

**REPUBLIC
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PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

FORT SMITH GOCB ROOF REPLACEMENT

—
149 McDOUGAL ROAD, FORT SMITH, NT
R.015992.646
2020/06/22
ISSUED FOR TENDER
—

MECHANICAL & ELECTRICAL

LIST OF DRAWINGS

MCW HEMISPHERE LTD.
ATB PLACE, SOUTH TOWER
2400, 10020 - 100 STREET
EDMONTON, ALBERTA T5J 0N3

T: 780 452 1800
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A01 ROOF PLAN, ROOF TYPES, GENERAL NOTES
A02 SECTIONS AND DETAILS
A03 DETAILS
M01 MECHANICAL ROOF PLAN
M02 MECHANICAL DETAILS
E01 ROOF ELECTRICAL LAYOUT

GENERAL NOTES

- THE DRAWINGS SHALL NOT BE SCALED FOR INFORMATION.
- THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY THEMSELVES THAT ALL DIMENSIONS, DATUMS AND DETAILED INFORMATION SHOWN ARE CORRECT.
- THE CONTRACTOR IS TO REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS THRU FLOORS, WALLS AND CEILINGS INCLUDING BUT NOT LIMITED TO DUCT, PIPING AND ELECTRICAL RISERS.
- PRODUCTS AND MATERIALS ARE TO BE USED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DIMENSIONAL PROPERTIES OF THE MATERIALS ARE NOTED IN MILLIMETERS UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING SURFACES ADJACENT NEW CONSTRUCTION AND ALL EXISTING FINISHES AFFECTED BY THE CONSTRUCTION.
- DIMENSIONS AND DATUMS OF EXISTING CONSTRUCTION ARE APPROXIMATE.

SYMBOL LEGEND

- ▽ ROOF TYPE
- X KEYNOTE
- GRID LINE
- BREAK LINE
- ⊥ CENTER LINE
- ↑ NORTH ARROW PROJECT
- ↘ X% SLOPE TAG
- NAME ELEVATION ELEVATION DATUM

ABBREVIATION LEGEND

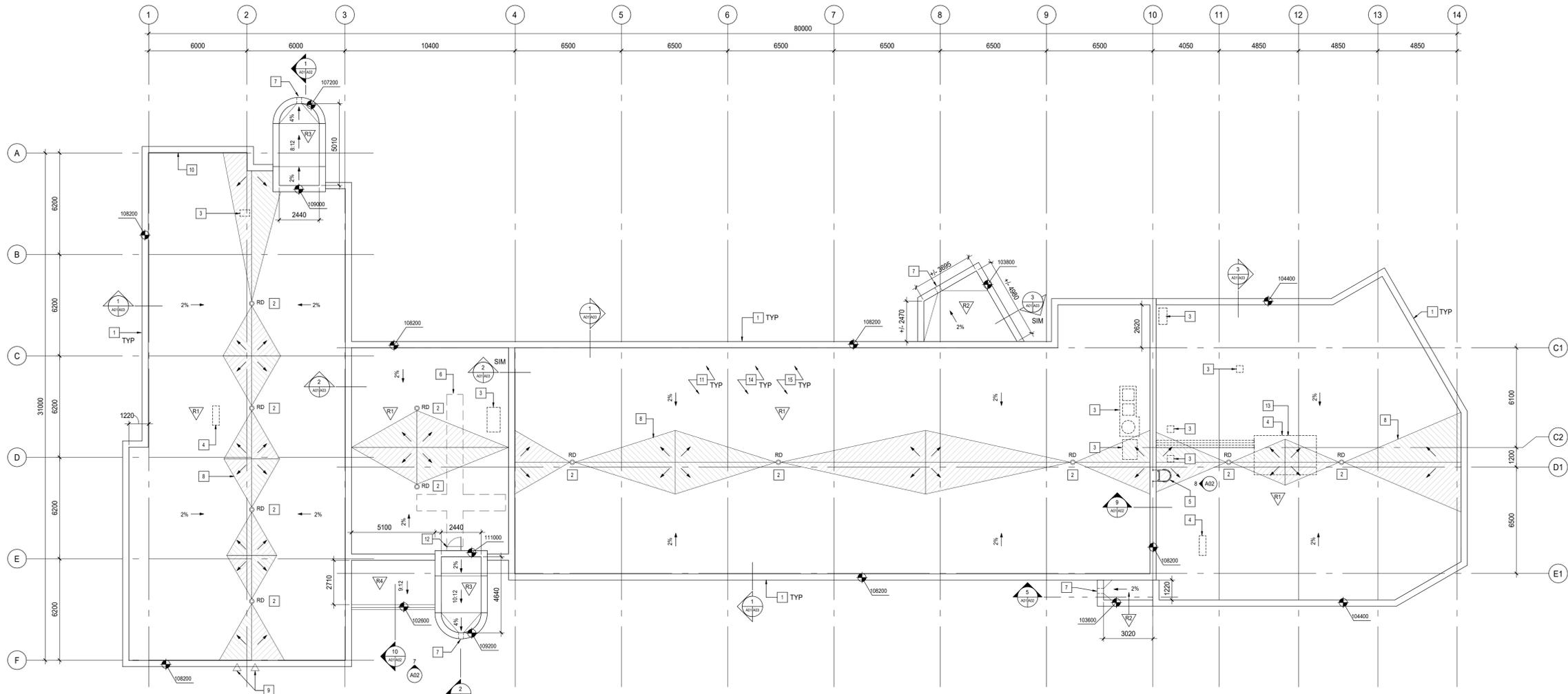
- A/C AIR CONDITIONING
- AHU AIR HANDLING UNIT
- BUR BUILT-UP ROOFING
- C/W COMPLETE WITH
- CONC CONCRETE
- ELEC ELECTRICAL
- EX EXISTING
- GWB GYPSUM WALL BOARD
- MECH MECHANICAL
- NIC NOT IN CONTRACT
- O/C ON CENTRE
- PT PRESSURE TREATED
- RD ROOF DRAIN
- RWL RAINWATER LEADER
- SBS STYRENE BUTADIENE STYRENE
- SIM SIMILAR
- SL SLOPE
- SPF SPRUCE/PINE/FIR
- T&G TONGUE AND GROOVE
- T/O TOP OF
- TYP TYPICAL
- U/S UNDERSIDE
- VB VAPOUR BARRIER

ROOF TYPES

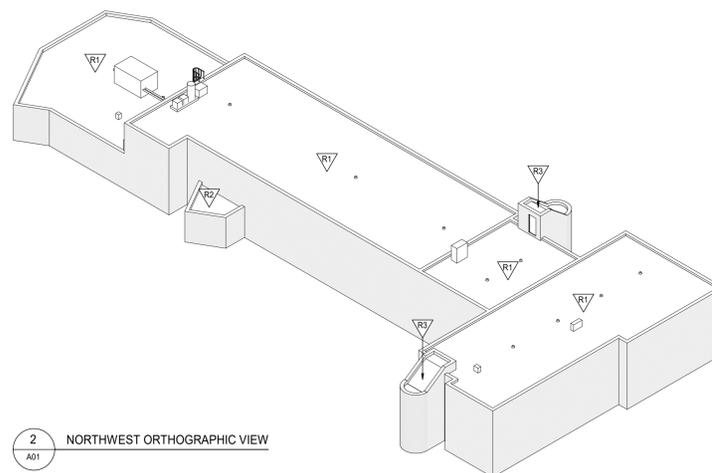
- ROOF TYPE R1 - 8.28 RSI**
DEMOLITION:
- DEMOLISH EXISTING BUR/MOD-BIT ROOFING ASSEMBLY DOWN TO STEEL DECK
NEW ASSEMBLY:
- 2 PLY SBS MOD-BIT ROOFING MEMBRANE
- PROTECTION BOARD
- 203mm POLYISO RIGID INSULATION, 2 LAYERS 101.5mm
- VAPOUR BARRIER
- 13mm FIBREGLASS MAT ROOF SHEATHING
- EXISTING STEEL DECK ON SLOPED OPEN WEB STEEL JOISTS TO REMAIN
- ROOF TYPE R2 - 8.36 RSI**
DEMOLITION:
- DEMOLISH EXISTING BUR ASSEMBLY DOWN TO PLYWOOD DECK
NEW ASSEMBLY:
- 2 PLY SBS MOD-BIT ROOFING MEMBRANE
- PROTECTION BOARD
- 203mm POLYISO RIGID INSULATION, 2 LAYERS 101.5mm
- VAPOUR BARRIER
- EXISTING WOOD DECK AND WOOD JOISTS TO REMAIN
- ROOF TYPE R3 - 4.59 RSI**
DEMOLITION:
- DEMOLISH EXISTING ROOFING ASSEMBLY, PLYWOOD SHEATHING, BATT INSULATION WITHIN JOIST CAVITY, AND VAPOUR BARRIER
NEW ASSEMBLY:
- 2 PLY SBS MOD-BIT ROOFING MEMBRANE C/W COATING
- PROTECTION BOARD
- 102mm POLYISO RIGID INSULATION, 2 LAYERS 51mm, SLOPE AS PER DRAWINGS
- VAPOUR BARRIER
- 19mm PLYWOOD SHEATHING
- EXISTING 38x140 WOOD JOISTS TO REMAIN
- EXISTING FURRING & GWB TO REMAIN
- ROOF TYPE R4**
DEMOLITION:
- DEMOLISH EXISTING METAL ROOFING ASSEMBLY DOWN TO PLYWOOD DECK
NEW ASSEMBLY:
- PRE-FINISHED METAL ROOFING
- WATERPROOFING MEMBRANE
- EXISTING WOOD DECK ON WOOD TRUSSES TO REMAIN

