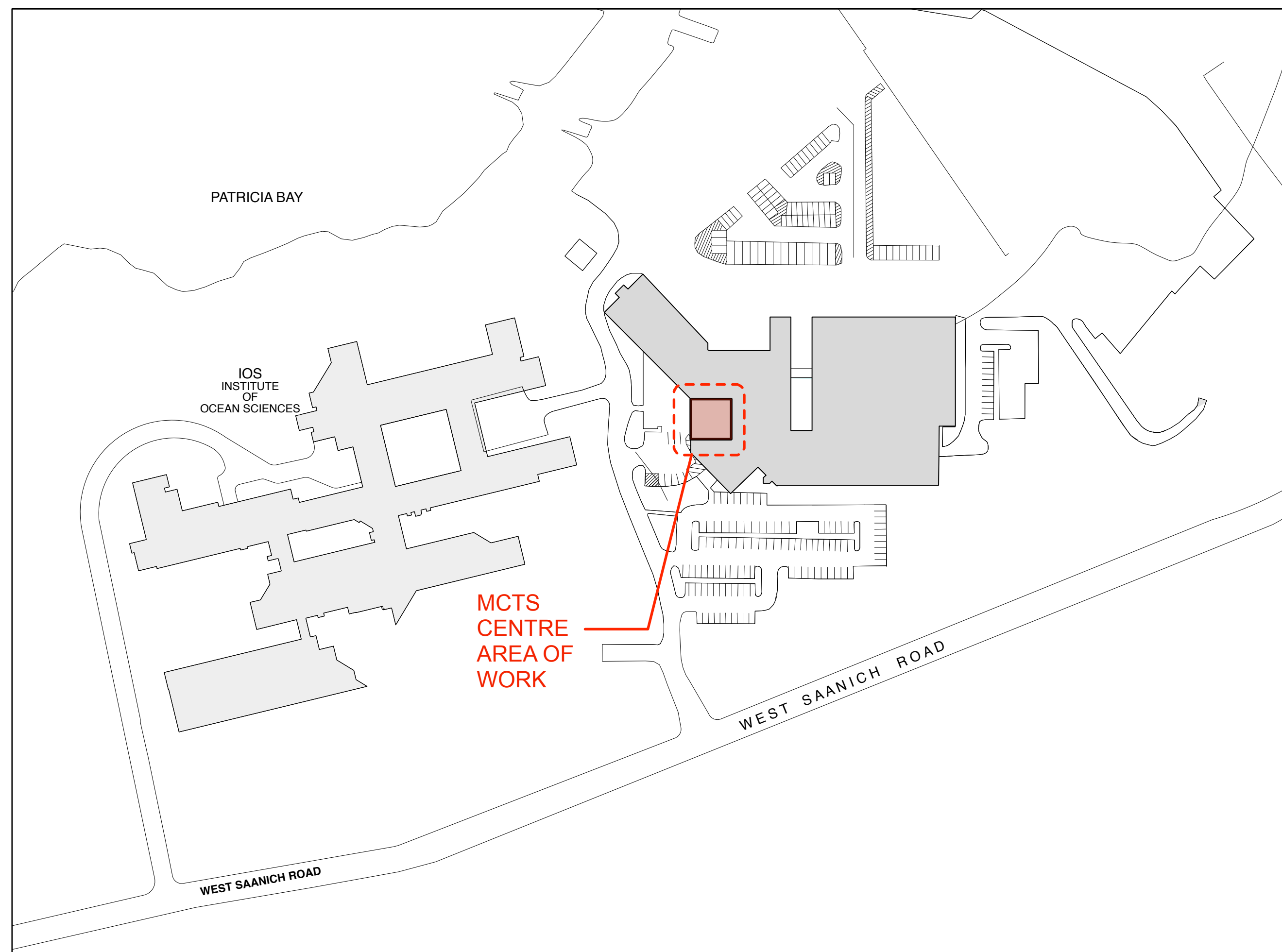
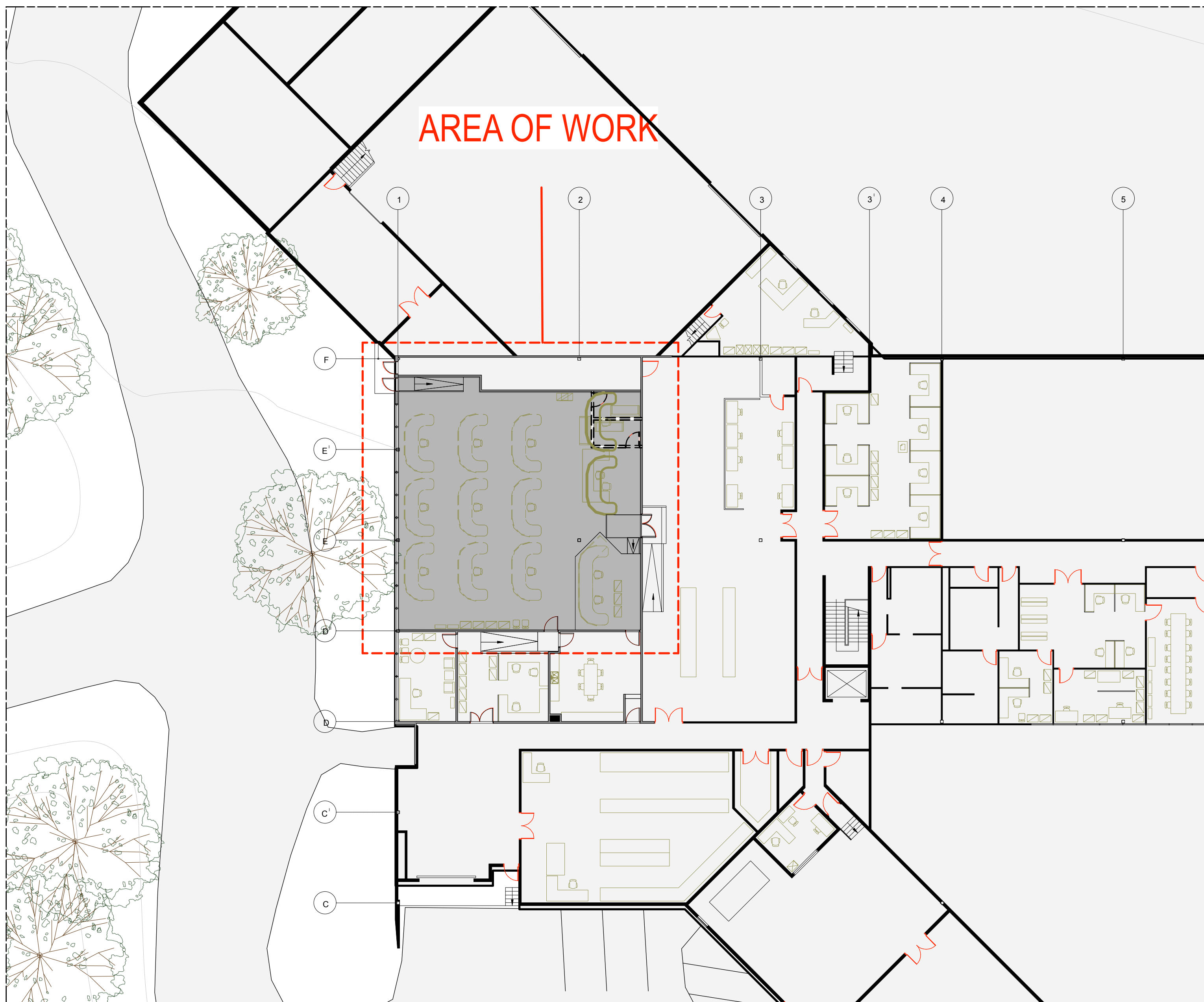


