



ADDENDUM #2

Solicitation Number: 19-1252

Title: Building 50 - Laboratory Renovation, Rooms EW- 6, EW- 14, EW-15 and EW-16 - CEF, Ottawa.

Date: December 17, 2019

The following supplements and/or supersedes the Invitation to Tender documents issued on November 29th, 2019. This addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. Any change to the cost of the work as a result of this addendum is to be included in the price proposal. The following revisions supersede the information contained in the original Invitation to Tender Package for the above-mentioned project to the extent referenced and shall become part thereof.

Drawings:

1. Sheet A-101:

- a) Drawing 1/A-101: Delete keynote marker # 02 at door between room EW-14 and EW-15 as indicated.
- b) Drawing 2/A-101: Delete keynote marker # 02 at door between room EW-14 and EW-15 as indicated.
- c) Proposed Floorplan notes: Revise note #18 as indicated. See sheet A-101 below.

NOTES:

MECHANICAL/ELECTRICAL ADDENDUM

1.0 MECHANICAL

1.1 SPECIFICATIONS

.1 Refer to Section 11 Packaged Rooftop Unit

- .1 Provide stand-alone controls for rooftop unit. Controls to be supplied by air handling unit manufacturer.

1.2 DRAWINGS

.1 Refer to Drawing No. M-201

- .1 Contractor to take pre-construction fan performance measurement from existing fume hood exhaust fan prior to construction. Air balancing contractor shall be NEBB certified. Outside air volume for new air handling unit shall be set to equal fume hood exhaust air flow.

.2 Refer to Drawing No. M-301

.1 Rooftop Unit Sequence of Operation:

- .1 The system is enabled at the local control panel, supplied by the air handling unit manufacturer. The supply fan shall be enabled to run continuously. The outside air damper shall be set to equal the fume hood exhaust air flow (to be confirmed by air balancing contractor prior to construction). The air handling unit controls shall be capable of time of day scheduling.
- .2 During the heating season, gas heating shall be enabled as required to maintain the room air temperature set-point of 22°C (adjustable). Gas heating shall be locked out when the outdoor air temperature is above 15°C (adjustable). Supply air temperature shall be maintained at 30°C (adjustable) by modulating the gas burner.
- .3 During the cooling season, cooling shall be enabled as required to maintain the room air temperature set-point of 24°C (adjustable). Mechanical cooling shall be locked out when the outdoor air temperature is below 12°C (adjustable). Supply air temperature shall be maintained at 14°C (adjustable) by modulating the condenser fans.

QUESTION AND ANSWER: (Q & A)

Q1. In reference to the project is there a building automation system, DDC currently in this building and if so would you please provide the name of the provider?

A1. See notes above

Q2. Alternatively is the intent to have renovated area's be controlled by a standalone system?

A2. Provide stand-alone controls for rooftop unit. Controls to be supplied by air handling unit manufacturer.

Q3. What are the hours of work?

A3. Work should be done during normal weekdays, Monday to Friday, daytime working hours are 7:00am to 5:00pm.

Q4. For Ethernet and telephone – are we to provide infrastructure or retain data contractor to run and hook up outlets?

A4. Drawings currently indicate these items as part of the General Contractor's scope of work.

Q5. Roof pictures – please provide any roof pictures as there was not access during showing.

A5. See roof pictures below.

Q6. Note 14 – refurbish cabinets – are the cabinets to be finished to match existing color, or is a new color required?

A6. Refurbished cabinets to be repaired, primed and painted. Refer to General Notes sheet A-103.

Q7. On Drawing M401, detail 5; Is the condenser steel support finish to be galvanized or painted?

A7. No preference for finish, both are acceptable. The most common pre-manufactured stands seen are the Quick-Sling which is powder coated and the EcoFrame which is electroplated zinc coated. The contractor may be choose to fabricate their own stand which is also acceptable.

Q8. Can you please clarify roof structure under the rooftop unit on M301, detail 1?

A8. Detail 1 on M301 is the standard air handling unit detail. The contractor should refer to the structural drawings for the roof structure. See similar details on SK4, that shows what is likely a more accurate depiction of the roof structure.

Q9. Can you indicate what general area(s) will be open and require overhead protection during the work?

A9. Due to the flat roof being surrounded by the mansard metal roof and the existence of a canopy over the entrance located on the west elevation, an overhead protection is not required. However, protection on the glass canopy on the north elevation, as I mentioned in the Drawing Roof-Plan-Sections Note #9 (Addendum 2), is required.

