

QAUSUITTUQ NATIONAL PARK - OFFICE RENOVATION, RESOLUTE, NU

ENVELOPE RETROFIT & INTERIOR FIT UP

ISSUED FOR TENDER: 2020/04/29

LIST OF DRAWINGS:

ARCHITECTURAL

- A00 COVER PAGE
- A01 GENERAL NOTES
- A02 GENERAL NOTES AND FLOOR PLAN LEGEND

- D01 GROUND FLOOR DEMOLITION PLAN
- D02 SECOND FLOOR DEMOLITION PLAN

- A03 GROUND FLOOR PROPOSED PLAN
- A04 SECOND FLOOR PROPOSED PLAN

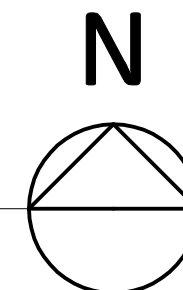
- A05 NORTH/SOUTH BUILDING SECTION AND WALL SECTION

- A06 NORTH ELEVATION
- A07 EAST ELEVATION
- A08 SOUTH ELEVATION
- A09 WEST ELEVATION

- A10 KITCHEN MILLWORK
- A11 BATHROOM/ MISC. MILLWORK



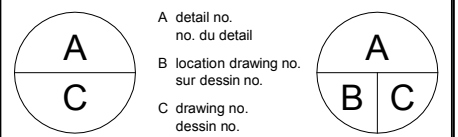
1
A00 NTS LOCATION PLAN, HAMLET OF RESOLUTE



Canada

Parks Canada / Parcs Canada
 Asset & Environmental Management Architectural & Engineering Services / Gestion des biens et de l'environnement Services d'architecture et d'ingénierie

revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/29
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24



project / projet

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing / dessin

COVER PAGE

Designed By / Conçu par: PCA AES

Date / (yyyy/mm/dd)

Drawn By / Dessiné par

Date / (yyyy/mm/dd)

Reviewed By / Examiné par

Date / (yyyy/mm/dd)

Approved By / Approuvé par

Date / (yyyy/mm/dd)

CONCEPT PLAN NOT FOR CONSTRUCTION

Project no. / No. du projet

Drawing no. / No. du dessin

A00

GENERAL NOTES:

1. GENERAL: WORK OF THIS CONTRACT INCLUDES ALL NECESSARY, DESIGN AND ENGINEERING SERVICES, LABOUR, MATERIALS, PRODUCTS, CONSTRUCTION MACHINERY, TOOLS AND EQUIPMENT FOR THE WORK IN ACCORDANCE WITH OR REASONABLY INFERABLE FROM THE DOCUMENTS SUBMITTED FOR BID . PERFORM ALL WORK IN ACCORDANCE WITH THE MOST STRINGENT OF THE NATIONAL BUILDING CODE OF CANADA AND NUNAVUT GOOD BUILDING PRACTICES GUIDELINE, LATEST EDITION.
BELOW ARE THE SUSTAINABLE DEVELOPMENT CRITERIA TO GOVERN THE PROJECT:

LOW CARBON

ENVELOPE AND MECHANICAL SYSTEM RETROFIT TO TAP INTO HIGHEST LEVELS OF ENERGY EFFICIENCY WITH:

GOOD CONTINUOUS THERMAL PROTECTION

ALL COMPONENTS MAKING UP THE BUILDING ENVELOPE MUST BE WELL INSULATED. EDGES, CORNERS, CONNECTIONS AND PENETRATIONS MUST BE PLANNED AND EXECUTED WITH SPECIAL CARE IN ORDER TO AVOID THERMAL BRIDGES.

TARGET ENVELOPE "R"VALUES ARE BASED ON ADDITIONAL 300mm OF RIGID INSULATION THROUGHOUT WITH THERMALLY BROKEN THERMAL BRIDGE FREE FASTENERS (ETANCOPLAST AND STAINLESS STEEL FASTENERS). CONTRACTOR IS FREE TO PROPOSE ALTERNATE OPTIONS TO ACHIEVE THESE TARGETS. PRE-MANUFACTURED PANELIZED OPTIONS ARE PREFERRED. MINIMUM EFFECTIVE THERMAL RESISTANCE (R) VALUES AS FOLLOWS:

WALLS: MIN. R63 EFFECTIVE OR MAX. THERMAL TRANSMITTANCE $U=0.090 \text{ W}/(\text{m}^2\text{K})$

FLOOR: MIN. R67 EFFECTIVE OR MAX. THERMAL TRANSMITTANCE $U=0.084 \text{ W}/(\text{M}^2\text{K})$