KEYNOTES

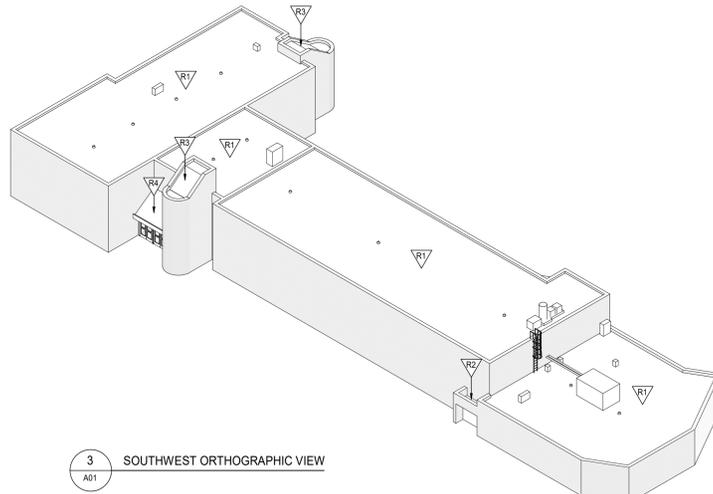
- DEMOLISH EXISTING PARAPET CAP AND FLASHING AND REPLACE WITH NEW, TYPICAL THROUGHOUT BUILDING
- DEMOLISH EXISTING ROOF DRAIN AND REPLACE WITH NEW. EXTEND PIPE AS REQUIRED TO SUIT NEW ROOF ASSEMBLY
- REMOVE, EXTEND AND RE-INSTALL EXISTING VENTILATION DUCTWORK TO SUIT NEW ROOF ASSEMBLY
- DISCONNECT, REMOVE AND RE-INSTALL EXISTING ROOF-MOUNTED MECHANICAL EQUIPMENT AND ASSOCIATED PIPING. REMOVE AND REPLACE ALL ROOF PENETRATIONS WITH CURB AND MASTIC SYSTEM
- DEMOLISH EXISTING STEEL ACCESS LADDER AND REPLACE WITH NEW. PATCH AND REPAIR ALL EXISTING PENETRATIONS
- DEMOLISH EXISTING WOOD WALKWAY
- DEMOLISH EXISTING SCUPPER AND REPLACE WITH NEW. TIE-IN TO EXISTING RAIN WATER LEADER WHERE PRESENT
- 4% BACKSLOPED INSULATION, TYPICAL
- TEMPORARILY REMOVE AND RE-INSTALL EXISTING PARAPET-MOUNTED LIGHT FIXTURES
- TEMPORARILY REMOVE AND RE-INSTALL EXISTING ELECTRICAL CONDUIT
- TEMPORARILY REMOVE AND RE-INSTALL EXISTING LIGHTNING PROTECTION, TYPICAL THROUGHOUT BUILDING
- EXISTING ROOF ACCESS FROM STAIRWELL TO REMAIN
- DEMOLISH EXISTING SLEEPERS AND REPLACE WITH NEW, SEE DETAIL S/A03
- DEMOLISH EXISTING ABANDONED ROOF CURBS AND SLEEPERS, TYPICAL THROUGHOUT BUILDING
- EXISTING ROOFTOP SATELLITE, ANTENNAE AND WEATHER MONITORING EQUIPMENT TO BE REMOVED AND RE-INSTALLED BY OWNER. CONTRACTOR TO REMOVE AND REPLACE ALL ELECTRICAL PENETRATIONS WITH CURB AND MASTIC SYSTEM



1 ROOF PLAN
A01 1:125



2 NORTHWEST ORTHOGRAPHIC VIEW
A01



3 SOUTHWEST ORTHOGRAPHIC VIEW
A01

Revision	Description	Date
1	ISSUED FOR TENDER	2020.06.22

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SUITE 1000, 9700 JASPER AVE., EDMONTON, AB, T5J 4C3

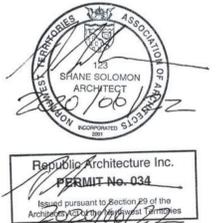
Project title: FORT SMITH GOCB ROOF REPLACEMENT

149 McDOUGAL ROAD, FORT SMITH, NT

Designed by: NUWE
Drawn by: NJ
Approved by: WE
PWSC Project Manager: Administrateur de Projets TPSC

Drawing title: ROOF PLAN, ROOF TYPES, GENERAL NOTES

Project no./No. du projet: R.015992.646
Drawing no./No. du dessin: A01 OF 3
Revision no.: 1



Revision	Description	Date
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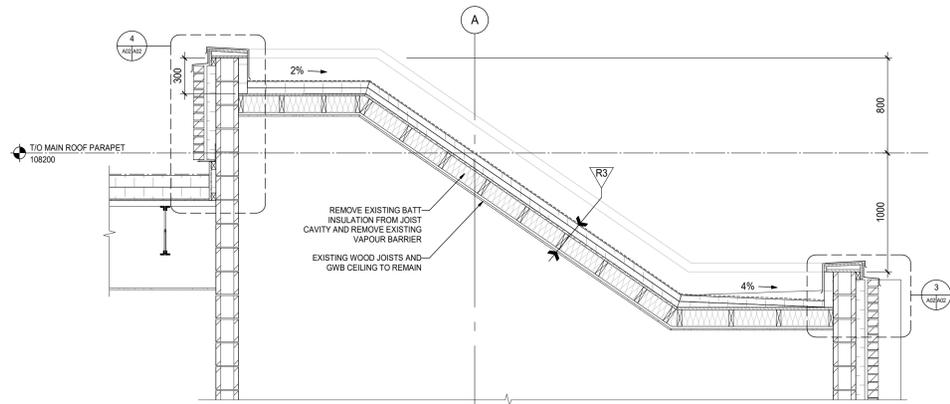
PUBLIC WORKS AND GOVERNMENT SERVICES CANADA
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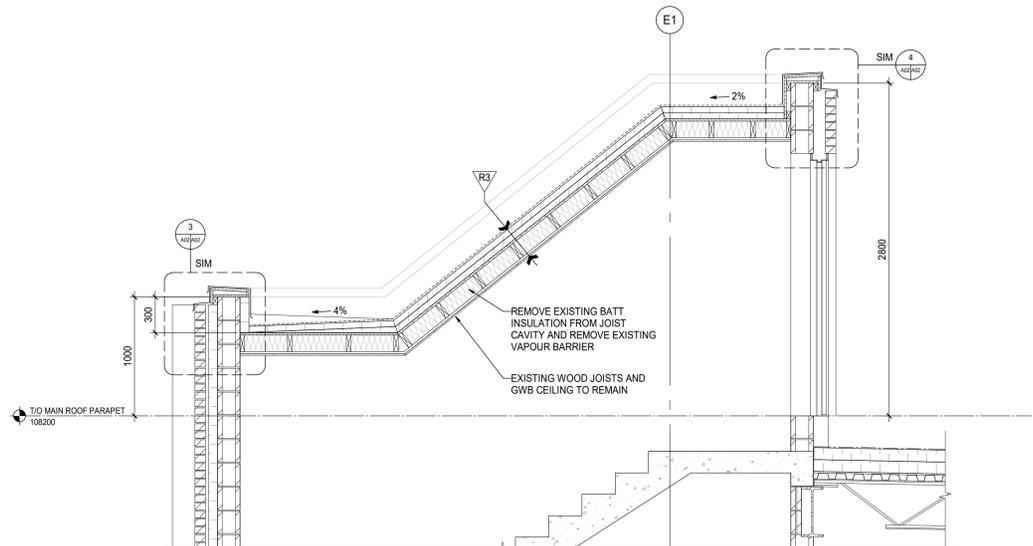
149 McDUGAL ROAD, FORT SMITH, NT