Q10. Can we get more information about the linoleum sheet flooring to be installed? there is no preferred manufacturer specified?

A10. There is no preferred manufacturer. Contractor to supply linoleum sheet flooring to meet the performance specification provided. AAFC shall select colour / pattern from the chosen manufacturer's standard colour palette.

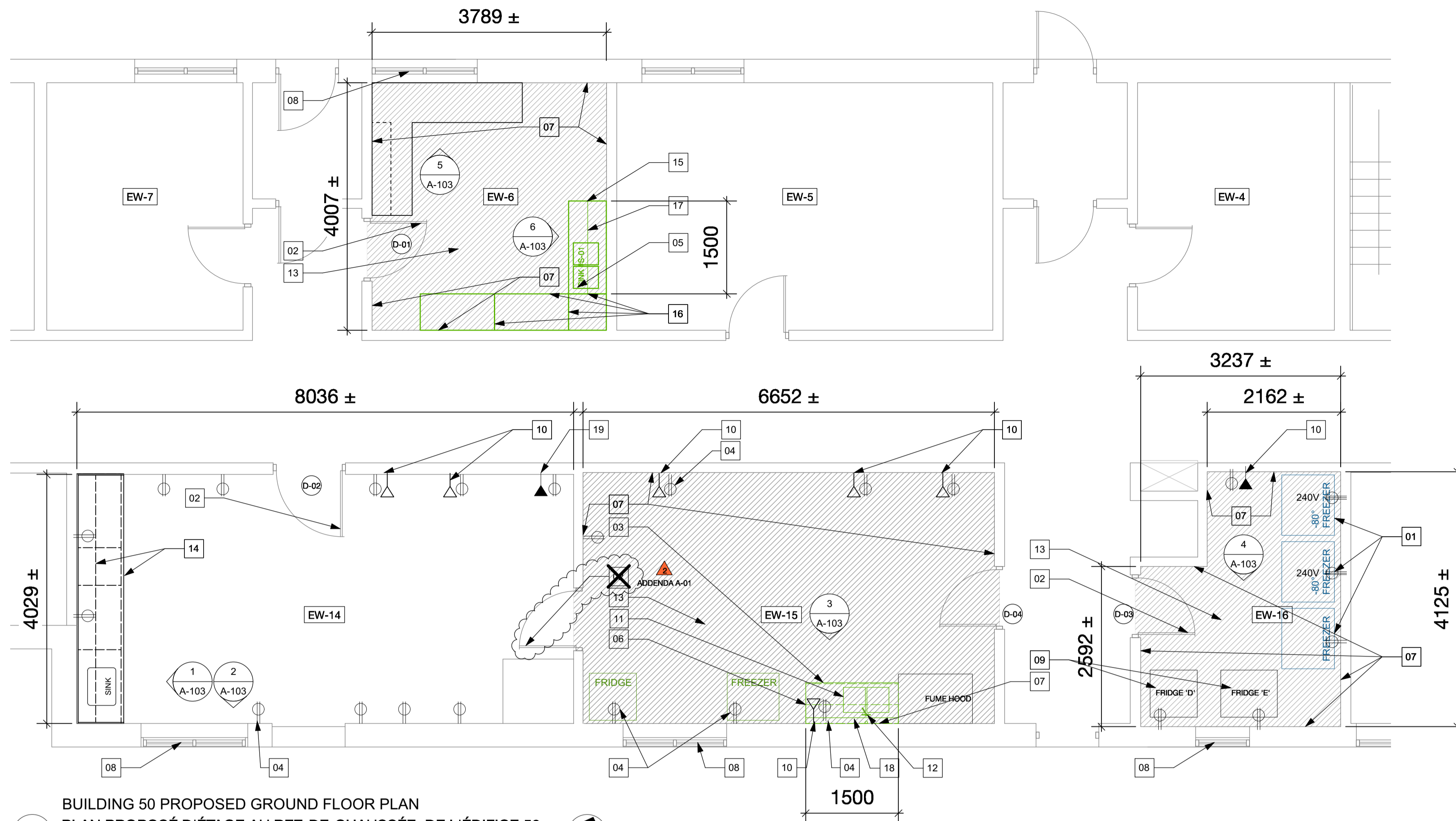
ALL OTHER TERMS AND CONDITIONS REMAIN THE SAME.

