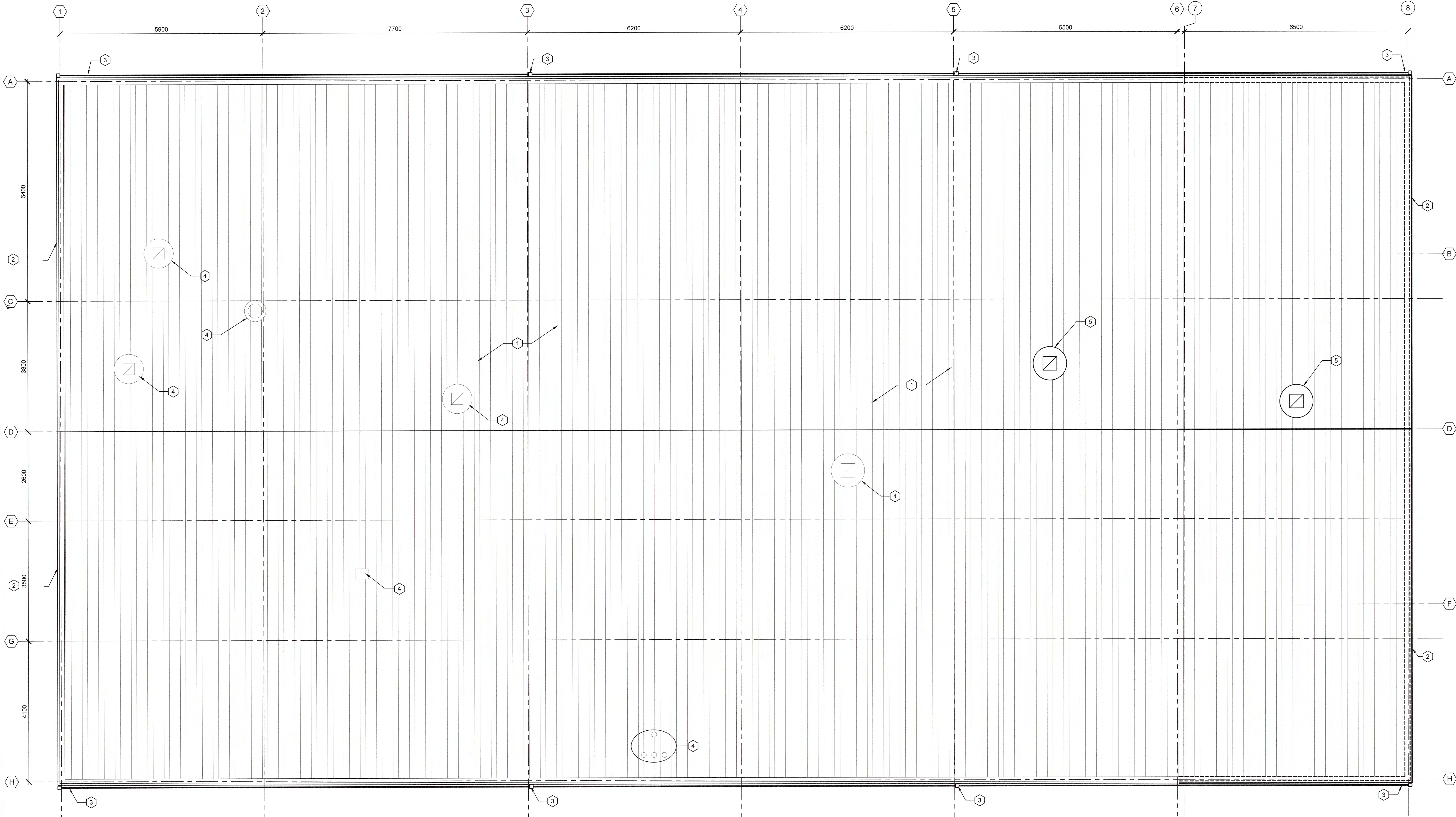
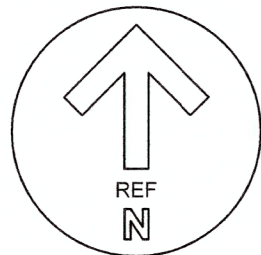
GENERAL NOTES