Designed by: NUWE
Drawn by: NJ
Approved by: WE
PWGSC Project Manager: Administrateur de Projets TPWGC

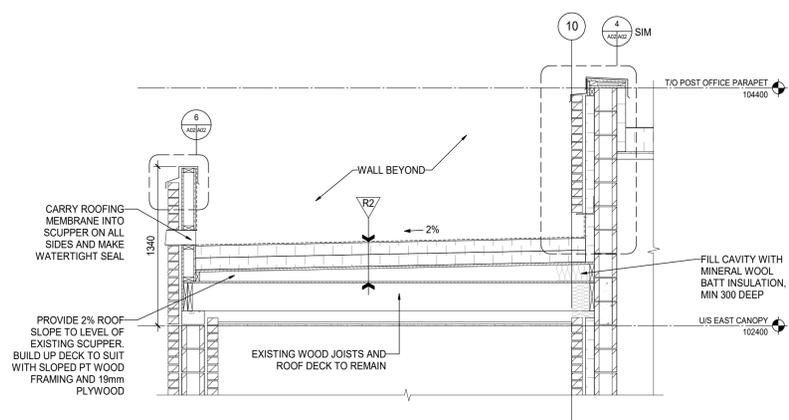
Sections and Details



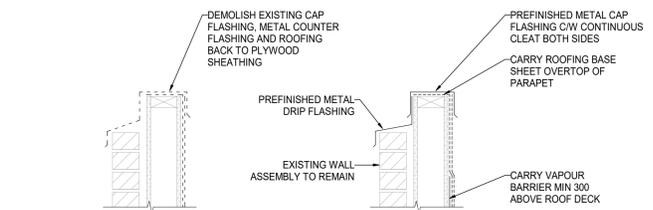
1 SECTION THROUGH NORTHWEST STAIRWELL
A02 1:25



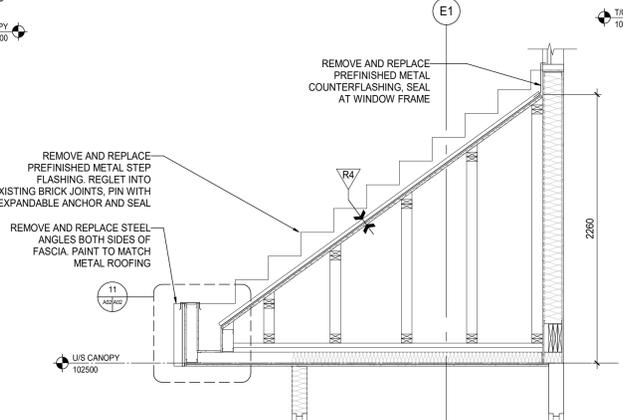
2 SECTION THRU SOUTH-WEST STAIRWELL
A02 1:25



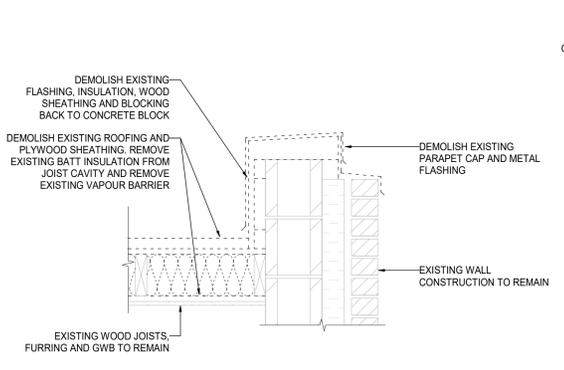
5 SECTION THRU EAST CANOPY
A02 1:25



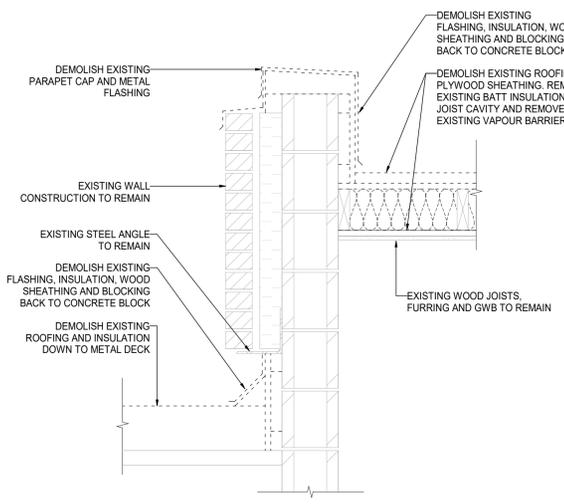
6 SECTION DETAIL - EAST CANOPY PARAPET
A02 1:10



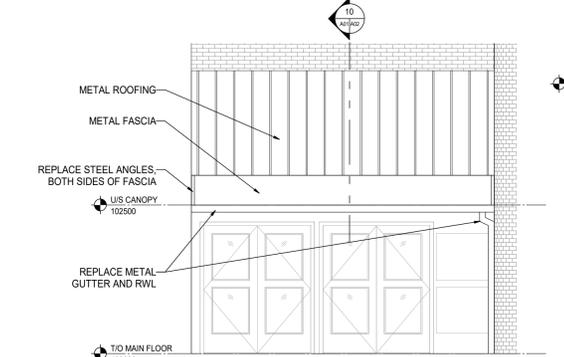
10 SECTION THRU ENTRANCE CANOPY
A02 1:25



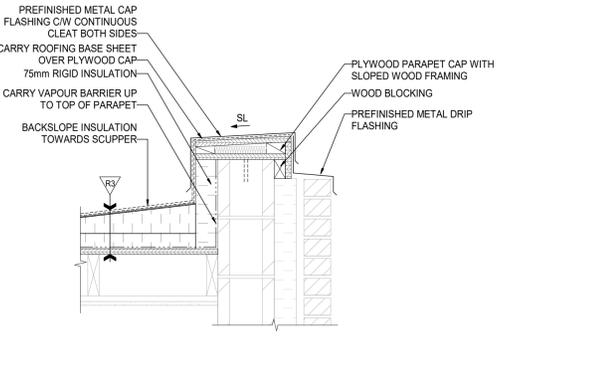
3 SECTION DETAIL - STAIRWELL LOW PARAPET
A02 1:10



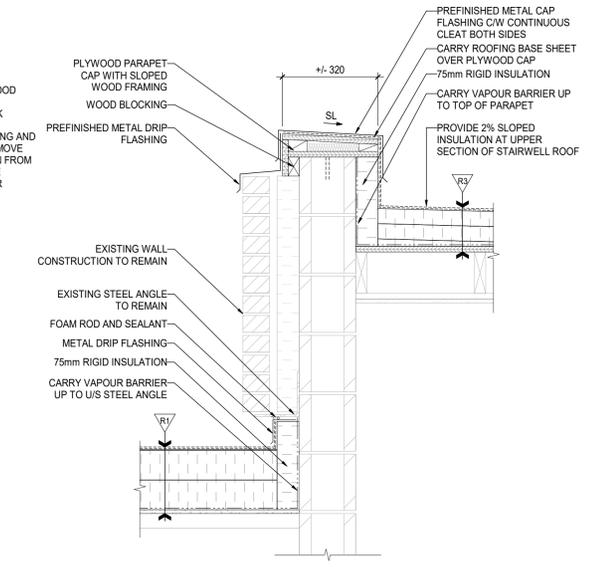
4 SECTION DETAIL - STAIRWELL HIGH PARAPET
A02 1:10



