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• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •  
INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

Consultants Ingénieurs conseils



1	ISSUED FOR TENDER	07/15 2020
revisions		date

project	project
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**BIO ELLIS BUILDING  
ROOF REPAIR  
BIO DARTMOUTH**

**PARTIAL  
EXISTING / DEMOLITION  
ROOF PLANS**

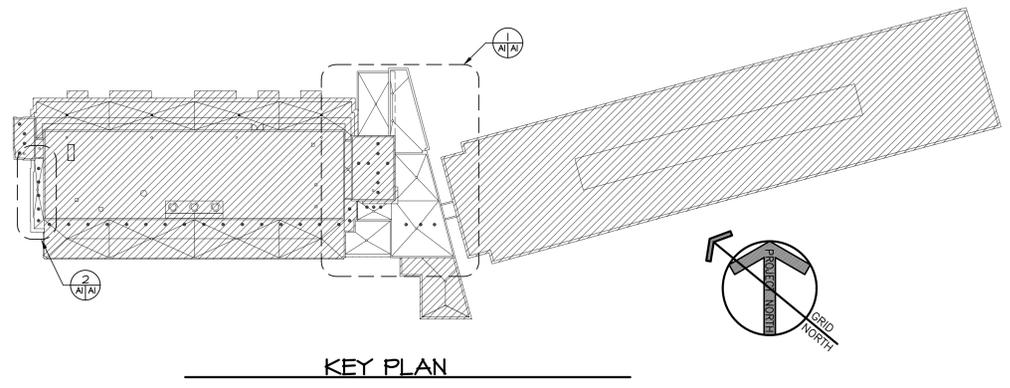
designed A.S.D.	concu
date MAY, 2018	
drawn D.R.R.	dessine
date MAY, 2018	
approved	approuve
date	
Tender	Soumission

PWSSC Project Manager	Administrateur de projets TPSSC
project number	no. du projet

**R.086538.001**

drawing no.	no. du dessin
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**A1**



**KEY PLAN**

**GENERAL NOTES:**

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL SUB-CONTRACTORS AND CONSULTANTS AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE VERIFIED ON SITE, AND ALL DISCREPANCIES REPORTED TO THE DEPARTMENTAL REPRESENTATIVE AND AGREED UPON PRIOR TO PROCEEDING. DO NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES, USE DIMENSIONS AS NOTED.
- PROTECT EXISTING FINISHES, EQUIPMENT AND SYSTEMS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. PROTECT EXISTING LANDSCAPED AREAS AROUND PERIMETER OF BUILDING FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. REINSTATE ANY DAMAGED LANDSCAPED AREAS AS REQUIRED FOLLOWING INSTALLATION OF THE NEW WORK. COORDINATE SITE ACCESS & CONTAINER STORAGE / DUMPSTER LOCATION WITH DEPARTMENTAL REPRESENTATIVE PRIOR TO START.
- WHEN A BUILDING SYSTEM IS UNCOVERED THAT IS TO REMAIN, THAT IS NOT AS PER THE DRAWINGS OR SPECIFICATIONS THE CONTRACTOR, MUST NOTIFY THE CONSULTANT AND DEPARTMENTAL REPRESENTATIVE IMMEDIATELY.
- PROTECT EXISTING WALLS, ROOF DECK AND MECHANICAL EQUIPMENT ON/OFF ROOF TOP DURING DEMOLITION AND CONSTRUCTION. REPAIR/REPLACE ALL DETERIORATED/DAMAGED ASSEMBLIES/FINISHES. (TYP.)
- AT AREA OF NEW WORK, SUPPLY/INSTALL ALL REQUIRED ACCESSORIES FOR A COMPLETE INSTALLATION. (TYP.)
- ALL CONSTRUCTION/RENOVATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE, NOVA SCOTIA BUILDING CODE ACT, AND ALL LOCAL AND PROVINCIAL ORDINANCES.
- MAKE GOOD/REPAIR AS REQUIRED ALL AREAS AFFECTED BY PROJECT SCOPE OF WORK. (TYP.)
- MAKE GOOD ALL NEW ROOF WORK WITH EXISTING TO ENSURE A WATER-PROOF ASSEMBLY.

**DEMOTION KEY NOTES:**

- D1** EXISTING ROOF EDGE FLASHING TO BE REMOVED.
- D2** EXISTING ROOF ASSEMBLY TO BE REMOVED DOWN TO EXISTING DECK.
- D3** EXISTING ROOF ANCHOR TO BE REMOVED
- D4** EXISTING ROOF DRAIN STRAINER TO BE REMOVED. TYPICAL
- D5** EXISTING MECHANICAL EXHAUST UNIT TO BE REMOVED AND SAVED FOR REINSTATEMENT.
- D6** EXISTING CONCRETE PAVER TO BE REMOVED AND SAVED FOR REINSTATEMENT.
- D7** EXISTING GUARDRAIL TO BE REMOVED AND SAVED FOR REINSTALLATION.
- D8** EXISTING DOOR, FRAME, AND THRESHOLD TO BE REMOVED AND SAVED FOR REINSTATEMENT.