- THESE DRAWINGS REASONABLY REPRESENT EXISTING CONDITIONS. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN/IDENTIFIED ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS, CHECK ALL DIMENSIONS, AND VERIFY MATERIALS REQUIRED TO COMPLETE THIS WORK. CONTRACTOR SHALL INFORM THE DEPARTMENTAL REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY REMOVAL/RELOCATION/REINSTALLATION OF ELECTRICAL AND MECHANICAL SYSTEMS WHICH INTERFERE WITH COMPLETING THE REPAIR WORK INDICATED ON THE DRAWINGS. ELECTRICAL AND MECHANICAL SYSTEMS TO BE REINSTATED ONCE REPAIR WORK IS COMPLETE. ALL WORK MUST BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES BY CERTIFIED TRADES PEOPLE.
- COMPLETE ALL WORK IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA 2015.
- COORDINATE REMOVAL AND REINSTALLATION OF ROOF TOP STRUCTURES AND EQUIPMENT WITH OTHERS AS REQUIRED TO INSTALL NEW ROOFING SYSTEM. GENERAL CONTRACTOR IS RESPONSIBLE FOR EXTENDING ALL UTILITIES AND DUCTWORK AS REQUIRED TO RECONNECT EQUIPMENT FOR COMPLETE INSTALLATION. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES.
- BUILDING IS TO REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. CONTRACTOR TO MAINTAIN OPERATIONAL STATUS. SECURITY AND WEATHER PROTECTION OF BUILDING. COORDINATE WORK SCHEDULE WITH OWNER SO AS TO MINIMIZE DISRUPTIONS TO BUILDING OPERATIONS.
- EXECUTE WORK BY METHODS TO AVOID DAMAGE TO OTHER EXISTING COMPONENTS AND FINISHES WHERE POSSIBLE.

- ALL EXISTING SURFACES THAT ARE TO RECEIVE NEW FINISHES ARE TO BE PREPARED AS PER MANUFACTURERS RECOMMENDATION AND INSTRUCTIONS.
- FRAME OPENING IN EXISTING EXTERIOR WALL AS REQUIRED TO FACILITATE INSTALLATION OF NEW DOORS c/w HARDWARE. 'MAKE GOOD' ANY DAMAGE TO EXISTING FINISHES.
- INSTALL TEMPORARY CLOSURES TO OPENING IN EXTERIOR WALLS AND ROOF AS REQUIRED TO MAINTAIN SECURITY AND PROTECT BUILDING INTERIOR FROM THE ELEMENTS.
- REFER TO SPECIFICATION SECTION 01 35 13.13 SPECIAL PROCEDURES FOR AIRPORT FACILITIES.

CONSTRUCTION NOTES:

- PRE-FINISHED METAL ROOF. REFER TO DETAIL 6/A11 FOR PROFILE.
- PRE-FINISHED METAL GABLE TRIM. REFER TO DETAIL 1/A11.
- PRE-FINISHED DOWNSPOUTS AND GUTTERS c/w PRE-CAST CONCRETE SPLASH PAD. REFER TO DETAIL 2/A11.
- EXISTING ROOF TOP EQUIPMENT (EXHAUST FAN, EXHAUST HOOD, PLUMBING VENTS, ETC.) TO REMAIN.
- NEW ROOF MOUNTED EXHAUST FAN. SEE MECHANICAL DRAWINGS. COORDINATE WITH STRUCTURAL FOR OPENING. REFER TO GENERAL NOTES 3 & 6.



NEW ROOF PLAN

SCALE: 1:50



1

A8



CO2	ISSUED FOR TENDER	02/14 2019
CO1	ISSUED FOR TENDER	09/28 2018
revisions		date
project		projet

MAINTENANCE GARAGE  
REHABILITATION  
ST. ANTHONY AIRPORT

drawing dessin

NEW ROOF PLAN

designed	N.S.	conçu
date	2016.11.22	
drawn	A.M.	dessiné
date	2016.11.22	
approved	K.S.	approuvé
date	2016.11.22	
Tender	2016.11.22	Submission
PWGSC Project Manager	Administrateur de projets	TPSGC
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