End of Addendum #2





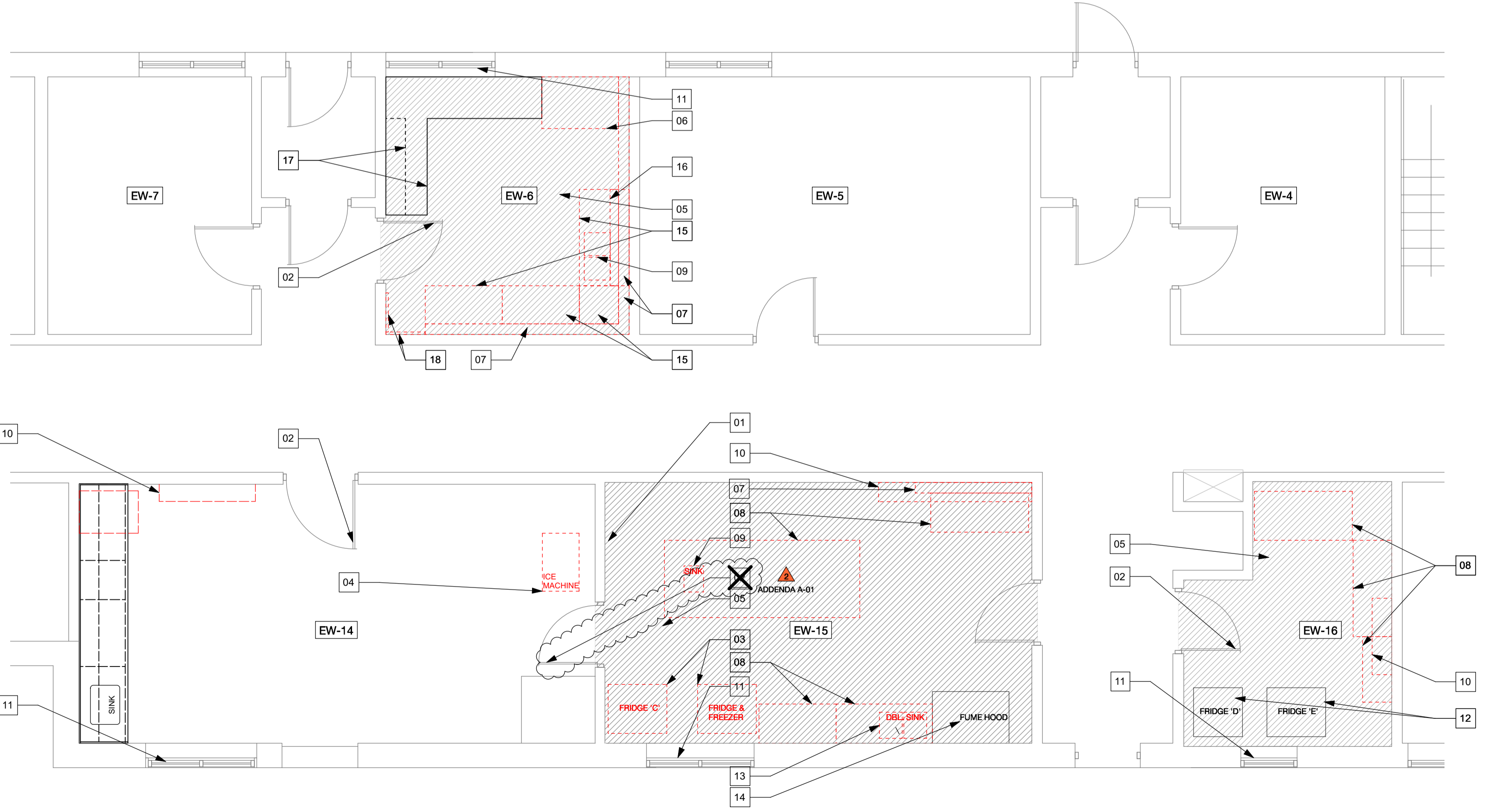




- Proposed Floorplan Notes / Notes - Plan d'étage proposé**
- INSTALL NEW -80° C FREEZER LOCATION. SUPPLIED BY OWNER.
INSTALLER UN NOUVEAU CONGÉLATEUR DE -80 DEGRÉS CELSIUS À CET ENDROIT, LEQUEL CONGÉLATEUR SE DEVANT D'ÊTRE FOURNI PAR LE PROPRIÉTAIRE.
 - INSTALL NEW DOOR HANDLE (LEVER SET).
 - INSTALL NEW MILLWORK. RE-INSTALL EXISTING STAINLESS STEEL COUNTERTOP AND SINK.
MONTER DE NOUVEAUX TRAVAUX D'ÉBÉNISTERIE. REMONTER L'ÉVIER ET LE DESSUS DE COMPTOIR EXISTANTS ET EN ACIER INOXYDABLE.
 - INSTALL NEW POWER OUTLETS (REFER TO ELECTRICAL).
INSTALLER DE NOUVELLES SORTIES DE COURANT; SE REPORTER À L'ÉLECTRICITÉ.
 - INSTALL NEW SINK & STAINLESS STEEL COUNTERTOP.
MONTER UN ÉVIER ET UN DESSUS DE COMPTOIR NEUFS ET EN ACIER INOXYDABLE.
 - INSTALL NEW UPPER CABINETS.
INSTALLER DE NOUVELLES ARMOIRES SUPÉRIEURES.
 - PATCH EXISTING GYPSUM BOARD (TYP) AND RE-PAINT ALL WALLS (P1).
RAPIÉCER LE GYPSE EXISTANT (DÉTAIL TYPIQUE) ET REPEINDRE TOUS LES MURS (P1).
 - INSTALL NEW ROLLER BLINDS.
INSTALLER DE NOUVEAUX STORES À ENROULEMENT.
 - REINSTALL EXISTING REFRIGERATORS.
REINSTALLER LES RÉFRIGÉRATEURS EXISTANTS.
 - INSTALL NEW ETHERNET OUTLET.
MONTER UNE NOUVELLE SORTIE « ETHERNET ».
