



LIST OF DRAWINGS

ARCHITECTURAL	
A0.1	GENERAL NOTES & CONSTRUCTION TYPES SCHEDULES
A1.0	SITE DEMOLITION PLAN / SITE PLAN
A2.1	BASEMENT FLOOR PLAN & REFLECTED CEILING PLAN
A2.2	MAIN FLOOR PLAN & REFLECTED CEILING PLAN
A2.3	SECOND FLOOR PLAN & REFLECTED CEILING PLAN
A2.4	FOUNDATION PLAN & ROOF PLAN
A2.5	ENLARGED PLANS & INTERIOR ELEVATIONS
A2.6	ENLARGED PLANS & INTERIOR ELEVATIONS
A3.1	MILLWORK DETAILS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A5.2	BUILDING SECTIONS
A6.1	SECTION DETAILS
A6.2	SECTION DETAILS
A6.3	SECTION DETAILS
A6.4	SECTION DETAILS
A7.1	PLAN DETAILS
CIVIL	
C0.1	SITE SERVICING PLAN
C0.2	SITE GRADING PLAN
C0.3	STANDARD SPECS AND DETAILS
STRUCTURAL	
S1.1	GENERAL NOTES
S1.2	GENERAL NOTES
S1.3	GENERAL NOTES
S2.1	TYPICAL DETAILS
S2.2	TYPICAL DETAILS
S2.3	TYPICAL DETAILS
S2.4	TYPICAL DETAILS
S3.1	FOUNDATION & MAIN FLOOR FRAMING PLANS
S3.2	2ND FLOOR & ROOF FRAMING PLAN
S4.1	SECTIONS AND DETAILS
S4.2	SECTIONS AND DETAILS
S4.3	SECTIONS AND DETAILS
S5.1	SCHEDULES
MECHANICAL	
M1.1	LEGENDS AND SCHEDULES
M1.2	MECHANICAL DETAILS
M1.3	MECHANICAL SITE PLAN
M2.1	FOUNDATION PLAN AND LOWER LEVEL PLUMBING PLAN
M2.2	MAIN AND SECOND FLOOR PLUMBING PLAN
M3.1	LOWER LEVEL HEATING AND VENTILATION PLAN
M3.2	MAIN AND SECOND FLOOR HEATING AND VENTILATION PLAN
M4.1	MECHANICAL DIAGRAMS
ELECTRICAL	
E1.0	ELECTRICAL COVER SHEET
E1.1	ELECTRICAL SITE PLAN
E2.0	POWER & LIGHTING PLAN - BASEMENT
E2.1	POWER & LIGHTING PLAN - MAIN FLOOR
E2.2	POWER & LIGHTING PLAN - SECOND FLOOR
E3.0	ELECTRICAL DETAILS & RISERS
E4.0	ELECTRICAL SCHEDULES

BUILDING CODE + SITE ZONING INFORMATION

BASED ON 2015 NATIONAL BUILDING CODE OF CANADA, 2014 ALBERTA BUILDING CODE, AND REGULATIONS RESPECTING THE USE OF LAND IN THE TOWN OF JASPER DATED MARCH 29, 2005

COMMENTARY
THESE COMMENTAIRES SONT FOURNIS POUR ETRE REVUES PAR LES AUTORITES APPROPRIÉES. LES CONTRACTEURS NE DOIVENT PAS UTILISER CES FIGURES POUR LA CONSTRUCTION, MAIS SEULÉMENT POUR RÉFÉRENCE À LA DOCUMENTATION COMPLÈTE.

ZONING INFORMATION
CIVIC ADDRESS: 720 PATRICIA STREET, JASPER, ALBERTA T0E 1E0
LEGAL DESCRIPTION: LOT 25, BLOCK 25, PLAN 132 4912 LTO, 102370 CLSR, MUNICIPALITY OF JASPER

TWO UNIT DWELLING DISTRICT (R2)
REFER TO SECTION 16 OF JASPER LAND-USE REGULATION

NEW BUILDING AREA: 159.8m²
GROSS FLOOR AREA: 447.0m²
SITE AREA: 459.9m²

AREA OF SITE THAT IS LANDSCAPED: 264.9m² (57.6% OF SITE)
AREA THAT IS SOFT LANDSCAPED: 135.4m² (51.1% OF LANDSCAPED AREA)

AREA OF FRONT YARD SETBACK: 81.3m²
AREA OF HARD LANDSCAPING WITHIN FRONT YARD SETBACK: 10.7m² = 13.2%

DIM.	STANDARDS	REQUIRED	PROVIDED
FRONT YARD		5.4m MIN	5.4m
REAR YARD		9.8m MIN	10.0m
SIDE YARD		1.8m MIN	1.8m
BUILDING HEIGHT (ABOVE AVG. GRADE)		9.0m MAX	8.97m
MAIN FLOOR HEIGHT (ABOVE AVG. GRADE)		2760mm MAX	2760mm
SITE COVERAGE		50% MAX	44%

