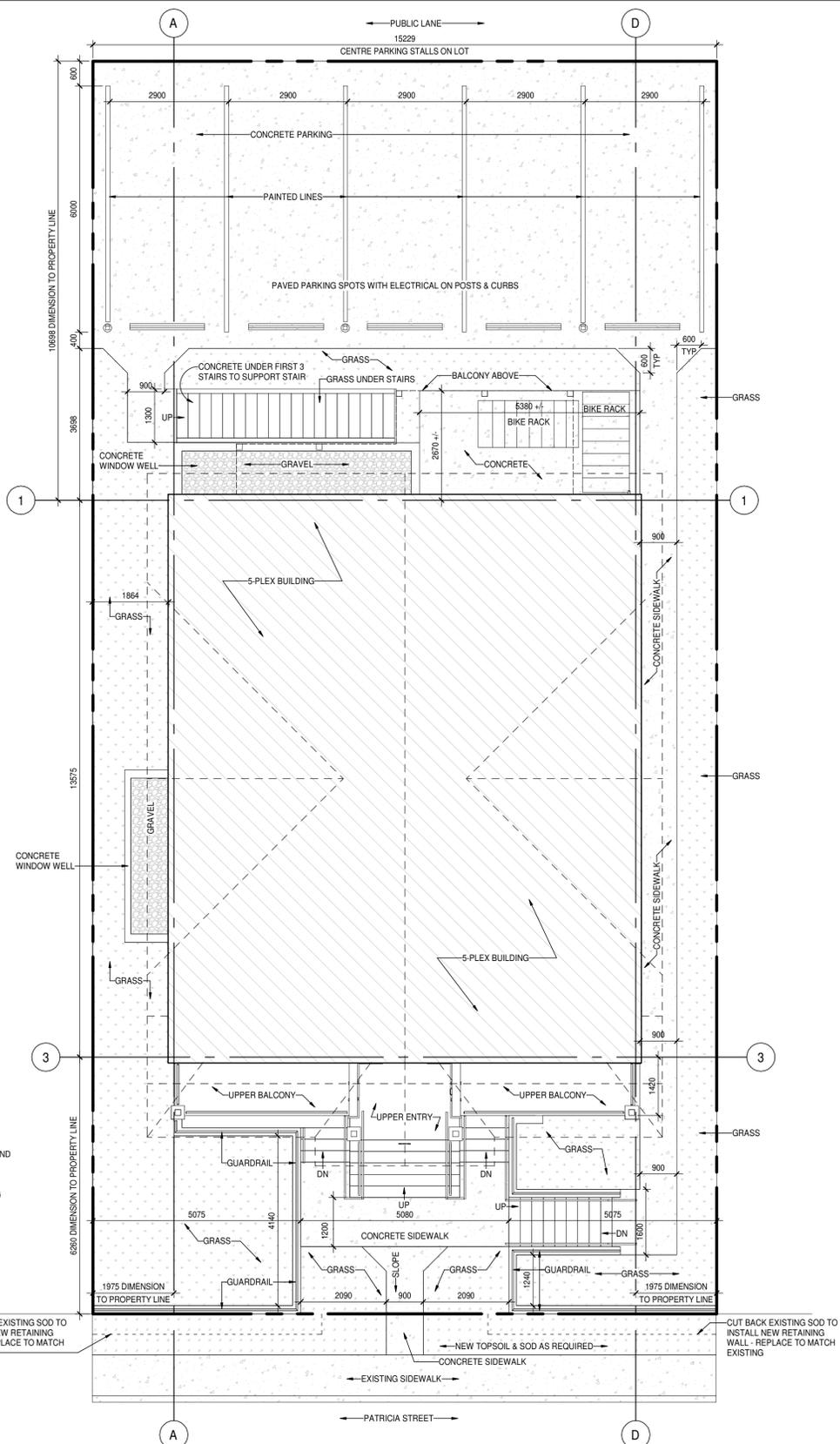


- SITE PLAN DEMOLITION GENERAL NOTES:**
- BUNGALOW TO BE REMOVED OFF BASEMENT FOUNDATIONS AND MOVED TO WAPITI CAMPGROUND (6km TRAVEL DISTANCE). BUNGALOW TO BE TRANSFERRED TO TEMPORARY CRIBBING AT WAPITI CAMPGROUND TO BE PROVIDED BY CONTRACTOR.
  - EXISTING EXTERIOR SIDING ON BUNGALOW, SHED AND GARAGE IS FINISHED WITH LEAD PAINT WHICH WILL NEED TO BE ABATED. THE BUNGALOW WILL NEED TO BE ABATED PRIOR TO MOVING THE BUNGALOW TO WAPITI CAMPGROUND. CONTRACTOR TO SUBMIT A REMEDIATION PLAN TO DEPARTMENTAL REPRESENTATIVE FOR APPROVAL PRIOR TO COMPLETING THE WORK.
  - ELECTRICAL & GAS SERVICE TO BE TURNED OFF AND TEMPORARILY DISCONNECTED PRIOR TO DEMOLITION.
  - REMOVED ALL EXISTING TREES AND VEGETATION ON SITE.
  - ALLOW FOR SUB-GRADE BOULDER REMOVAL UP TO 1500mm DIAMETER.



- SITE INFORMATION**
- TOTAL SITE AREA = 464.97M<sup>2</sup>
  - SITE COVERAGE = 160M<sup>2</sup>
  - TOTAL AREA MINUS BUILDING AREA = 304.97 M<sup>2</sup>
  - 50% TOTAL SITE MUST BE LANDSCAPED = 152.48M<sup>2</sup> (177.296M<sup>2</sup>)
  - 50% OF REQUIRED LANDSCAPING MUST BE SOFT = 76.25M<sup>2</sup> (107.36M<sup>2</sup>)
  - FRONT YARD CAN HAVE A MAXIMUM OF 40% HARD SCAPING.
  - FRONT YARD AREA = 91.57M<sup>2</sup> = 36.548M<sup>2</sup> HARDSCAPED (36.534M<sup>2</sup>) / 54.822M<sup>2</sup> SOFTSCAPED (54.836M<sup>2</sup>)
  - GROSS FLOOR AREA = 475M<sup>2</sup>