 - REINSTALL EXISTING COUNTERTOP AND SINK.
REMONTER L'ÉVIER ET LE DESSUS DE COMPTOIR EXISTANTS.
 - INSTALL NEW EMERGENCY EYEWASH AND FAUCET. REFER TO MECHANICAL DRAWINGS.
MONTER UN NOUVEAU POSTE DE LAVAGE OCULAIRE EN CAS D'URGENCE ET UN NOUVEAU ROBINET ASSORTI. SE REPORTER AUX DESSINS DE MÉCANIQUE.
 - INSTALL NEW RESILIENT FLOORING AND 102mm HIGH WALL BASE (TYP).
MONTER UN NOUVEAU REVÊTEMENT DE SOL SOUPLE ET UNE NOUVELLE PLINTHE MURALE ET ASSORTIE ET DE 102 mm DE HAUTEUR. DÉTAIL TYPIQUE.
 - REFURBISH / PAINT EXISTING UPPER AND LOWER CABINETS. REFER TO SHEET A-103.
REMETTRE À NEUF ET (OU) PEINDRE LES ARMOIRES EXISTANTES ET SUPÉRIEURES ET INFÉRIEURES. SE REPORTER À LA FEUILLE A-103.
 - INSTALL NEW COUNTERTOP (C1).
MONTER UN NOUVEAU DESSUS DE COMPTOIR (C1).
 - RELOCATE EXISTING CABINETRY & MILLWORK.
DÉPLACER LES ARMOIRES ET LES TRAVAUX D'ÉBÉNISTERIE EXISTANTS.
 - RE-INSTALL EXISTING SHELIVING.
REMONTER LES ÉTAGÈRES EXISTANTES.
 - FURR OUT KNEE WALL- SEE 8/A-103.
MUR NAIN, À AMÉNAGER AVEC DES PROFILÉS DE FOURRURE RESSORTANT. VOIR LE DÉTAIL 8/A-103.
 - NEW TELEPHONE OUTLET.
NOUVELLE SORTIE DE COMMUNICATION PHONIQUE.

BUILDING 50 PROPOSED GROUND FLOOR PLAN
PLAN PROPOSÉ D'ÉTAGE AU REZ-DE-CHAUSSÉE, DE L'ÉDIFICE 50
 Scale: 1:50 Echelle: 1:50

