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E4.1 ELECTRICAL SCHEDULES

BUILDING CODE + SITE ZONING INFORMATION

BASED ON 2015 NATIONAL BUILDING CODE OF CANADA, 2014 ALBERTA BUILDING CODE + JASPER LAND USE REGULATIONS. AHJ + PARKS CANADA

COMMENTARY
THESE COMMENTS ARE PROVIDED FOR REVIEW BY THE APPROVAL AUTHORITIES ONLY. CONTRACTORS SHALL NOT USE THESE FIGURES FOR CONSTRUCTION, BUT STILL REFER TO FULL DOCUMENT SET.

OCCUPANCY CLASSIFICATION
PROJECT LOCATION: 5 PLEX
902 PATRICIA STREET
JASPER, ALBERTA, T0E 1E0

NEW BUILDING AREA: 160m²
GROSS FLOOR AREA: 475m²
SITE AREA: 465m²

BUILDING CLASSIFICATION
ARTICLE 13.3
MAJOR OCCUPANCY: GROUP C, RESIDENTIAL - PART 9
NUMBER OF STORIES: 2
NUMBER OF STREETS: 2
SPRINKLERED: NO
CONSTRUCTION: COMBUSTIBLE/NON-COMBUSTIBLE

SEPARATION OF RESIDENTIAL SUITES + PUBLIC CORRIDORS
45 MIN. F.R.R

SITE USE
ROOF ASSEMBLIES: NON-RATED
FLOOR ASSEMBLIES: 45 MIN F.R.R
LOAD BEARING ELEMENTS: 45 MIN F.R.R

DIM. STANDARDS	REQUIRED	PROVIDED
FRONT YARD	6.0m	6.28m
REAR YARD	7.5m	10.65m
SIDE YARD	1.8m	1.8m
BUILDING HEIGHT	9.6m	9.36m
SITE COVERAGE	35%	34.4%

PARKING SPACES

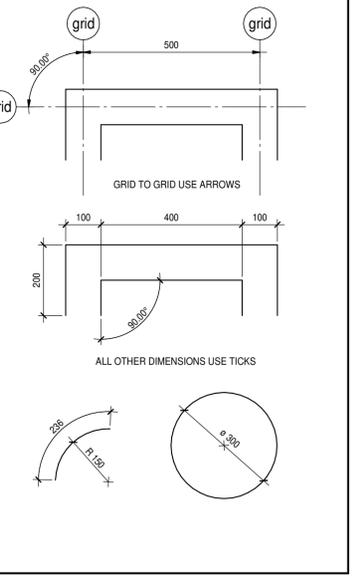
REQUIRED	PROVIDED
5	5
0	0

BUILDING HEIGHT ABOVE GRADE
AVERAGE GRADE TO MAIN FLOOR HEIGHT IS 750mm.

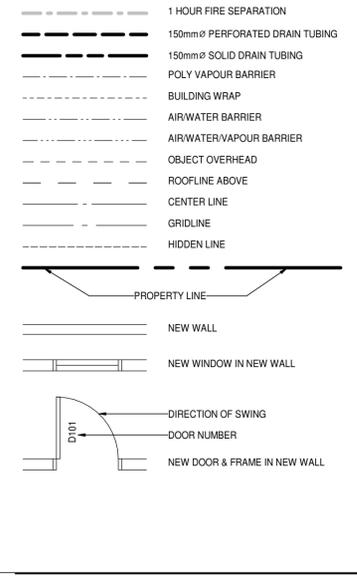
GENERAL NOTES

- THE DRAWINGS SHALL NOT BE SCALED FOR INFORMATION.
- THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS THRU FLOORS, WALLS AND CEILINGS INCLUDING BUT NOT LIMITED TO DUCT, PIPING AND ELECTRICAL RISERS.
- PRODUCTS AND MATERIALS ARE TO BE USED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DIMENSIONAL PROPERTIES OF THE MATERIALS ARE NOTED IN MILLIMETERS UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING SURFACES ADJACENT NEW CONSTRUCTION AND ALL EXISTING FINISHES AFFECTED BY THE CONSTRUCTION.
- DIMENSIONS ARE TAKEN TO FACE OF STUD OR EXTERIOR SHEATHING UNLESS NOTED/SHOWN OTHERWISE.

