

Parks Canada Agency

# **GRAND-PRÉ NATIONAL HISTORIC SITE MEMORIAL CHURCH AND MONUMENTS REPOINTING**

GRAND-PRÉ, NOVA SCOTIA

**ISSUED FOR TENDER - 02 APRIL 2020** 





# DRAWING LIST

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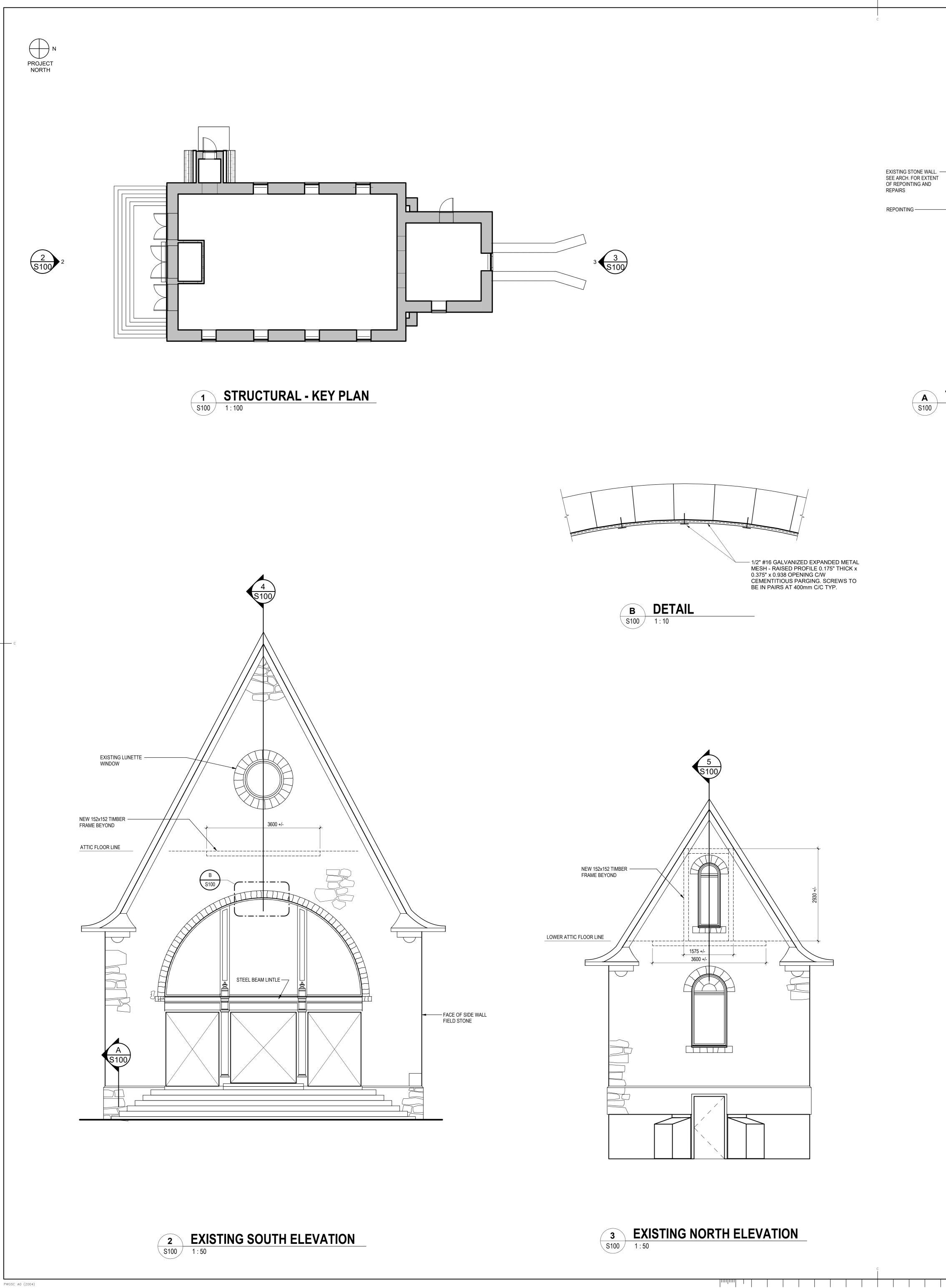
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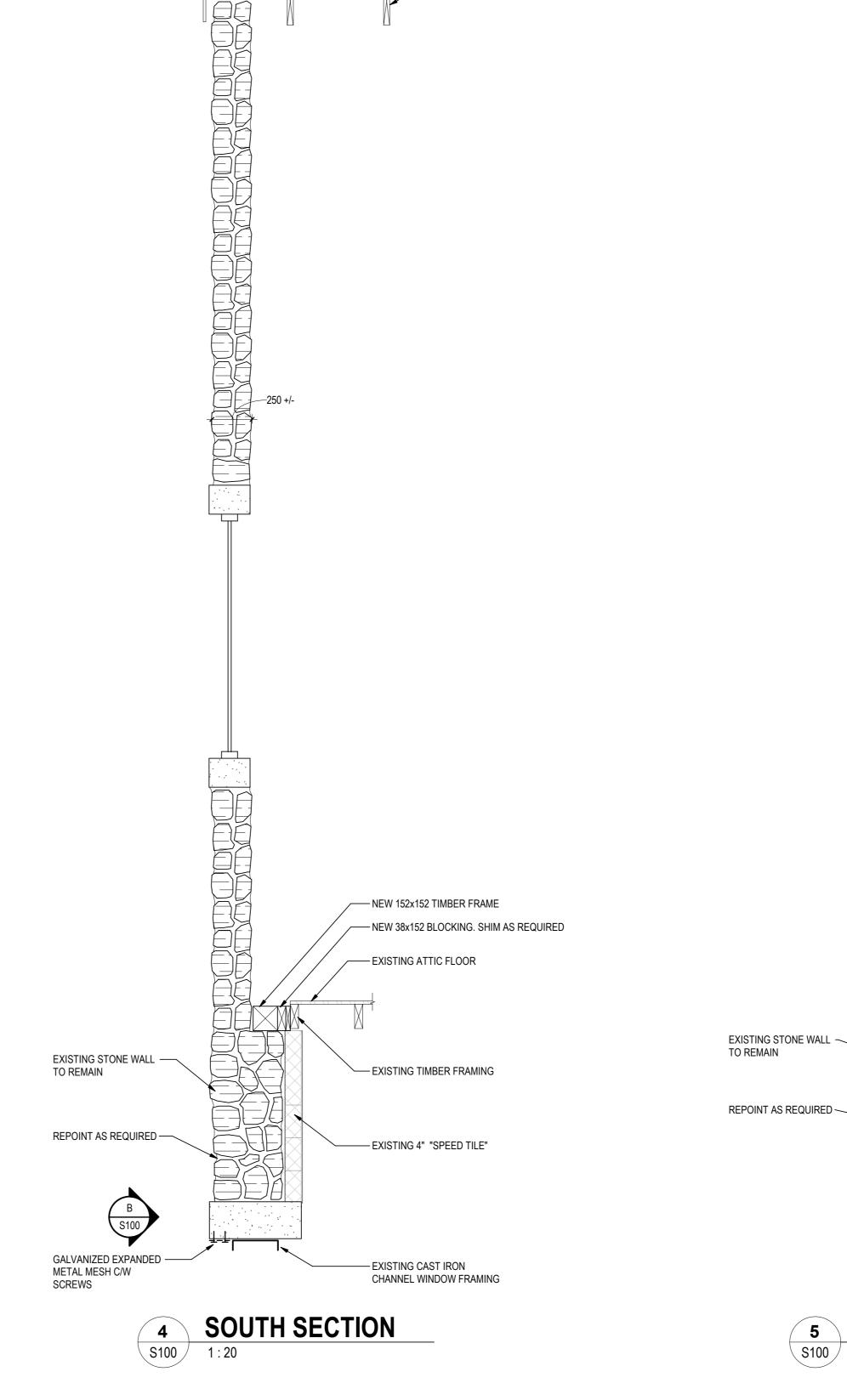
G NAME ONS TRUCTION FOUNDATION DETAILS

**RS & INTERIOR - PHOTOS** 









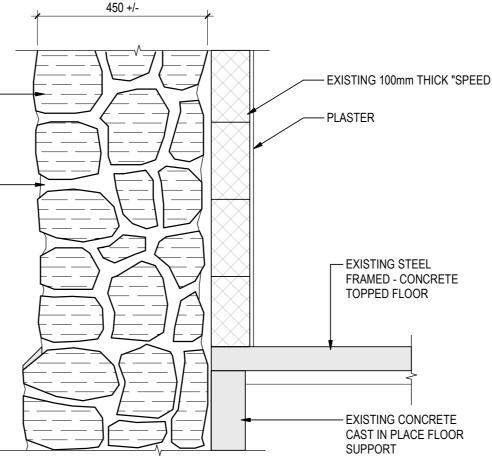
- EXISTING ROOF

- EXISTING ROOF

RAFTER TYP.

SHEETHING

# A TYPICAL EXISTING WALL SECTION



# - EXISTING 100mm THICK "SPEED TILE"

# 2. ALL WORK AND MATERIALS SHALL CONFORM TO THE CSA A23.1-14. THAT IS THE RESULT OF IT'S CONSTRUCTION ACTIVITIES. 5. CONTRACTOR IS RESPONSIBLE FOR WASTE REMOVAL FROM SITE. 6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH PARKS CANADA CONTRACT DOCUMENTS. LOCAL REGULATIONS. REPRESENTATIVE. ANY ADJUSTMENTS WILL BE MADE BY THE DEPARTMENT REPRESENTATIVE FIRST. REPRESENTATIVE.

GENERAL NOTES

- 11. CONTRACTOR TO REFER TO WORKING AT HEIGHTS AND CSA-Z797 SCALFOLDING. 12. TEMPORARY SHORING AND STABILITY OF WORK ITEMS TO BE THE RESPONIBILITY OF THE CONTRACTOR REINFORCED CONCRETE NOTES: 1. DO CONCRETE WORK TO A23.1-14 AND TESTING TO A23.2-14 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE EXPOSURE CLASS F2 WITH A MINIMUM COMPRESSIVE STRENGTH OF 25MPa
- 3. AIR ENTRAIN ALL CONCRETE EXPOSED TO WEATHER 5% TO 8% AIR BY VOLUME. 4. MAXIMUM SLUMP TO BE 75MM. MAXIMUM AGGREGATE SIZE TO BE 20MM.
- REINFORCING STEEL MANUAL OF STANDARD PRACTICE. REBAR YIELD STRENGTH TO BE 400MPA. REINFORCING TO BE SPLICED AT ANY GIVEN LOCATION.
- PLACING CONCRETE AND HELD RIGIDLY DURING PLACEMENT OF CONCRETE. 8. SLEEVES ARE TO BE PROVIDED AT LOCATIONS WHERE MECHANICAL AND ELECTRICAL PIPES AND CONDUITS PENETRATE THE CONCRETE SLAB. CONCRETE CORING SHALL BE AVOIDED.

# TIMBER NOTES:

- 1. ALL WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- TIMBER, AND CONCRETE CONSTRUCTION METHODS. ACCEPTED GOOD PRACTICE.
- REINFORCEMENT WORK. ALL FINISHES SHALL BE MADE GOOD ON COMPLETION OF THE WORK. 5. WHEN REPLACING OLD MEMBERS WITH NEW ONES, ALL BOLT HOLES AND CONNECTOR GROOVES MUST MATCH
- EXACTLY. USE THE OLD MEMBER AS A TEMPLATE FOR LOCATING PILOT HOLES IN THE NEW MEMBER.
- CONTRACTOR. 7. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL SAWN TIMBER USED AS REPLACEMENT MEMBERS SHALL BE
- RULES FOR CANADIAN LUMBER. GLUED-LAMINATED OR LVL TIMBER MAY BE SUBSTITUTED FOR SPF No. 1/2
- DECK. SHEATHING, OR BRACING SHALL BE NO. 1 & 2 GRADE SPRUCE-PINE-FIR.
- SHALL BE STORED AND HANDLED IN A MANNER THAT WILL PREVENT WARP AND DEGRADE.
- 0122-M89 (R2001) "STRUCTURAL GLUED-LAMINATED TIMBER". 13.8 GPa AND AN ALLOWABLE BENDING STRESS OF 19.3 MPa.

## 1. ALL DIMENSIONS ON THIS DRAWING ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.

3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO THE EXISTING STRUCTURES, EQUIPMENT OR FACILITIES 4. CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ADEQUATE TEMPORARY BRACING AND SHORING OF STRUCTURAL ELEMENTS FOR STABILITY AND SAFETY WHERE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL HORDING AS REQUESTED TO CONDUCT REPAIRS AND CONTROL DUST DURING DURATION OF WORK.

7. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK AND TO COMPLY WITH ALL APPLICABLE 8. WHERE EXISTING CONDITIONS ARE SHOWN THEY ARE NOT NECESSARILY ACCURATE OR COMPLETE. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND LOCATIONS AND REPORT ANY DISCREPANCIES TO THE DEPARTMENT 9. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PROPOSED DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. 10. AT COMPLETION OF WORK REINSTATE ALL DISTURBED AREAS TO THE SATISFACTION OF THE DEPARTMENT

5. REINFORCING STEEL TO CONFORM TO G30.18 REINFORCING STEEL DETAILING TO BE IN ACCORDANCE WITH RSIC 6. PROVIDE MINIMUM "CLASS B" TENSION LAP SPLICE IN ACCORDANCE WITH A23.3-14. NO MORE THAN 50% OF THE 7. REINFORCING STEEL, EMBEDDED PARTS, ANCHOR RODS AND DOWELS, ETC. TO BE SECURED IN POSITION PRIOR TO

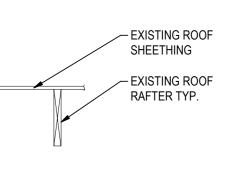
9. SLOPE SLAB TOWARDS FLOOR DRAINS TYPICAL REFER TO MECHANICAL AND SLAB PLAN FOR LOCATIONS.

2. THIS PART SPECIFIES SOME OF THE MATERIALS AND PROCEDURES TO BE USED IN THE REPAIR AND REINFORCEMENT WORK. IT IS EXPECTED THAT CONSTRUCTION CREWS WILL BE SUPERVISED BY PERSONNEL WHO ARE EXPERIENCED IN 3. WORKMANSHIP IN FABRICATION, PREPARATION AND INSTALLATION OF MATERIALS SHALL CONFORM THROUGHOUT TO 4. CARE SHALL BE TAKEN TO SAFEGUARD AND PROTECT ALL EXISTING STRUCTURES DURING THE REPAIR AND

6. EXISTING TIMBER MEMBER DIMENSIONS ARE BASED ON DIMENSIONS PROVIDED AND SHALL BE CONFIRMED BY

SPF No. 1/2 GRADED IN ACCORDANCE WITH CSA 086.19 ENGINEERING DESIGN IN WOOD NLGA 2017 STANDARD GRADING 8. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL SAWN TIMBER USED AS PURLINS, PURLIN SUPPORTS, BRACING, 9. SAWN TIMBER SHALL BE DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 15 PER RENT BEFORE INSTALLATION AND 10. GLUED-LAMINATED TIMBER SHALL BE EXTERIOR GRADE 16c-E DOUGLAS FIR AND SHALL CONFORM WITH CSA STANDARD 11. LVL OR "LAMINATED VENEER LUMBER" SHALL BE EXTERIOR DOUGLAS FIR WITH A RATED MODULUS OF ELASTICITY OF

12. PLYWOOD SHALL BE EXTERIOR SHEATHING GRADE CONFORMING TO CSA STANDARD 0121-08 (R2013)



- LAG BOLT ----- NEW 38x152 BLOCKING. SHIM AS REQUIRED NEW 152x152 TIMBER FRAME

> - EXISTING ATTIC FLOOR

► EXISTING TIMBER FRAMING

EXISTING 4" "SPEED TILE"

Public Works and Travaux Publics et Government Services Services aouvernemen Canada Canada

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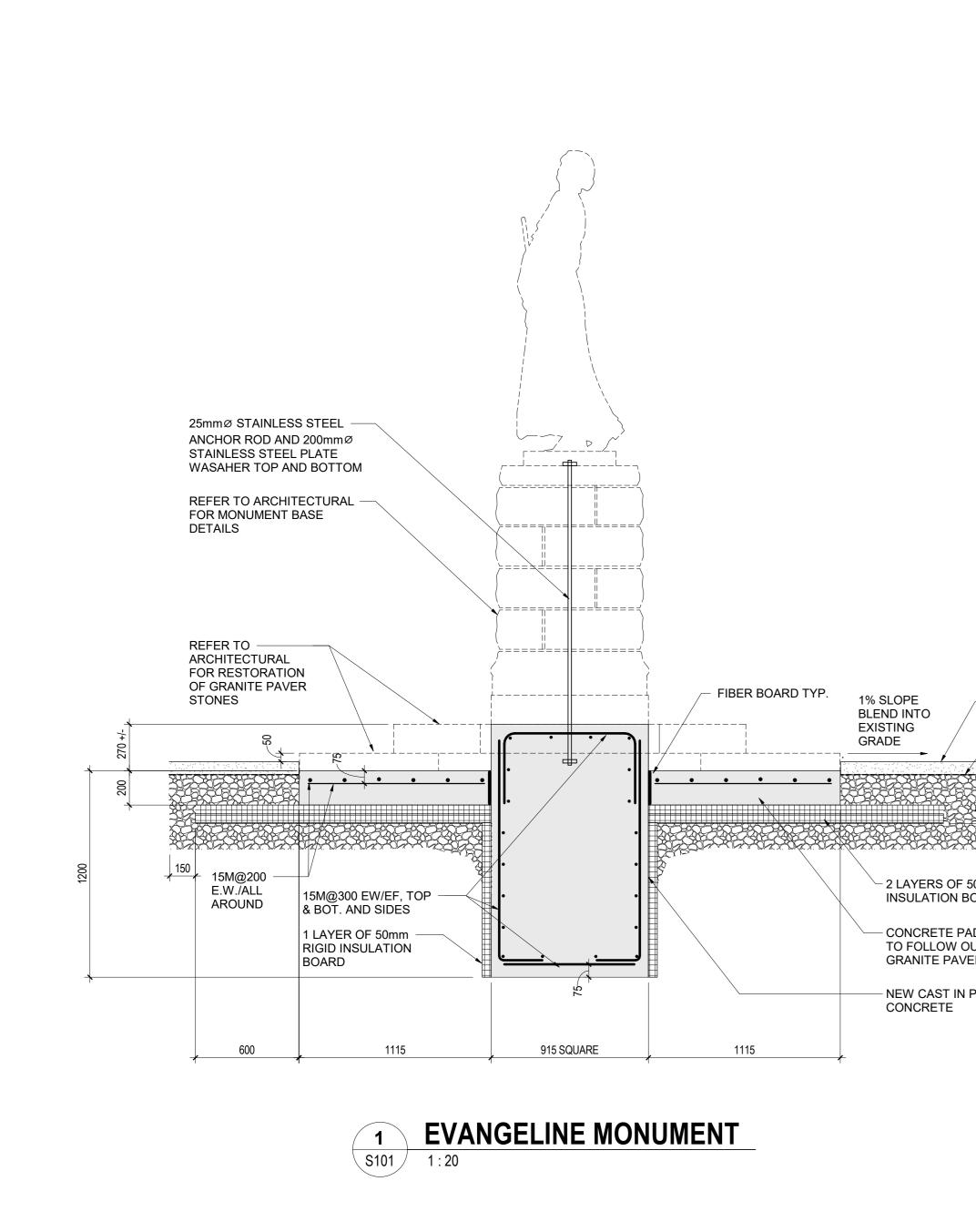
ISSUED FOR TENDER project projet **GRAND PRE NATIONAL** HISTORIC SITE MEMORIAL CHURCH AND MONUMENTS REPOINTING dessin drawing STRUCTURAL **ELEVATIONS AND** SECTIONS designed BP conçu date 08/28/19 drawn PL dessiné date 08/28/19 approved DB approuvé date 08/28/19 Soumission Tender PWGSC Project Manager Administrateur de projets TPSGC project number no. du projet 1241

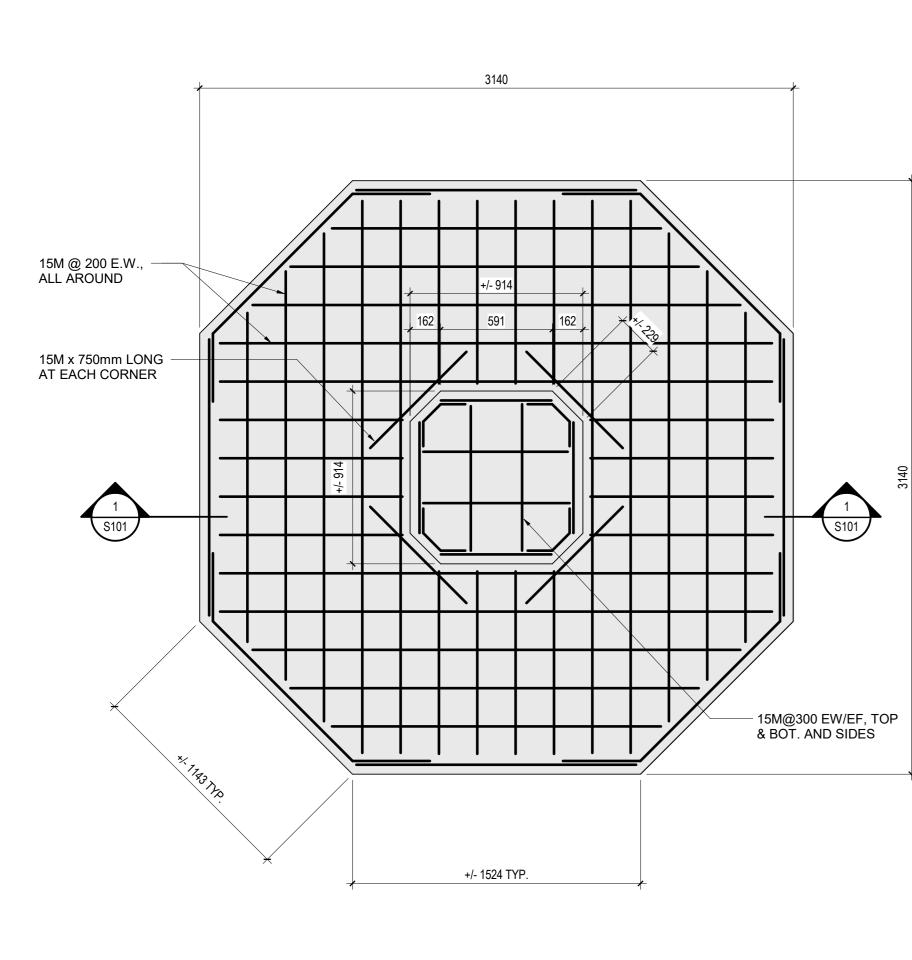
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drawing no.





