



Revision	Description	Date
1	ISSUED FOR CONSTRUCTION	2020/03/06
Client		client

PSPC

10025 JASPER AVE
EDMONTON, ALBERTA, T5J 1S6
PH. 780-919-9445

Project Title
JASPER STAFF HOUSING CONSTRUCTION

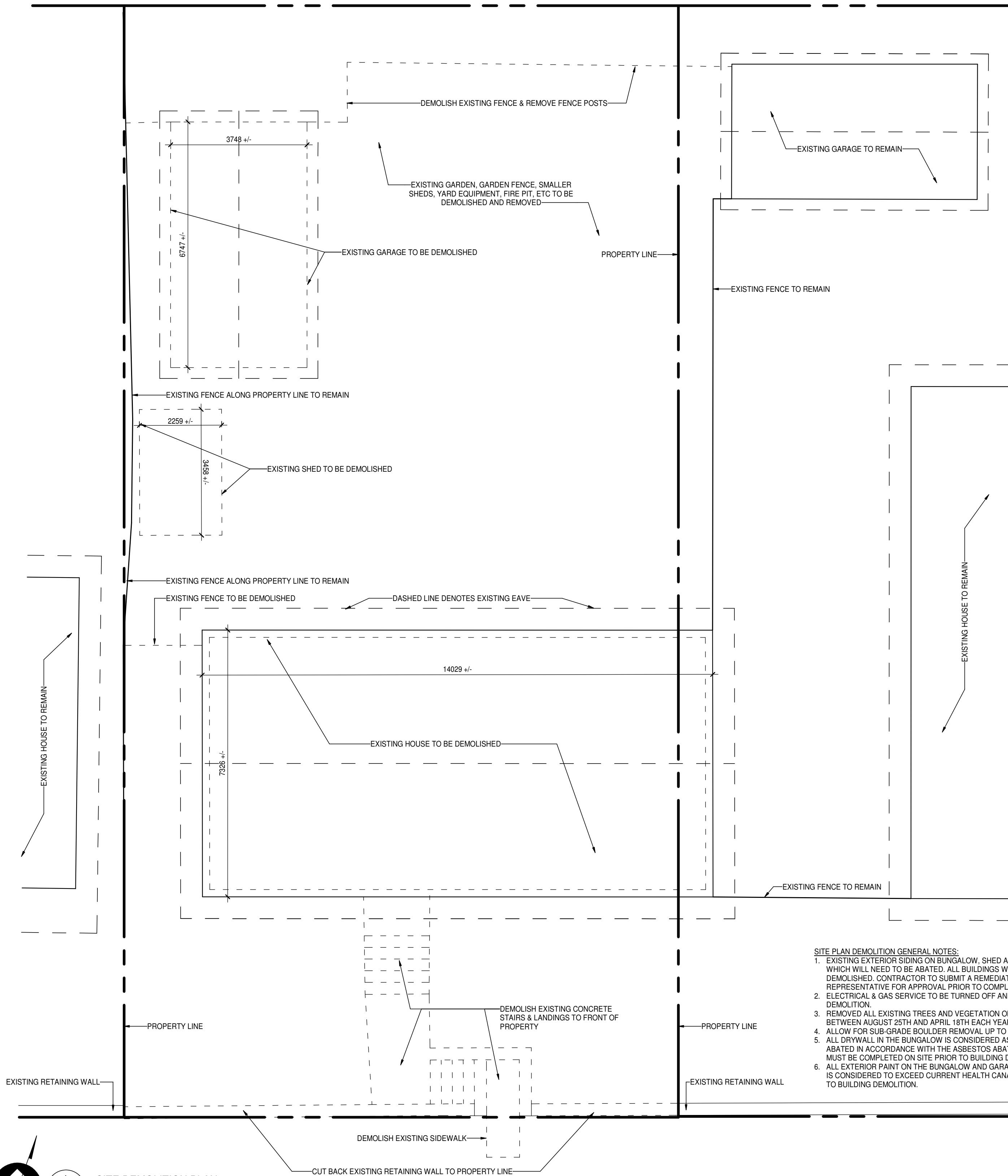
5 PLEX

902 PATRICIA STREET,
JASPER, AB, T0E 1E0

Designed by MS	Conçu par MS/UL
Drawn by MS/UL	Dessiné par MS
Approved by MS	Approuvé par MS
PWSOC Project Manager / Administrateur de Projets TPSOC ROB HAFER	
Drawing Title	Titre du dessin