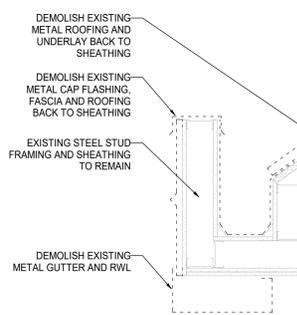
7 ENTRANCE CANOPY ELEVATION
A02 1:50



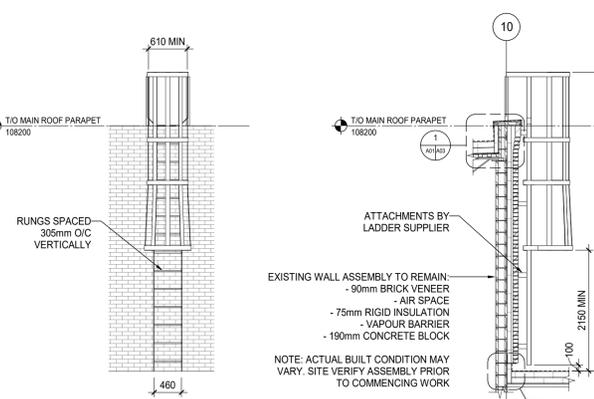
8 LADDER ELEVATION
A02 1:50



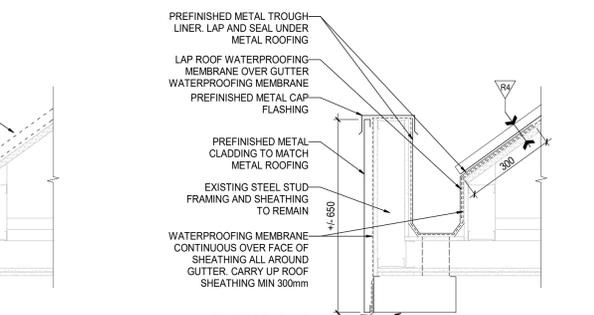
9 LADDER SECTION
A02 1:50



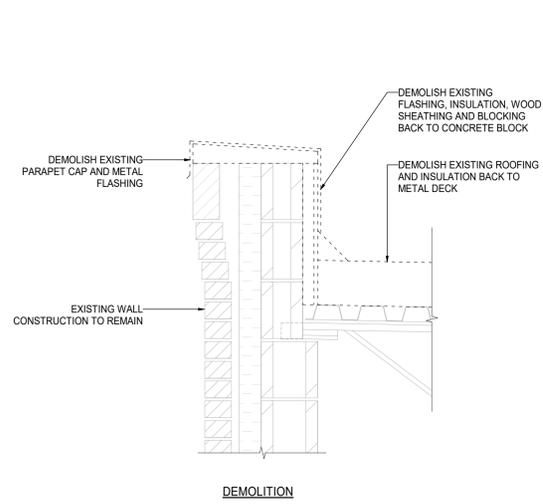
11 SECTION DETAIL - ENTRANCE CANOPY GUTTER
A02 1:10



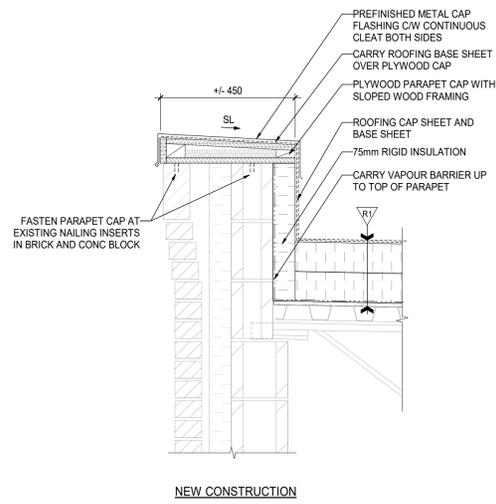
10 SECTION THRU ENTRANCE CANOPY
A02 1:25



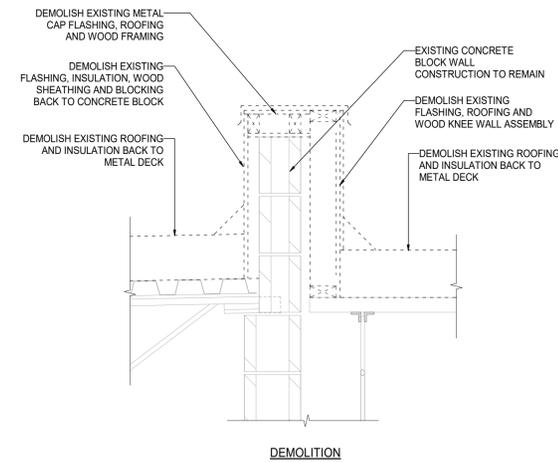
11 SECTION DETAIL - ENTRANCE CANOPY GUTTER
A02 1:10



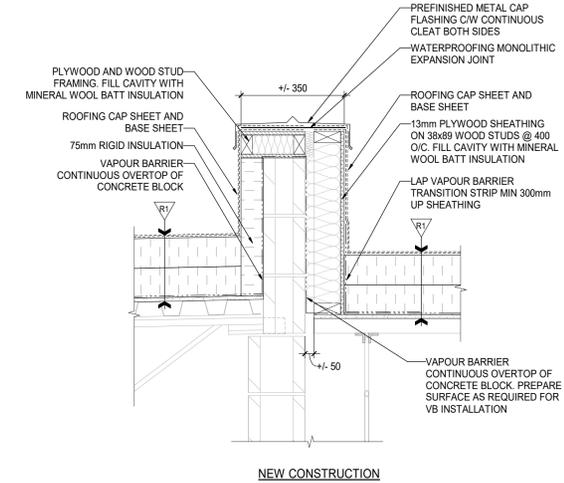
1 SECTION DETAIL - TYPICAL CORBELLED PARAPET
A03 1:10



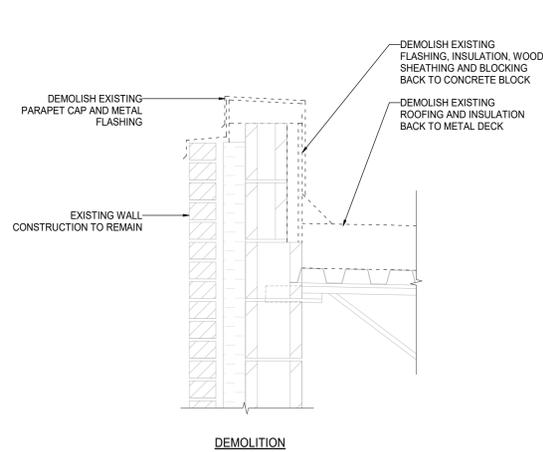
NEW CONSTRUCTION



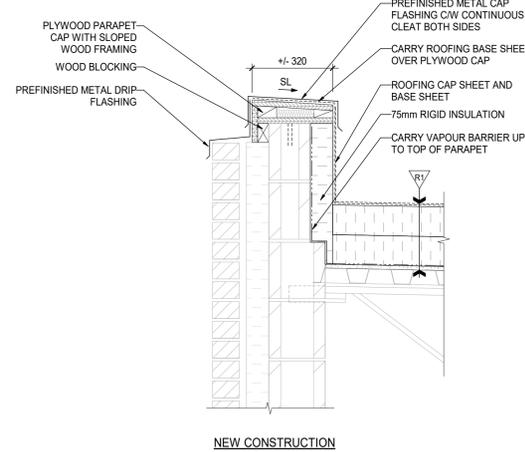
2 SECTION DETAIL - BUILDING CONTROL JOINT
A03 1:10