  - BUILDING HEIGHT = 9.36M

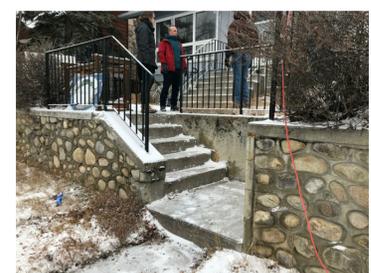
- LEVEL PROJECT ELEVATION, GEODETIC ELEVATION**
- TOP OF SECOND FLOOR, 102820, 1070.50m
  - TOP OF STAIR LANDING BETWEEN MAIN AND SECOND FLOOR, 101410, 1069.09m
  - TOP OF MAIN FLOOR, 100000, 1067.68m
  - TOP OF WINDOW WELLS, 99550, 1067.03m
  - NORTH GRADE, 99250, 1056.93m
  - TOP OF SOUTH RETAINING WALLS (FRONT ENTRANCE), 99250, 1066.93m
  - TOP OF STAIR LANDING BETWEEN BASEMENT AND MAIN FLOOR/ENTRY LANDING LEVEL, 98590, 1066.27m
  - SOUTH GRADE/SIDEWALK 97800, 1065.28m
  - TOP OF EXISTING MUNICIPAL SIDEWALK 97560, 1065.24m
  - TOP OF BASEMENT FLOOR 97180, 1064.86m

1 SITE DEMOLITION PLAN  
A1.0 1:75

2 SITE PLAN  
A1.0 1:75



EXISTING HOUSE FRONT OF PROPERTY



EXISTING RETAINING WALL & STAIR



EXISTING HOUSE BACK OF PROPERTY



EXISTING HOUSE & GARAGE BACK OF PROPERTY

Revision	Description	Date
1	ISSUED FOR CONSTRUCTION	2019/10/29

Client: PSPC

10025 JASPER AVE  
EDMONTON, ALBERTA, T5J 1S6  
PH. 780-919-9445

Project Title: JASPER STAFF HOUSING CONSTRUCTION

5 PLEX

902 PATRICIA STREET,  
JASPER, AB, T0E 1E0

Designed by	MS	Conçu par	MS
Drawn by	MS/UL	Dessiné par	MS/UL
Approved by	MS	Approuvé par	MS
PWCSC Project Manager - Administrateur de Projets TPSCC		ROB HAFER	
Drawing Title	SITE DEMOLITION PLAN / SITE PLAN		

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
R.100429.001	A1.0	1