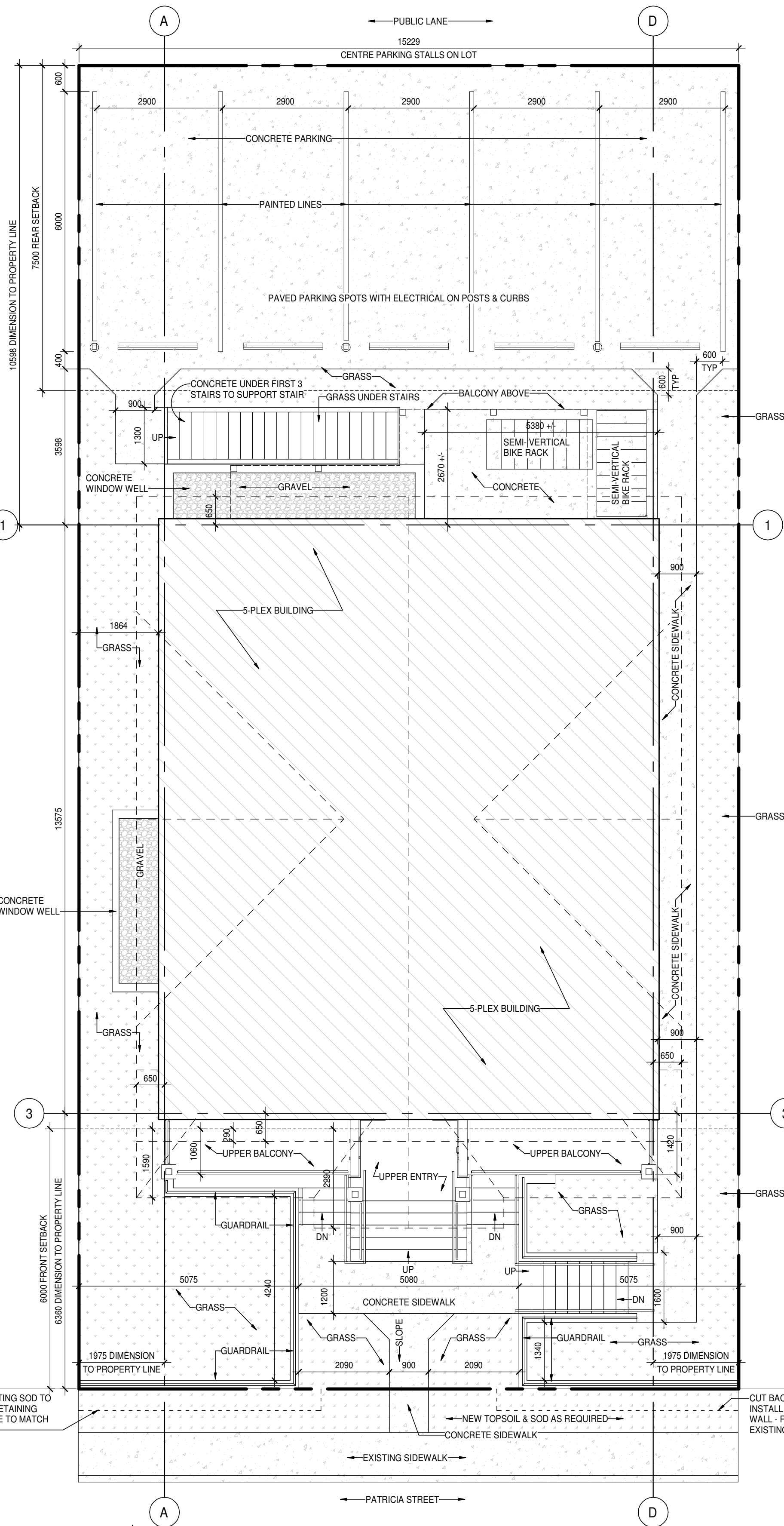
SITE DEMOLITION PLAN / SITE PLAN

Project no./No. du projet	Drawing no./No. du dessin	Revision no.
R.100429.001	A1.0 OF	1