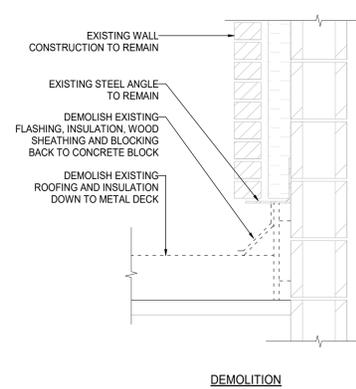
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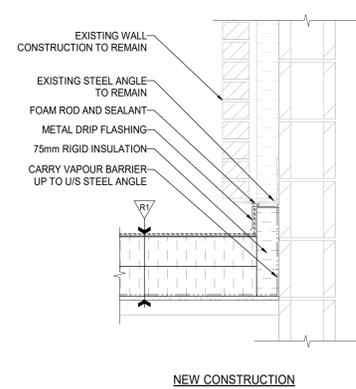
3 SECTION DETAIL - POST OFFICE PARAPET
A03 1:10



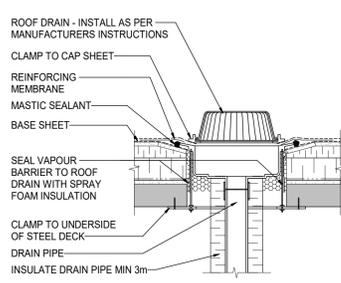
NEW CONSTRUCTION



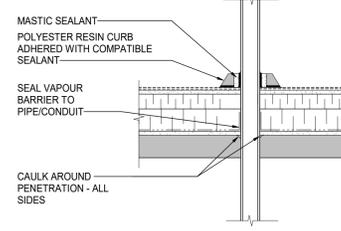
4 SECTION DETAIL - ROOF-WALL JUNCTION
A03 1:10



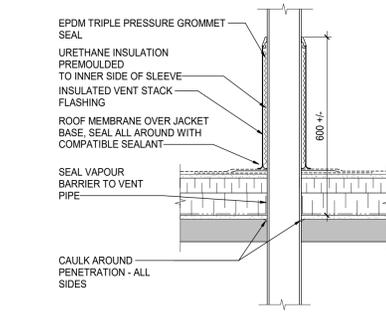
NEW CONSTRUCTION



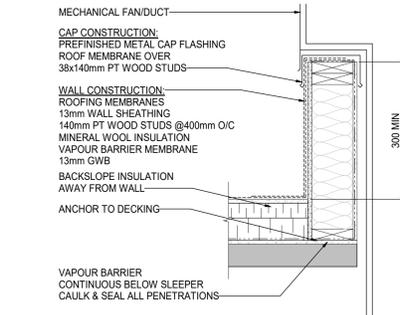
5 TYPICAL ROOF DRAIN DETAIL
A03 1:10



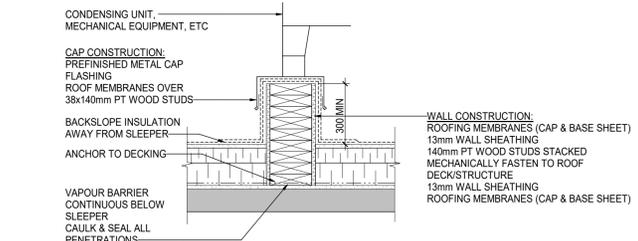
6 TYPICAL PIPE/CONDUIT PENETRATION DETAIL
A03 1:10



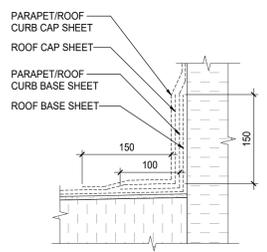
7 TYPICAL VENT PENETRATION DETAIL
A03 1:10



8 TYPICAL DUCT PENETRATION DETAIL
A03 1:10



9 TYPICAL SLEEPER DETAIL
A03 1:10



10 TYPICAL ROOFING LAP AT PARAPET/ROOF CURB
A03 1:5

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1	ISSUED FOR TENDER	2020-06-22

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149 McDOUGAL ROAD, FORT SMITH, NT

Designed by: NUWE
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PWGC Project Manager: Administrateur de Projets TP/GC

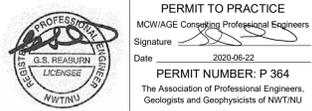
Drawing Title: DETAILS



CONSULTANT:



E20005



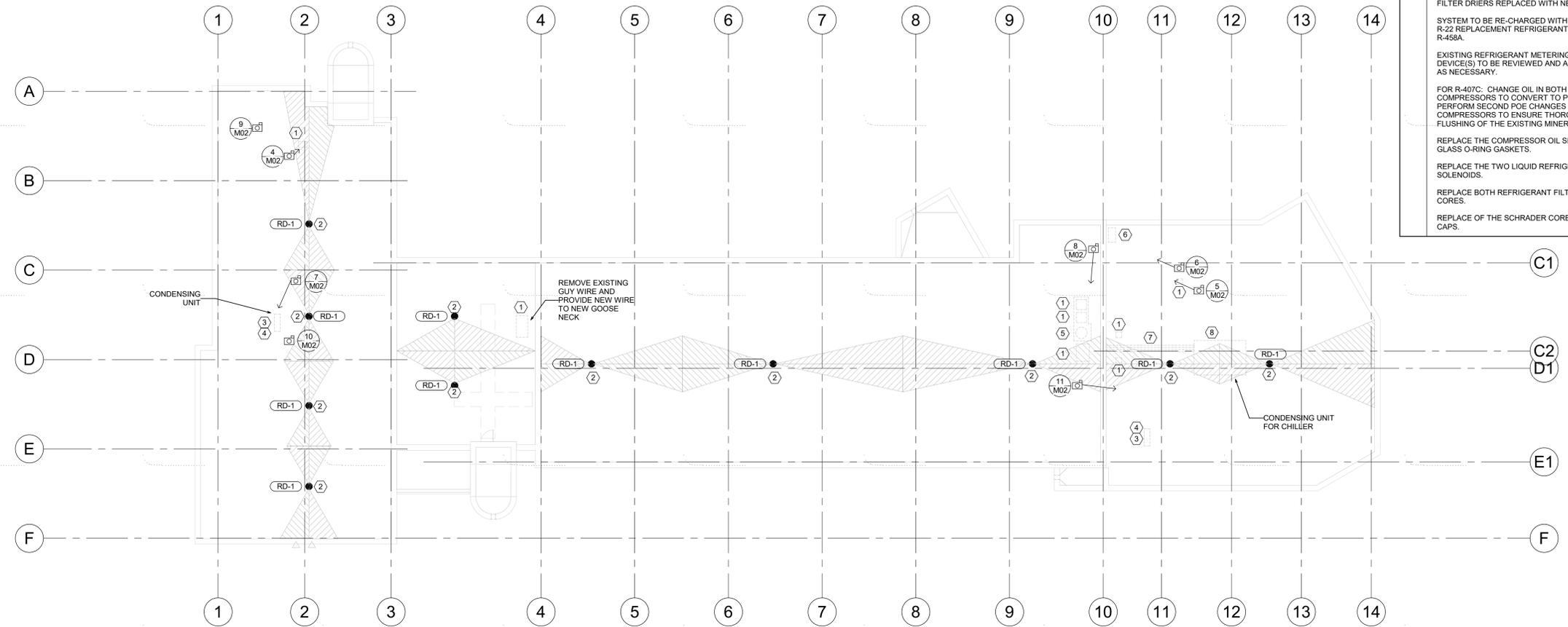
PERMIT TO PRACTICE
MCW/AGE Consulting Professional Engineers
Signature: _____
Date: 2020-06-22
PERMIT NUMBER: P 364
The Association of Professional Engineers, Geologists and Geophysicists of NWT/NTNU

MECHANICAL LEGEND	
	PHOTOGRAPH REFERENCE
	DETAIL REFERENCE
	DRAWING REFERENCE
	PLUMBING FIXTURE TYPE TAG
	ROOF DRAIN
	SHEET NOTE