PARKING SPACES

SPACES	REQUIRED	PROVIDED
SITE TOTAL	5	5

BUILDING CLASSIFICATION
PART 9
MAJOR OCCUPANCY: GROUP C
NUMBER OF STOREYS: 2
NUMBER OF STREETS: 1
SPRINKLERED: NO
CONSTRUCTION: COMBUSTIBLE

FIRE SEPARATIONS
ROOF ASSEMBLIES: N/A
FLOOR ASSEMBLIES: N/A
LOAD BEARING ELEMENTS: N/A
1 HOUR FRR BETWEEN DWELLING UNITS (9.10.9.14)

SPATIAL SEPARATION (NBC 9.10.15)
NORTH ELEVATION:
LIMITING DISTANCE: 10.0m
EXPOSED BUILDING FACE: 68m²
% UNPROTECTED OPENINGS: 84% ALLOWED, 11% ACTUAL

EAST ELEVATION:
LIMITING DISTANCE: 1.8m
EXPOSED BUILDING FACE: 75m²
% UNPROTECTED OPENINGS: 8% ALLOWED, 6% ACTUAL

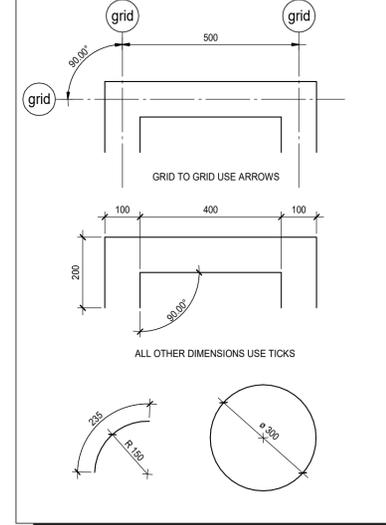
SOUTH ELEVATION:
LIMITING DISTANCE: 5.4m
EXPOSED BUILDING FACE: 69m²
% UNPROTECTED OPENINGS: 26% ALLOWED, 16% ACTUAL

WEST ELEVATION:
LIMITING DISTANCE: 1.8m
EXPOSED BUILDING FACE: 75m²
% UNPROTECTED OPENINGS: 8% ALLOWED, 6% ACTUAL

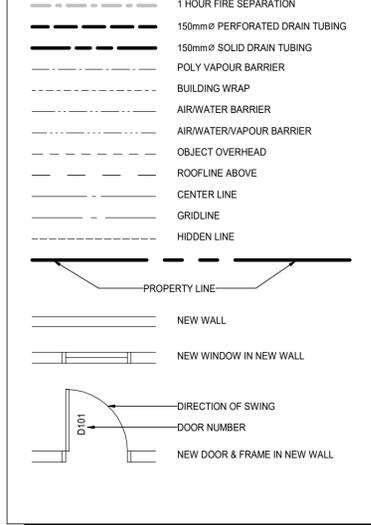
GENERAL NOTES

- THE DRAWINGS SHALL NOT BE SCALED FOR INFORMATION.
- THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT.
- THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS THRU FLOORS, WALLS AND CEILINGS INCLUDING BUT NOT LIMITED TO DUCT, PIPING AND ELECTRICAL RISERS.
- PRODUCTS AND MATERIALS ARE TO BE USED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DIMENSIONAL PROPERTIES OF THE MATERIALS ARE NOTED IN MILLIMETERS UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING SURFACES ADJACENT NEW CONSTRUCTION AND ALL EXISTING FINISHES AFFECTED BY THE CONSTRUCTION.
- DIMENSIONS ARE TAKEN TO FACE OF STUD OR EXTERIOR SHEATHING UNLESS NOTED OTHERWISE.