4 EVANGELINE FOUNDATION PLAN S101 1:20

PWGSC A0 (2004)

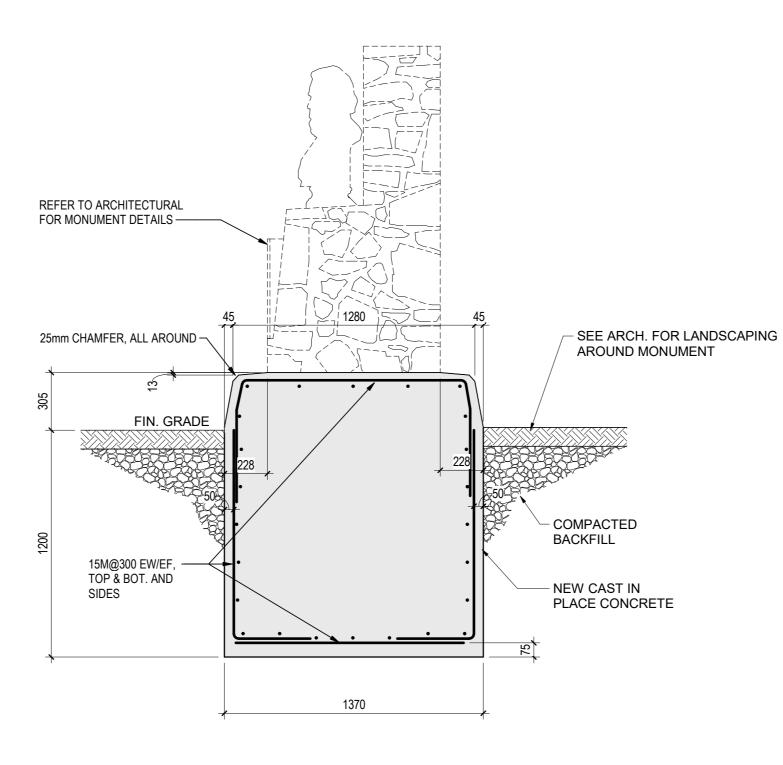
- 75mm COMPACTED CRUSHER RUN - NON-WOVEN FILTER FABRIC

- TYPE 1 CLEAR STONE

- 2 LAYERS OF 50mm RIGID INSULATION BOARD

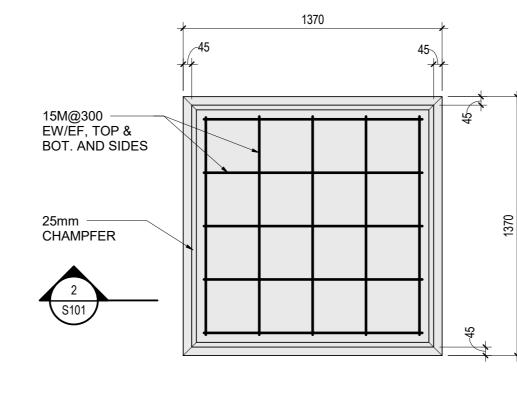
CONCRETE PAD, ALL AROUND.
 TO FOLLOW OUTLINE OF
 GRANITE PAVER STONES

- NEW CAST IN PLACE CONCRETE

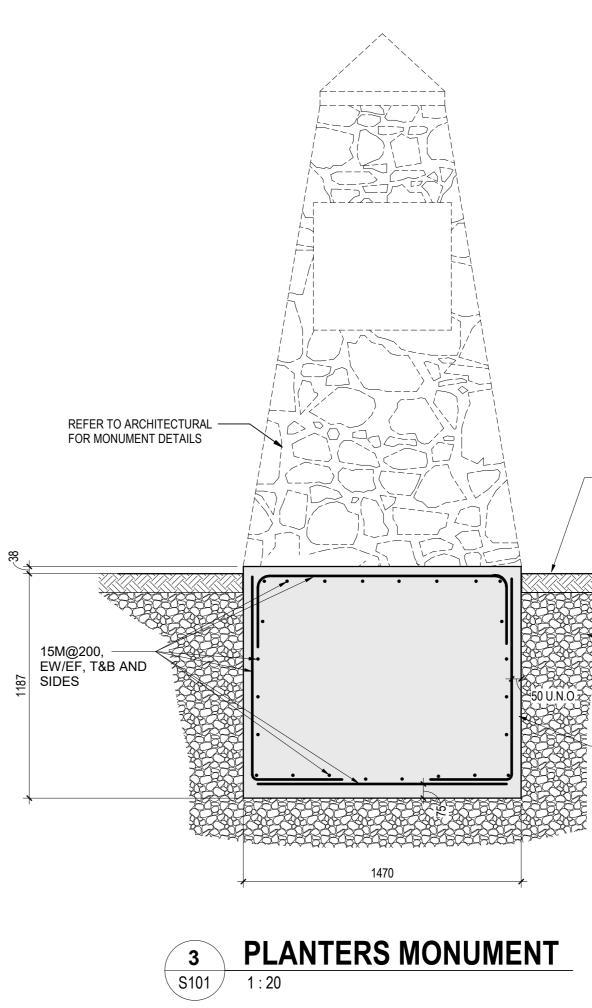


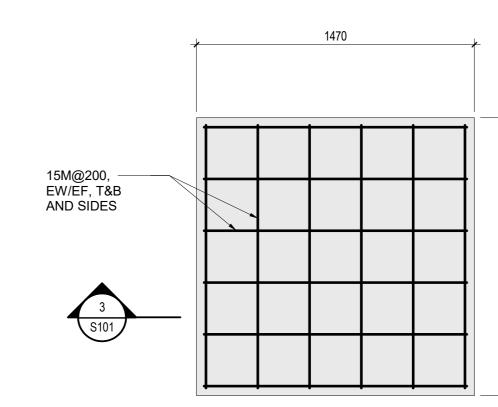
AROUND MONUMENT



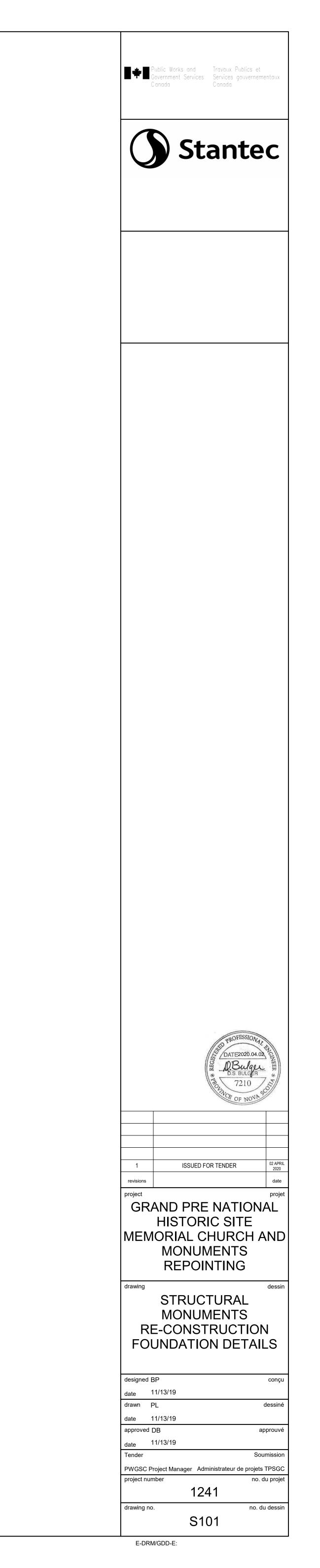






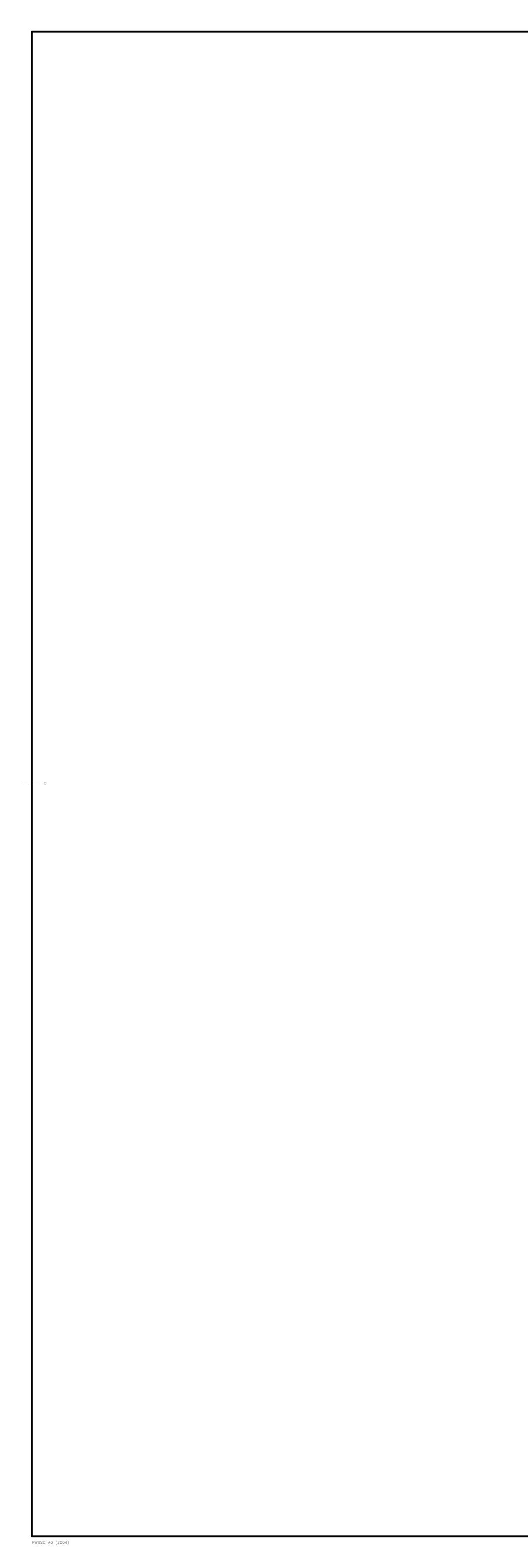






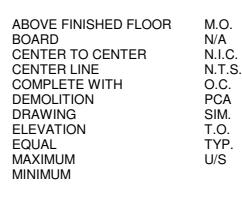
- SEE ARCH. FOR LANDSCAPING AROUND MONUMENT

- COMPACTED BACKFILL - NEW CAST IN PLACE CONCRETE



# **ABBREVIATIONS:**





MASONRY OPENING NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER PARKS CANADA AGENCY SIMILAR TOP OF TYPICAL UNDERSIDE

N/A

N.I.C.

O.C.

N.T.S.

PCA

SIM.

T.O.

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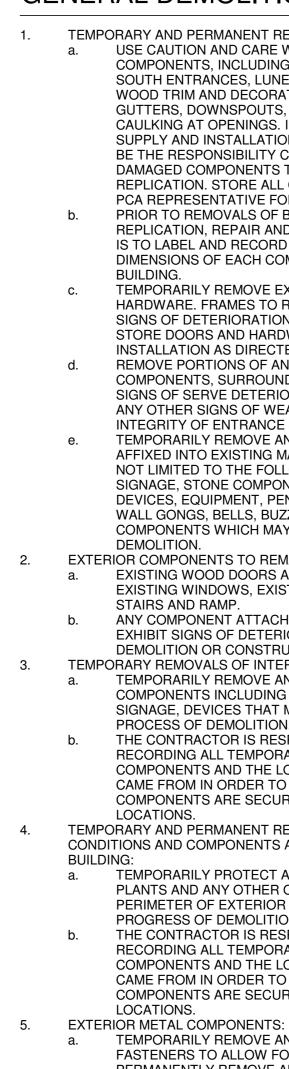
# **GENERAL NOTES:**

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- CONSTRUCTION DOCUMENTS HAVE BEEN DEVELOPED AND ARE BASED UPON EXISTING ARCHIVED DRAWINGS PROVIDED BY PCA AND RECENT SITE OBSERVATIONS. THE LOCATIONS OF ARCHITECTURAL COMPONENTS, ELECTRICAL COMPONENTS, MECHANICAL COMPONENTS, AND BUILDING SERVICES MAY SLIGHTLY VARY FROM THESE DOCUMENTS. THE CONTRACTORS ARE THEREFORE REQUIRED TO SITE VERIFY AND RECORD QUANTITY TAKE-OFFS OF ALL EXISTING CONDITIONS, PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK, IN ORDER TO PROVIDE THE BIDDING CONTRACTORS WITH A COMPLETE UNDERSTANDING OF THE ENTIRE SCOPE OF WORK REQUIRED. IMMEDIATELY NOTIFY THE PRIME CONSULTANT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- 2. DO NOT SCALE DRAWINGS, ONLY FOLLOW GIVEN DIMENSIONS.

1. THE BIDDING CONTRACTORS ARE ADVISED THAT THIS SET OF

- THE AWARDED CONTRACTOR WILL BE RESPONSIBLE FOR RECORDING AND LABELING ALL TEMPORARILY REMOVED EXTERIOR WALL COMPONENTS AND THE LOCATIONS FROM WHERE EACH COMPONENT CAME FROM IN ORDER TO ENSURE THAT ALL RE-INSTALLED COMPONENTS ARE SECURED BACK TO THEIR ORIGINAL LOCATIONS.
- 4. THE AWARDED CONTRACTOR WILL BE RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COST AND IMPLEMENTATION OF THE FOLLOWING: PROTECTION FOR LANDSCAPING, WEATHER TIGHT BARRIER PROTECTION, PUBLIC SAFETY BARRIERS, DUST CONTROL BARRIERS, MAINTAINING ALL HEALTH AND LIFE SAFETY MEASURES, DEBRIS CONTAINERS AND TEMPORARY FACILITIES. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY COSTS FOR SUPPLY AND INSTALLATION OF ANY REPAIRS / REPLACEMENT OF CONDITIONS AND COMPONENTS DAMAGED AS A RESULT OF MOBILIZATION OF CONSTRUCTION MATERIALS, PERSONNEL, EQUIPMENT, TEMPORARY HOARDING, DEMOLITION AND NEW CONSTRUCTION.
- COORDINATE SEQUENCING OF REMOVALS WITH PCA REPRESENTATIVE IN ORDER TO MINIMIZE IMPACTS OF THE DAILY OPERATIONS OF THE FACILITY.
- 6. PATCH, REPAIR AND RE-INSTATE ANY REMAINING CONDITIONS DUE TO REMOVALS OF EXIST. COMPONENTS. ENSURE THAT ALL TRANSITIONS BETWEEN NEW / EXISTING SURFACES ARE FLUSH, LEVEL AND SMOOTH AND THAT THE QUALITY OF WORKMANSHIP AND FINISHES MATCH EXISTING ADJACENT CONDITIONS.
- ENSURE THE EXTERIOR ENVELOPE AND MONUMENTS ARE WEATHER PROTECTED AT ALL TIMES DURING THE ENTIRE DURATION OF THE PROJECT. COORDINATE WITH PCA REPRESENTATIVE FOR LOCATIONS OF HOARDING, WASTE CONTAINERS AND ANY OTHER TEMPORARY MEASURES, FACILITIES AND SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING 8 STORED COMPONENTS THROUGHOUT THE DURATION OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY COSTS FOR SUPPLY AND INSTALLATION OF ANY REPAIRS / REPLACEMENT OF STORED COMPONENTS DUE TO LOSS OR DAMAGES.



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		DOWNSPOUTS AND
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	C.	NEW WOOD COMPO
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		THEIR ORIGINAL FF
		ADJACENT WOOD
		REMOVED DUE TO
	e.	REPLACE EXISTING
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		WEATHER TIGHT.
3.	MODIF	ICATIONS AND REPA
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	b.	RE-FINISH AND SEA
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		TEMPORARY HOAR
		CONSTRUCTION.
6.	EXTEF	RIOR METAL COMPON
	a.	ENSURE THAT ANY
		COMPONENTS ARE
		MATCHING THE PH
		PREVIOUSLY REMO REMOVE ALL SURF.
	b.	

# **GENERAL DEMOLITION NOTES:**

1. TEMPORARY AND PERMANENT REMOVALS OF EXTERIOR COMPONENTS: a. USE CAUTION AND CARE WHEN REMOVING: EXISTING COMPONENTS, INCLUDING BUT NOT LIMITED TO WOOD DOORS AT SOUTH ENTRANCES, LUNETTE WINDOW, STONE MASONRY, WOOD TRIM AND DECORATIVE COMPONENTS, WOOD SOFFIT, GUTTERS, DOWNSPOUTS, LIGHTNING ROD / COMPONENTS, CAULKING AT OPENINGS. IF DAMAGES OCCUR THEN THE COST OF SUPPLY AND INSTALLATIONS OF REPAIRS / REPLACEMENT SHALL BE THE RESPONSIBILITY CONTRACTOR, REPORT AND HAND OVER DAMAGED COMPONENTS TO THE GENERAL CONTRACTOR FOR REPLICATION. STORE ALL COMPONENTS AND COORDINATE with/ PCA REPRESENTATIVE FOR LOCATIONS OF HOARDING. PRIOR TO REMOVALS OF BUILDING COMPONENTS FOR EITHER REPLICATION, REPAIR AND/OR REPLACEMENT THE CONTRACTOR IS TO LABEL AND RECORD THE LOCATION AND PHYSICAL DIMENSIONS OF EACH COMPONENT REMOVED FROM THE BUILDING.

TEMPORARILY REMOVE EXISTING WOOD DOORS AND HARDWARE. FRAMES TO REMAIN UNLESS COMPONENTS EXHIBIT SIGNS OF DETERIORATION BEYOND THE POINT OF REPAIR. STORE DOORS AND HARDWARE FOR RE-FINISHING AND RE-INSTALLATION AS DIRECTED BY PCA REPRESENTATIVE. REMOVE PORTIONS OF ANY ADJACENT REMAINING WOOD COMPONENTS, SURROUNDING WOOD DOORS, WHICH EXHIBIT SIGNS OF SERVE DETERIORATION, MOLD, SPLITTING, ROT AND ANY OTHER SIGNS OF WEAR WHICH WOULD COMPROMISE THE INTEGRITY OF ENTRANCE SYSTEM. TEMPORARILY REMOVE AND STORE EXISTING COMPONENTS AFFIXED INTO EXISTING MASONRY CONDITIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING COMPONENTS; BUILDING SIGNAGE, STONE COMPONENTS, ELECTRICAL COMPONENTS, DEVICES, EQUIPMENT, PENETRATIONS FOR BUILDING SERVICES, WALL GONGS, BELLS, BUZZERS, HOSE BIBS AND ANY OTHER COMPONENTS WHICH MAY IMPEDE THE PROGRESS OF DEMOLITION. EXTERIOR COMPONENTS TO REMAIN:

a. EXISTING WOOD DOORS AND FRAMES ON WEST ELEVATION. EXISTING WINDOWS, EXISTING ROOF COMPONENTS, EXISTING STAIRS AND RAMP. ANY COMPONENT ATTACHED TO BUILDING THAT DOES NOT

EXHIBIT SIGNS OF DETERIORATION OR IMPEDE THE PROCESS OF DEMOLITION OR CONSTRUCTION. TEMPORARY REMOVALS OF INTERIOR CONDITIONS AND COMPONENTS: a. TEMPORARILY REMOVE AND STORE EXISTING INTERIOR COMPONENTS INCLUDING BUT NOT LIMITED TO ARTIFACTS, SIGNAGE, DEVICES THAT MAY BE DAMAGED DURING THE PROCESS OF DEMOLITION.

THE CONTRACTOR IS RESPONSIBLE FOR LABELING AND RECORDING ALL TEMPORARILY REMOVED / RELOCATED COMPONENTS AND THE LOCATIONS WHERE EACH COMPONENT CAME FROM IN ORDER TO ENSURE THAT ALL RE-INSTALLED COMPONENTS ARE SECURED BACK TO THEIR ORIGINAL LOCATIONS.

TEMPORARY AND PERMANENT REMOVALS OF EXISTING SITE RELATED CONDITIONS AND COMPONENTS ADJACENT TO THE PERIMETER OF THE a. TEMPORARILY PROTECT ANY REMAINING TREES, SHRUBS. PLANTS AND ANY OTHER ORGANIC CONDITIONS. ADJACENT TO

> PERIMETER OF EXTERIOR WALLS, WHICH MAY IMPEDE THE PROGRESS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR LABELING AND RECORDING ALL TEMPORARILY REMOVED / RELOCATED COMPONENTS AND THE LOCATIONS WHERE EACH COMPONENT CAME FROM IN ORDER TO ENSURE THAT ALL RE-INSTALLED COMPONENTS ARE SECURED BACK TO THEIR ORIGINAL LOCATIONS.

TEMPORARILY REMOVE AND STORE METAL HANDRAILS AND FASTENERS TO ALLOW FOR REPAIRS TO STONE MASONRY. PERMANENTLY REMOVE ANY FASTENERS THAT ARE DETERIORATED BEYOND THE POINT OF REPAIR.

# **GENERAL CONSTRUCTION NOTES:**

1. RE-INSTALLATION OF EXISTING WALL COMPONENTS: a. RE-INSTALLATION OF PREVIOUSLY REMOVED COMPONENTS AND CONDITIONS ALONG ENTIRE PERIMETER OF BUILDING, INCLUDE BUT ARE NOT LIMITED TO, THE FOLLOWING COMPONENTS: SOUTH ENTRY WOOD DOORS AND HARDWARE, BUILDING SIGNAGE, STONE COMPONENTS, SANDSTONE COMPONENTS, ELECTRICAL / MECHANICAL COMPONENTS, DEVICES, EQUIPMENT, PENETRATIONS FOR BUILDING SERVICES, WALL GONGS, BELLS, BUZZERS, HOSE BIBS AND ANY OTHER PREVIOUSLY REMOVED COMPONENTS AND CONDITIONS. ENSURE THAT ALL COMPONENTS, DEVICES, EQUIPMENT AND SERVICES ARE RE-INSTALLED AND SECURED BACK TO THEIR ORIGINAL LOCATIONS IN ORDER TO PROVIDE A COMPLETE AND FULLY OPERATIONAL FACILITY. LATION OF NEW, REPLICATED AND RESTORED COMPONENTS: CLEAN AND PREPARE EXISTING REMAINING OPENINGS TO RECEIVE EXISTING OR NEW DOORS AND ANY OTHER SERVICE PENETRATIONS PREVIOUSLY REMOVED. NO FABRICATION OF COMPONENTS IS PERMITTED WITHOUT SITE MEASURED VERIFICATION OF EACH MASONRY OPENING.

REPLICATE WOOD COMPONENTS TO EXACTLY MATCH PERMANENTLY REMOVED COMPONENT INCLUDING BUT NOT LIMITED TO WOOD TRIM AND DECORATIVE COMPONENTS, WOOD SOFFIT, LUNETTE WINDOW COMPONENTS, GUTTERS, DOWNSPOUTS AND LIGHTNING ROD / COMPONENTS. NO FABRICATION OF ANY COMPONENTS ARE PERMITTED WITHOUT SITE MEASURED VERIFICATION OF EACH COMPONENT TO ENSURE THAT EACH REPLICATED UNIT WILL FIT BACK INTO IT'S ORIGINAL LOCATION WITHOUT CONFLICT. NEW WOOD COMPONENTS TO MATCH EXISTING CONDITIONS. WOOD COMPONENTS TO BE FINISHED WITH PAINTS / STAINS TO MATCH PREVIOUS REMOVED COMPONENTS.

CLEAN AND PREPARE EACH EXISTING OPENING TO RECEIVE RESTORED WOOD DOORS AND LUNETTE WINDOW. RE-INSTALL PREVIOUSLY REMOVED HARDWARE BACK TO THEIR ORIGINAL LOCATIONS PRIOR TO RE-INSTALLATION OF DOORS BACK TO THEIR ORIGINAL FRAMES, PATCH, REPAIR AND RE-FINISH ADJACENT WOOD COMPONENTS, WHICH WERE PREVIOUSLY REMOVED DUE TO SEVERE DETERIORATION. REPLACE EXISTING SEALANTS AND WEATHER-STRIPPING ALONG PERIMETER OF DOORS AND FRAMES. INSTALLATION OF ALL COMPONENTS TO BE SQUARE, LEVEL, PLUMB, TRUE AND

WEATHER TIGHT. ICATIONS AND REPAIRS TO REMAINING WOOD DOOR AND W COMPONENTS : REMOVE, LABEL AND STORE ALL HARDWARE COMPONENTS PRIOR TO RE-FINISHING OF WOOD DOORS.

RE-FINISH AND SEAL EXISTING WOOD FRAMES AND METAL TRANSOM FRAMES AT SOUTH DOOR ENTRANCES AND LUNETTE WINDOW WITH EXTERIOR PAINT TO MATCH EXISTING. CLEAN ALL DOOR HARDWARE PRIOR TO RE-INSTALLATION OF DOORS. ENSURE ALL HARDWARE COMPONENTS ARE INSTALLED BACK TO THEIR ORIGINAL LOCATIONS. TATEMENT OF PREVIOUSLY REMOVED / RELOCATED INTERIOR

ONENTS AND CONDITIONS: RE-INSTALLATION OF PREVIOUSLY REMOVED / RELOCATED COMPONENTS AND CONDITIONS, INCLUDE BUT ARE NOT LIMITED TO, THE FOLLOWING: ARTIFACTS, SIGNAGE AND DEVICES WHICH IMPEDED THE PROGRESS OF DEMOLITION AND

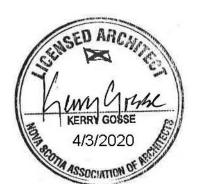
ENSURE THAT ALL PREVIOUSLY REMOVED COMPONENTS ARE RELOCATED BACK TO THEIR ORIGINAL LOCATIONS. TATEMENT OF EXISTING SITE RELATED CONDITIONS AND DNENTS ALONG THE PERIMETER OF THE BUILDING: REMOVE TEMPORARY PROTECTION FROM EXISTING PLANTS, LANDSCAPING, SHRUBS AND ANY OTHER ORGANIC CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS ASSOCIATED FOR SUPPLY AND INSTALLATION ANY SITE CONDITIONS DAMAGED AS A RESULT OF MOBILIZATION OF CONSTRUCTION MATERIALS, SITE PERSONNEL, EQUIPMENT, TEMPORARY HOARDING, DEMOLITION AND NEW CONSTRUCTION.

IOR METAL COMPONENTS: ENSURE THAT ANY PERMANENTLY REMOVED METAL COMPONENTS ARE REPLACED WITH NEW COMPONENTS MATCHING THE PHYSICAL CHARACTERISTICS OF THE PREVIOUSLY REMOVED COMPONENT. REMOVE ALL SURFACE RUST, PRIOR TO RE-FINISHING, FROM PREVIOUSLY REMOVED METAL HANDRAILS. RE-INSTALL PREVIOUSLY REMOVED COMPONENTS AFTER REPAIRS TO ORIGINAL LOCATION.