**LEGEND:**

- ROOF SLOPE DIRECTION
- RA ⊕ ROOF ANCHOR TO BE REMOVED
- RD ○ ROOF DRAIN
- ▨ AREAS NOT IN CONTRACT
- ⊕ SECTION LETTER
- ⊕ DRAWING WHERE SECTION FOUND
- ⊕ DRAWING WHERE SECTION TAKEN

**DEMOLITION NOTES:**

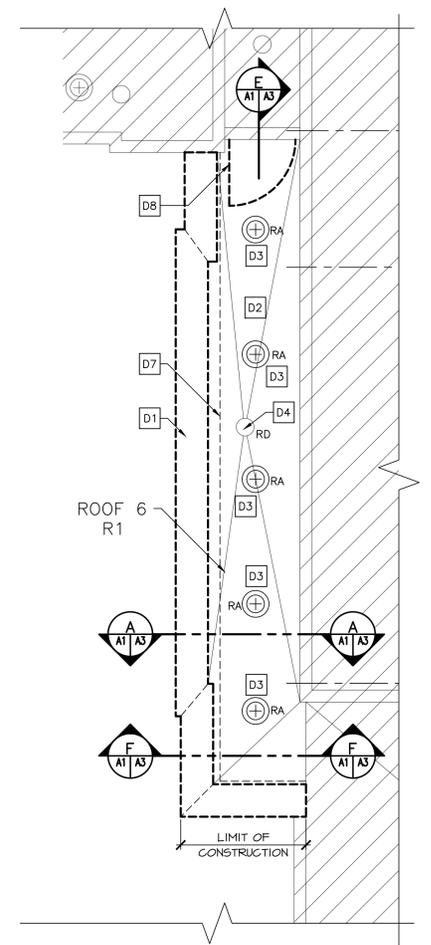
- REMOVE ENTIRE EXISTING ROOF ASSEMBLY TO EXISTING CONCRETE / METAL DECK INCLUDING EXISTING VAPOUR RETARDER.
- REMOVE ALL EXISTING FLASHINGS, TERMINATION BARS, SEALANTS AND MASTICS AS REQUIRED TO CONDUCT NEW WORK.
- REMOVE ALL ITEMS COMPLETE WITH ALL FASTENERS, BRACES, AND ACCESSORIES. COORDINATE REMOVALS WITH ITEMS TO REMAIN. COMPLETE REMOVALS TO ADJACENT SURFACES, NEAREST JOINT OR FRAMING BACKUP AND MAKE READY FOR NEW WORK. PERFORM ALL CUTTING AND PATCHING NECESSARY TO CARRY OUT THE WORK OF ALL TRADES.
- PRIOR TO DEMOLITION OF EXISTING ASSEMBLIES, COORDINATE ANY REMOVALS OF EXISTING SERVICES WITH DEPARTMENTAL REPRESENTATIVE.
- COORDINATE WITH DEPARTMENTAL REPRESENTATIVE FOR ANY TEMPORARY REMOVALS OF MECHANICAL AND ELECTRICAL EQUIPMENT TO LIMIT DISRUPTIONS WITH WORK. REINSTALL EQUIPMENT AS INDICATED ON PLANS.