SITE PLAN DEMOLITION GENERAL NOTES:

1. EXISTING EXTERIOR SIDING ON BUNGALOW, SHED AND GARAGE IS FINISHED WITH LEAD PAINT WHICH WILL NEED TO BE ABATED. ALL BUILDINGS WILL NEED TO BE ABATED PRIOR TO BEING DEMOLISHED. CONTRACTOR TO SUBMIT A REMEDIATION PLAN TO DEPARTMENTAL REPRESENTATIVE FOR APPROVAL PRIOR TO COMPLETING THE WORK.
2. ELECTRICAL & GAS SERVICE TO BE TURNED OFF AND TEMPORARILY DISCONNECTED PRIOR TO DEMOLITION.
3. REMOVED ALL EXISTING TREES AND VEGETATION ON SITE. TREE REMOVAL IS ONLY ALLOWED BETWEEN AUGUST 25TH AND APRIL 15TH EACH YEAR.
4. ALLOW FOR SUB-GRADE BOULDER REMOVAL UP TO 1500mm DIAMETER.
5. ALL DRYWALL IN THE BUNGALOW IS CONSIDERED ASBESTOS CONTAINING MATERIAL AND IS TO BE ABATED IN ACCORDANCE WITH THE ASBESTOS ABATEMENT SPECIFICATIONS. ALL ABATEMENT MUST BE COMPLETED ON SITE PRIOR TO BUILDING DEMOLITION.
6. ALL EXTERIOR PAINT ON THE BUNGALOW AND GARAGE AND ALL INTERIOR PAINT IN THE BUNGALOW IS CONSIDERED TO EXCEED CURRENT HEALTH CANADA LIMITS AND REQUIRES ABATEMENT PRIOR TO BUILDING DEMOLITION.



SITE INFORMATION

- TOTAL SITE AREA = 464.97M²
- SITE COVERAGE = 160M²
- TOTAL AREA MINUS BUILDING AREA = 304.97 M²
- 50% TOTAL SITE MUST BE LANDSCAPED = 152.48M² (177.296M²)
- 50% OF REQUIRED LANDSCAPING MUST BE SOFT = 76.25M² (107.36M²)
- FRONT YARD CAN HAVE A MAXIMUM OF 40% HARD SCAPING.
- FRONT YARD AREA = 91.37M² = 36.546M² HARDSCAPED (36.534M²) / 54.822M² SOFTSCAPED (54.836M²)
- GROSS FLOOR AREA = 475M²
- BUILDING HEIGHT = 9.36M

LEVEL PROJECT ELEVATION, GEODETIC ELEVATION

- TOP OF SECOND FLOOR, 102620, 1070.50m
- TOP OF STAIR LANDING BETWEEN MAIN AND SECOND FLOOR, 101410, 1069.09m
- TOP OF MAIN FLOOR, 100000, 1067.68m
- TOP OF WINDOW WELLS, 99350, 1067.03m
- NORTH GRADE, 99250, 1066.93m
- TOP OF SOUTH RETAINING WALLS (FRONT ENTRANCE), 99250, 1066.93m
- TOP OF STAIR LANDING BETWEEN BASEMENT AND MAIN FLOOR/ENTRY LANDING LEVEL, 98590, 1066.27m
- SOUTH GRADE SIDEWALK 97800, 1065.28m
- TOP OF EXISTING MUNICIPAL SIDEWALK 97560, 1065.24m
- TOP OF BASEMENT FLOOR 97180, 1064.86m



EXISTING HOUSE FRONT OF PROPERTY



EXISTING RETAINING WALL & STAIR



EXISTING HOUSE BACK OF PROPERTY



EXISTING HOUSE & GARAGE BACK OF PROPERTY