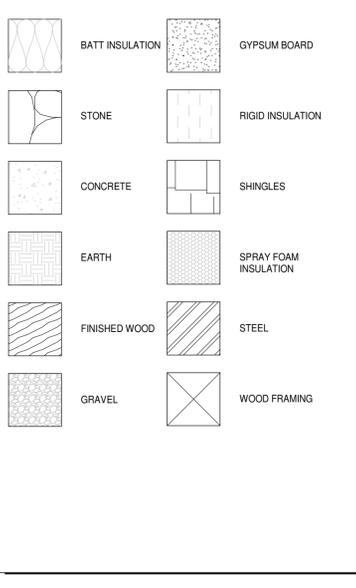
DIMENSION LEGEND



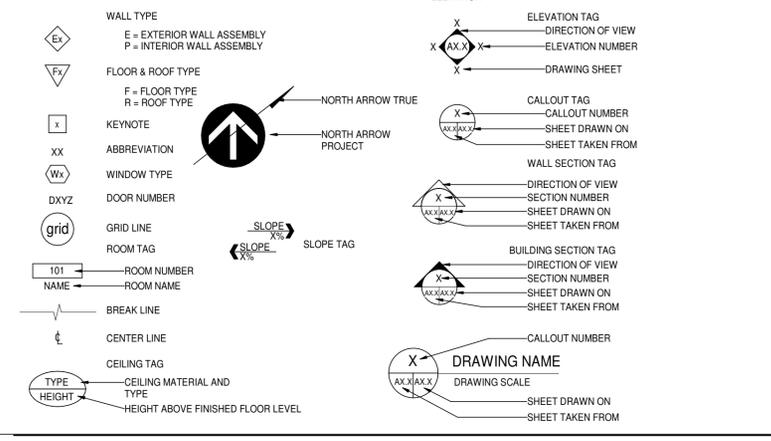
DRAWING LEGEND



MATERIAL PATTERNS



SYMBOL LEGEND

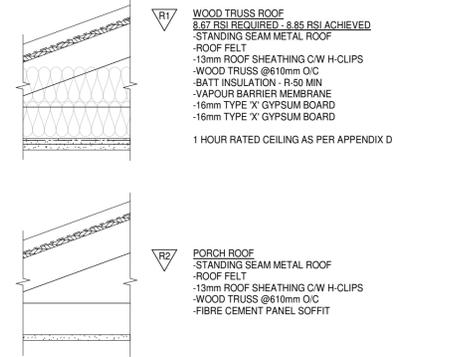


ABBREVIATION LEGEND

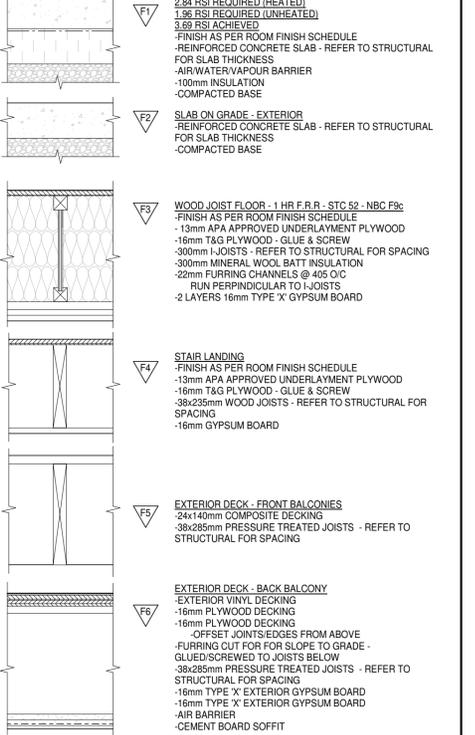
CT	CERAMIC TILE
GWB	GYPSON WALL BOARD
HC	HONEY COMB
HM	HOLLOW METAL
HPDL	HIGH PRESSURE DECORATIVE LAMINATE
IMD	INSULATED METAL DOOR
INSUL	INSULATED
LVP	LUXURY VINYL PLANK
PLYWD	ONE SIDE GOOD PLYWOOD
PT	PAINT
RO	ROUGH OPENING
RSF	RESILIENT SHEET FLOORING
RWB	RUBBER WALL BASE
TB	TOWEL BAR
TPD	TOILET PAPER DISPENSER
U.S.	UNDERSIDE
WD	WOOD