1	ISSUED FOR TENDER	02 APRIL 2020
revisions		date
project		projet

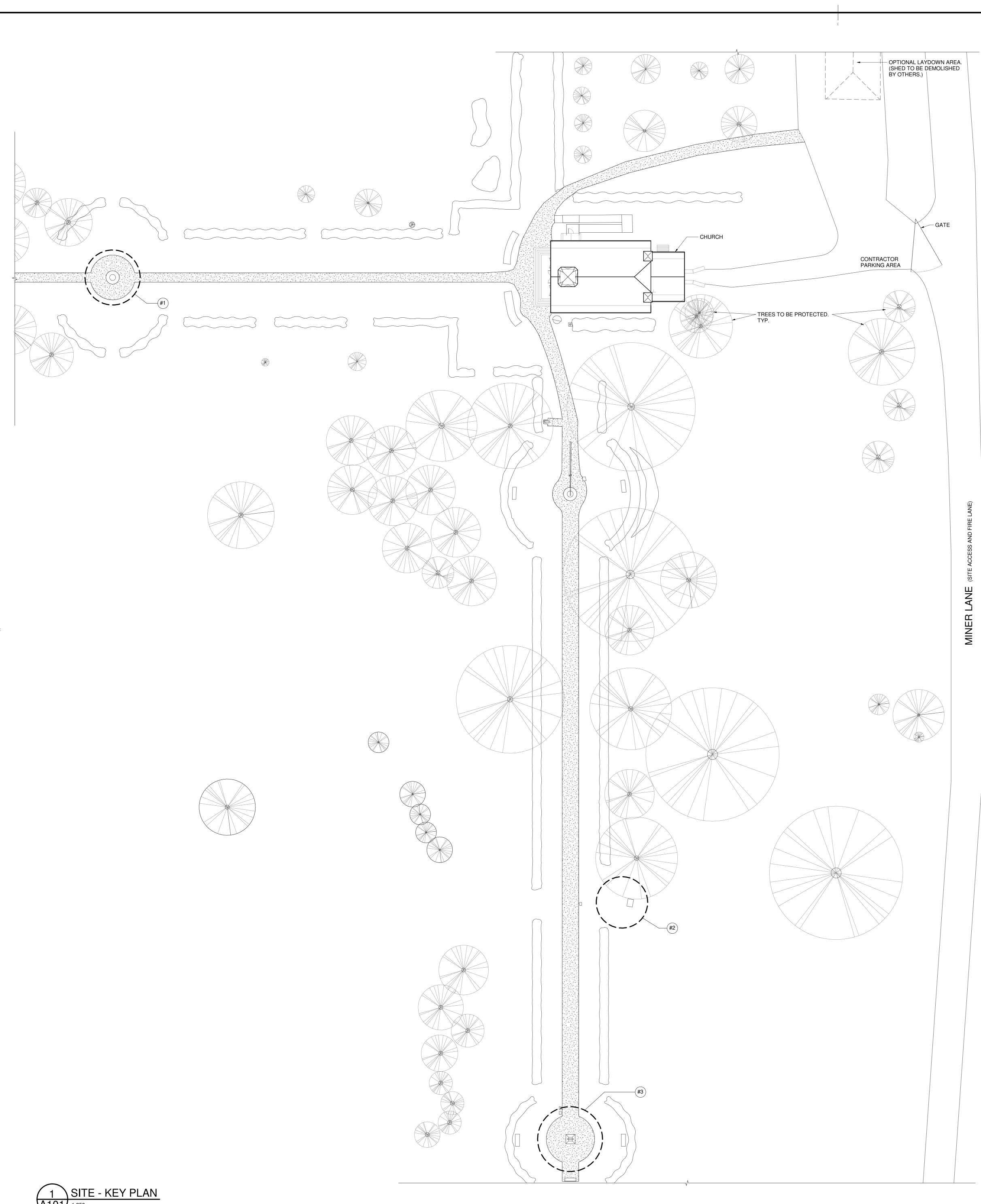
# **GRAND-PRÉ NATIONAL** HISTORIC SITE MEMORIAL CHURCH AND MONUMENTS REPOINTING

# **GENERAL NOTES**

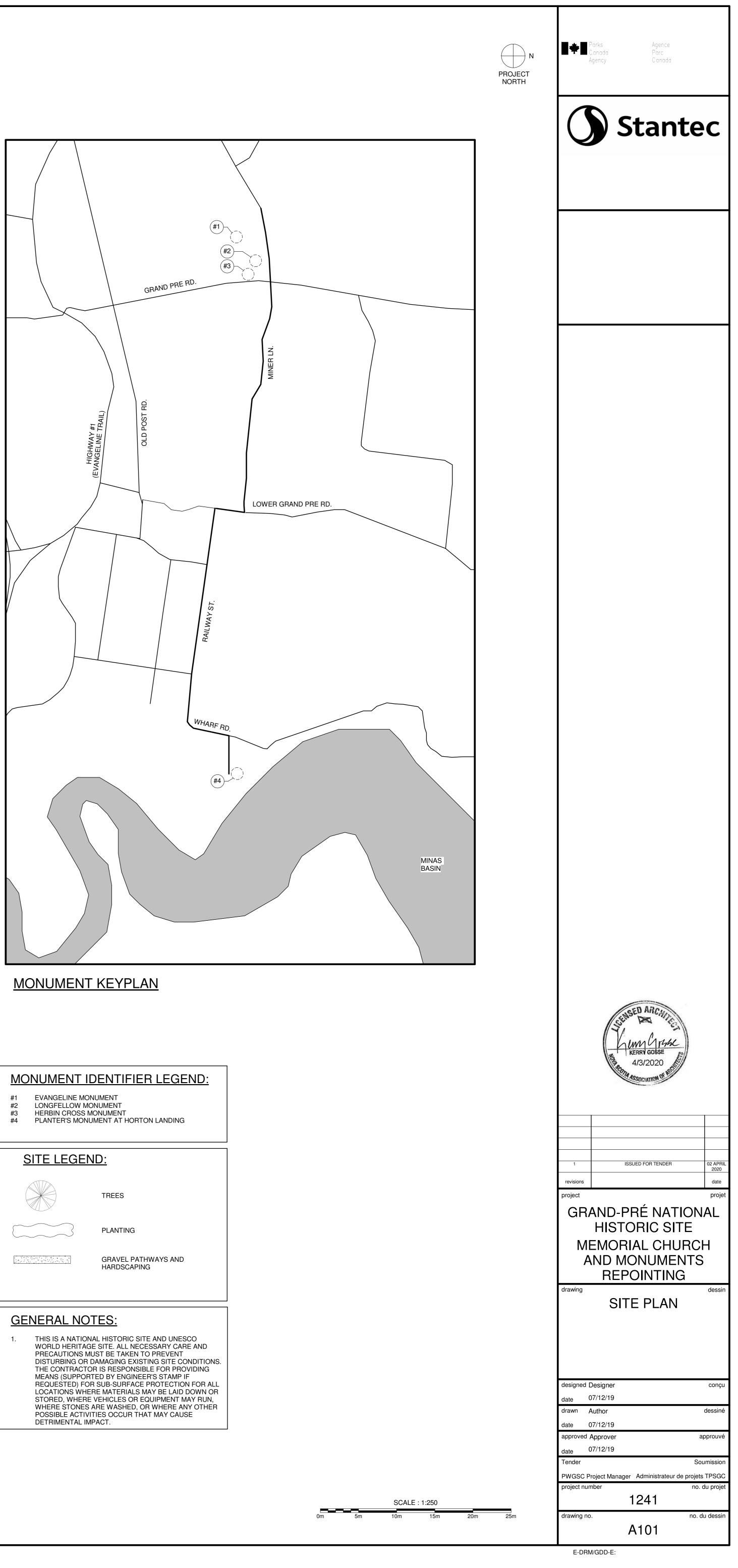
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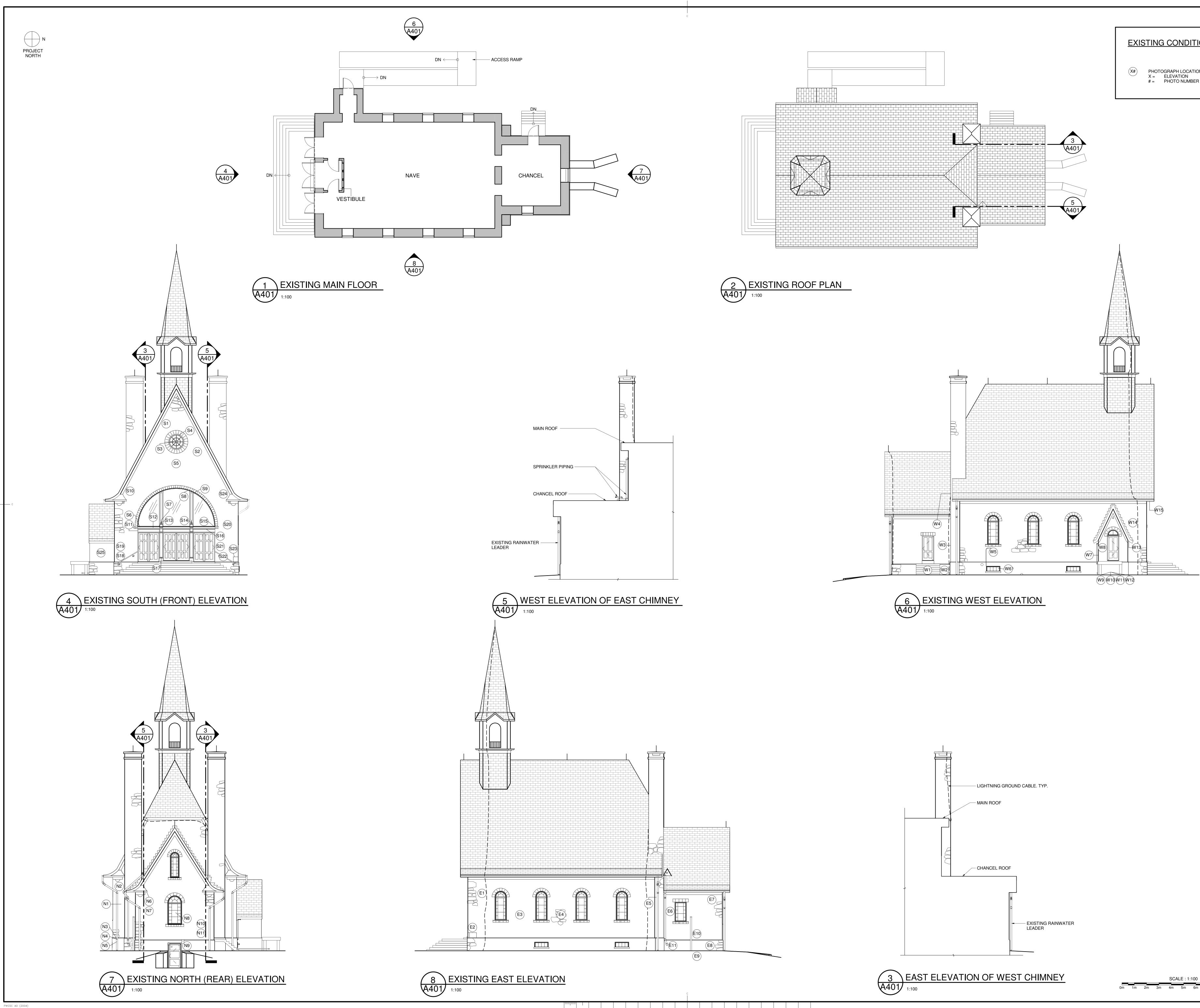
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PWGSC	Project Manager	Administrateur de projets TPSGC
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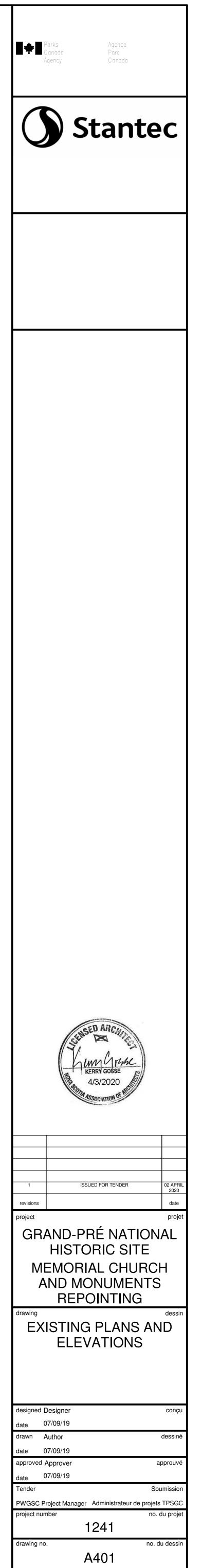




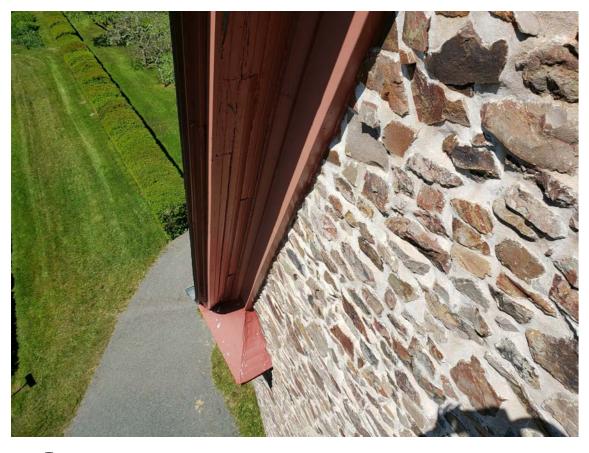
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 160
 180
 200mm

# EXISTING CONDITIONS LEGEND

(X#) PHOTOGRAPH LOCATION. SEE DRAWINGS A901-A903
 X = ELEVATION
 # = PHOTO NUMBER



E-DRM/GDD-E:



(S1) ROTTEN WOOD SOFFIT



(S7) MINOR DAMAGE TO LEDGE OF CAST IRON PILASTER



S2 PEELING PAINT, ROTTEN AND WEATHERED WOOD ON LUNETTE WINDOW, SOFFIT AND RAKE RETURN. LUNETTE WINDOW INSTALLED BACKWARDS



(S8) DETERIORATION OF CONCRETE BLOCK ARCH INCLUDING EFFLORESCENCE, WEATHERING AND OPEN JOINTS



(\$13) PEELING PAINT, ROTTEN AND WEATHERED WOOD ADJACENT CAST IRON PILASTER



(\$14) PEELING PAINT, AND MISSING FASTENERS ON LEAD FLASHING AT PILASTER



(\$19) PANEL TO SOUTHWEST OF DOOR HAS CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS



(\$25) SOUTH ELEVATION OF SOUTHWEST PORCH

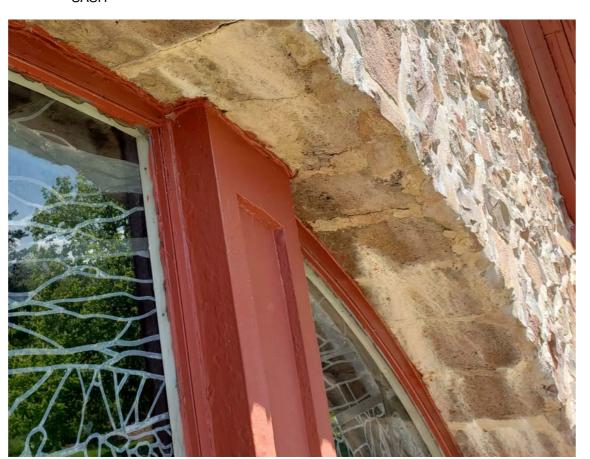
PWGSC A0 (2004)



(\$20) PANEL TO SOUTHEAST OF DOORS



S3 PEELING PAINT, ROTTEN AND WEATHERED WOOD ON LUNETTE WINDOW SASH



(S9) DETERIORATION OF CONCRETE BLOCK ARCH INCLUDING EFFLORESCENCE, WEATHERING AND OPEN JOINTS





(\$10) PEELING PAINT ON RAKE RETURN, ROTTED WOOD SOFFIT



(\$15) PEELING PAINT, ROTTEN AND WEATHERED WOOD, PEELING PAINT ON CAP FLASHING



S21) PANEL TO SOUTHWEST OF DOOR HAS CRACKED MORTAR AND EFFLORESCENCE IN JAMB



(\$16) WOOD AND FLASHING DETACHMENT



S22 PANEL TO SOUTHEAST OF DOOR HAS CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS

(S4) PEELING PAINT, ROTTEN AND WEATHERED ON LUNETTE WINDOW FRAME



(S5) CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS



(S11) PEELING PAINT, ROTTEN AND WEATHERED WOOD ON WINDOW FRAME, FAILED CAULKING



(\$17) PEELING PAINT, ROTTEN AND WEATHERED WOOD ON DOOR FRAMES







(\$18) PANEL TO SOUTHWEST OF DOORS

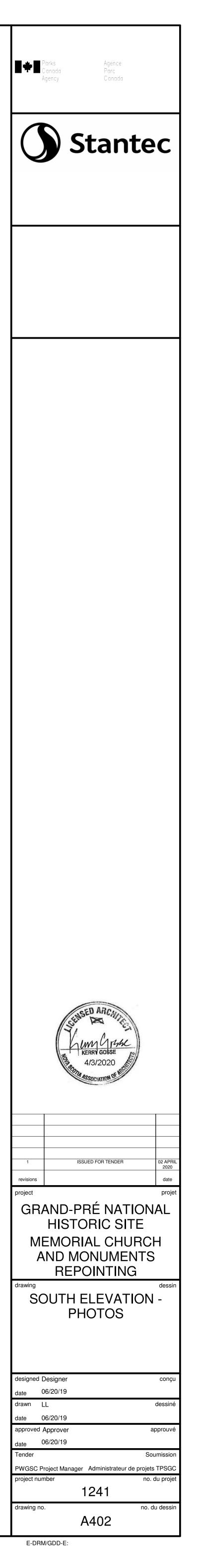


(\$23) SANDSTONE CORNER STONE IS CHIPPED AND EXFOLIATING



S24 CRACK AT OUTSIDE EDGE OF ARCH, GAP BEHIND WOOD MEDALLION, PEELING PAINT, ROTTEN AND WEATHERED WOOD ON SOFFIT

(S12) PEELING PAINT, ROTTEN AND WEATHERED WOOD ON WINDOW FRAME, FAILED CAULKING





(W1) MORTAR IN GOOD CONDITION BELOW NORTHWEST CONCRETE STAIR



W2 PREVIOUS CONCRETE REPAIR AND ORGANIC GROWTH ON CONCRETE STAIR AND SILL



W7 CRACKED MORTAR, OPEN JOINTS, ORGANIC GROWTH AND PREVIOUS W8 SOUTHWEST PORCH MORTAR REPAIRS AT CORNER OF SOUTHWEST PORCH



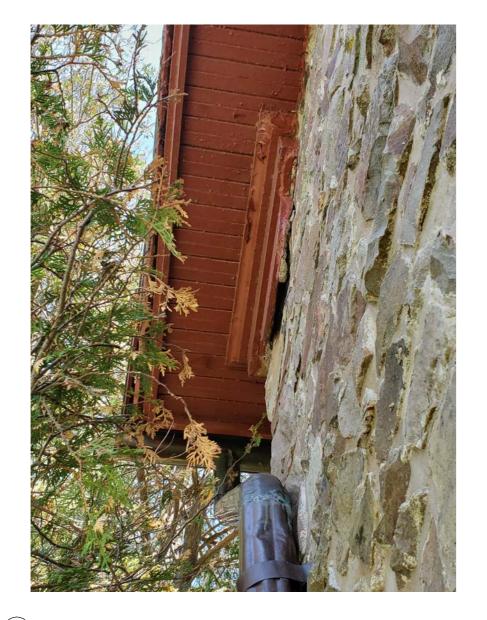


W14 STAINING ON ROOF SHINGLES, LEAKING COPPER GUTTER





N6) GAP BEHIND WOOD MEDALLION, ORGANIC GROWTH ON ROTTEN WOOD



(N7) GAP BEHIND WOOD MEDALLION



W3 CRACKED MORTAR AND OPEN JOINTS AT CORNERS, VARIOUS MATERIALS AND COLOURS ON DOWNSPOUT

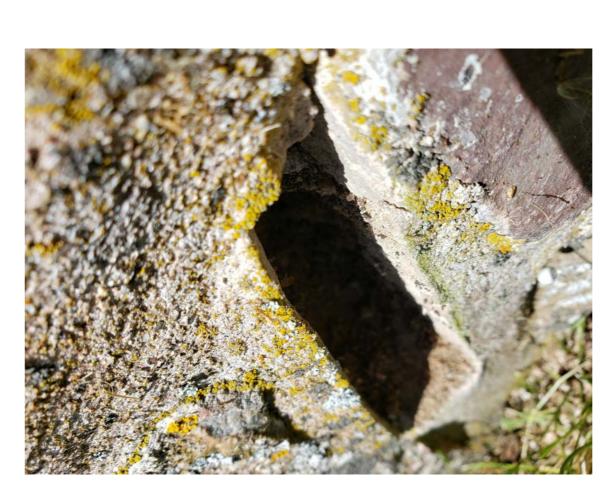




W9 CRACKED MORTAR, OPEN JOINTS, ORGANIC GROWTH AND PREVIOUS MORTAR REPAIRS BELOW LANDING AT SOUTHWEST PORCH



(W10) LOSS OF BINDER FROM MORTAR AND MISSING STONE LANDING AT SOUTHWEST PORCH

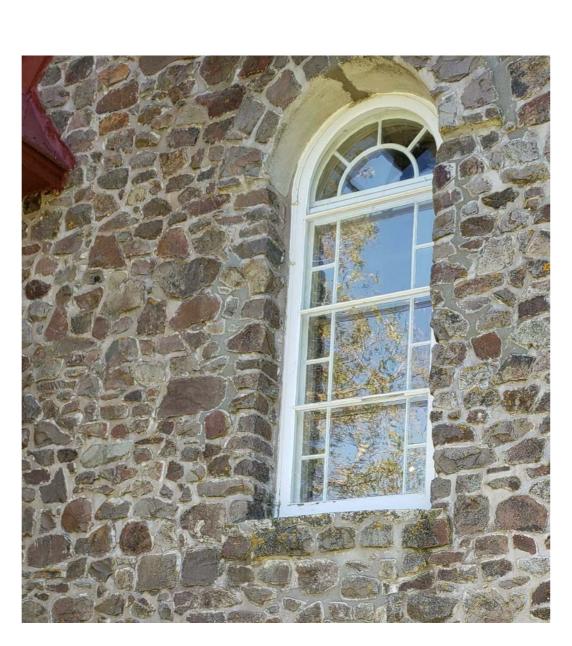




CRACKING AND OPEN JOINTS AT CORNER, CRACKED MORTAR AT JOINT (N1) EFFLORESCENCE ON BACKSIDE OF CHIMNEY, PEELING PAINT ON RAKE BELOW PROFILED FRIEZE



(N2) GAP BEHIND WOOD MEDALLION, ROTTEN WOOD ADJACENT CHIMNEY, LEAKING COPPER GUTTER, DETACHED RAINWATER LEADER STRAP

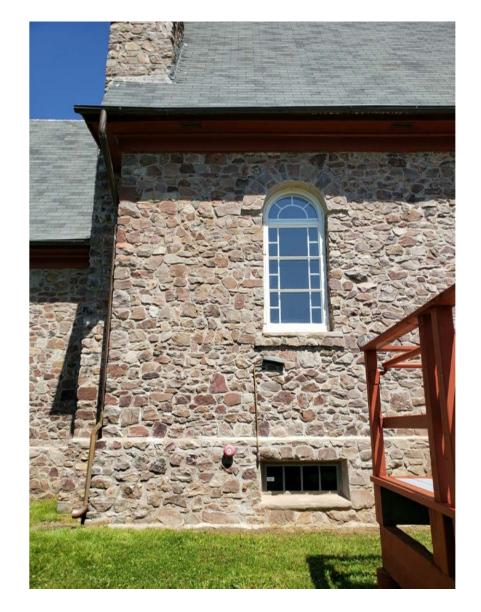


N8 PREVIOUS MORTAR REPAIRS AROUND WINDOW, CRACK AND PREVIOUS REPAIR AT HEAD OF ROUGH OPENING



N9 NORTH CHANCEL BASEMENT ENTRANCE, SATURATED BRICK AND MORTAR BELOW END OF WINDOWSILL, ORGANIC GROWTH ON PLINTH

W4 EFFLORESCENCE ON BACKSIDE OF CHIMNEY, SATURATES MORTAR AND STONE AT END OF GUTTER, WATER DAMAGE AND ORGANIC GROWTH BELOW, PEELING PAINT ON RAKE RETURN FLASHING, GAP BEHIND WOOD MEDALLION



W5 CRACKING AND OPEN JOINTS AT CORNER, MORTAR CAP ON PLINTH DAMAGED



W11 SAND (LOSS OF BINDER) FROM MORTAR JOINT BELOW LANDING AT SOUTHWEST PORCH



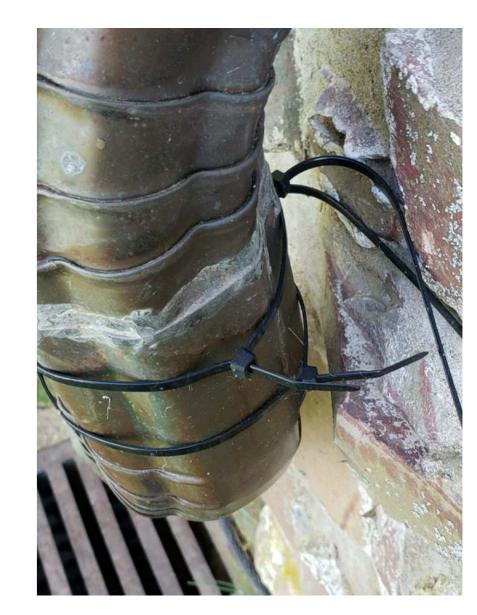
W12 SAND (LOSS OF BINDER) FROM MORTAR JOINT BELOW LANDING AT SOUTHWEST PORCH

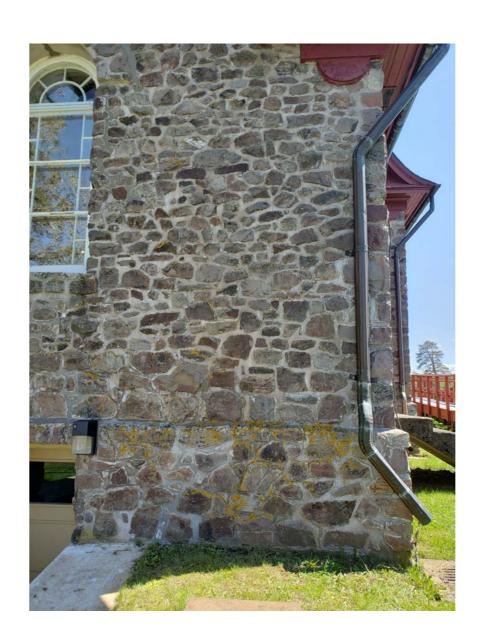




N3 DAMAGED AND CORRODED COPPER RAINWATER LEADER, MAKESHIFT (N4) CORRODED COPPER RAINWATER LEADER, CORRODED MISCELLANEOUS (N5) MAKESHIFT REPAIR WITH ZIP TIES FASTENERS