**EXISTING ROOF ASSEMBLY (TO BE REMOVED UNLESS NOTED OTHERWISE):**

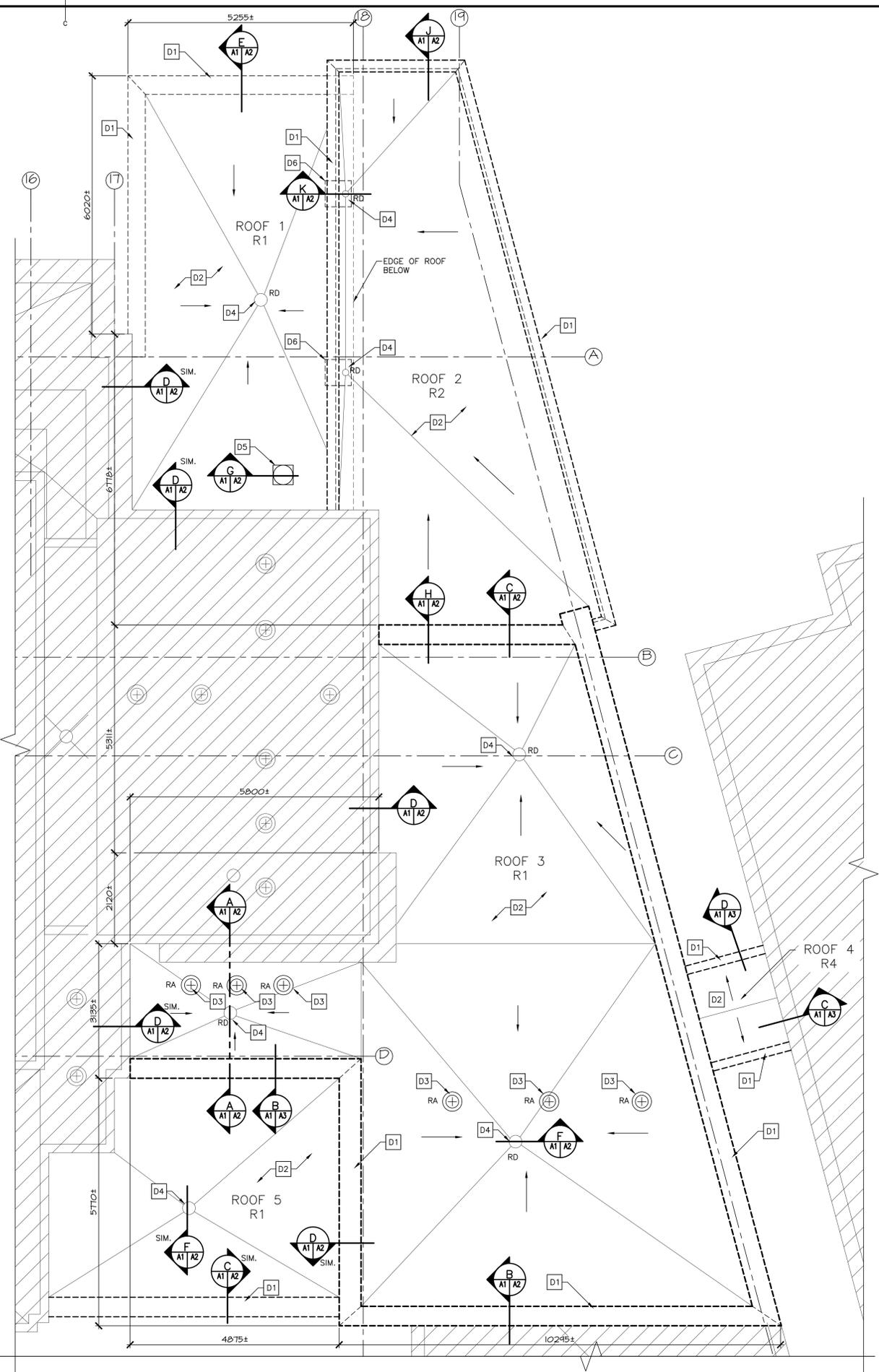
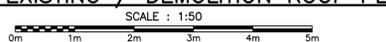
- R1** 2 PLY MODIFIED BITUMINOUS ROOF MEMBRANE  
FIBRE BOARD (2 LAYERS)  
RIGID INSULATION  
ASPHALT VAPOUR BARRIER (2 LAYERS)  
CONCRETE SLAB (FLAT)
- R2** 2 PLY MODIFIED BITUMINOUS ROOF MEMBRANE  
FIBRE BOARD (2 LAYERS)  
RIGID INSULATION  
2 PLY MODIFIED BITUMINOUS ROOF MEMBRANE  
VAPOUR BARRIER  
CONCRETE SLAB (FLAT)
- R3** 2 PLY MODIFIED BITUMINOUS ROOF MEMBRANE  
FIBRE BOARD (2 LAYERS)  
RIGID INSULATION  
ASPHALT VAPOUR BARRIER (1 LAYER)  
CONCRETE SLAB (FLAT)
- R4** 2 PLY MODIFIED BITUMINOUS ROOF MEMBRANE  
FIBRE BOARD (2 LAYERS)  
RIGID INSULATION  
ASPHALT FELT (1 LAYER)  
METAL DECK

**APPROX. ROOF AREA:**

- ROOF 1 53m<sup>2</sup>
- ROOF 2 65m<sup>2</sup>
- ROOF 3 138m<sup>2</sup>
- ROOF 4 6m<sup>2</sup>
- ROOF 5 35m<sup>2</sup>
- ROOF 6 17m<sup>2</sup>



**PARTIAL EXISTING / DEMOLITION ROOF PLAN 2**



**PARTIAL EXISTING / DEMOLITION ROOF PLAN 1**