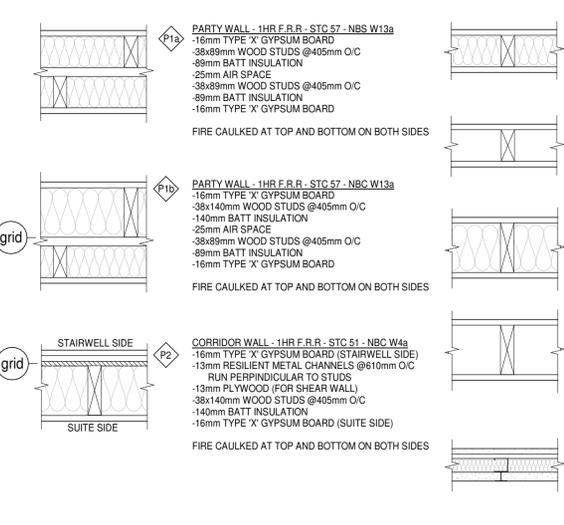
ROOF TYPES



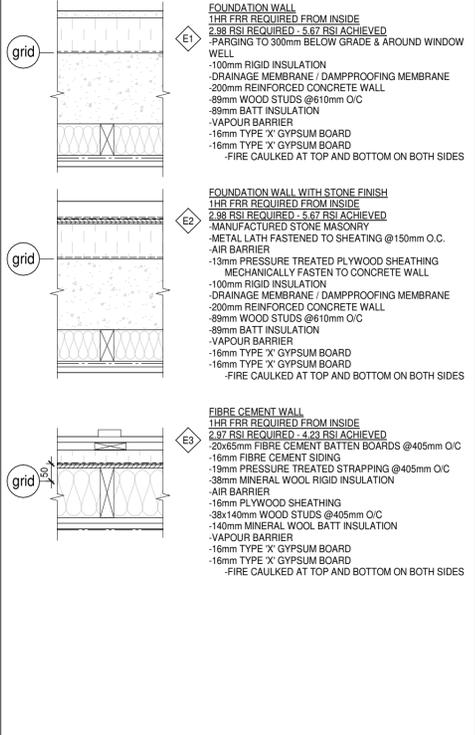
FLOOR TYPES



INTERIOR WALL TYPES



EXTERIOR WALL TYPES



385 St. Mary Avenue
Winnipeg, MB R3C 0N1

T 204 989 0102
F 204 989 0094
www.republicarchitecture.ca



Project No./No. du projet	Drawing No./No. du dessin	Revision No.
R.100429.001	A0.1	1

Project Title: JASPER STAFF HOUSING CONSTRUCTION

Client: client

10025 JASPER AVE
EDMONTON, ALBERTA, T5J 1S6
PH. 780-919-9445

5 PLEX

902 PATRICIA STREET,
JASPER, AB, T0E 1E0

Designed by: MS
Drawn by: MS/UL
Approved by: MS
Project Manager: ROB HAFER

GENERAL NOTES & CONSTRUCTION TYPES