PLUMBING FIXTURE SCHEDULE										
MARK	DESCRIPTION	FIXTURE	TRIM	ACCESSORIES	FLOW RATE	CONNECTION SIZE				
						DCW	DHW	SAN	VENT	
RD-1	100mm ROOF DRAIN	FLOW CHARACTERISTICS: FULL OPEN FLOW MATERIAL: ALL MAJOR COMPONENTS INCLUDING BODY, FLASHING CLAMPING FLANGE, UNDER DECK CLAMPING RING AND DOME STRAINER SHALL BE CAST IRON OR CAST ALUMINUM, LACQUERED, GALVANIZED OR PRIME PAINTED STEEL BOLTS. SUMP: MINIMUM 180 MM INTERNAL DIAMETER, MINIMUM 75mm DEEP. DISCHARGE: NOMINAL 100 NON-THREADED MJ BASES: SOLID, INTEGRALLY CAST FOR UNDER DECK CLAMPING RING AND FLASHING FLANGE BOLTS. DECK FLANGE: NOMINAL 300mm OUTSIDE DIAMETER, MINIMUM 50mm WIDTH. FLASHING CLAMPING FLANGE: OUTSIDE DIAMETER SAME AS OUTSIDE DIAMETER OF DECK FLANGE; V NOTCHED POSITIVE DRAINING GRAVEL STOP LIP, 15 MM HIGH.	DOME STRAINER: MINIMUM 150 MM HIGH; 8 MM TO 15 MM SLOTTED OPENINGS, SIDES AND TOP C/W BONDING TAB FOR CONNECTION TO LIGHTNING PROTECTION SYSTEM	24.5 KG/M ² ALUMINUM SHEET BETWEEN DRAIN AND STACK.				100		

PLUMBING GENERAL NOTES:	
NOTE	DESCRIPTION
1.	PIPE ROUTING IS SHOWN DIAGRAMMATICALLY AND INDICATES DESIGN INTENT. CONFIRM EXACT ROUTING AND CO-ORDINATE ON SITE. PROVIDE OFFSETS AND ADJUST ROUTING AS REQUIRED.
2.	CO-ORDINATE EXACT TIE-IN AND SHUT DOWN DATES WITH OWNER. PROVIDE A MINIMUM OF ONE WEEK WRITTEN NOTICE PRIOR TO ANY SERVICE INTERRUPTIONS OR SHUT DOWNS. REMOVE AND REPLACE EXISTING PLUMBING VENT TERMINALS WITH NEW INSULATED ONES. EXTEND PLUMBING VENT TERMINALS UP TO MINIMUM 150mm ABOVE ROOF OR STORM LEVEL (WHICH EVER IS GREATER).

PLUMBING SHEETNOTES:	
①	REMOVE AND REPLACE EXISTING ROOF HOOD TO ACCOMMODATE NEW ROOFING. REVISE ROOF CURB AS REQUIRED TO SUIT NEW ROOFING.
②	REPLACE EXISTING ROOF DRAIN WITH NEW. CONNECT TO EXISTING PIPING BELOW ROOF. EXTEND PIPING AS REQUIRED TO SUIT NEW ROOF INSULATION. REPAIR PIPE INSULATION AND INSULATION COVERS BELOW ROOF LEVEL TO MATCH BASE BUILDING.
③	REMOVE AND RE-INSTALL EXISTING CONDENSING UNIT TO SUIT NEW ROOFING. SECURE UNIT TO SIDEWALK BLOCKS ON RIDGED FOAM INSULATION.
④	PROVIDE TEMPORARY COOLING FOR SPACES SERVED BY THE CONDENSING UNIT WHILE THE UNIT IS OUT OF OPERATION. COORDINATE WITH THE BUILDING USERS AND IT STAFF FOR COOLING REQUIREMENTS. THE IT EQUIPMENT IS TO REMAIN OPERATIONAL DURING CONSTRUCTION.
⑤	REMOVE AND RE-INSTALL EXISTING FLUE TO ACCOMMODATE NEW ROOFING. REVISE ROOF CURB AS REQUIRED TO SUIT NEW ROOFING.
⑥	REMOVE AND REPLACE EXISTING LOUVERED DUCT TERMINATION TO ACCOMMODATE NEW ROOFING.
⑦	REMOVE AND REPLACE EXISTING PIPEWORK, ELECTRICAL AND CONTROLS FOR EXISTING CONDENSING UNIT TO ACCOMMODATE NEW ROOFING. SUPPORT ON RUBBER ROOF SUPPORTS.
⑧	REMOVE AND RE-INSTALL EXISTING CONDENSING UNIT TO SUIT NEW ROOFING. SECURE UNIT SLEEPERS. REFER TO ARCHITECTURAL.
	R-22 REFRIGERATION CIRCUIT(S) TO BE EVACUATED, PURGED WITH NITROGEN, AND FILTER DRIERS REPLACED WITH NEW.
	SYSTEM TO BE RE-CHARGED WITH DROP-IN R-22 REPLACEMENT REFRIGERANT: R407C or R-458A.
	EXISTING REFRIGERANT METERING DEVICE(S) TO BE REVIEWED AND ADJUSTED AS NECESSARY.
	FOR R-407C: CHANGE OIL IN BOTH COMPRESSORS TO CONVERT TO POE OIL. PERFORM SECOND POE CHANGES ON BOTH COMPRESSORS TO ENSURE THOROUGH FLUSHING OF THE EXISTING MINERAL OIL.
	REPLACE THE COMPRESSOR OIL SIGHT GLASS O-RING GASKETS.
	REPLACE THE TWO LIQUID REFRIGERANT SOLENOIDS.
	REPLACE BOTH REFRIGERANT FILTER/DRIER CORES.
	REPLACE OF THE SCHRADER CORE AND CAPS.



1 MECHANICAL ROOF PLAN
1 : 150

DWG NO.	DRAWING NAME
M01	MECHANICAL ROOF PLAN
M02	MECHANICAL DETAILS

Revision	Description	Date
1	ISSUED FOR TENDER	2020-06-22

PUBLIC WORKS AND GOVERNMENT SERVICES CANADA
SUITE 1000, 9700 JASPER AVE., EDMONTON, AB, T5J 4C3

Project title: FORT SMITH GOCB ROOF REPLACEMENT
149 McDOUGAL ROAD, FORT SMITH, NT

Designed by: TMJU
Drawn by: TMJU
Approved by: _____
PWGSC Project Manager / Administrateur de Projets TPWGC

Drawing Title: MECHANICAL ROOF PLAN

REPUBLIC ARCHITECTURE INC

385 St. Mary Avenue
Winnipeg, MB R3C 0N1

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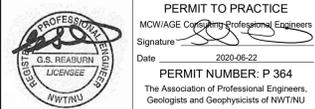
www.republicarchitecture.ca

CONSULTANT:



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Edmonton, Alberta
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www.mcw.com

E20005



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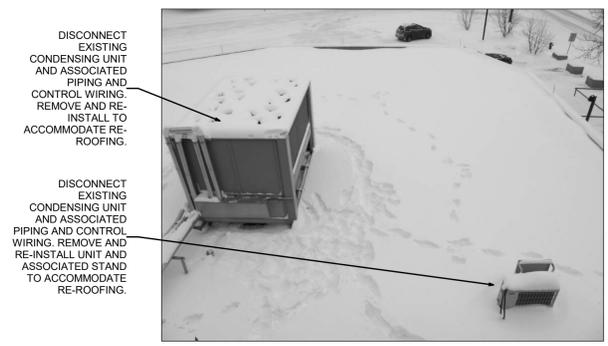
Project title
FORT SMITH GOCB ROOF REPLACEMENT

149 McDOUGAL ROAD, FORT SMITH, NT

Designed by TMU
Drawn by TMU
Approved by
PWGSC Project Manager

Drawing Title
MECHANICAL DETAILS

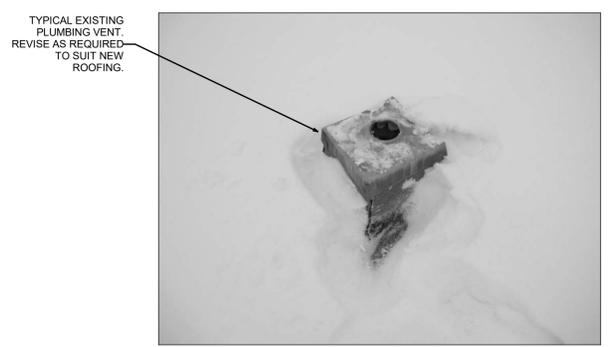
Project no./No. du projet: R.015992.646
Drawing no./No. du dessin: M02
Revision no.: 1
2 OF 2



11 PHOTO - CONDENSING UNITS
N.T.S.



10 PHOTO - PLUMBING VENT WITH PIPING
N.T.S.



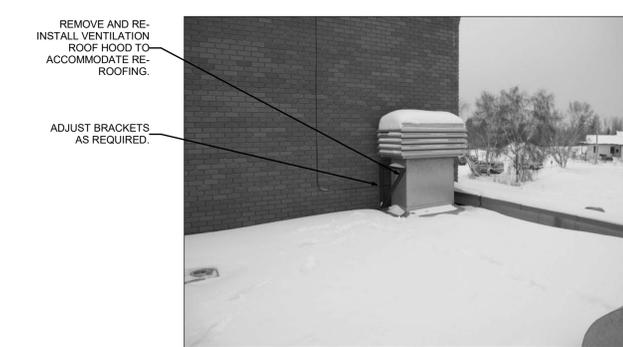
9 PHOTO - PLUMBING VENT
N.T.S.