PSPC for Coast Guard Canada

Renovation at MCTS Suite

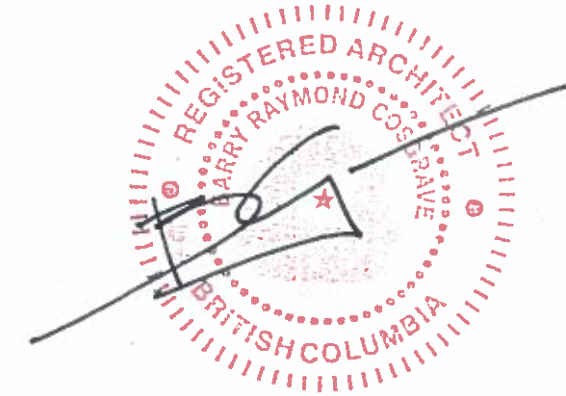


1 IOS & MCTS LOCATION PLAN
A1.00 NO SCALE



2 PROJECT LOCATION PLAN
A1.00 NO SCALE

| ABBREVIATIONS | | LEGEND | | CONSULTANTS | NBC - 2018 CODE SUMMARY IOS DFO - MCTS ROOM - | | DRAWING LIST | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|---|---|---|---|---|--------------|-------------------------------|--------------------|---|--|--|---|---------------------------------------|------------|---|-------------------------|-----------------|---|-----------------------------|-----------------|---|---|---|---|---|----------|---|--|----------|---|---|----------|---|--|---------|----|--|-------|----|---|---------|----|--|-------|----|--|----------|----|---------------------------|---------|----|-------------------------------|---------|----|------------------------|----------------|----|------------------------------------|--|----|---|--|----|-------------------------------|--|----|-------------------------------------|--|----|------------------------------------|--|--|
| ACM ALT. ALUM. ANOD. A.F.F. CARP. CARP. T. CL. C.C. C.O. C.J. CT. C/W CONC. (D) D.R. (E) E.I. ELECT. ELEV. F.D.C. F.E. F.E.C. FIN. FN.DT. FRR FTG GWB GA G.I. H.D. H.M. HT. HDWR HORIZ. INSUL. MATL. MECH. MFG. | ASBESTOS CONTAINING MATERIAL ACOUSTIC CEILING TILE ALTERNATE ALUMINUM ANODIZED ABOVE FINISH FLOOR CARPET CARPET TILE CENTER LINE CENTER TO CENTER CLEAN OUT CONTROL JOINT CARPET TILE COMPLETE WITH CONCRETE DEMOLITION DEPARTMENTAL REPRESENTATIVE EXISTING EXPANSION JOINT ELECTRICAL ELEVATION OR ELEVATOR FIRE DEPARTMENT CONNECTION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FOUNDATION FIRE RESISTANCE RATING FOOTING GYPSUM WALL BOARD GAUGE GALVANIZED HIGH DENSITY HOLLOW METAL HEIGHT HARDWARE HORIZONTAL INSULATION MATERIAL MECHANICAL OR MECHANICALLY MANUFACTURER | MPD. (N) N.I.C. N.T.S. O.C. OD. OH. P.I.P. PT. P.T. C.J. RB RD RCP REQ. RM. RWL. SAN. SG. SIM. S.O.G. SQ. S.S. ST STRUCT. SV TBD T.O. TYP. U.G. U.N.O. UIS. VAR./VARL. VB VERT. VCT W W.O. W.COV. | MODIFIED PROCTOR DENSITY MOUNTED NEW (PROPOSED) NOT IN CONTRACT NOT TO SCALE ON CENTER OVERFLOW DRAIN OVERHANG POURED IN PLACE PAINT PRESSURE TREATED PLUMBING VENT RUBBER BASE ROOF DRAIN REFLECTED CEILING PLAN REQUIRED ROOM RAINWATER LEADER SANITARY SHEET GOODS FLOORING SIMILAR SLAB ON GRADE SQUARE STAINLESS STEEL STEEL STRUCTURAL OR STRUCTURE SHEET VINYL TO BE DETERMINED TOP OF TYPICAL UNDER GROUND UNLESS NOTED OTHERWISE UNDERSIDE VARIABLE OR VARIES VAPOUR BARRIER VERTICAL VINYL COMPOSITE TILE WITH WOOD WITHOUT WALL COVERING | <div><div><div>#</div><div>A.XX</div></div></div> <div>DETAIL NUMBER SHEET NUMBER</div> <div><div><div>X#</div></div></div> <div>ASSEMBLY TYPE R-ROOF, F-FLOOR W-WALL, P-PARTITION</div> <div><div><div>#</div></div></div> <div>GRID MARKER</div> <div><div><div>#</div><div>A.XX</div></div></div> <div>BUILDING SECTION</div> <div><div><div>#</div><div>A.XX</div></div></div> <div>WALL SECTION</div> <div><div><div>#</div><div>A.XX</div></div></div> <div>DETAIL</div> <div><div><div>#</div><div>A.XX</div></div></div> <div>ELEVATION</div> <div><div><div>#</div><div>A-03</div></div></div> <div>INTERIOR ELEVATION</div> <div><div><div>ROOM NAME</div><div>#</div></div></div> <div>ROOM NAME AND NUMBER</div> <div><div><div>GWB VARIES</div></div></div> <div>RCP ELEVATION MARKER (MATERIAL HEIGHT AFF.)