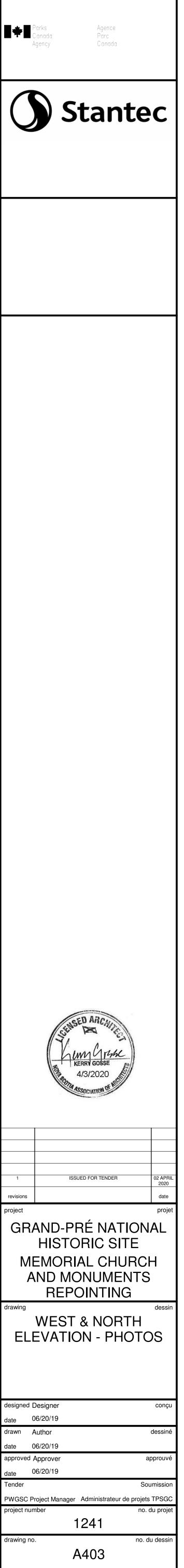
N10 CRACKING AND OPEN JOINTS AT CORNER, ORGANIC GROWTH ON PLINTH



(N11) ORGANIC GROWTH ON PLINTH, PREVIOUS MORTAR REPAIR, CRACKED MORTAR AND MISSING STONE AT BASE OF PLINTH

W6 MORTAR DAMAGE AT HEAD OF ROUGH OPENING, ORGANIC GROWTH ON CONCRETE SILL, ALUMINUM FRAME WINDOW STAINED

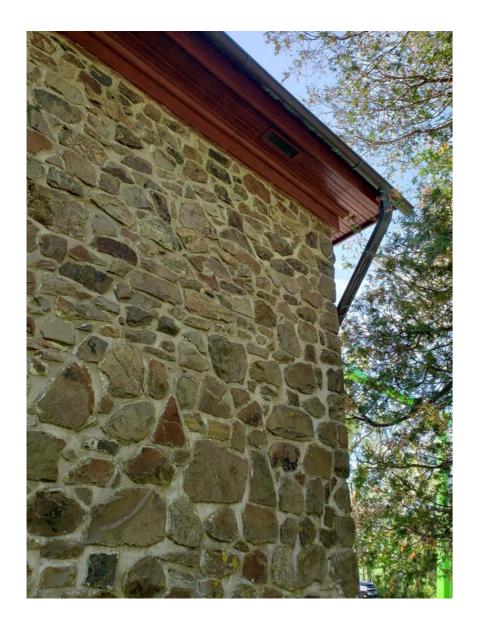
W13 PEELING PAINT, ROTTEN AND WEATHERED WOOD ON SOUTHWEST PORCH SOFFIT AND FACIA



E-DRM/GDD-E:



(E1) CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS AT SOUTHEAST CORNER OF NAVE



(E7) CRACKED MORTAR, OPEN JOINTS EFFLORESCENCE AND PREVIOUS MORTAR REPAIRS AT NORTHEAST CORNER OF CHANCEL



RL1) 4" DIAMETER COPPER RAINWATER LEADER



(1) INTERIOR FACE OF NORTH CHANCEL WALL



(E2) SANDSTONE CORNER STONE IS CHIPPED AND EXFOLIATING, OPEN AND CRACKED MORTAR JOINTS, PREVIOUS MORTAR REPAIR



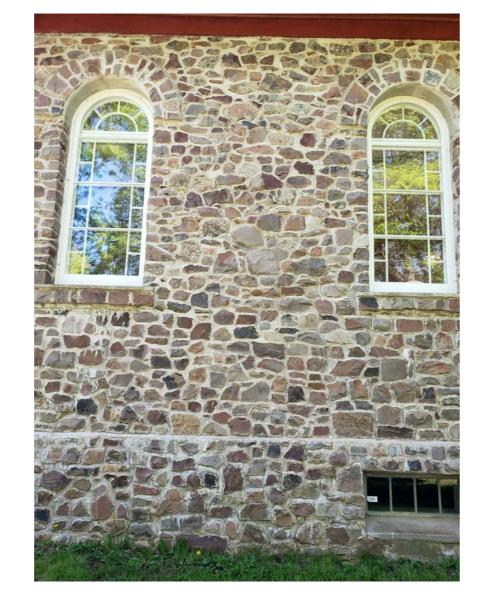
E8 CRACKED MORTAR, EFFLORESCENCE, OPEN JOINTS AND ORGANIC GROWTH AT NORTHEAST CORNER OF CHANCEL



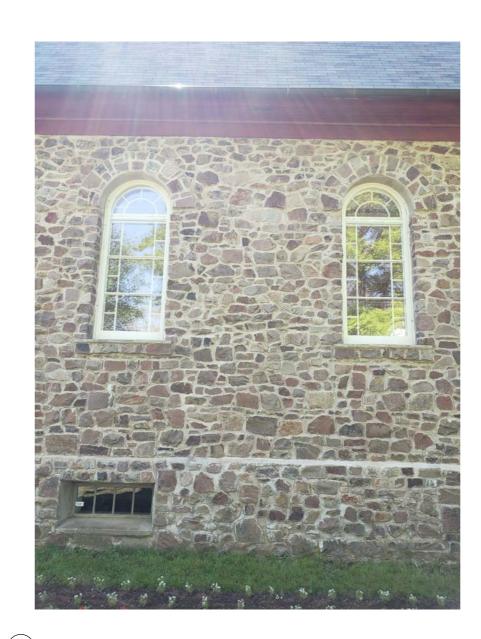
RL2 1 1/2" WIDE COPPER RAINWATER LEADER STRAP



(12) INTERIOR PORTION OF NORTH NAVE WALL BELOW CHANCEL ROOF AND ACCESS TO ATTIC ABOVE NAVE



(E3) EFFLORESCENCE, CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS BELOW WINDOWS AND AT TOP OF PLINTH





(E9) CRACKED MORTAR, EFFLORESCENCE, AND OPEN JOINTS BEHIND OIL TANK VENT PIPE

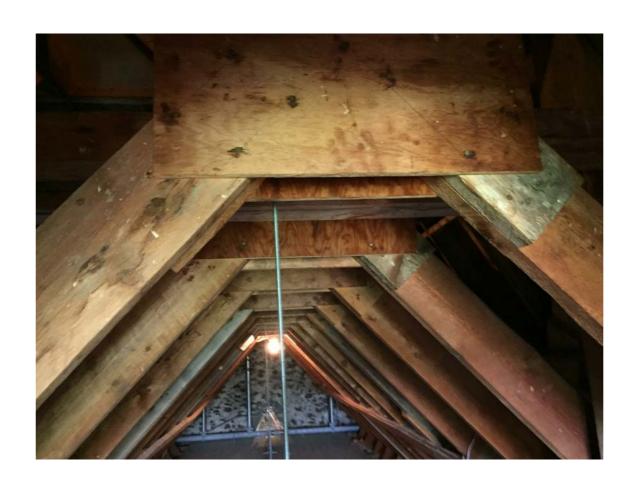




(RL3) 3 1/4" LEG ON COPPER RAINWATER LEADER STRAP

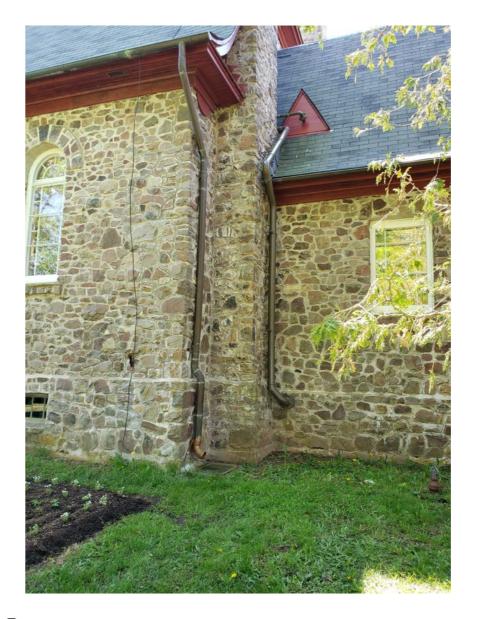


(I3) INTERIOR FACE OF NORTH NAVE WALL

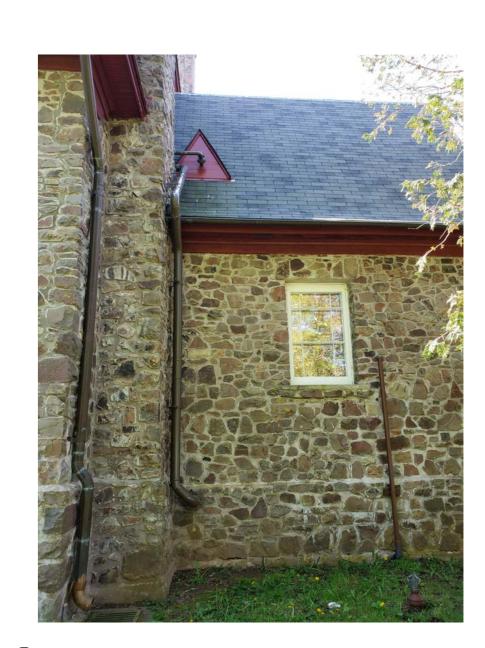


(14) NAVE ROOF RAFTERS AND GUSSET PLATES

(E4) BROKEN STONE AND CONCRETE WINDOWSILLS, CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS BELOW WINDOWS, CRACKED MORTAR CANT AT TOP OF PLINTH



(E5) CRACKED MORTAR, OPEN JOINTS AND PREVIOUS MORTAR REPAIRS AT NORTHEAST CORNER OF NAVE, ORGANIC GROWTH ON CHIMNEY





(E11) POOR MORTAR REPAIR AT THROUGH WALL PENETRATION

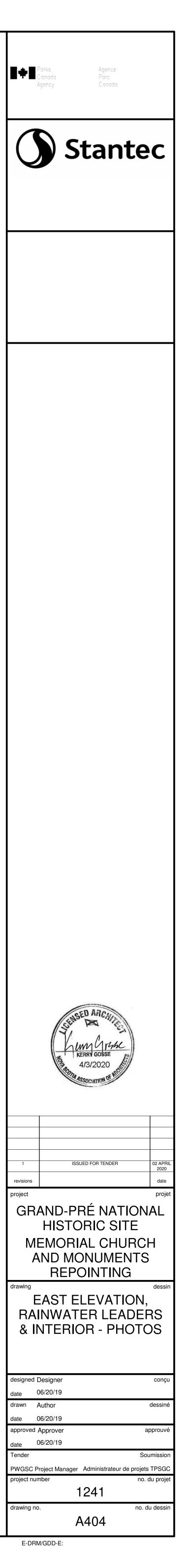


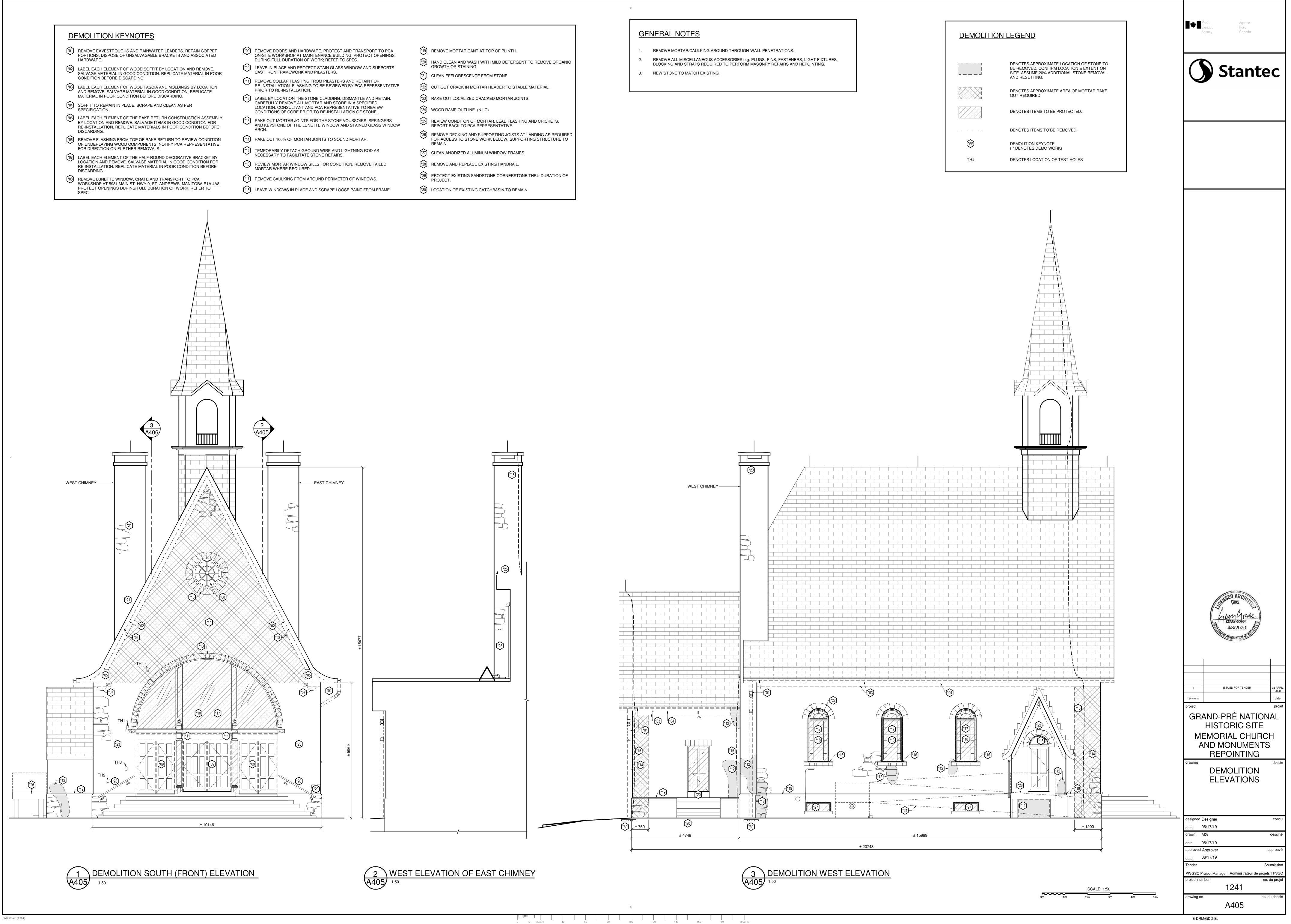
(15) NAVE ROOF RAFTERS AND GUSSET PLATES



(E6) CRACKED MORTAR, OPEN JOINTS EFFLORESCENCE AND PREVIOUS MORTAR REPAIRS BELOW WINDOW AND AT BASE OF PLINTH

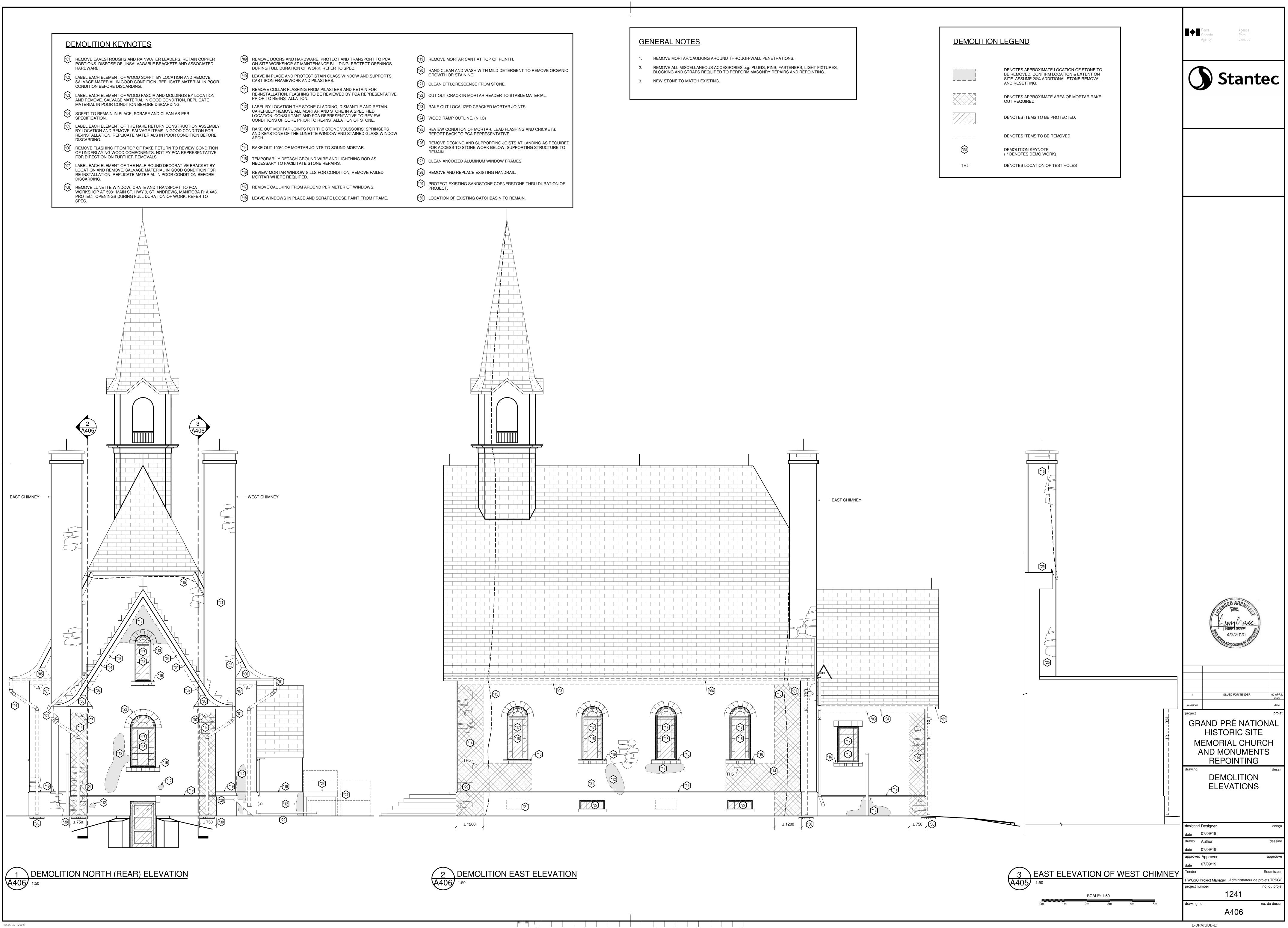
(16) INTERIOR FACE OF SOUTH NAVE WALL, BRICK ARCH WITH LATCH AND PLASTER INFILL





RE, PROTECT AND TRANSPORT TO PCA ENANCE BUILDING. PROTECT OPENINGS DRK; REFER TO SPEC.	(*19) (*20)	REMOVE MORTAR CANT AT TOP OF PLINTH.		1. 2.
STAIN GLASS WINDOW AND SUPPORTS PILASTERS.	(*20)	HAND CLEAN AND WASH WITH MILD DETERGENT TO REMOVE ORGANIC GROWTH OR STAINING.		3.
OM PILASTERS AND RETAIN FOR O BE REVIEWED BY PCA REPRESENTATIVE	*21	CLEAN EFFLORESCENCE FROM STONE. CUT OUT CRACK IN MORTAR HEADER TO STABLE MATERIAL.		
E CLADDING, DISMANTLE AND RETAIN. FAR AND STORE IN A SPECIFIED	*23	RAKE OUT LOCALIZED CRACKED MORTAR JOINTS.	•	
PCA REPRESENTATIVE TO REVIEW TO RE-INSTALLATION OF STONE.	*24	WOOD RAMP OUTLINE. (N.I.C)		
R THE STONE VOUSSOIRS, SPRINGERS TE WINDOW AND STAINED GLASS WINDOW	*25	REVIEW CONDITON OF MORTAR, LEAD FLASHING AND CRICKETS. REPORT BACK TO PCA REPRESENTATIVE.		
DINTS TO SOUND MORTAR.	*26	REMOVE DECKING AND SUPPORTING JOISTS AT LANDING AS REQUIRED FOR ACCESS TO STONE WORK BELOW. SUPPORTING STRUCTURE TO REMAIN.		
ID WIRE AND LIGHTNING ROD AS ONE REPAIRS.	*27	CLEAN ANODIZED ALUMINUM WINDOW FRAMES.		
S FOR CONDITION, REMOVE FAILED	*28	REMOVE AND REPLACE EXISTING HANDRAIL.		
UND PERIMETER OF WINDOWS.	*29	PROTECT EXISTING SANDSTONE CORNERSTONE THRU DURATION OF PROJECT.		
O SCRAPE LOOSE PAINT FROM FRAME.	*30	LOCATION OF EXISTING CATCHBASIN TO REMAIN.		

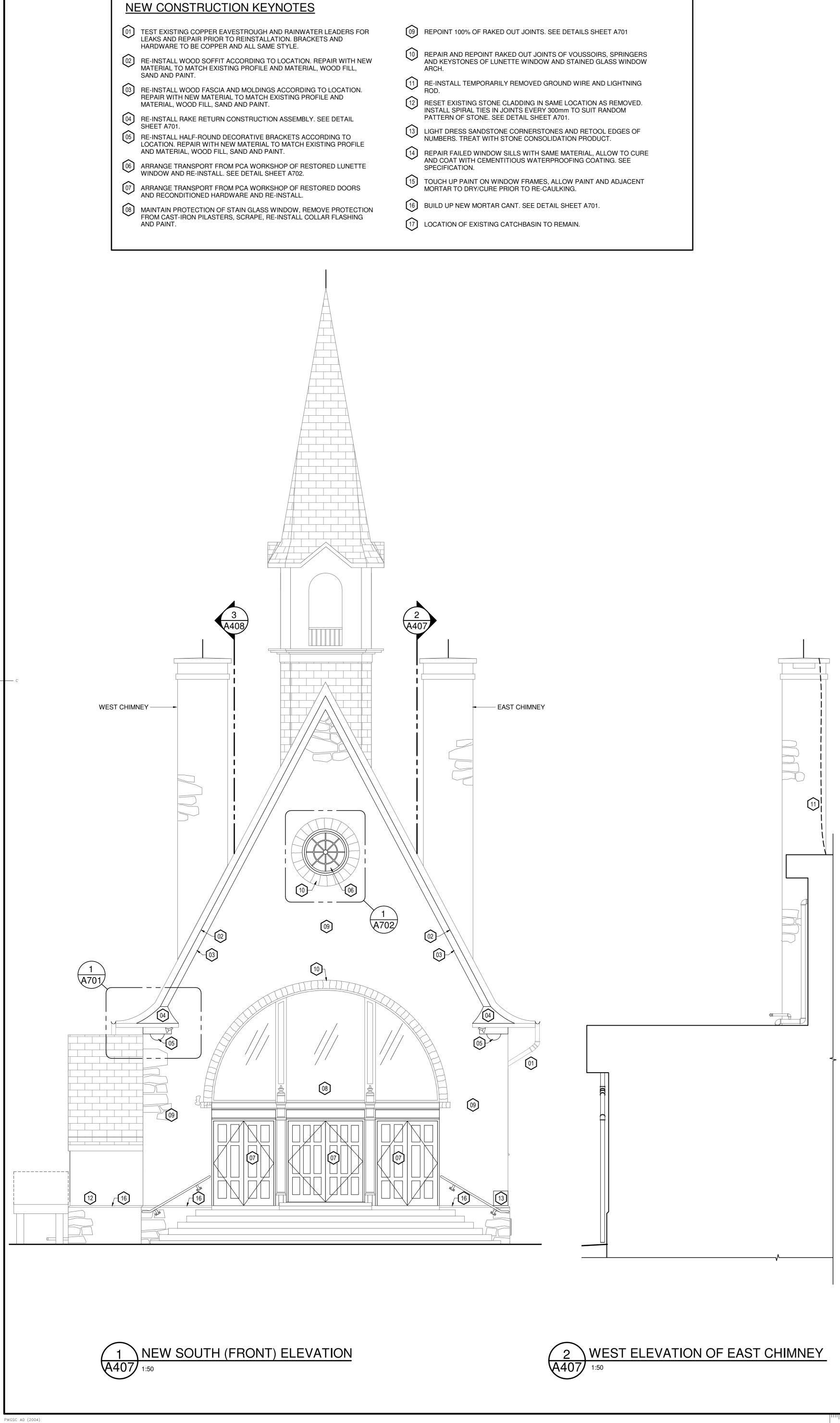
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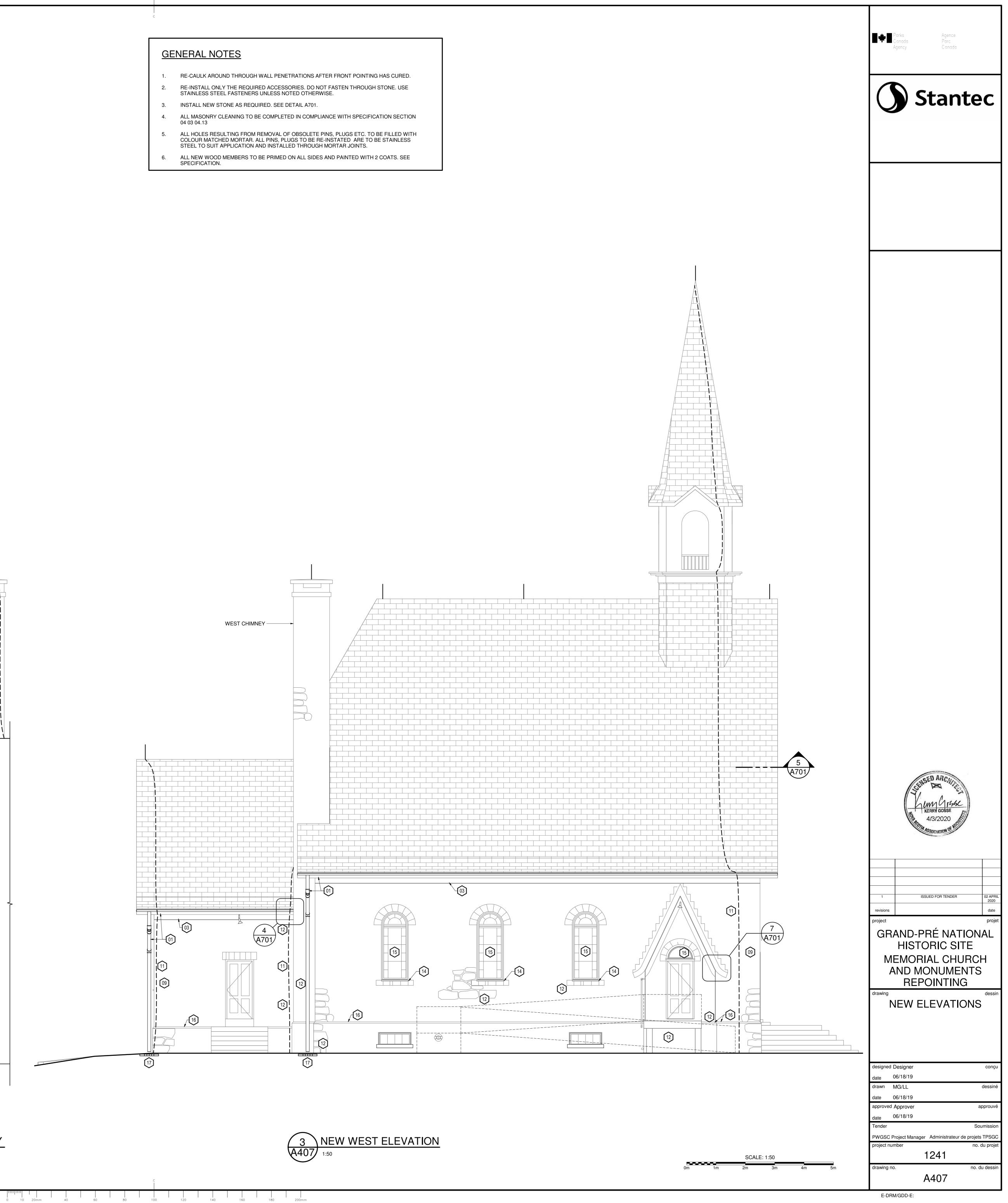