8 PHOTO - FLUE AND GOOSENECK
N.T.S.



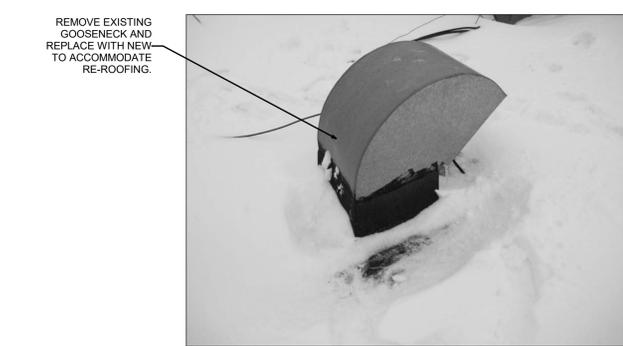
7 PHOTO - CONDENSING UNIT
N.T.S.



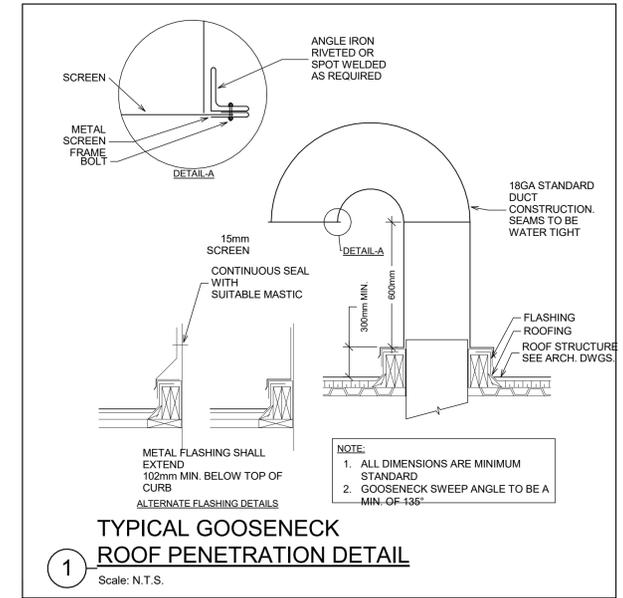
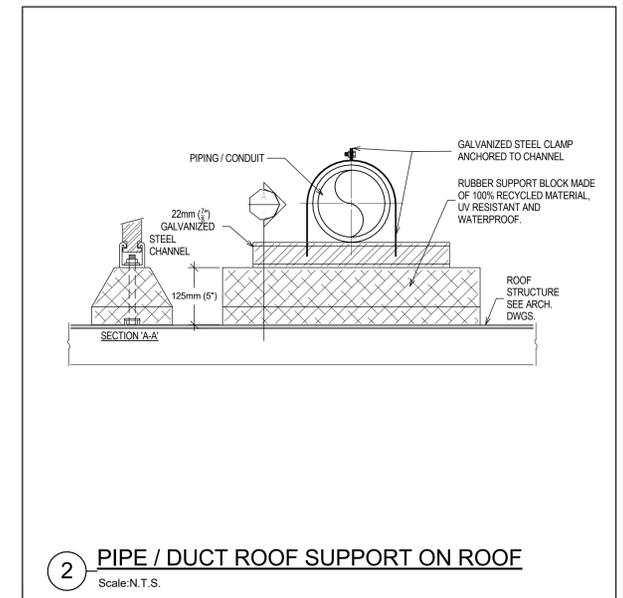
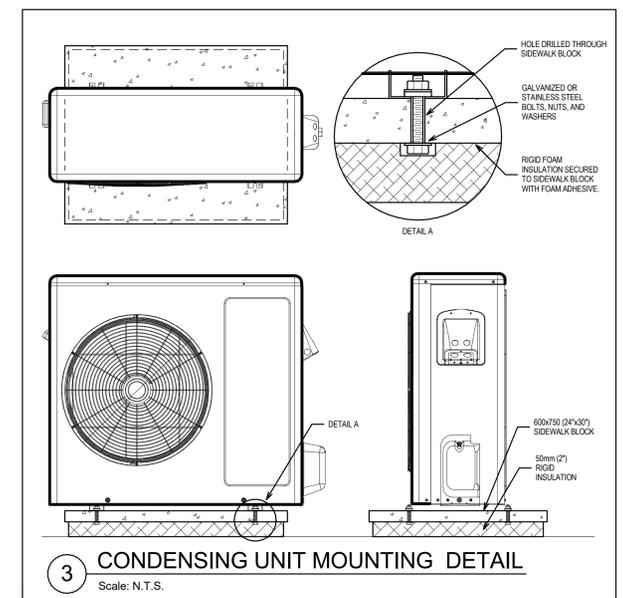
6 PHOTO - ROOF HOOD
N.T.S.



5 PHOTO - GOOSENECK 2
N.T.S.



4 PHOTO - GOOSENECK
N.T.S.



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SEAL:

Revision	Description	Date
1	ISSUED FOR TENDER	2020-06-22

Client: PUBLIC WORKS AND GOVERNMENT SERVICES CANADA

SUITE 1000, 9700 JASPER AVE., EDMONTON, AB, T5J 4C3

Project title: FORT SMITH GOCB ROOF REPLACEMENT

149 McDOUGAL ROAD, FORT SMITH, NT

Designed by: LDC

Drawn by: Eq

Approved by: RCJ/LDC

PWGSC Project Manager / Administrateur de Projets TPWSC

Drawing Title: ROOF ELECTRICAL LAYOUT

Project no./No. du projet: R.015992.646

Drawing no./No. du dessin: E01

Revision no.: 1

GENERAL NOTES ELECTRICAL:

1. DOCUMENT THE LOCATIONS OF ALL EXISTING LIGHTNING PROTECTION SYSTEM COMPONENTS (AIR TERMINALS, CROSS CONDUCTORS, DOWN CONDUCTORS ETC.) PRIOR TO INITIATING ROOF REPLACEMENT. REMOVE/MAKE SAFE ALL EXISTING DEVICES/EQUIPMENT ASSOCIATED TO THE LIGHTNING PROTECTION SYSTEM TO ACCOMMODATE ROOF REPLACEMENT TO ACCOMMODATE ROOF REPLACEMENT. REINSTALL AND CERTIFY THE LIGHTNING PROTECTION SYSTEM UPON COMPLETION OF ROOF REPLACEMENT.