</div> <div><div><div>24</div></div></div> <div>REFERENCE INFORMATION BUBBLE</div> | <div>ARCHITECTURAL</div> <div>Number TEN Architectural Group 200-1619 Store Street Victoria BC, V8W 3K3</div> <div>MECHANICAL</div> <div>WSP 301-3600 Uptown Blvd. Victoria BC, V8Z 0B9</div> <div>ELECTRICAL</div> <div>WSP 301-3600 Uptown Blvd. Victoria BC, V8Z 0B9</div> | <table><tr><th>Item</th><th>NBC-2018 Data Matrix - Part 3</th><th>NBC 2018 Reference</th></tr><tr><td>1</td><td>Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Assessment The project consists of the demolition of (2) two existing offices and adding (2) two new work stations revising Electrical power and lighting and revising Mechanical HVAC and sprinkler configurations to suit new conditions.</td><td></td></tr><tr><td>2</td><td>Major Occupancy: Office (D) occupancy</td><td>3.1.2.1(1)</td></tr><tr><td>3</td><td>Gross Area (m²): 266 m2</td><td>1.4.1.2 (div A)</td></tr><tr><td>4</td><td>Number of Storeys: Existing</td><td>1.4.1.2 (div A)</td></tr><tr><td>5</td><td>Height of Building (m): this portion approximately 3-4 meters</td><td>-</td></tr><tr><td>6</td><td>Number of Streets/Access Routes: Existing</td><td>3.2.2.10</td></tr><tr><td>7</td><td>Building Classification: Group F, Division 2, 4 Storeys, Increased Area, Sprinklered</td><td>3.2.2.75</td></tr><tr><td>8</td><td>Sprinkler System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing</td><td>3.2.2.18</td></tr><tr><td>9</td><td>Standpipe Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Existing</td><td>3.2.5.8</td></tr><tr><td>10</td><td>Fire Alarm Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing</td><td>3.2.4</td></tr><tr><td>11</td><td>Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes (assumed) <input type="checkbox"/> No</td><td>3.2.5.7</td></tr><tr><td>12</td><td>High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td><td>3.2.6</td></tr><tr><td>13</td><td>Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both</td><td>3.2.2.75</td></tr><tr><td>14</td><td>Travel Distance: Existing</td><td>3.4.2.5</td></tr><tr><td>15</td><td>Barrier-Free Design: Existing</td><td>3.8.2.1</td></tr><tr><td>16</td><td>Mezzanine(s) Area (m²)</td><td>Not Applicable</td></tr><tr><td>17</td><td>Occupant Load: Added: 2 persons</td><td>• Existing assumed in space = 12 Persons • New Total Occupant Load = 14 Persons</td></tr><tr><td>18</td><td>Plumbing Fixture Requirements: Existing</td><td></td></tr><tr><td>19</td><td>Barrier-Free Design: Existing</td><td></td></tr><tr><td>20</td><td>Fire separation of Suites: Existing</td><td></td></tr><tr><td>21</td><td>Fire separation of Exits: Existing</td><td></td></tr></table> | Item | NBC-2018 Data Matrix - Part 3 | NBC 2018 Reference | 1 | Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Assessment The project consists of the demolition of (2) two existing offices and adding (2) two new work stations revising Electrical power and lighting and revising Mechanical HVAC and sprinkler configurations to suit new conditions. | | 2 | Major Occupancy: Office (D) occupancy | 3.1.2.1(1) | 3 | Gross Area (m²): 266 m2 | 1.4.1.2 (div A) | 4 | Number of Storeys: Existing | 1.4.1.2 (div A) | 5 | Height of Building (m): this portion approximately 3-4 meters | - | 6 | Number of Streets/Access Routes: Existing | 3.2.2.10 | 7 | Building Classification: Group F, Division 2, 4 Storeys, Increased Area, Sprinklered | 3.2.2.75 | 8 | Sprinkler System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing | 3.2.2.18 | 9 | Standpipe Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Existing | 3.2.5.8 | 10 | Fire Alarm Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing | 3.2.4 | 11 | Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes (assumed) <input type="checkbox"/> No | 3.2.5.7 | 12 | High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | 3.2.6 | 13 | Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both | 3.2.2.75 | 14 | Travel Distance: Existing | 3.4.2.5 | 15 | Barrier-Free Design: Existing | 3.8.2.1 | 16 | Mezzanine(s) Area (m²) | Not Applicable | 17 | Occupant Load: Added: 2 persons | • Existing assumed in space = 12 Persons • New Total Occupant Load = 14 Persons | 18 | Plumbing Fixture Requirements: Existing | | 19 | Barrier-Free Design: Existing | | 20 | Fire separation of Suites: Existing | | 21 | Fire separation of Exits: Existing | | <div>DRAWING LIST</div> <div>ARCHITECTURAL</div> <div>A1.00 COVER SHEET, SITE PLAN</div> <div>A2.00 PLANS</div> <div>MECHANICAL</div> <div>M0.01 COVER SHEET, LEGEND, DRAWING LIST</div> <div>M1.00 MECHANICAL HVAC & FIRE PROTECTION DEMOLITION AND NEW</div> <div>ELECTRICAL</div> <div>E0.01 COVER SHEET, LEGEND, GENERAL NOTES AND DRAWING LIST</div> <div>E1.00 ELECTRICAL FLOOR PLAN DEMOLITION AND NEW</div> <div>E1.10 ELECTRICAL SINGLE LINE DIAGRAM AND ROUTING PLAN</div> <div>E2.00 ELECTRICAL DETAILS</div> |
| Item | NBC-2018 Data Matrix - Part 3 | NBC 2018 Reference | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Assessment The project consists of the demolition of (2) two existing offices and adding (2) two new work stations revising Electrical power and lighting and revising Mechanical HVAC and sprinkler configurations to suit new conditions. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | Major Occupancy: Office (D) occupancy | 3.1.2.1(1) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | Gross Area (m²): 266 m2 | 1.4.1.2 (div A) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | Number of Storeys: Existing | 1.4.1.2 (div A) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | Height of Building (m): this portion approximately 3-4 meters | - | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | Number of Streets/Access Routes: Existing | 3.2.2.10 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | Building Classification: Group F, Division 2, 4 Storeys, Increased Area, Sprinklered | 3.2.2.75 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | Sprinkler System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing | 3.2.2.18 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | Standpipe Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Existing | 3.2.5.8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | Fire Alarm Required: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Existing | 3.2.4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11 | Water Service/Supply is Adequate: <input checked="" type="checkbox"/> Yes (assumed) <input type="checkbox"/> No | 3.2.5.7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | 3.2.6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both | 3.2.2.75 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | Travel Distance: Existing | 3.4.2.5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15 | Barrier-Free Design: Existing | 3.8.2.1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 16 | Mezzanine(s) Area (m²) | Not Applicable | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 17 | Occupant Load: Added: 2 persons | • Existing assumed in space = 12 Persons • New Total Occupant Load = 14 Persons | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 18 | Plumbing Fixture Requirements: Existing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 19 | Barrier-Free Design: Existing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20 | Fire separation of Suites: Existing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 21 | Fire separation of Exits: Existing | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