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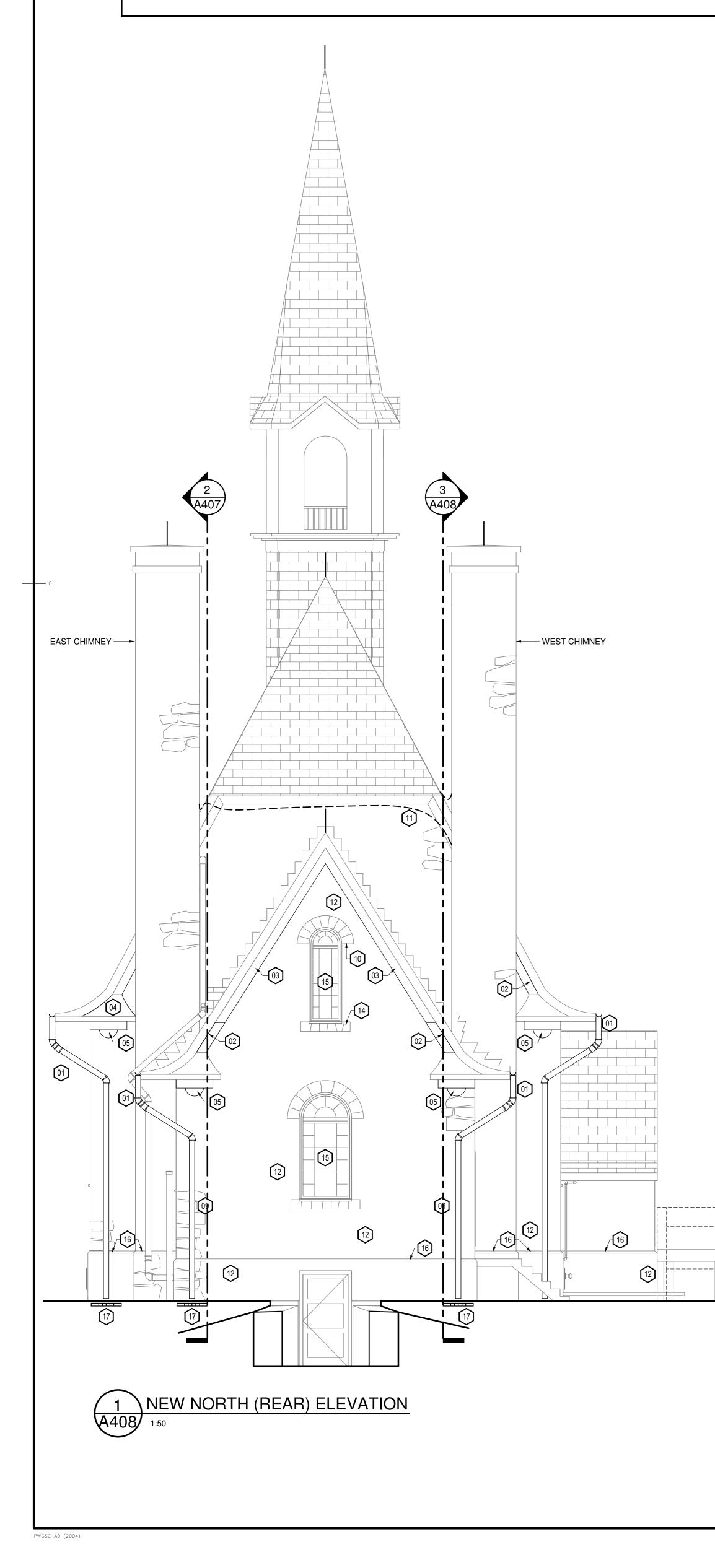
/16



- 1 TEST EXISTING COPPER EAVESTROUGH AND RAINWATER LEADERS FOR LEAKS AND REPAIR PRIOR TO REINSTALLATION. BRACKETS AND HARDWARE TO BE COPPER AND ALL SAME STYLE.
- RE-INSTALL WOOD SOFFIT ACCORDING TO LOCATION. REPAIR WITH NEW MATERIAL TO MATCH EXISTING PROFILE AND MATERIAL, WOOD FILL, SAND AND PAINT.
- RE-INSTALL WOOD FASCIA AND MOLDINGS ACCORDING TO LOCATION. REPAIR WITH NEW MATERIAL TO MATCH EXISTING PROFILE AND
- MATERIAL, WOOD FILL, SAND AND PAINT. RE-INSTALL RAKE RETURN CONSTRUCTION ASSEMBLY. SEE DETAIL SHEET A701.
- RE-INSTALL HALF-ROUND DECORATIVE BRACKETS ACCORDING TO LOCATION. REPAIR WITH NEW MATERIAL TO MATCH EXISTING PROFILE AND MATERIAL, WOOD FILL, SAND AND PAINT.
- ARRANGE TRANSPORT FROM PCA WORKSHOP OF RESTORED LUNETTE WINDOW AND RE-INSTALL. SEE DETAIL SHEET A702.
- ARRANGE TRANSPORT FROM PCA WORKSHOP OF RESTORED DOORS AND RECONDITIONED HARDWARE AND RE-INSTALL.
- MAINTAIN PROTECTION OF STAIN GLASS WINDOW, REMOVE PROTECTION FROM CAST-IRON PILASTERS, SCRAPE, RE-INSTALL COLLAR FLASHING AND PAINT.

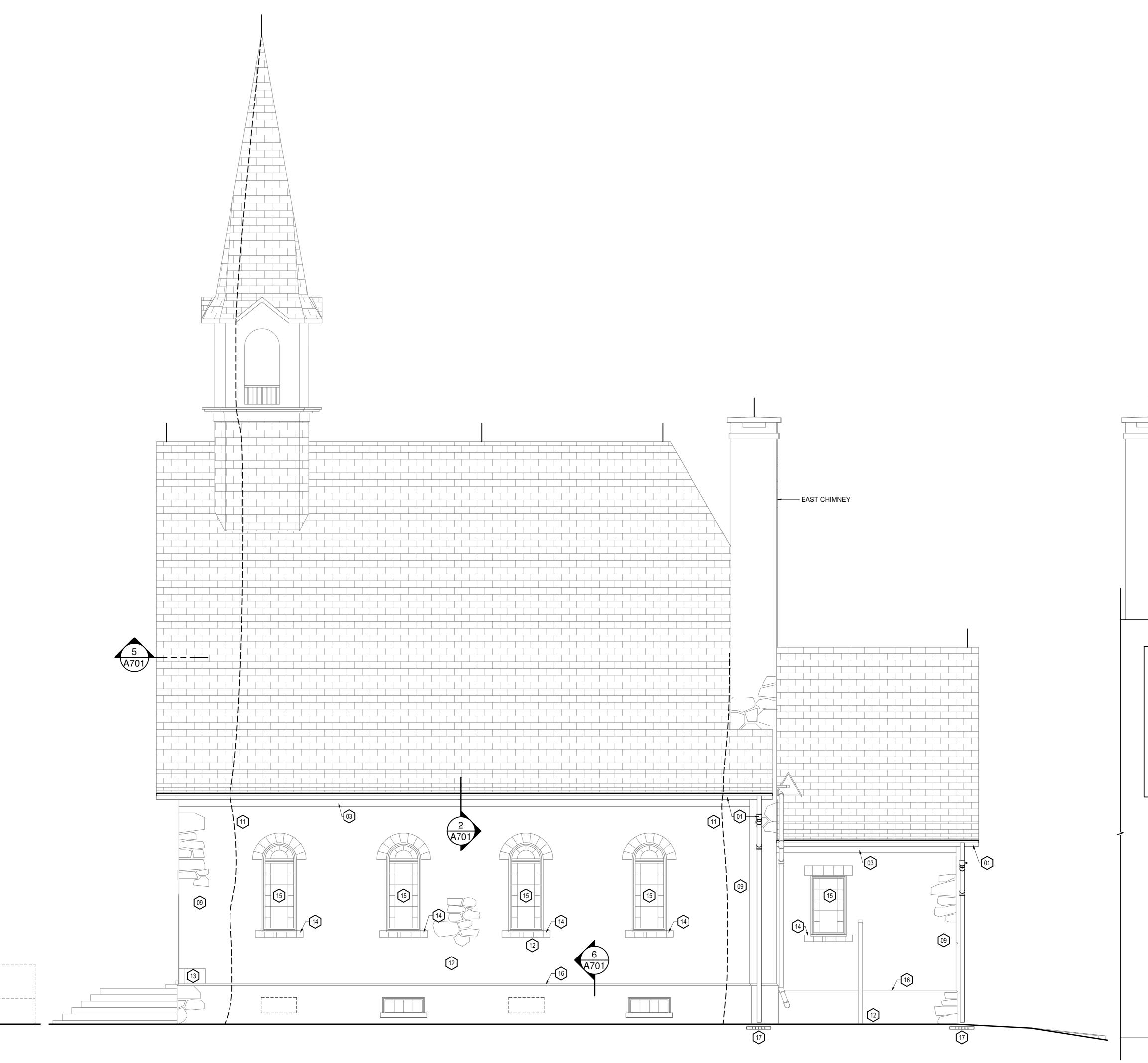
- () REPOINT 100% OF RAKED OUT JOINTS. SEE DETAILS SHEET A701
- 10 REPAIR AND REPOINT RAKED OUT JOINTS OF VOUSSOIRS, SPRINGERS AND KEYSTONES OF LUNETTE WINDOW AND STAINED GLASS WINDOW
- ARCH. 11 RE-INSTALL TEMPORARILY REMOVED GROUND WIRE AND LIGHTNING ROD.
- 12 RESET EXISTING STONE CLADDING IN SAME LOCATION AS REMOVED. INSTALL SPIRAL TIES IN JOINTS EVERY 300mm TO SUIT RANDOM PATTERN OF STONE. SEE DETAIL SHEET A701.

- SPECIFICATION.
- TOUCH UP PAINT ON WINDOW FRAMES, ALLOW PAINT AND ADJACENT MORTAR TO DRY/CURE PRIOR TO RE-CAULKING.
- (16) BUILD UP NEW MORTAR CANT. SEE DETAIL SHEET A701.
- 17 LOCATION OF EXISTING CATCHBASIN TO REMAIN.



13 LIGHT DRESS SANDSTONE CORNERSTONES AND RETOOL EDGES OF NUMBERS. TREAT WITH STONE CONSOLIDATION PRODUCT.

REPAIR FAILED WINDOW SILLS WITH SAME MATERIAL, ALLOW TO CURE AND COAT WITH CEMENTITIOUS WATERPROOFING COATING. SEE

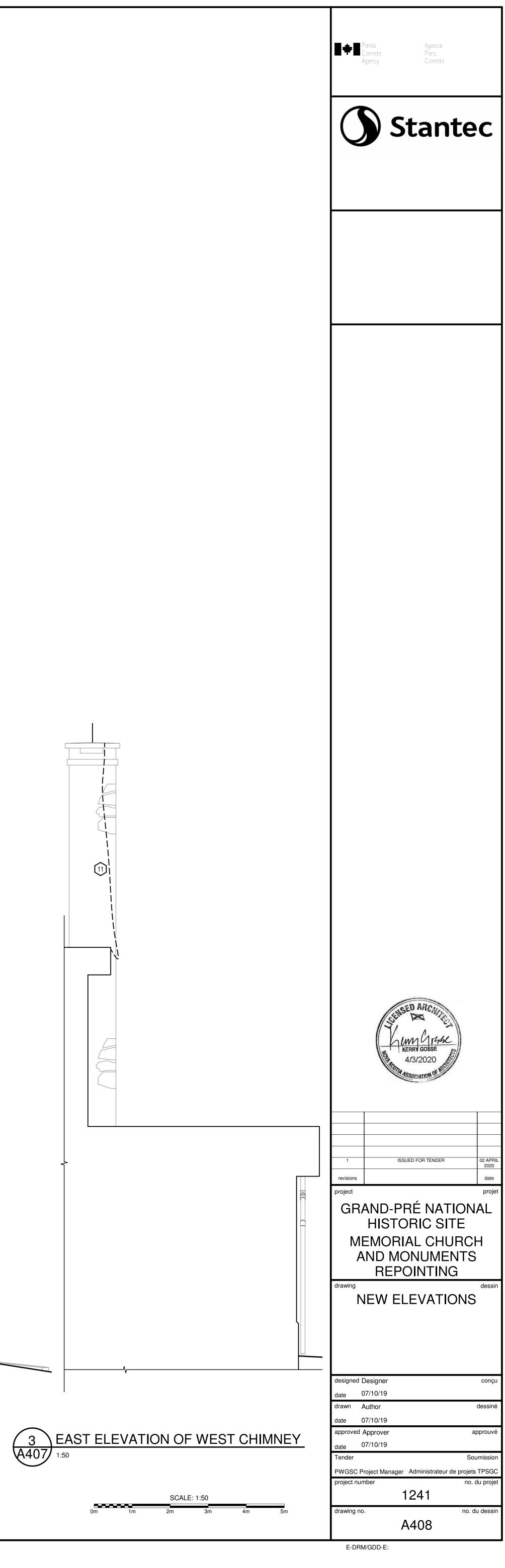


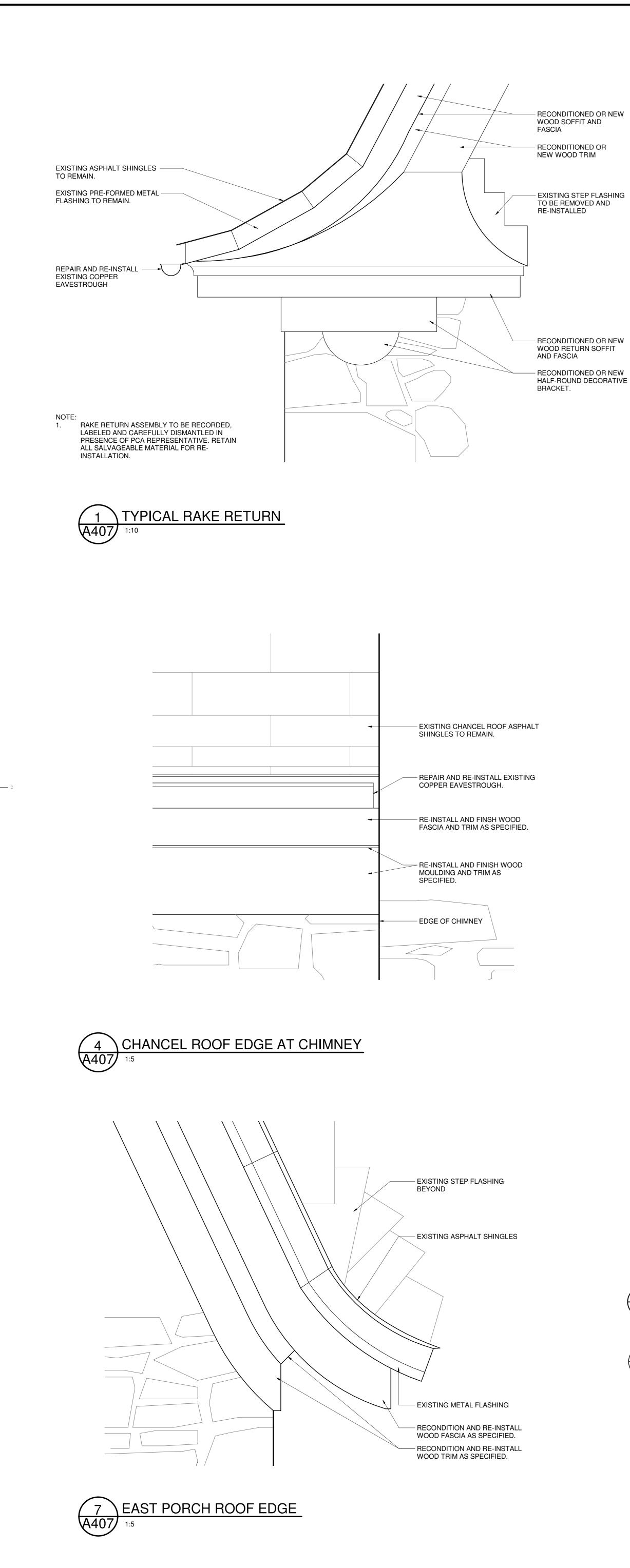
2 NEW EAST ELEVATION A408 1:50

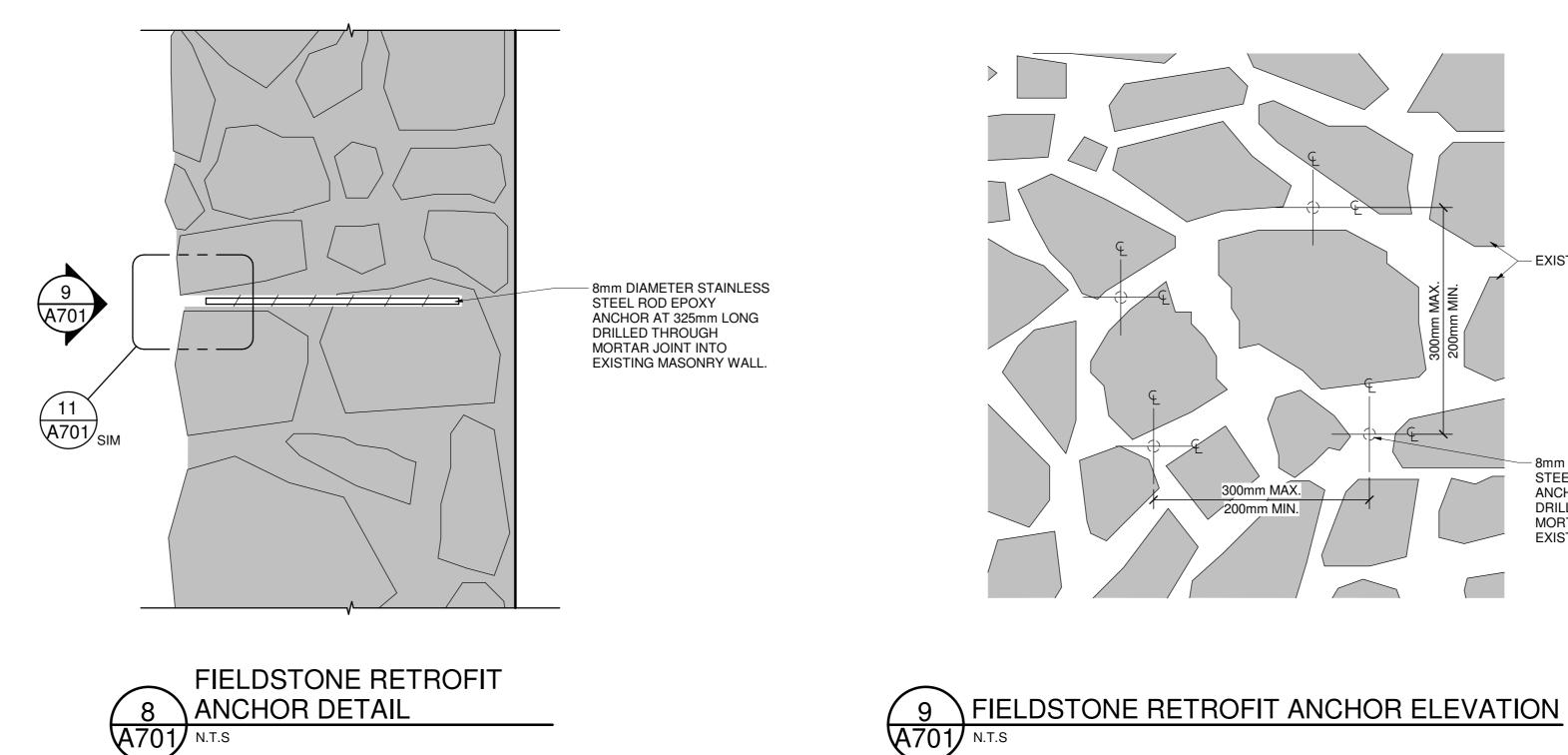
1. RE-CAULK AROUND THROUGH WALL PENETRATIONS AFTER FRONT POINTING HAS CURED. RE-INSTALL ONLY THE REQUIRED ACCESSORIES. DO NOT FASTEN THROUGH STONE. USE STAINLESS STEEL FASTENERS UNLESS NOTED OTHERWISE. INSTALL NEW STONE AS REQUIRED. SEE DETAIL A701.