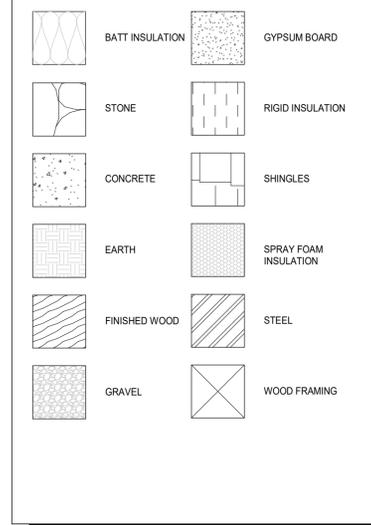
DIMENSION LEGEND



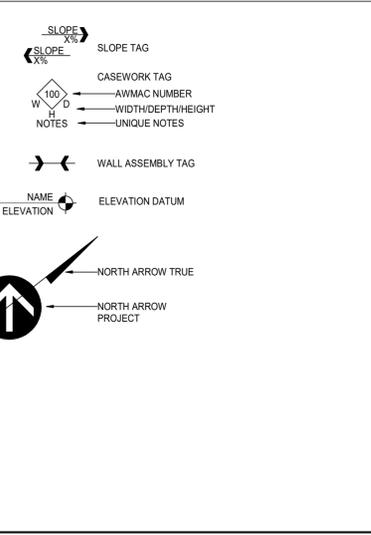
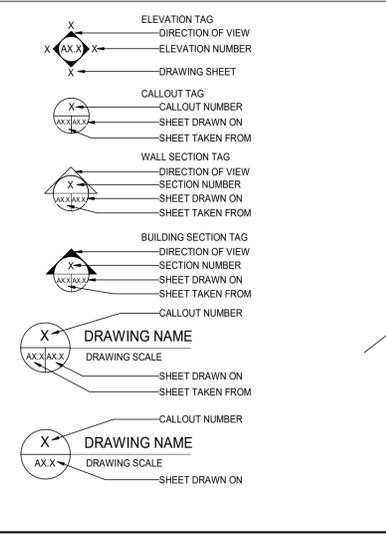
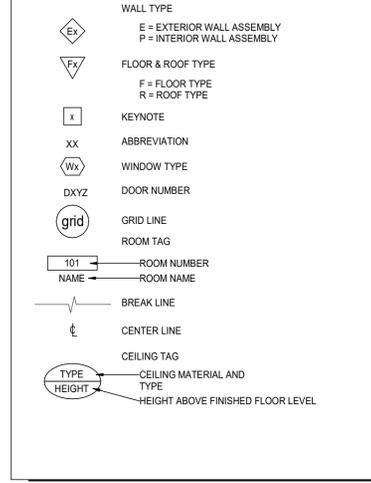
DRAWING LEGEND