PHASE 1 (PREPARATION FOR PHYSICAL ROOF REPLACEMENT)

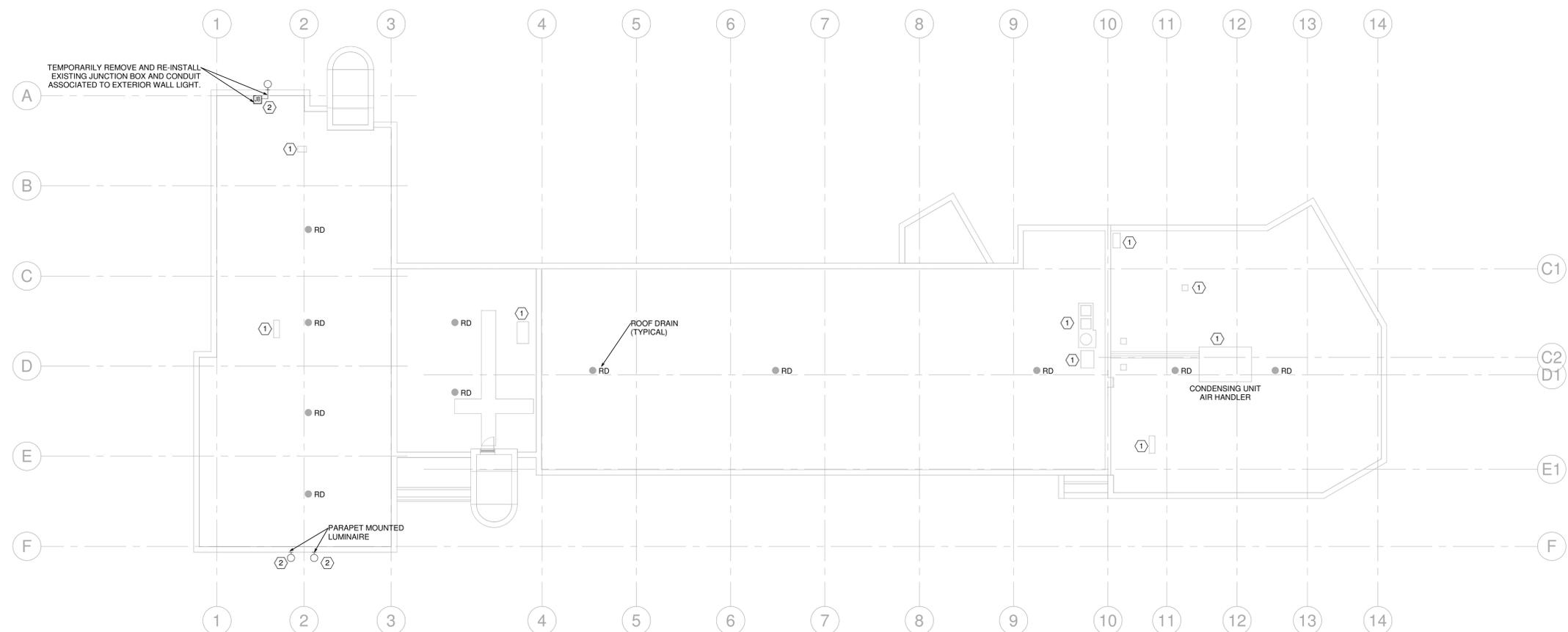
- ELECTRICAL SERVICES TO ROOF TOP EQUIPMENT MADE SAFE. (BREAKERS LOCKED OFF.)
- DISCONNECT ALL EXISTING ROOF TOP EQUIPMENT INFRASTRUCTURE (CONDUIT/WIRE), WIRE TAKEN BACK PREVIOUS JUNCTION BOX AND/OR INSTALL NEW JUNCTION BOX WITHIN CEILING SPACES OUTSIDE OF BOUNDARY OF ROOF REPLACEMENT DISRUPTION. THIS WORK IS IN PREPARATION OF ROOF REPLACEMENT WORK. CONFIRM AND DOCUMENT INFRASTRUCTURE (CONDUIT, CONDUIT ACCESSORIES, WIRE, CABLE ETC.) STATUS / CODE COMPLIANCE WITH FACILITY PERSONNEL. IF DEEMED UNACCEPTABLE, REPLACE WITH NEW INFRASTRUCTURE.
- TEMPORARY DISCONNECT ANY LIFE SAFETY-FIRE ALARM DEVICES ASSOCIATED TO THE ROOF TOP EQUIPMENT. FIRE WATCHES MAY BE REQUIRED COORDINATE WITH BUILDING OWNER.
- DISCONNECT/ REMOVE ALL EXISTING ALL EXISTING ROOF TOP/ PARAPET LIGHTING AND SECURITY DEVICES (SURVEILLANCE CAMERA ETC.) ENSURE ALL WIRE/CABLING IS MADE SAFE. STORE REMOVED EQUIPMENT FOR REUSE/REINSTALLATION.
- DISCONNECT/ REMOVE ALL EXISTING LIGHTNING PROTECTION CABLING, AIR TERMINALS, CROSS CONNECTIONS TO ACCOMMODATE THE ROOF REPLACEMENT WORK. ALL DOWN CONDUCTORS ARE TO REMAIN FOR RECONNECTION.
- ROOF TOP EQUIPMENT WILL BE REMOVED FROM ROOF, STORED AND RE-INSTALLED ONCE THE ROOF REPLACEMENT WORK IS COMPLETE.

PHASE 2 (EQUIPMENT INSTALLATION/RECONNECTION AFTER PHYSICAL ROOF REPLACEMENT IS COMPLETE.)

- RE-CONNECT ALL EXISTING ROOF TOP EQUIPMENT INFRASTRUCTURE (CONDUIT/WIRE), WIRE EXTENDED FROM EXISTING JUNCTION BOX (PHASE 1) TO THE ROOF TOP EQUIPMENT LOCATION.
- REPLACE ANY DAMAGED/CORRODED INFRASTRUCTURE (CONDUIT/WIRE/CABLE) WITH NEW.
- UPON RE-CONNECTION, CHECK/TEST PHASE ROTATION OF ALL EQUIPMENT. ONCE FUNCTIONALITY IS PROVEN, ENSURE PROTECTION DEVICE OPERATED PROPERLY (REMOVE LOCK OFF DEVICE).
- ENSURE ALL ROOF TOP EQUIPMENT (MECHANICAL EQUIPMENT, LIGHTING, LIFE SAFETY/FIRE ALARM AND SECURITY EQUIPMENT ETC.) IS FUNCTIONALLY OPERATIONAL. TEST REQUIRED EQUIPMENT (LIFE SAFETY/FIRE ALARM AND SECURITY AS REQUIRED TO ENSURE PROPER OPERATIONAL FUNCTIONALITY. PROVIDE OWNER WITH TESTING DOCUMENTATION.
- RECONNECT/REPLACE/AMEND THE LIGHTNING PROTECTION SYSTEM (PROTECTION CABLING, AIR TERMINALS, CROSS CONNECTIONS, DOWN CONDUCTORS ETC.) TO ACCOMMODATE AND PROTECT THE NEW ROOF. ENSURE THAT ALL EXISTING DOWN CONDUCTORS ARE RECONNECTED TO THE ROOF TOP MESH CABLING AS PER THE LATEST LIGHTNING PROTECTION STANDARDS. PROVIDE OWNER WITH CERTIFICATION DOCUMENTS.
- CONFIRM AND DOCUMENT EQUIPMENT CONNECTIONS / FUNCTIONALITY INCLUDING PHASE ROTATION (AS REQUIRED BY C.E.C.) WITH FACILITY PERSONNEL PRIOR TO SUBSTANTIAL COMPLETION OF THE PROJECT.

ELECTRICAL KEYNOTES:

- REMOVE/MAKE SAFE ALL EXISTING INFRASTRUCTURE (CONDUIT/WIRE/CABLE) TO ACCOMMODATE ROOF REPLACEMENT. LOCK OFF BRANCH CIRCUIT BREAKERS. DISABLE/DISCONNECT LIFE SAFETY /FIRE ALARM DEVICES ETC. TO ALLOW EQUIPMENT REMOVAL. REFER TO ARCHITECTURAL & MECHANICAL DOCUMENTATION. REINSTALL AND TEST INFRASTRUCTURE AND SERVICES UPON COMPLETION OF ROOF REPLACEMENT. PROVIDE EQUIPMENT TESTING SHEETS TO THE OWNER.
- DOCUMENT THE LOCATIONS OF ALL EXISTING ELECTRIFIED DEVICES/EQUIPMENT CURRENTLY LOCATED ON THE ROOF AND WILL BE AFFECTED BY THE ROOF REPLACEMENT PROJECT. REMOVE/MAKE SAFE ALL EXISTING INFRASTRUCTURE (CONDUIT/WIRE/CABLE) ASSOCIATED TO PARAPET LIGHTING, SECURITY EQUIPMENT, TELECOMMUNICATION EQUIPMENT (ANTENNAS, DISHES ETC.) THAT WILL BE AFFECTED BY THE ROOF REPLACEMENT. REINSTALL AND TEST INFRASTRUCTURE AND SERVICES UPON COMPLETION OF ROOF REPLACEMENT. PROVIDE EQUIPMENT TESTING SHEETS TO THE OWNER. COORDINATE EQUIPMENT REMOVAL AND RE-INSTALLATION WITH ARCHITECTURAL.



1 ROOF ELECTRICAL LAYOUT
1 : 150