- Demolition Plan Notes / Notes - Plan des ouvrages de démolition**
- REMOVE EXISTING COAT HOOKS.
ENLEVER LES CROCHETS À MANTEAUX EXISTANTS.
 - REMOVE EXISTING DOOR KNOB (SEE DOOR AND HARDWARE SCHEDULE).
ENLEVER LA POIGNÉE DE PORTE EXISTANTE; VOIR LA NOMENCLATURE DES PIÈCES DE QUINCAILLERIE.
 - REMOVE EXISTING EQUIPMENT (NIC).
ENLEVER L'APPAREILLAGE EXISTANT (NON INCLUS AU PRÉSENT CONTRAT).
 - REMOVE EXISTING EQUIPMENT AND RELOCATE PER OWNER'S INSTRUCTIONS.
ENLEVER L'APPAREILLAGE EXISTANT ET LE DÉPLACER EN CONFORMITÉ AVEC LES INSTRUCTIONS DU PROPRIÉTAIRE.
 - REMOVE EXISTING FLOORING AND WALL BASE.
ENLEVER LA PLINTHE MURALE ET LE REVÊTEMENT DE SOL EXISTANTS.
 - REMOVE EXISTING FUME HOOD.
ENLEVER LA HOTTE DE FUMÉE EXISTANTE.
 - REMOVE EXISTING FURRED OUT WALL / LEDGE.
ENLEVER LE MUR ET (OU) L'OUVRAGE DE BORDURE EXISTANTS, LESQUELS ÉTANT AMÉNAGÉS AVEC DES PROFILÉS DE FOURRURE.
 - REMOVE EXISTING MILLWORK.
ENLEVER L'OUVRAGE D'ÉBÉNISTERIE EXISTANT.
 - REMOVE EXISTING STAINLESS STEEL COUNTERTOP & SINK.
ENLEVER L'ÉVIER ET LE DESSUS DE COMPTOIR EXISTANTS, EN ACIER INOXYDABLE.
 - REMOVE EXISTING UPPER CABINETS / SHELVES.
ENLEVER LES ARMOIRES SUPÉRIEURES EXISTANTES ET CE, COMPTE TENU DE LEURS ÉTAGÈRES.
 - REMOVE EXISTING WINDOW BLINDS.
ENLEVER LES STORES DE FENÊTRES EXISTANTS.
 - TEMPORARILY RELOCATE REFRIGERATORS TO PERMIT FLOORING REMOVAL (NIC).
DÉPLACER TEMPORAIREMENT LES RÉFRIGÉRATEURS ET CE, AFIN DE PERMETTRE L'ENLÈVEMENT DU REVÊTEMENT DE SOL, LEQUEL ENLÈVEMENT NE RELEVANT PAS DU PRÉSENT CONTRAT.
 - REMOVE EXISTING SINK. REINSTALL ON NEW MILLWORK.
ENLEVER L'ÉVIER EXISTANT. À REMONTER SUR DE NOUVEAUX TRAVAUX D'ÉBÉNISTERIE.
 - EXISTING FUMEHOOD TO REMAIN.
CONSERVER LA HOTTE DE FUMÉE EXISTANTE.
 - RELOCATE EXISTING MILLWORK.
DÉPLACER LES TRAVAUX EXISTANTS D'ÉBÉNISTERIE.
 - RELOCATE EXISTING SHELIVING.
DÉPLACER LES ÉTAGÈRES EXISTANTES.
 - EXISTING MILLWORK AND SHELIVING TO REMAIN.
CONSERVER LES ÉTAGÈRES ET TRAVAUX D'ÉBÉNISTERIE EXISTANTS.
 - REMOVE EXISTING UNI-STRUT BARS (TYP)
ENLEVER LES BARRES EXISTANTES À ÉTRÉSILLONS (DÉTAIL TYPIQUE).



BUILDING 50 DEMOLITION GROUND FLOOR PLAN
PLAN DES OUVRAGES DE DÉMOLITION AU REZ-DE-CHAUSSÉE, DE L'ÉDIFICE 50
 Scale: 1:50 Echelle: 1:50

SEAL / SCEAU

CONSULTANTS / EXPERTS-CONSEILS

KEY PLAN / PLAN CLÉ

#	ISSUE / REVISION	DATE
01	ISSUED FOR CLIENT REVIEW	OCT 7, 2019
01	À FAIRE RÉVISER PAR LE CLIENT	7 OCT 2019
ADDENDA A-01		DEC 12, 2019

PROJECT NAME

CENTRAL EXPERIMENTAL FARM
Building 50
Labs/Genomics
RENOVATIONS
 OTTAWA, ON

NOM DU PROJET

FERME EXPÉRIMENTALE CENTRALE
Édifice 50
Laboratoires/
Génomique
RÉNOVATIONS
 OTTAWA, ONTARIO

SHEET TITLE / TITRE DE LA FEUILLE

BUILDING 50
PLANS
ÉDIFICE 50
PLANS

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PROJECT / PROJET #: 19012

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SHEET / FEUILLE