| | | |
|----------|-------------------------|--------------|
| 1 | ISSUE FOR TENDER | JULY 01 2020 |
| A | DRAFT | 2020-01-27 |
| Revision | Description/Description | Date/Date |

FISHERIES AND OCEANS,
REAL PROPERTY,
SAFETY AND SECURITY

VANCOUVER, BC
200-401 BURRARD ST.

Project title/Titre du projet

PSPC for Coast Guard Canada
Renovation at Institution of
Ocean Science site

Consultant Signature Box Only

Designed by/Concept par

BH

Drawn by/Dessine par

BH

PWGSC Project Manager/Administrateur de Projets TPSGC

Neda Naderi

PWGSC Regional Manager, Architectural and Engineering Services/
Gestionnaire régionale, Services d'architecture et de génie, TPSGC

Preestip Paul

Drawing title/Titre du dessin

COVER SHEET

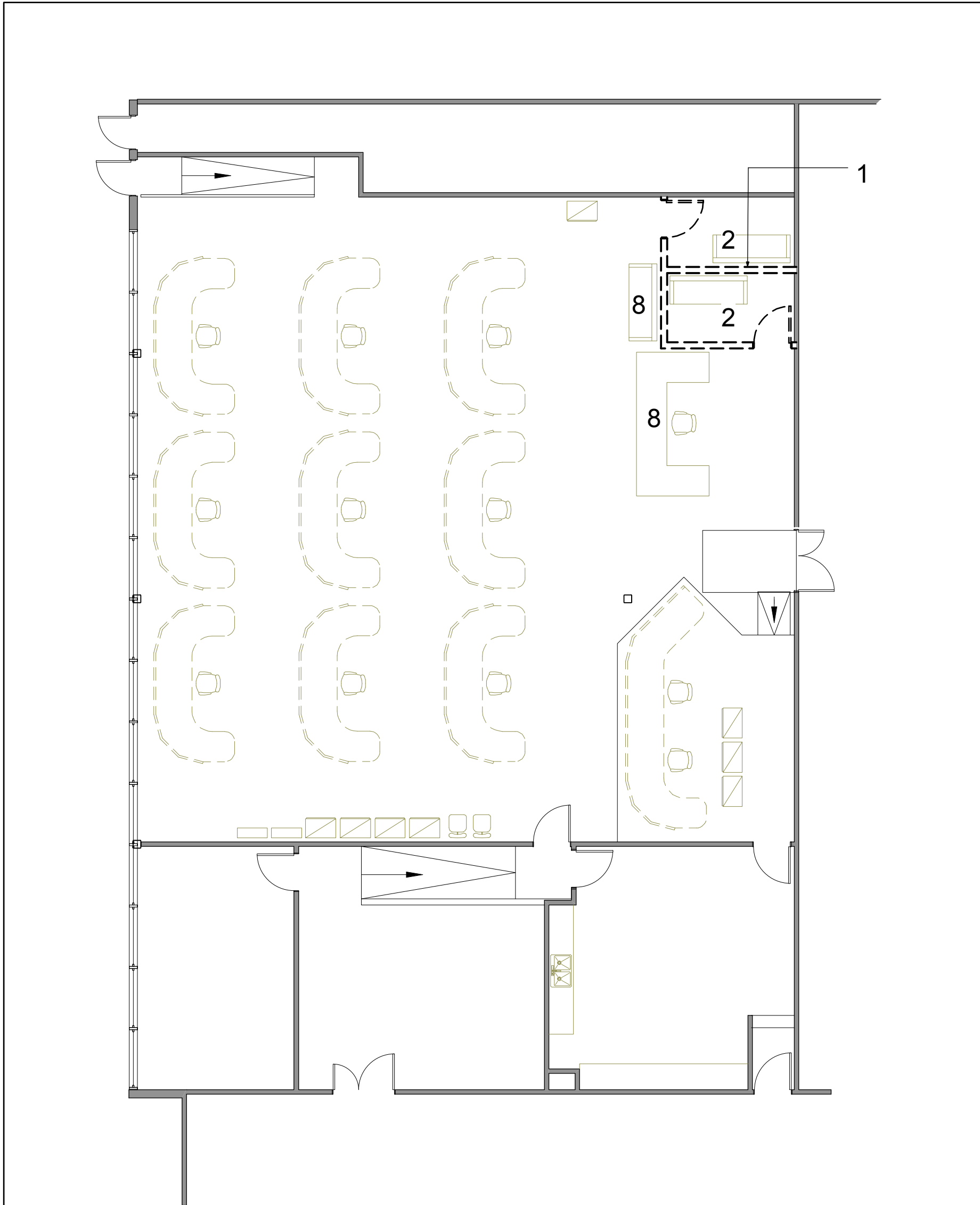
Project No./No. du projet

R.108854.001

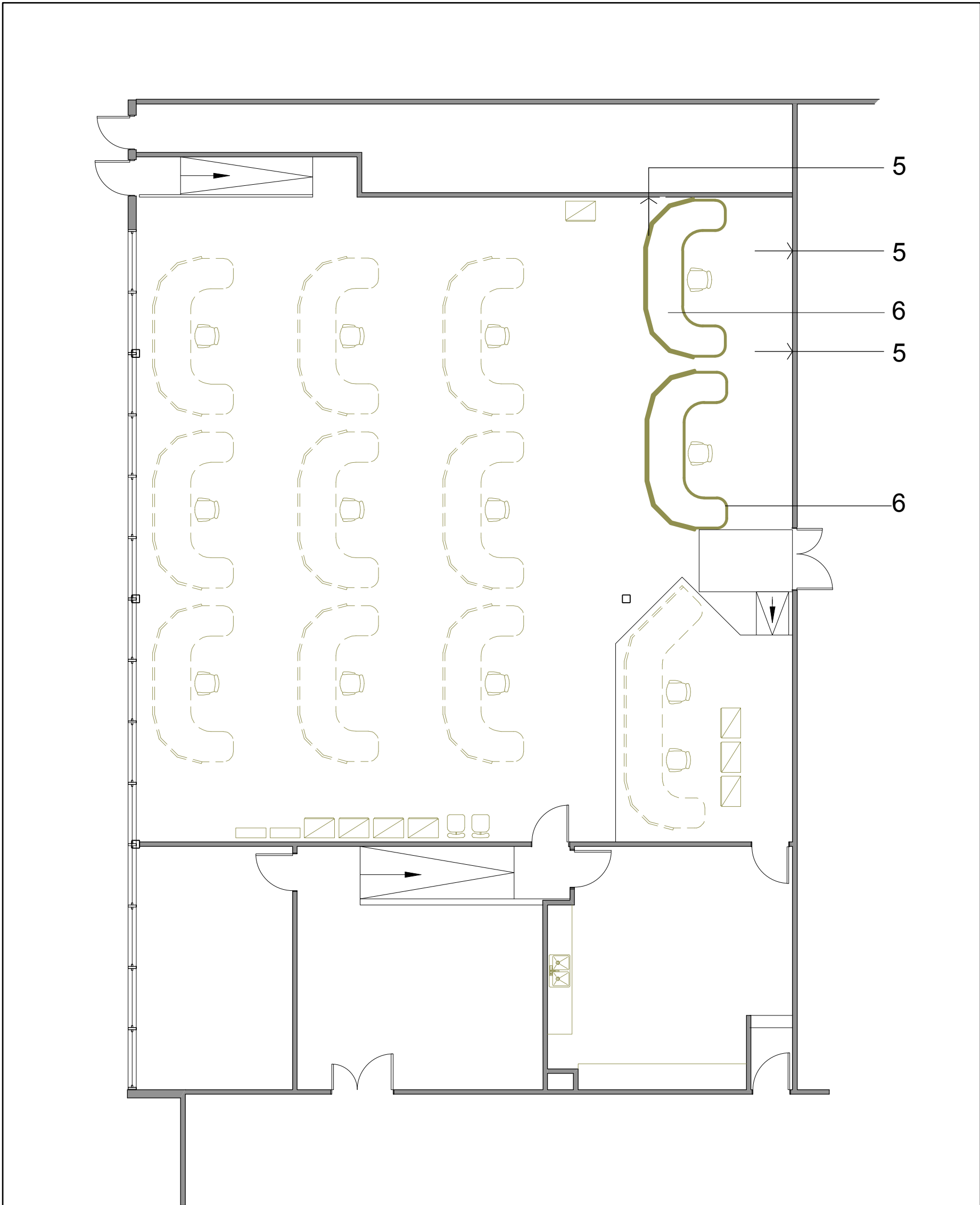
Sheet/ Feuille

A1.00

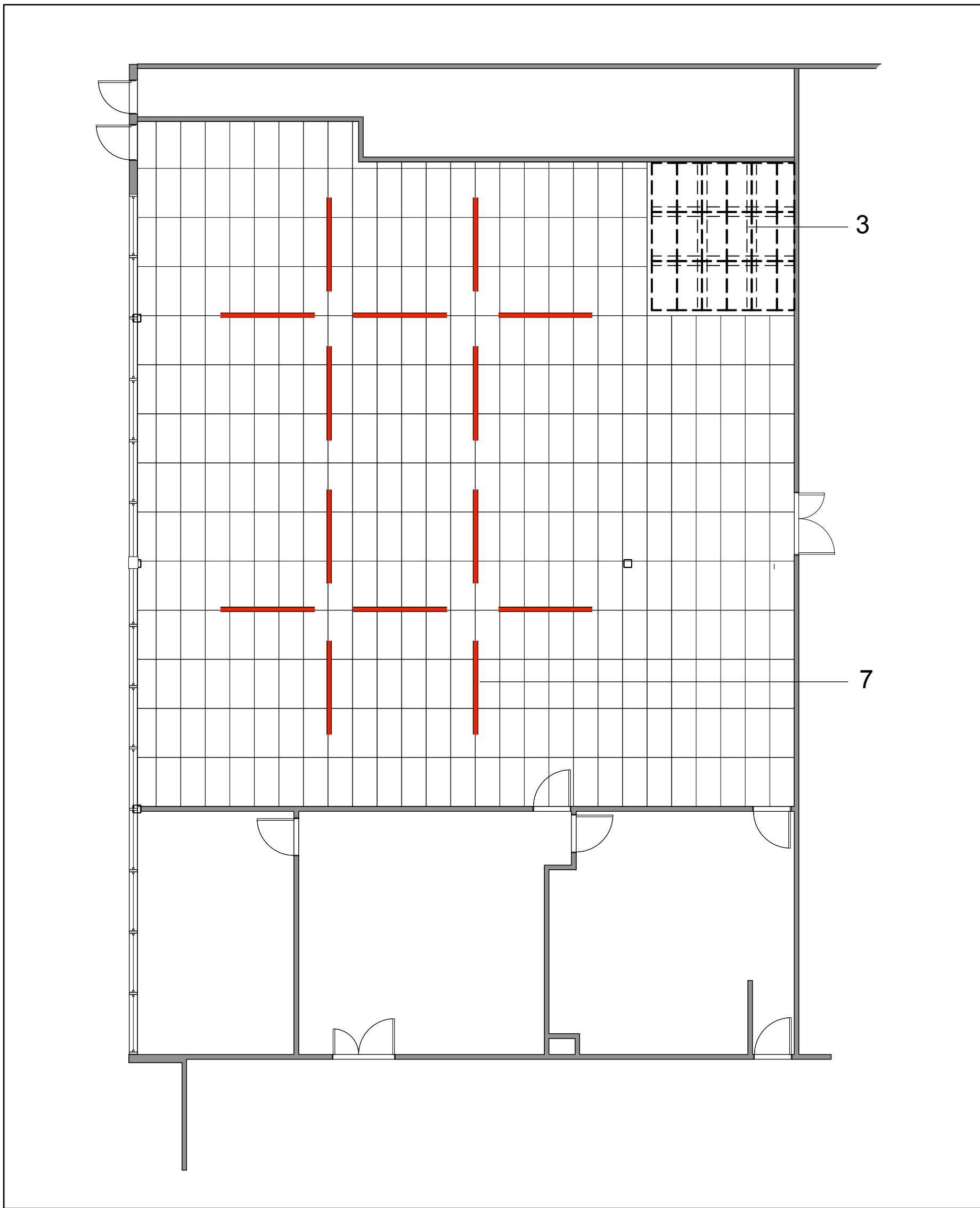
Revision no./
La Révision
no.