ALL HOLES RESULTING FROM REMOVAL OF OBSOLETE PINS, PLUGS ETC. TO BE FILLED WITH COLOUR MATCHED MORTAR. ALL PINS, PLUGS TO BE RE-INSTATED ARE TO BE STAINLESS STEEL TO SUIT APPLICATION AND INSTALLED THROUGH MORTAR JOINTS. ALL NEW WOOD MEMBERS TO BE PRIMED ON ALL SIDES AND PAINTED WITH 2 COATS. SEE

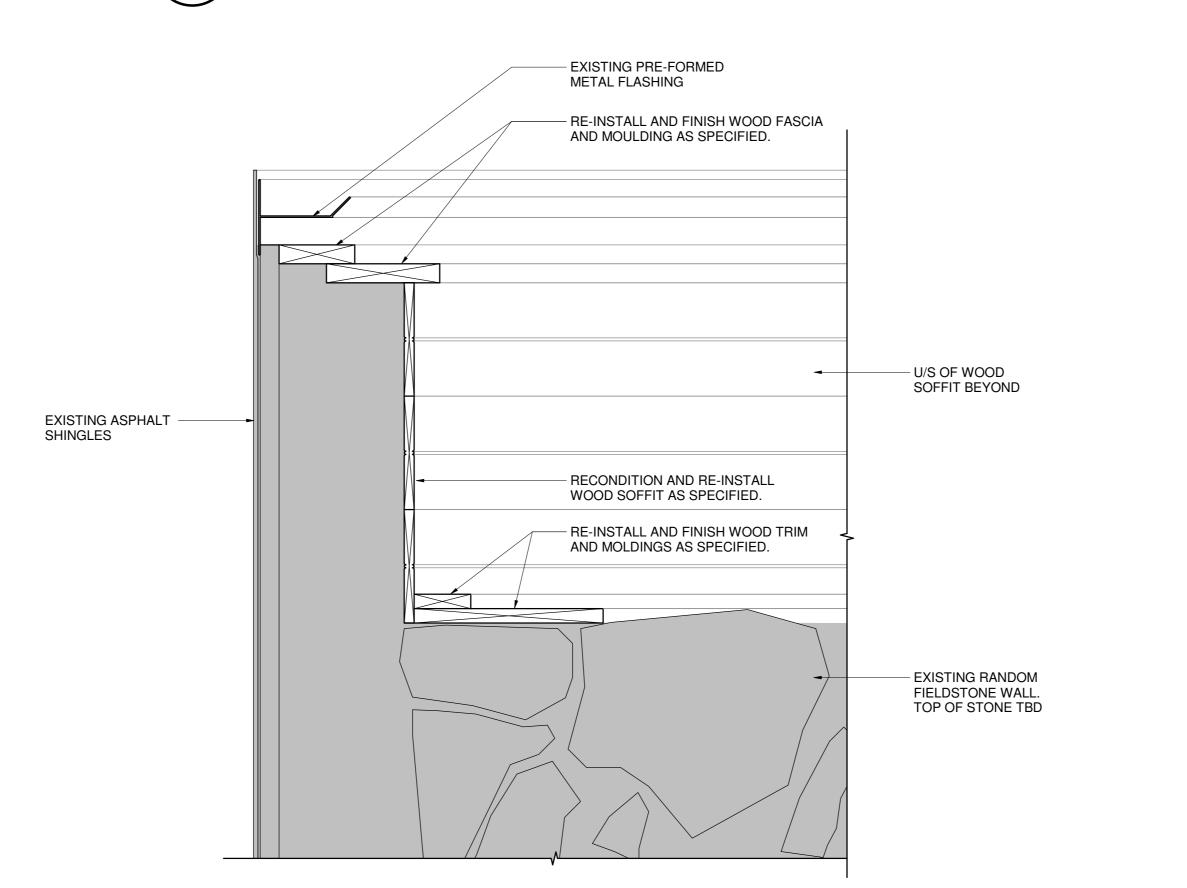








5 SECTION DETAIL AT SOUTH GABLE END ROOF SOFFIT A407/



SECTION DETAIL AT SOFFIT

- RECONDITIONED OR NEW HALF-ROUND DECORATIVE

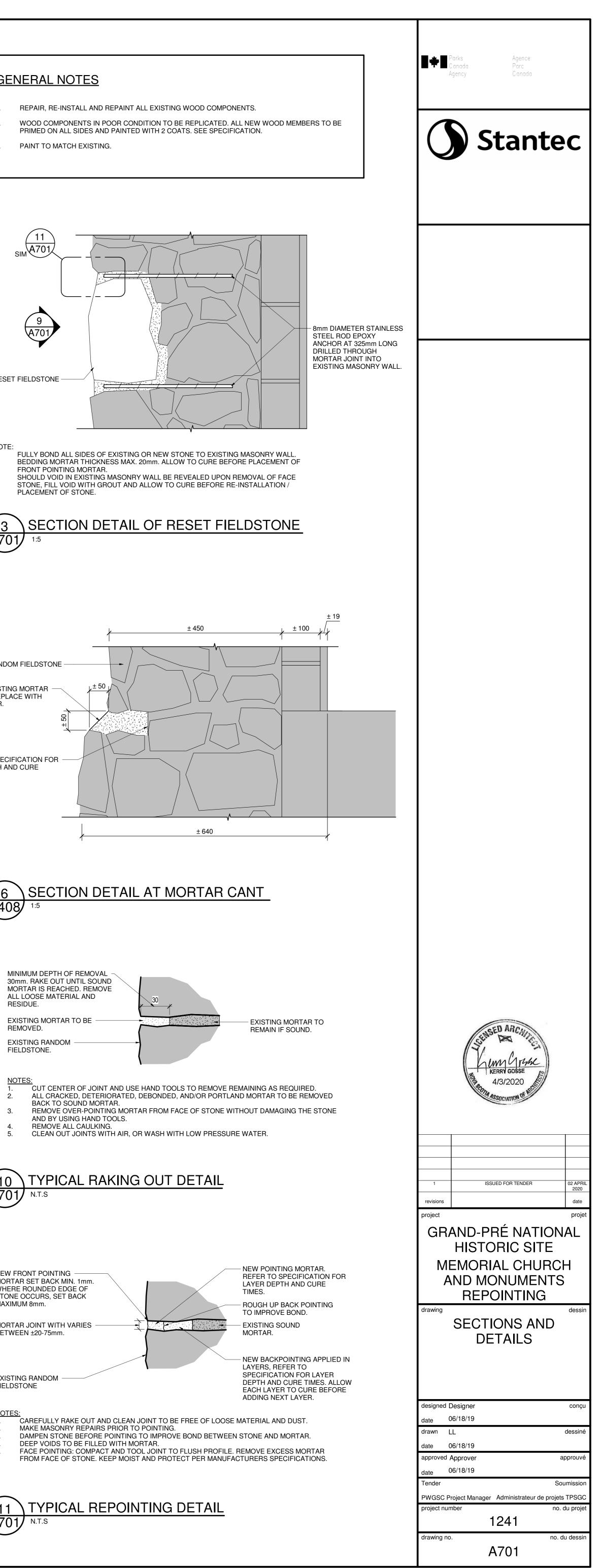
WOOD RETURN SOFFIT

- RECONDITIONED OR NEW

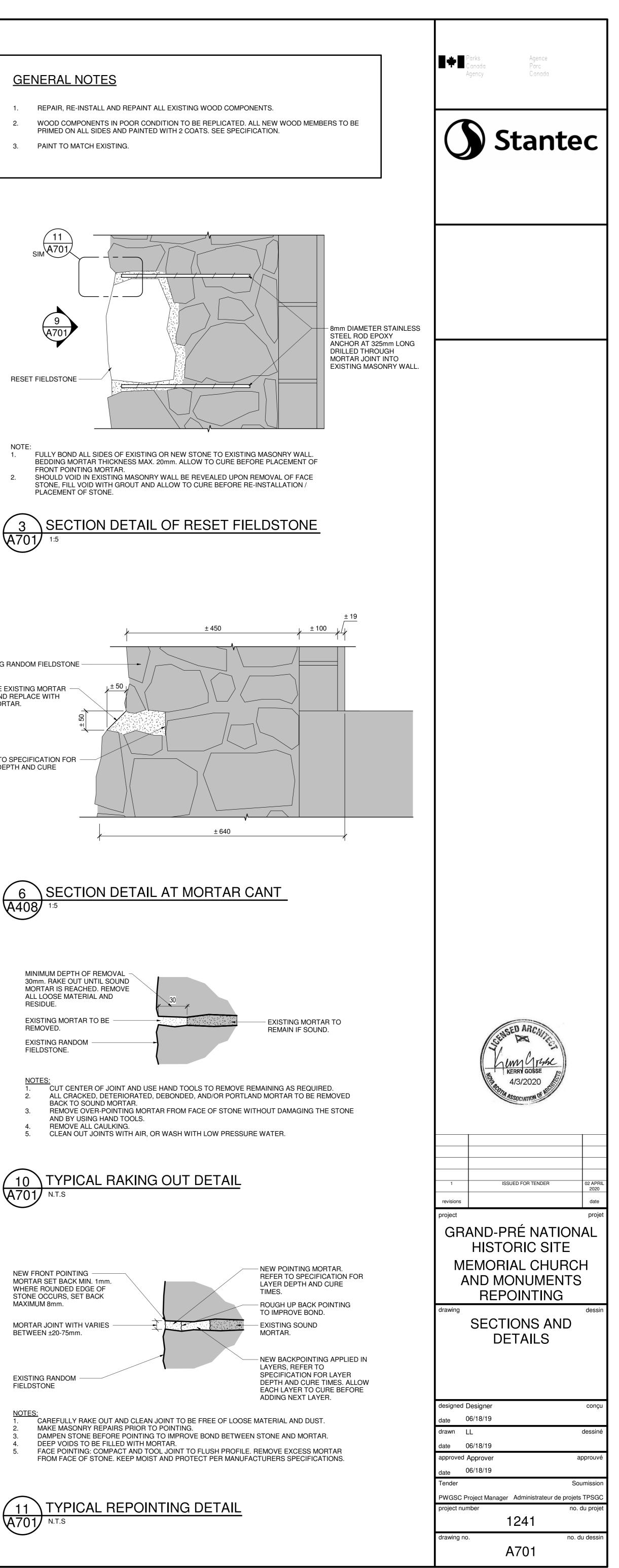
AND FASCIA

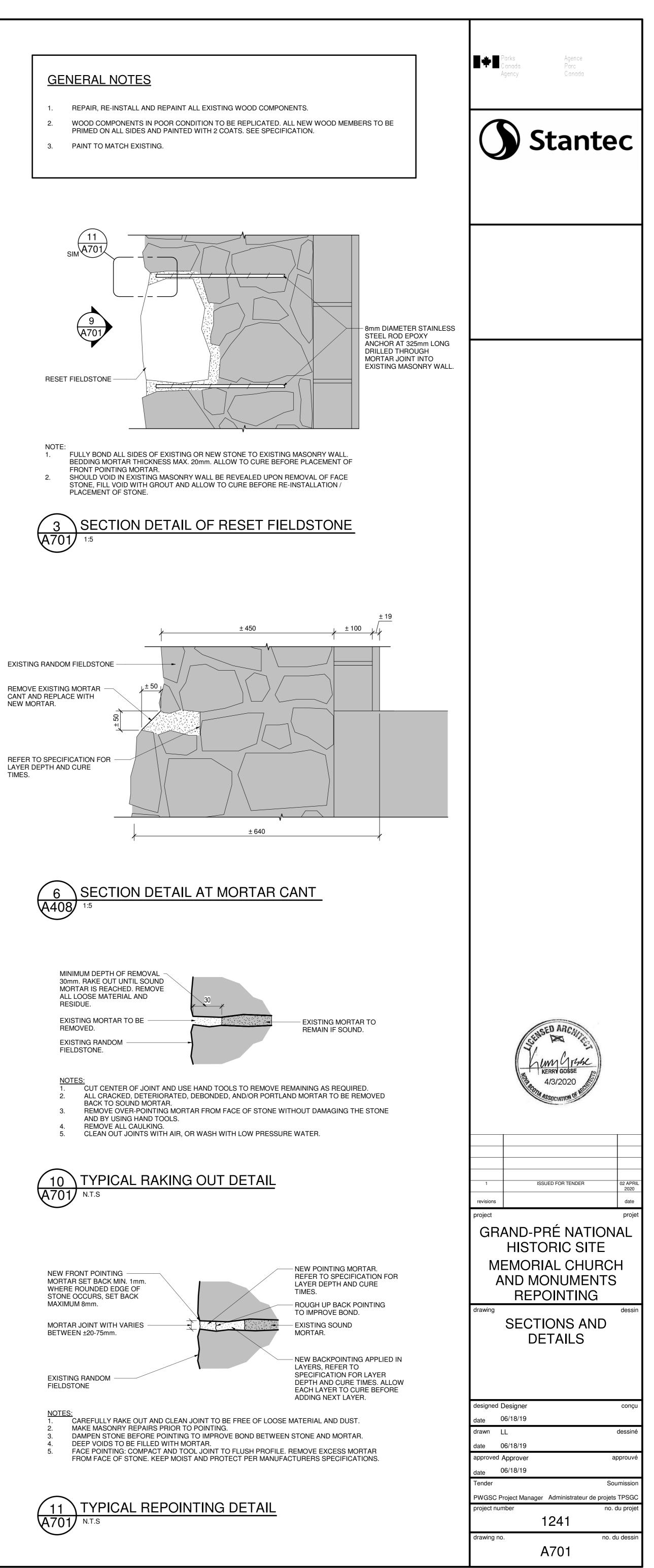
WOOD SOFFIT AND FASCIA - RECONDITIONED OR NEW WOOD TRIM

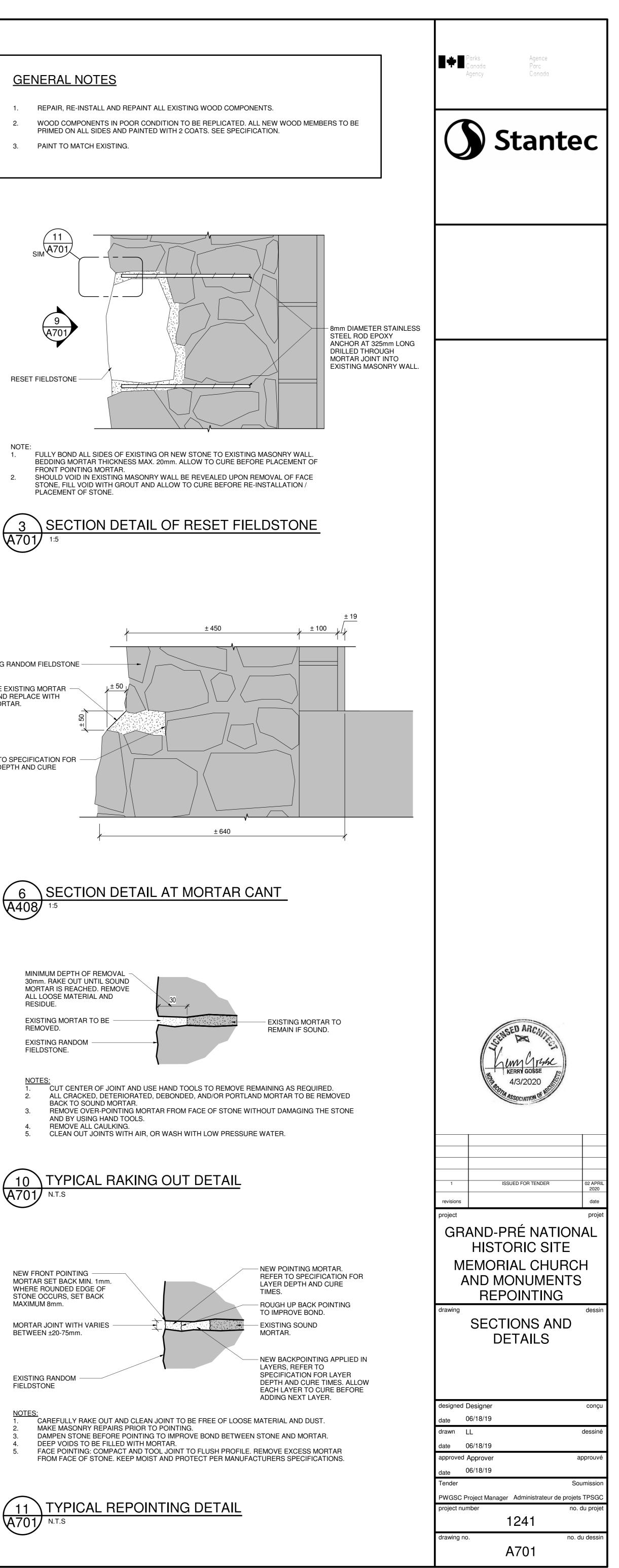
- RECONDITIONED OR NEW

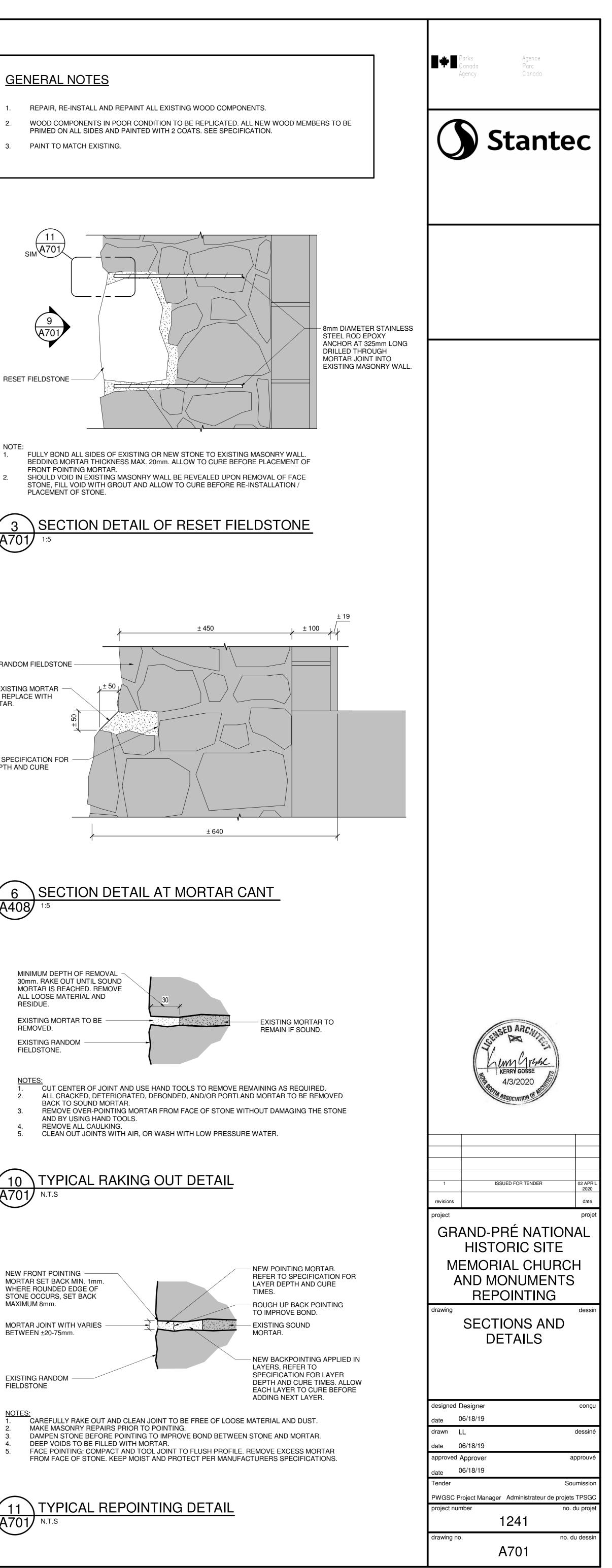


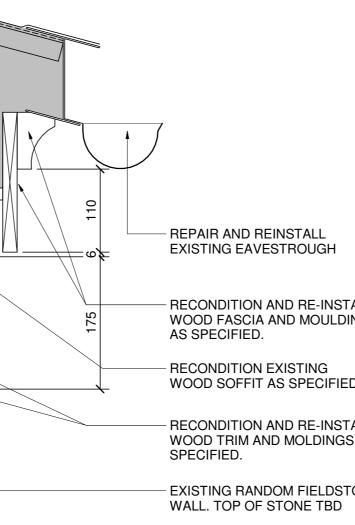
E-DRM/GDD-E:







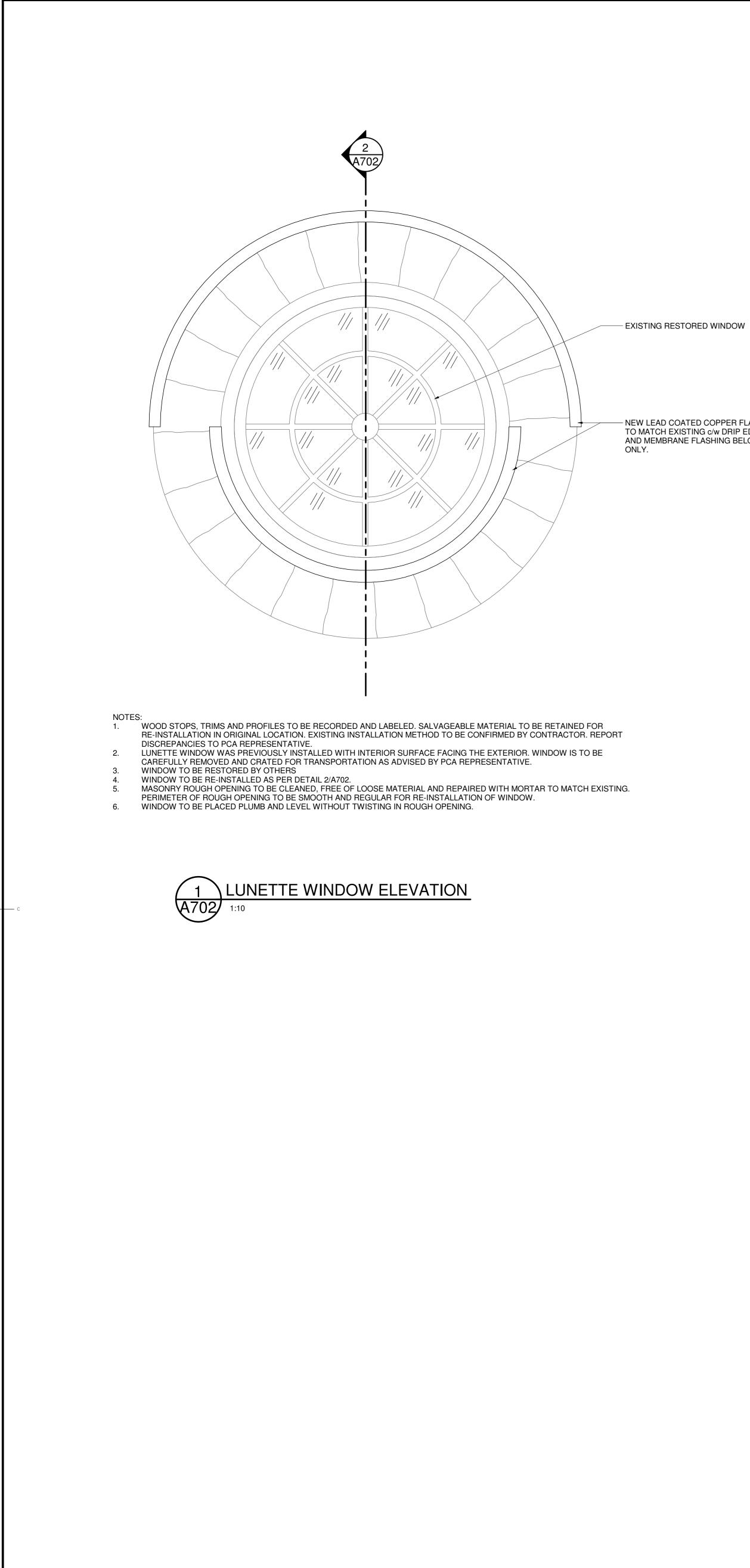


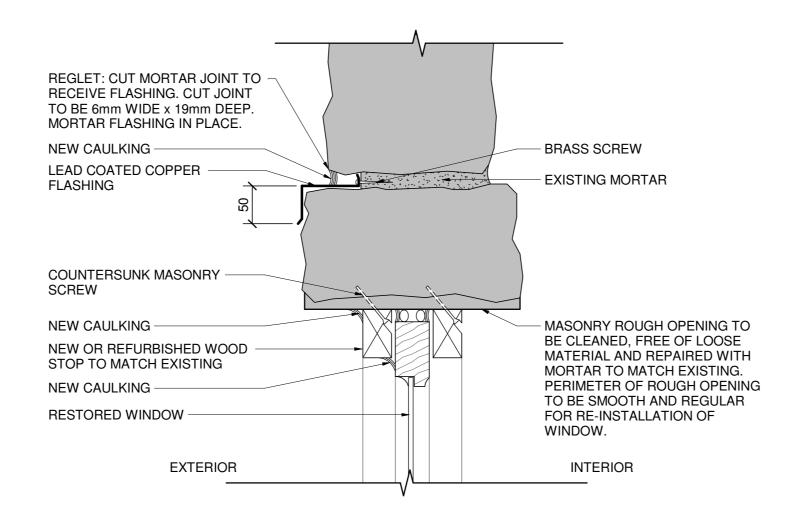


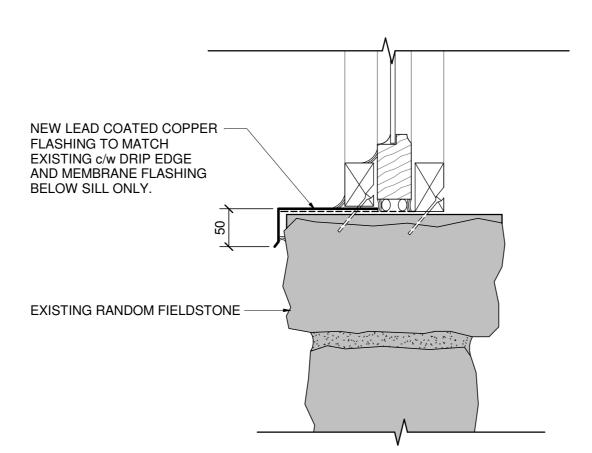
- REPAIR AND REINSTALL EXISTING EAVESTROUGH - RECONDITION AND RE-INSTALL WOOD FASCIA AND MOULDING AS SPECIFIED. - RECONDITION EXISTING WOOD SOFFIT AS SPECIFIED. RECONDITION AND RE-INSTALL WOOD TRIM AND MOLDINGS AS SPECIFIED. - EXISTING RANDOM FIELDSTONE