MATERIAL PATTERNS



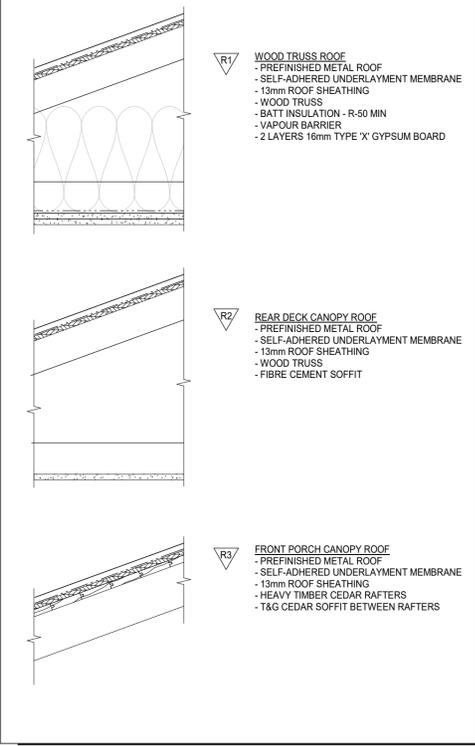
SYMBOL LEGEND



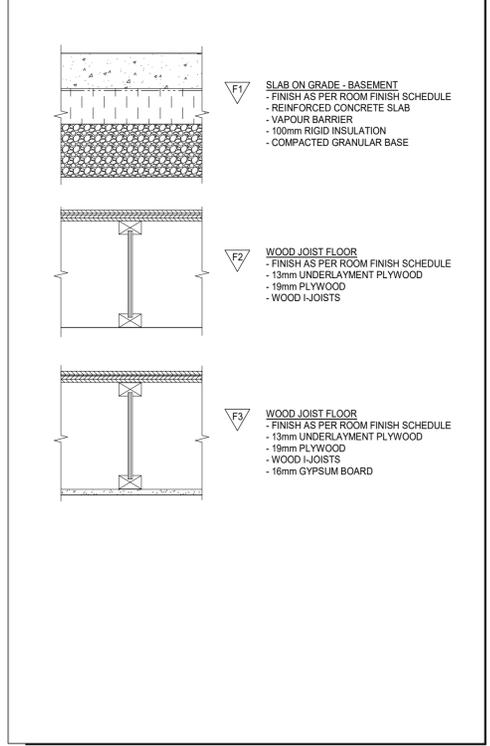
ABBREVIATION LEGEND

AVB	AIR VAPOUR BARRIER
CW	COMPLETE WITH
CH	COAT HOOK
CIP	CAST IN PLACE
CONC	CONCRETE
CT	CERAMIC TILE
EX	EXISTING
GL	GLASS
GWB	GYPSUM WALL BOARD
HC	HONEYCOMB
HM	HOLLOW METAL
HPDL	HIGH PRESSURE DECORATIVE LAMINATE
INSUL	INSULATED
LVP	LUXURY VINYL PLANK
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBREBOARD
MEL	MELAMINE
MIN	MINIMUM
MTL	METAL
NIC	NOT IN CONTRACT
O/C	ON CENTRE
O/O	OUT TO OUT
PT	PAINT
RO	ROUGH OPENING
RTF	RIGID THERMAL FOIL
RWB	RESILIENT WALL BASE
RWL	RAIN WATER LEADER
SC	SOLID CORE
SIM	SIMILAR
T/O	TOP OF
TB-S	TOWEL BAR
TPD	TOILET PAPER DISPENSER
TYP	TYPICAL
US	UNDERSIDE
VB	VAPOUR BARRIER
WD	WOOD

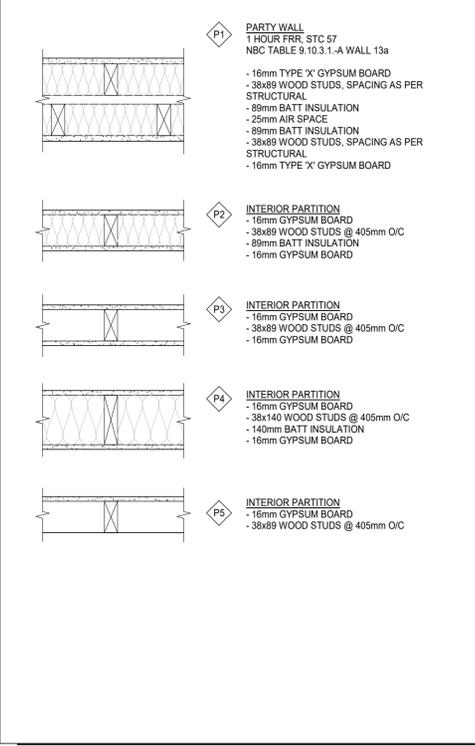
ROOF TYPES



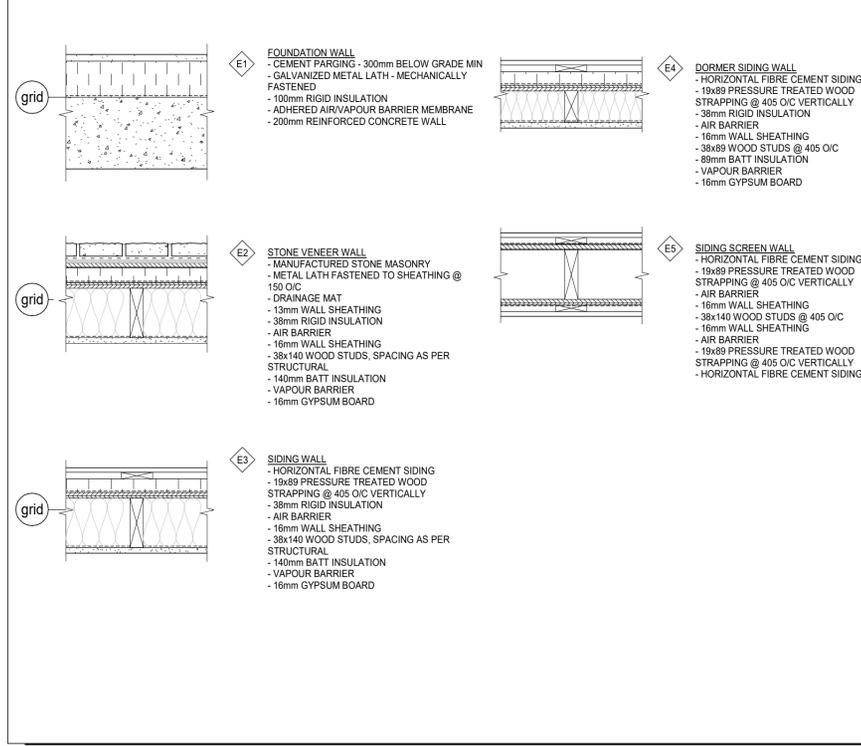
FLOOR TYPES



INTERIOR WALL TYPES



EXTERIOR WALL TYPES



1	ISSUED FOR CONSTRUCTION	2020/03/06
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PSPC
10025 JASPER AVE. EDMONTON, ALBERTA, T5J 1S6
PH. 780-919-9445

JASPER STAFF HOUSING CONSTRUCTION

DUPLEX

720 PATRICIA STREET,
JASPER, AB T0E 1E0

Designed by: NJ
Drawn by: NJ
Approved by: JR
Project Manager: ROB HAFER

GENERAL NOTES & CONSTRUCTION TYPES

R.100429.001	A0.1	1
	OF	