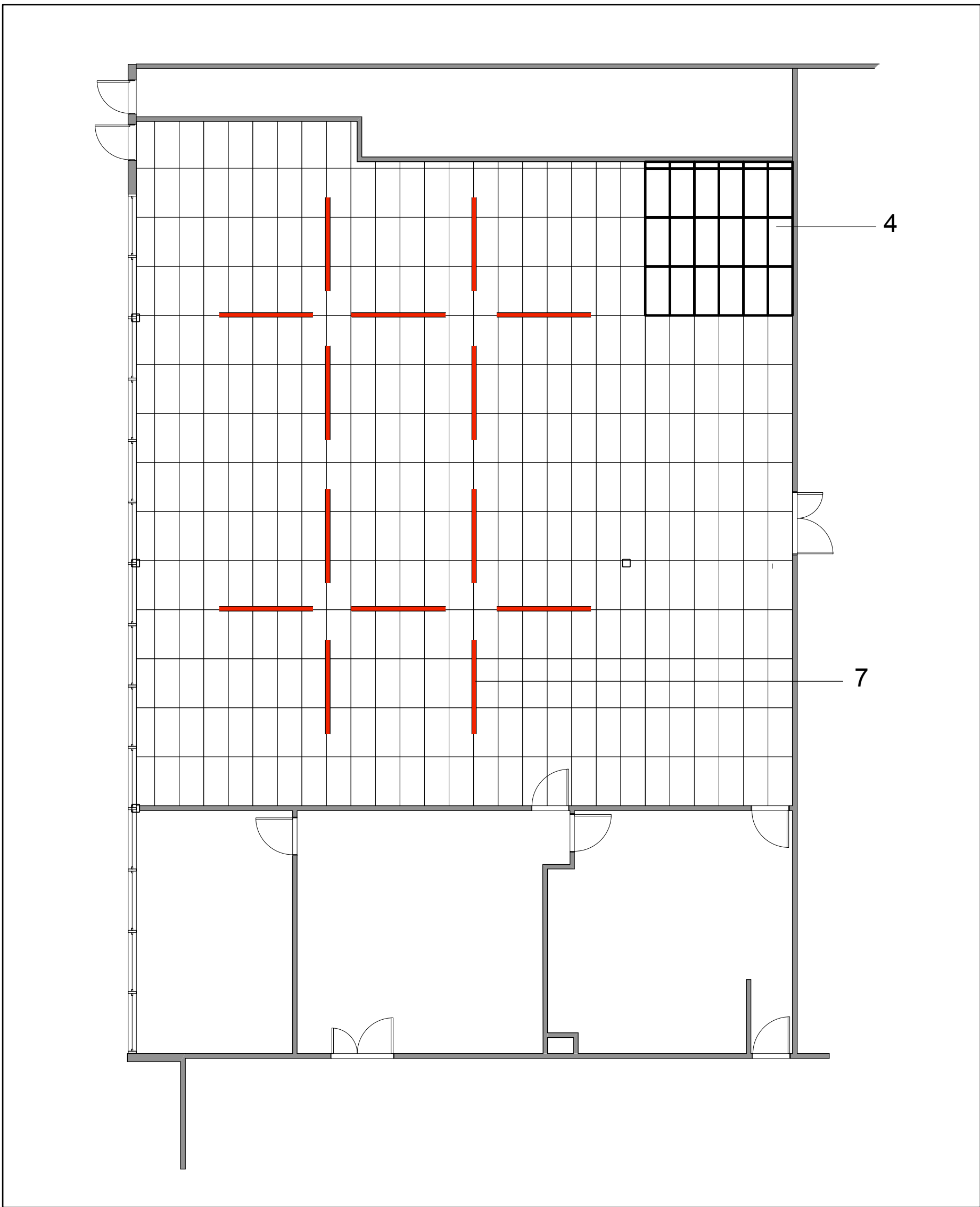
1 DEMOLITION PLAN
SCALE 1:100



2 NEW PLAN
SCALE 1:100



3 EXISTING REFLECTED CEILING PLAN - DEMOLITION
SCALE 1:100



4 NEW REFLECTED CEILING PLAN
SCALE 1:100

Notes

- 1 Remove existing demountable walls and doors and turn over to owner
- 2 Repair existing access flooring affected by wall removal
- 3 Remove existing ceiling tile and suspended t bar grid
- 4 Supply and install new suspended t-bar grid and acoustic panel ceiling ensure replacement grid is seismically engineered
- 5 Patch and repaint existing room affected by demolition
- 6 (2) Two new Console Furniture workstations by Canada and installed by others
- 7 Existing Ceiling mounted baffles to remain
- 8 Existing furniture to be relocated by Canada