- 8mm DIAMETER STAINLESS STEEL ROD EPOXY ANCHOR AT 325mm LONG DRILLED THROUGH MORTAR JOINT INTO EXISTING MASONRY WALL

- EXISTING FIELDSTONES

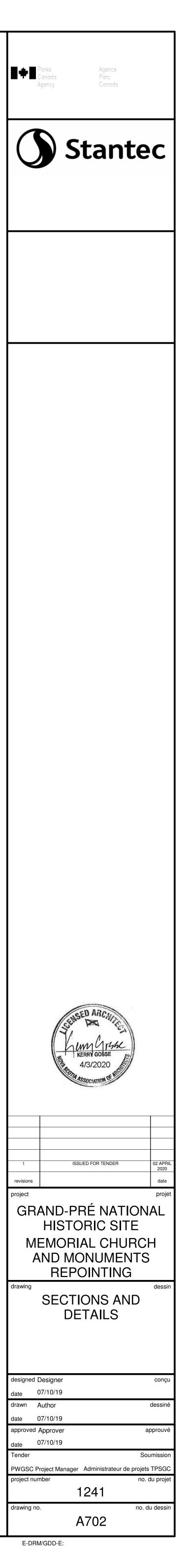


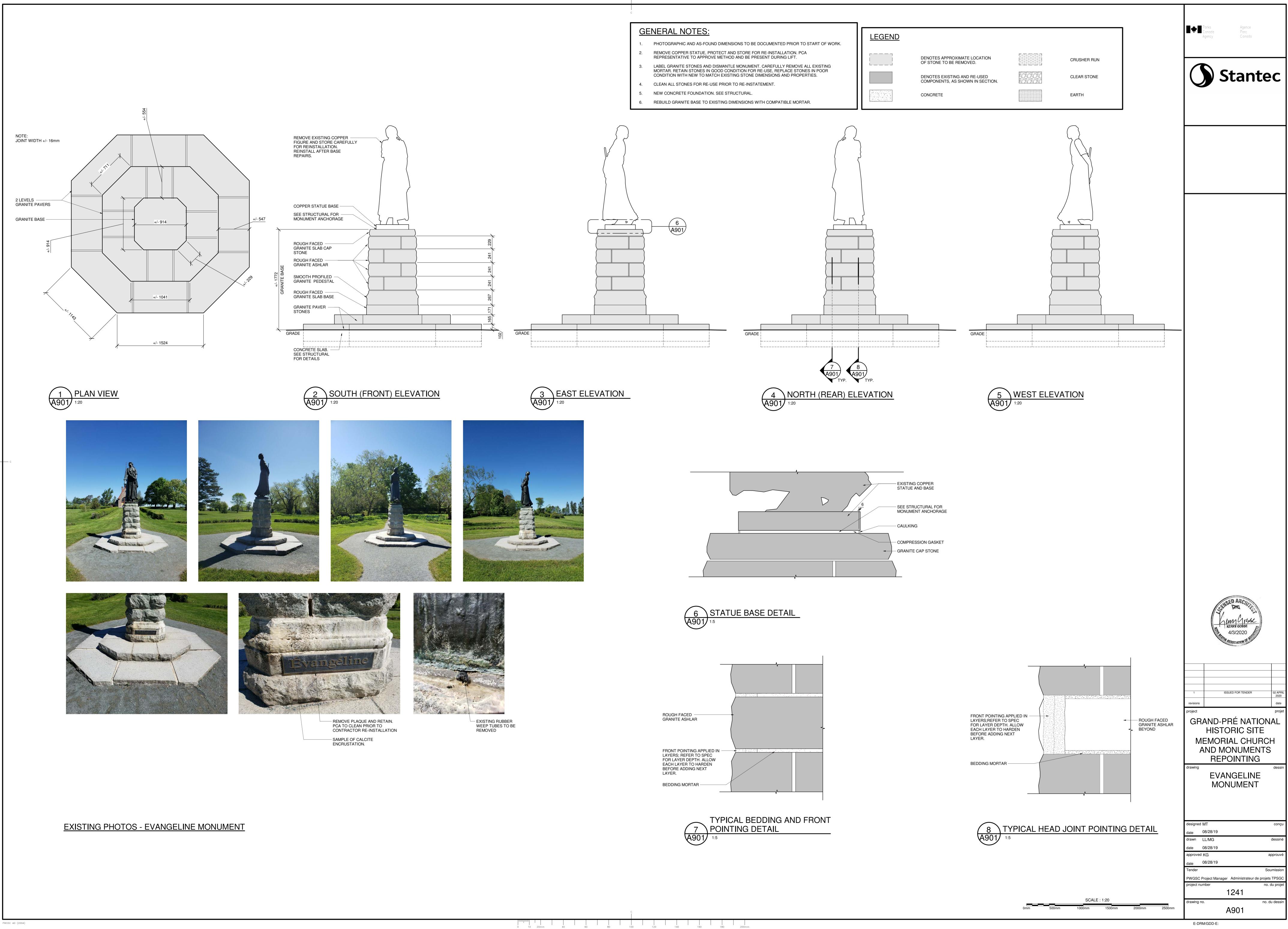


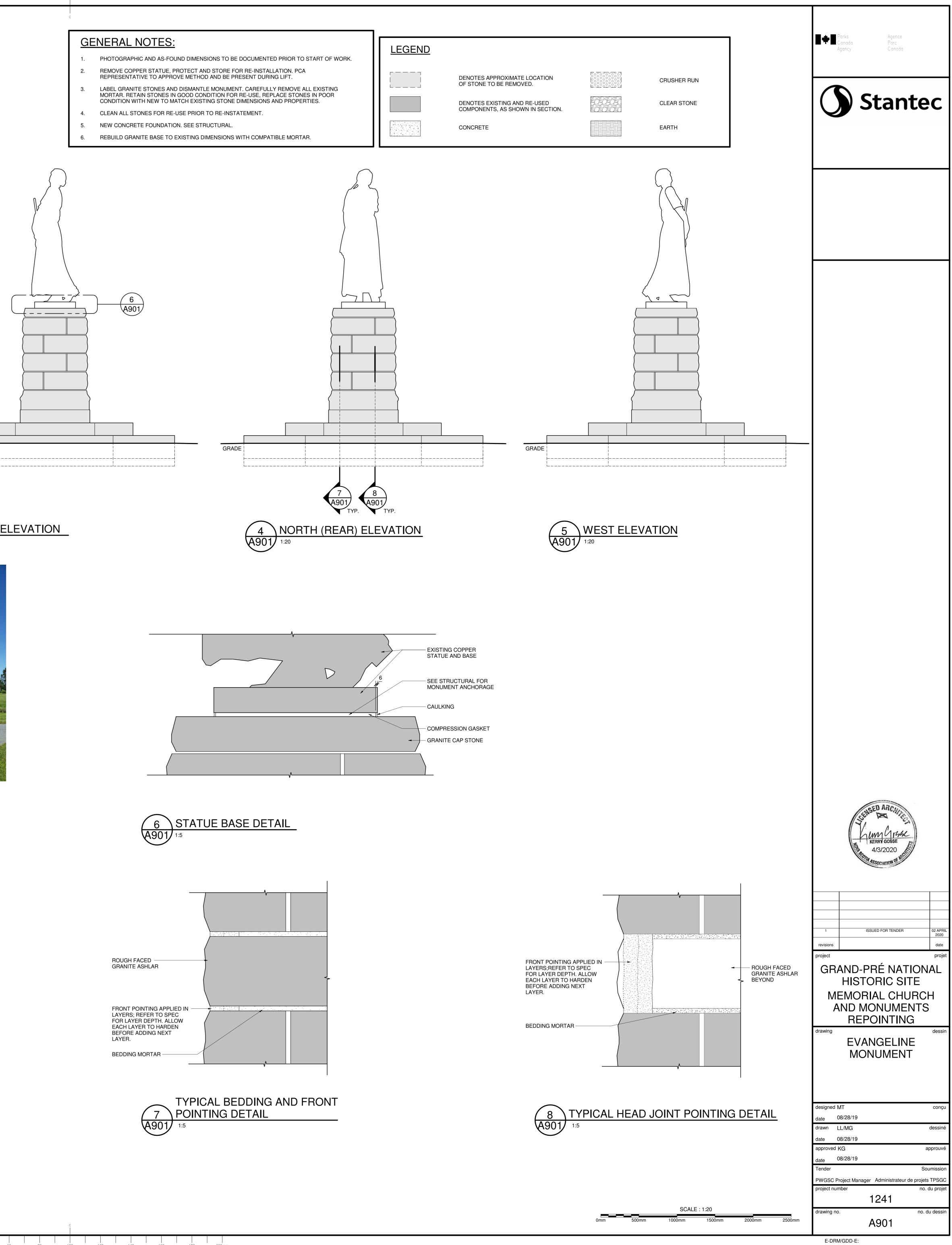


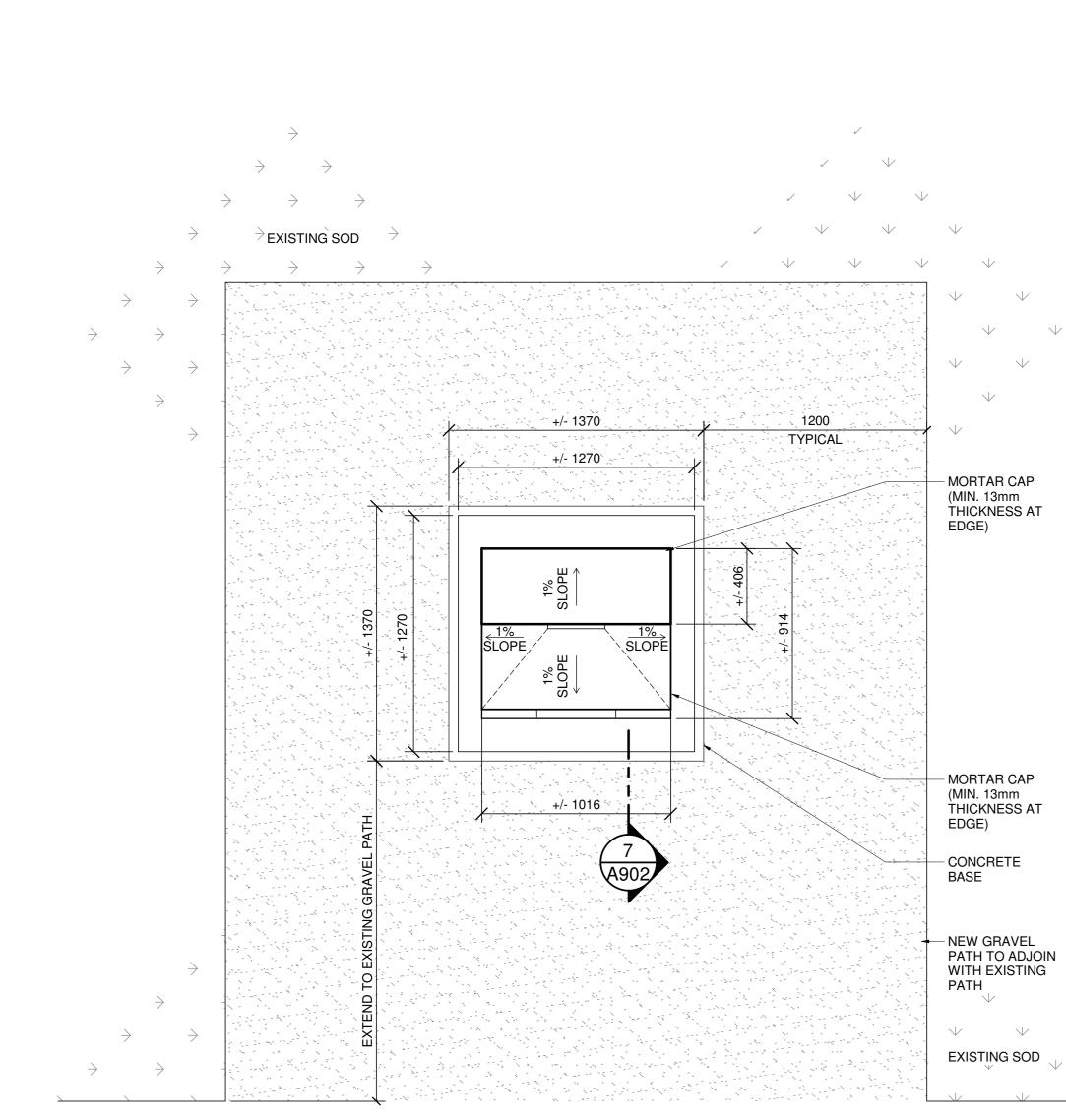


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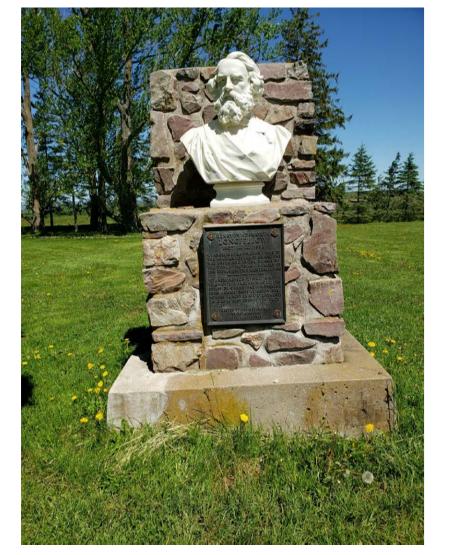








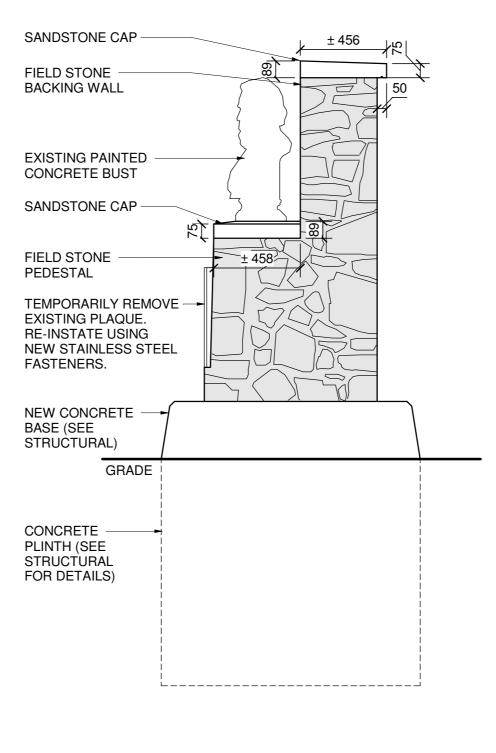




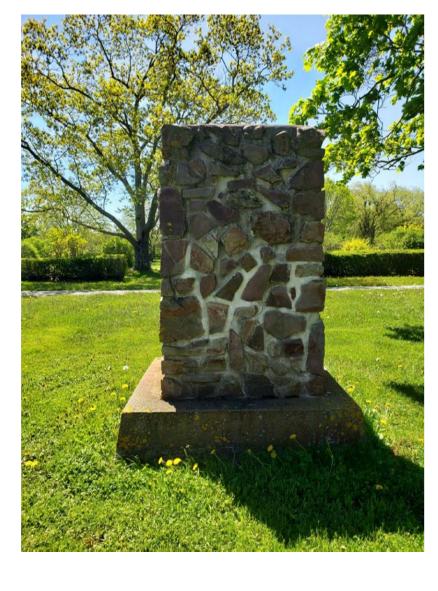


EXISTING PHOTOS - LONGFELLOW MONUMENT

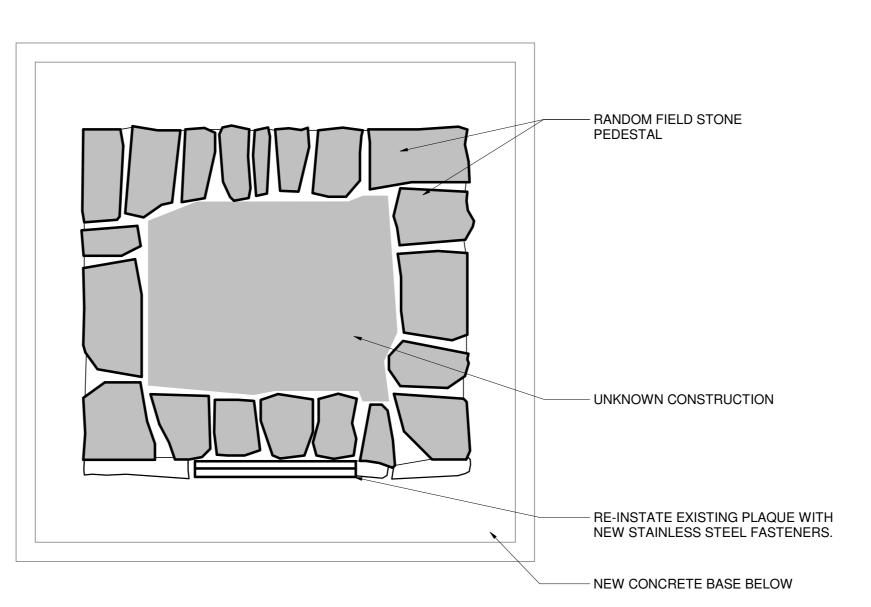
GE	ENERAL
1.	PHOTOGRA
2.	CAREFULLY
3.	LABEL FIELI EXISTING M STONES IN PROPERTIE
4.	REMOVE EX
5.	POUR NEW
6.	REBUILD PE COMPATIBL





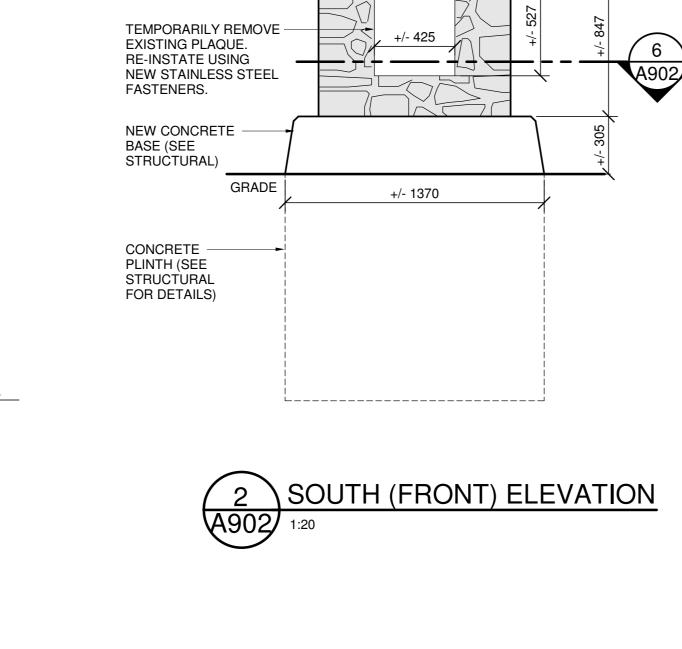








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SANDSTONE CAP -EXISTING STONE TO BE RE-USED EXISTING PAINTED CONCRETE BUST SANDSTONE CAP -FIELD STONE -PEDESTAL AND BACKING WALL

# L NOTES:

APHIC AND AS-FOUND DIMENSIONS TO BE DOCUMENTED PRIOR TO START OF WORK. Y REMOVE BUST, PROTECT AND STORE FOR REINSTALLATION.

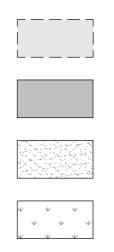
LD STONES AND DISMANTLE PEDESTAL AND BACKING WALL, CAREFULLY REMOVE MORTAR AND RETAIN STONES IN GOOD CONDITION FOR RE-INSTALLATION, REPLACE I POOR CONDITION WITH NEW TO MATCH EXISTING STONE DIMENSIONS AND

XISTING CONCRETE BASE AND STABILIZE GROUND BELOW MONUMENT.

/ CONCRETE BASE, SEE STRUCTURAL.

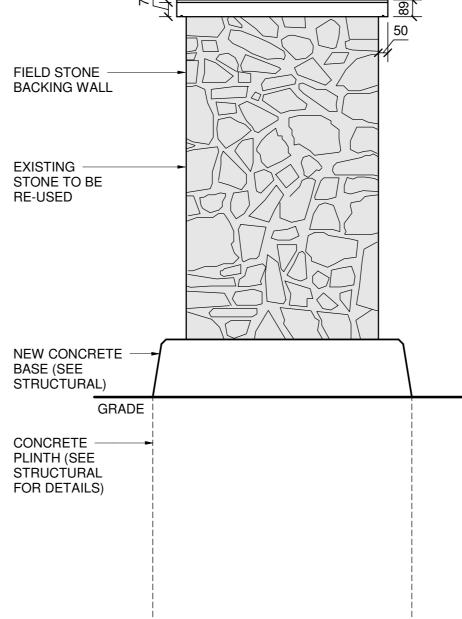
EDESTAL AND BACKING WALL TO EXISTING DIMENSIONS AND CONFIGURATION, USING LE MORTAR.

# <u>LEGEND</u>

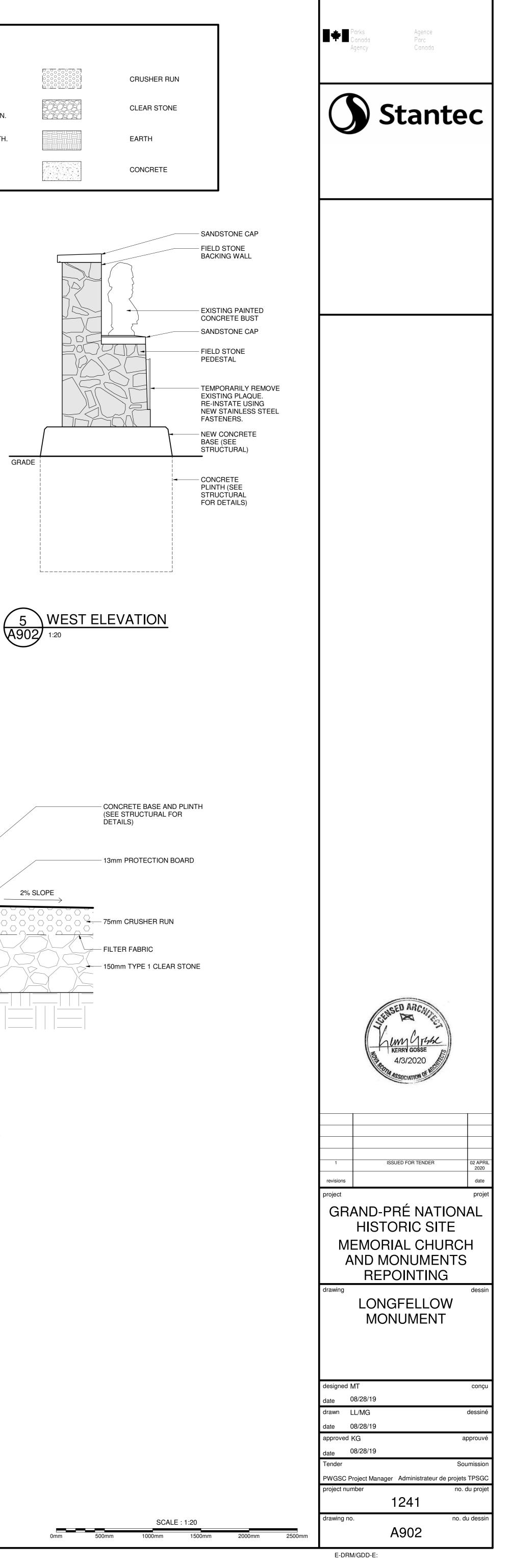


# OF STONE TO BE REMOVED.

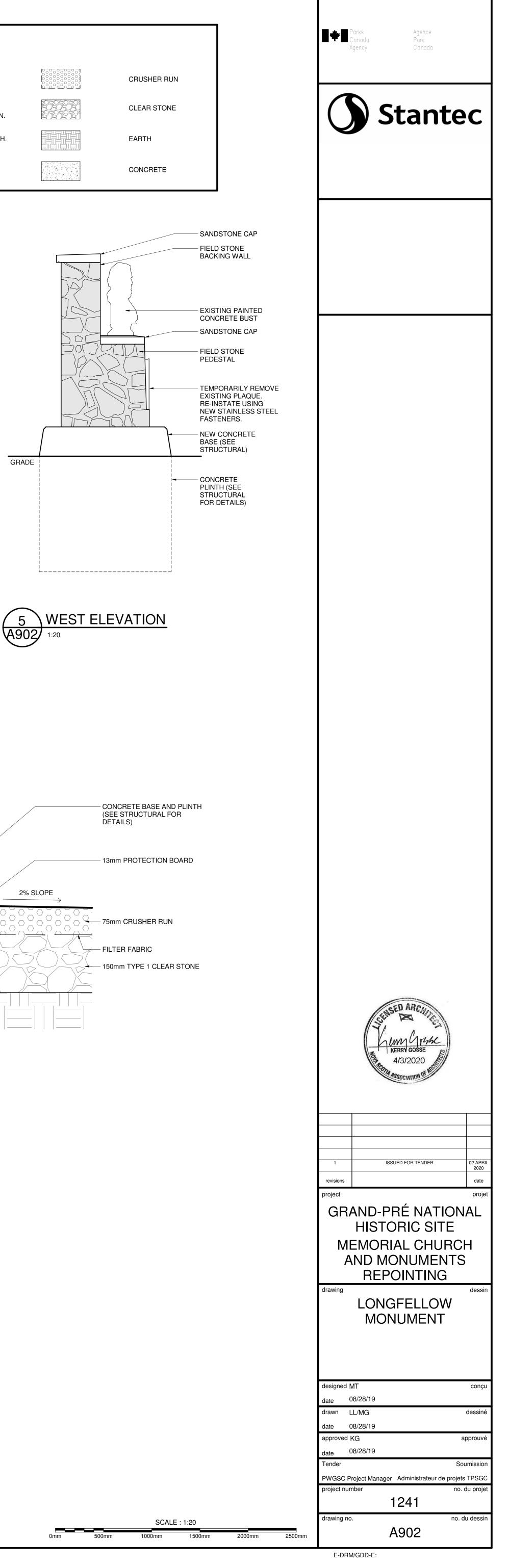
DENOTES EXISTING AND RE-USED COMPONENTS, AS SHOWN IN SECTION.

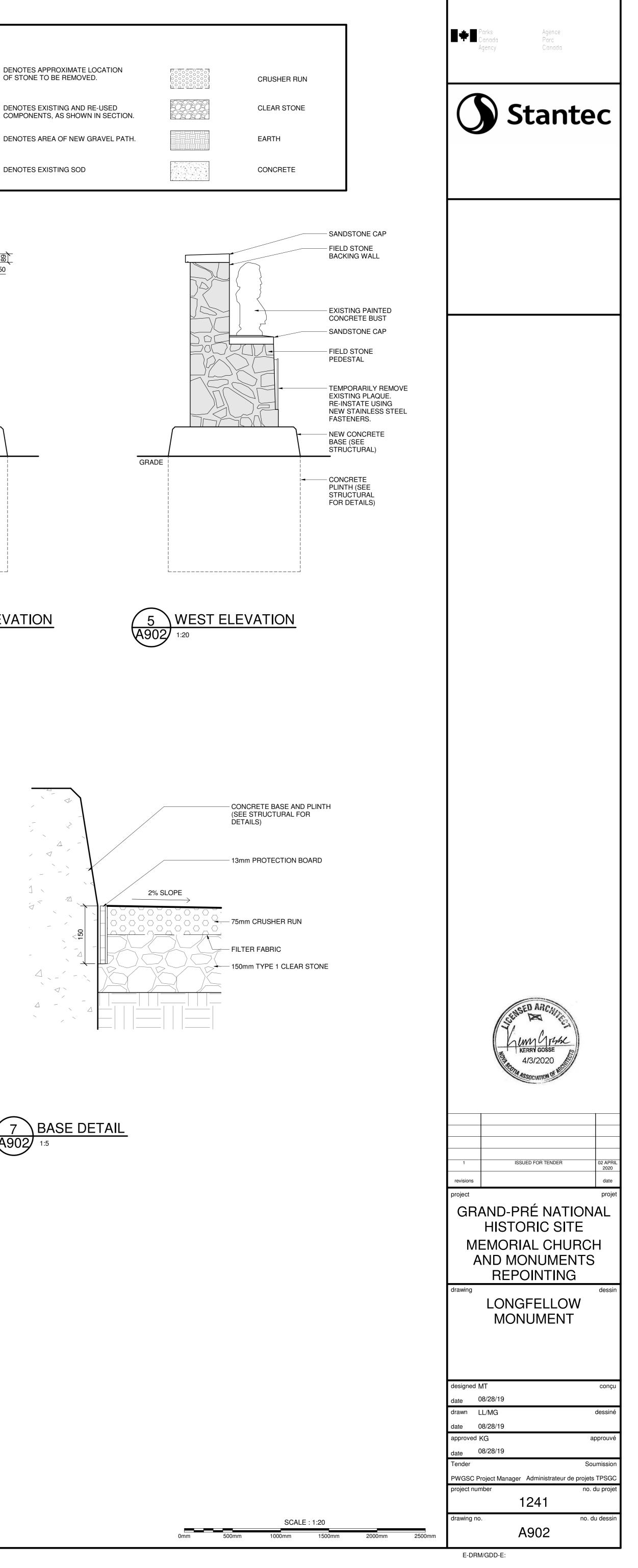


SANDSTONE CAP -

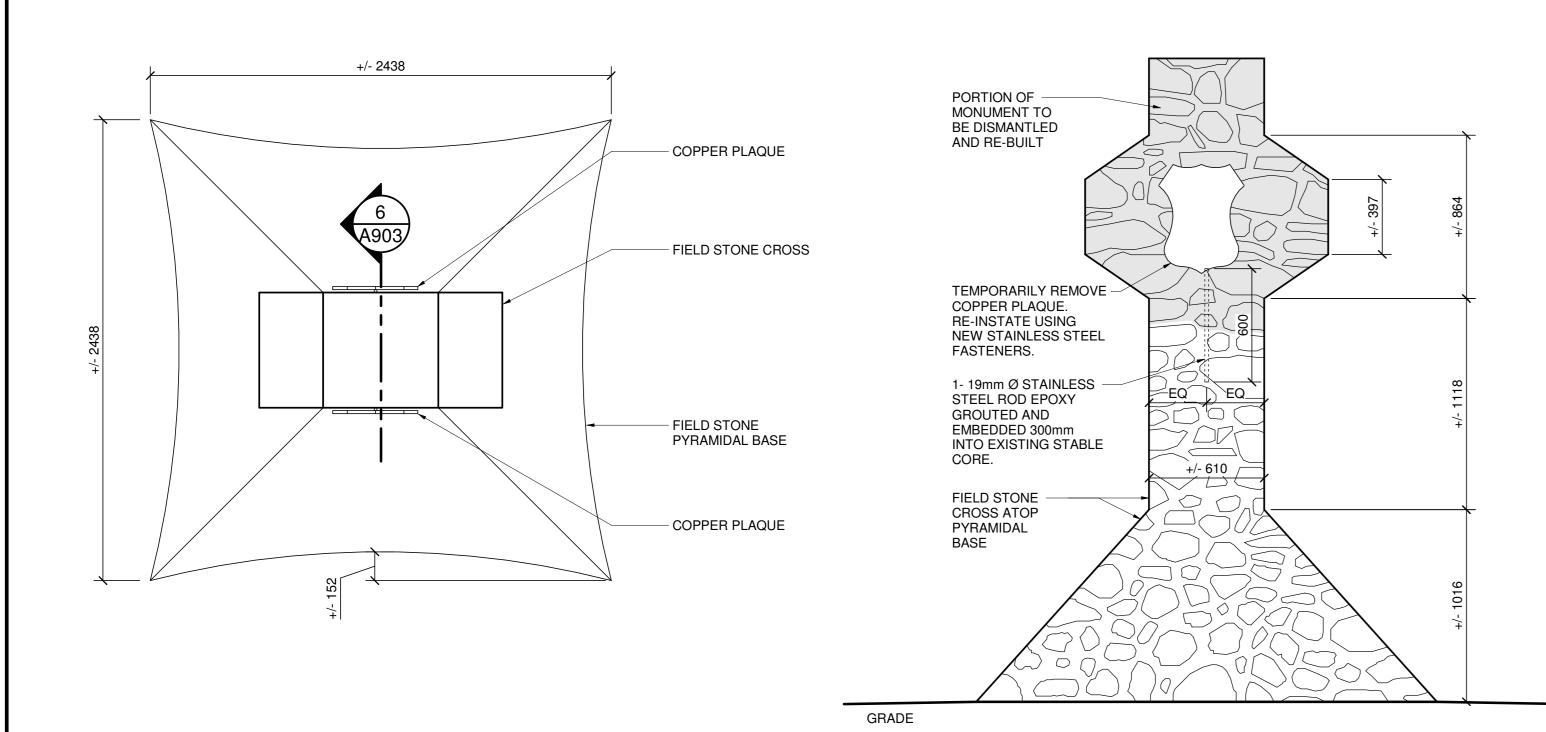


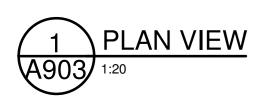
# 4 NORTH (REAR) ELEVATION A902 1:20





A902











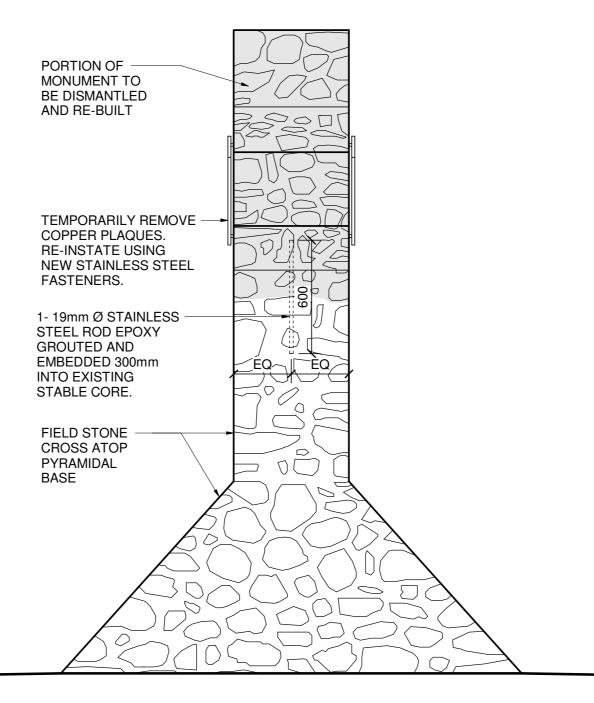


EXAMPLE OF ORGANIC GROWTH

EXISTING PHOTOS - HERBIN CROSS

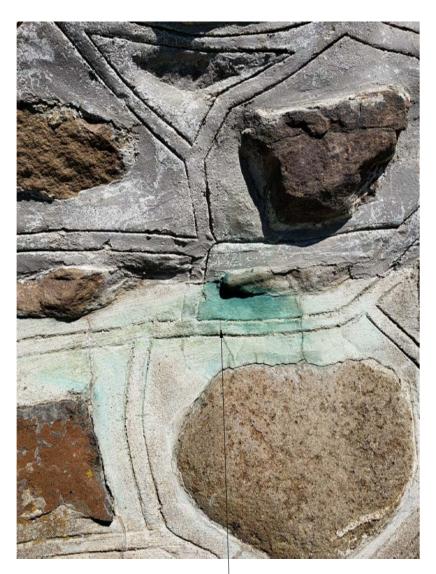
PWGSC A0 (2004)

1.	PHOT
2.	REMO
3.	DISMA MORT
4.	CUT C
5.	CLEAN 04 03 (
6.	REPO
7.	REBU MORT



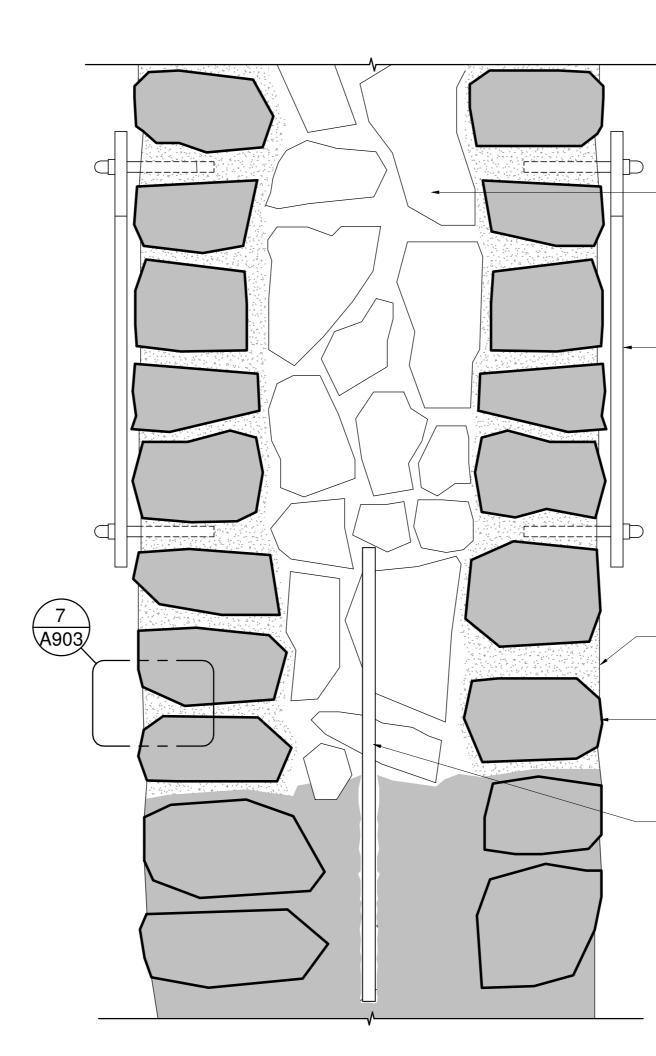
# 2 WEST (FRONT) ELEVATION A903 1:20





EXAMPLE OF STAINING

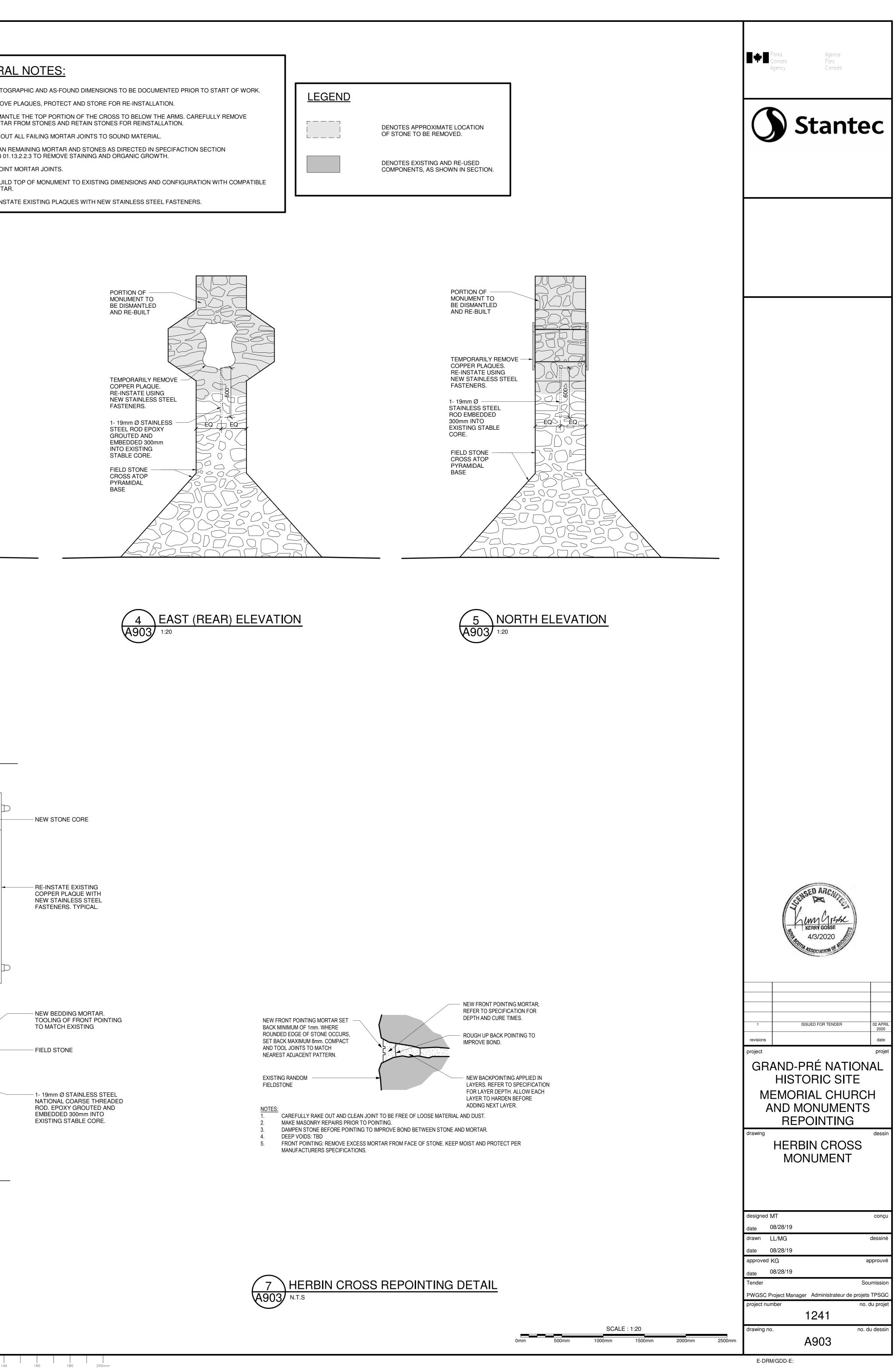
SOUTH ELEVATION <u> 606A</u> 1:20

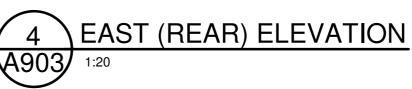


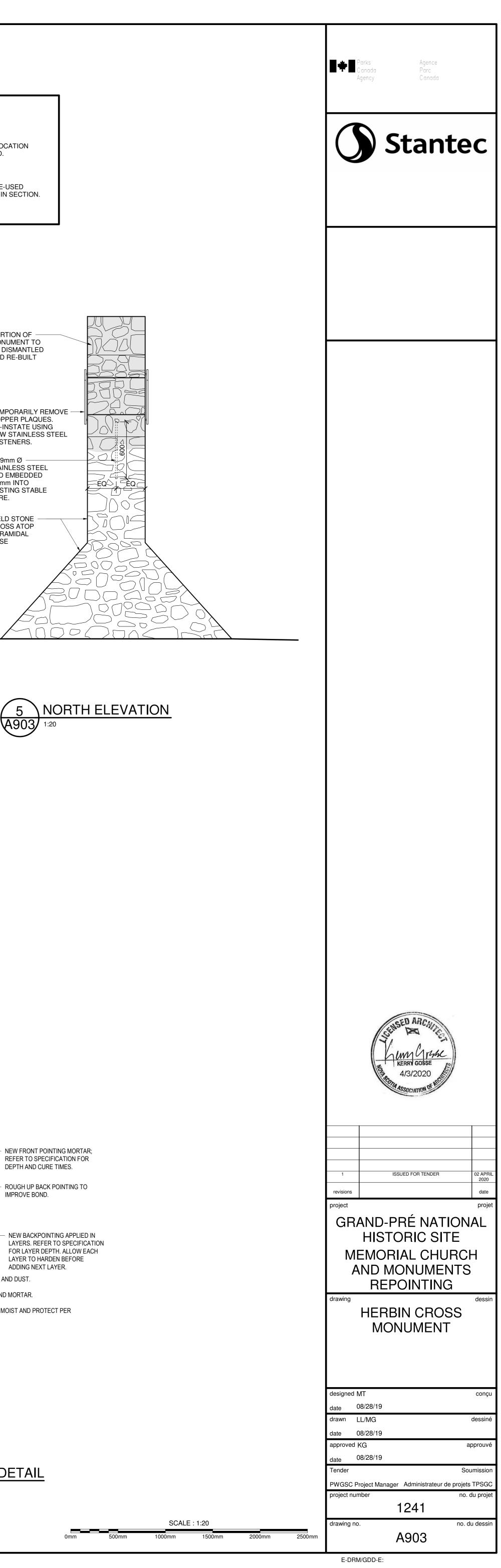


# **GENERAL NOTES:**

- TOGRAPHIC AND AS-FOUND DIMENSIONS TO BE DOCUMENTED PRIOR TO START OF WORK. OVE PLAQUES, PROTECT AND STORE FOR RE-INSTALLATION.
- IANTLE THE TOP PORTION OF THE CROSS TO BELOW THE ARMS. CAREFULLY REMOVE TAR FROM STONES AND RETAIN STONES FOR REINSTALLATION.
- OUT ALL FAILING MORTAR JOINTS TO SOUND MATERIAL. AN REMAINING MORTAR AND STONES AS DIRECTED IN SPECIFACTION SECTION
- DINT MORTAR JOINTS.
- UILD TOP OF MONUMENT TO EXISTING DIMENSIONS AND CONFIGURATION WITH COMPATIBLE TAR.
- 8. RE-INSTATE EXISTING PLAQUES WITH NEW STAINLESS STEEL FASTENERS.







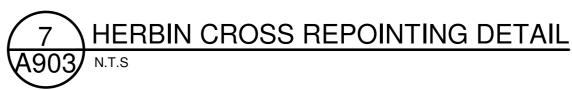
- NEW STONE CORE

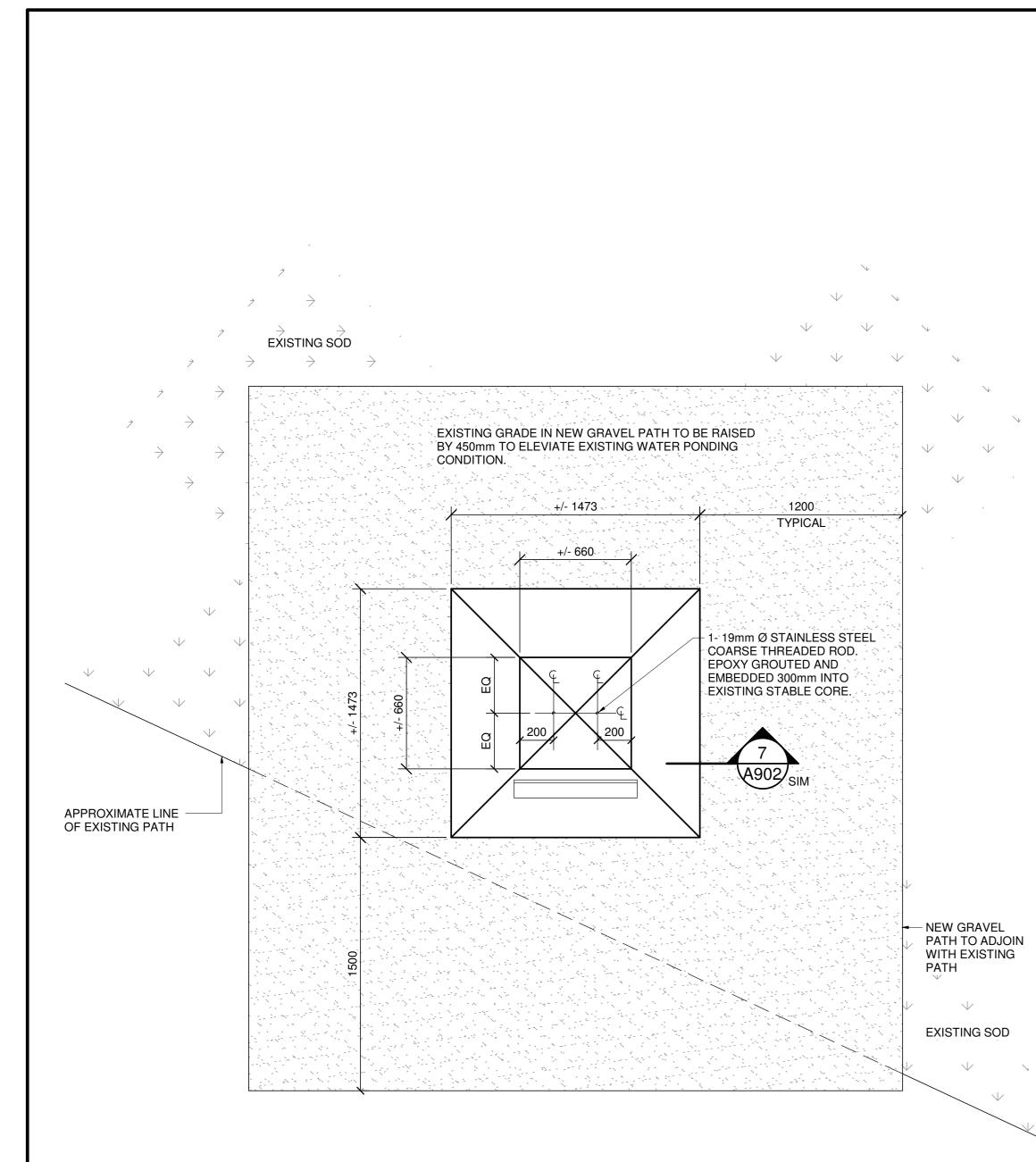
# - RE-INSTATE EXISTING COPPER PLAQUE WITH NEW STAINLESS STEEL FASTENERS. TYPICAL.

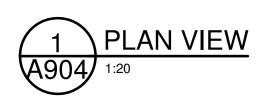
## NEW BEDDING MORTAR. TOOLING OF FRONT POINTING TO MATCH EXISTING

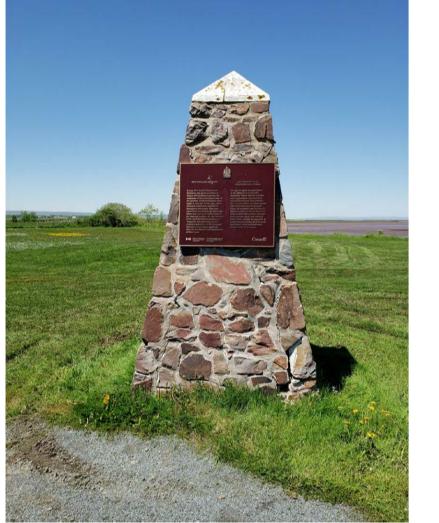
- FIELD STONE

# - 1- 19mm Ø STAINLESS STEEL NATIONAL COARSE THREADED ROD. EPOXY GROUTED AND EMBEDDED 300mm INTO EXISTING STABLE CORE.





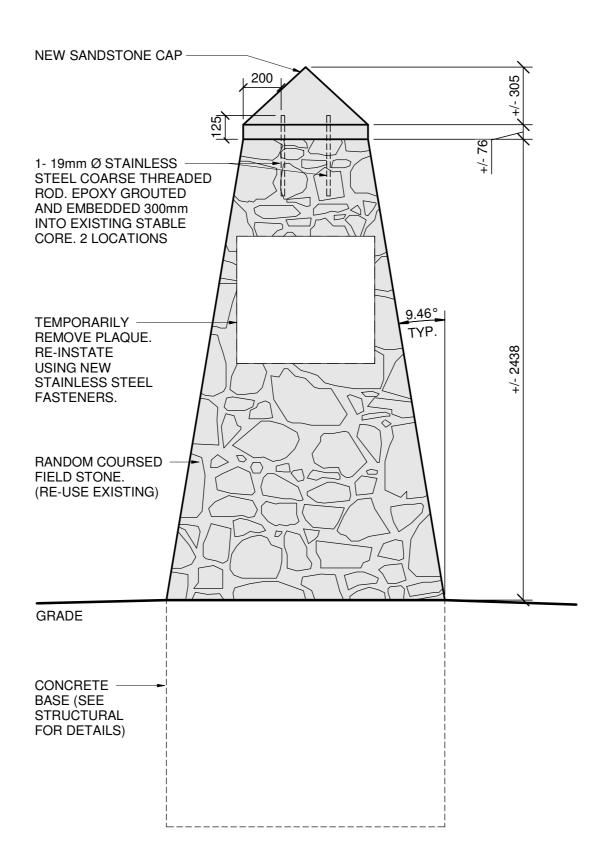






# **EXISTING PHOTOS - PLANTERS MONUMENT**

GE	NERAL
1.	PHOTOGR/
2.	REMOVE P
3.	DISMANTLI FOR RE-IN
4.	POUR NEW
5.	CLEAN STO GROWTH.
6.	REBUILD N
7.	NEW CONC
8.	RE-INSTAT
9.	REGRADE BASE.







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