ROOF: MIN. R74 EFFECTIVE OR MAX. THERMAL TRANSMITTANCE $U=0.077 \text{ W}/(\text{M}^2\text{K})$

AIRTIGHTNESS

SUPERIOR AIRTIGHTNESS IS REQUIRED TO SECURE THE EFFECTIVENESS OF THE VENTILATION SYSTEM, PREVENT CONDENSATION / MOLD AND ROT IN THE BUILDING, SAFEGUARD THE PERFORMANCE OF THE INSULATION, PREVENT DRAFTS, PREVENT TEMPERATURE STRATIFICATION AND COLD FLOORS, PREVENT CONTAMINATION OF THE ROOM AIR, REDUCE THE HEAT LOSSES FROM THE BUILDING ENVELOPE AND SECURE THE SOUND INSULATION OF BUILDING COMPONENTS.

AIRTIGHTNESS MUST BE DEMONSTRATED WITH A PRESSURE TEST WHEREIN THE ALLOWABLE AIR CHANGE, AS SHOWN BY A PRESSURE TEST, IS LIMITED TO 1 ACH (AIR CHANGE PER HOUR) AT A PRESSURE DIFFERENTIAL OF 50 PASCAL

CONTRACTOR TO PROVIDE AN UPDATED AIRTIGHTNESS AND VAPOUR CONTROL STRATEGY ALONG WITH CONSTRUCTION SEQUENCING AND QUALITY ASSURANCE AND CONTROL MEASURES TO MEET THE SET TARGETS WITH ALL CLIENT SUBMISSIONS

WINDOW/DOOR GLAZING AND FRAMES

- a. THE WINDOW FRAME / DOOR SHOULD HAVE A MAXIMUM U-VALUE OF $0.80 \text{ W}/(\text{m}^2\text{K})$
- b. THE INSTALLED WINDOW /DOOR SHOULD HAVE A TOTAL U-VALUE OF NO MORE THAN $0.85 \text{ W}/(\text{M}^2\text{K})$.
- c. GLAZED UNITS SHOULD BE TRIPLE GLAZED HAVE A HIGH TOTAL SOLAR TRANSMITTANCE (G-VALUE) OF AT LEAST 30% AND A MAXIMUM U-VALUE OF $0.58 \text{ W}/\text{m}^2\text{K}$.
- d. THE WINDOWS/ DOORS THEMSELVES MUST BE AIRTIGHT AND THE SPACERS IN THE GLASS SEAL EDGE MUST BE THERMALLY SEPARATED,
- e. NET GLAZING AREA SHOULD BE 1000mmW X 1100mmH FOR ALL WINDOWS.
- f. ALL WINDOWS SHALL BE OPERABLE, TILT AND TURN WITH AN INSECT SCREEN AND PRE-MANUFACTURED INSULATED WINDOW EXTERIOR SILL
- g. EXTERIOR DOORS IN THERMAL ENVELOPE SHALL INCLUDE A PRE-MANUFACTURED THERMALLY BROKEN THRESHOLD

MATERIALS

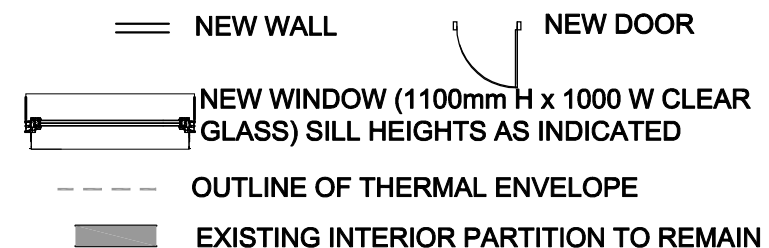
USE SUSTAINABLE MATERIALS WITH THE LEAST ENVIRONMENTAL IMPACT BASED ON EMBODIED ENERGY, EMBODIED WATER, EMBODIED EMISSIONS AND RECYCLED CONTENT. PETRO-CHEMICAL BASED PRIMARY INSULATING PRODUCTS WILL NOT BE ACCEPTED.

PROPOSED PLAN NOTES:

- MAKE GOOD ALL SURFACES DISTURBED BY THE WORK
- ALLOW FOR NEW PAINTING AND FLOORING THROUGHOUT AND ACOUSTIC CEILING TILE CEILING FINISH IN OFFICE, BOARDROOM AND OPEN WORKSTATION.
- ALL NEW INTERIOR DOORS TO HAVE A MIN WIDTH OF 915mm
- NEW EXTERIOR DOORS TO BE MIN. 1066mm WIDE
- ALL GROUND FLOOR DOORS ARE TO BE REPLACED WITH NEW. ON SECOND FLOOR ONLY BATHROOM DOOR IS TO BE REPLACED WITH NEW.

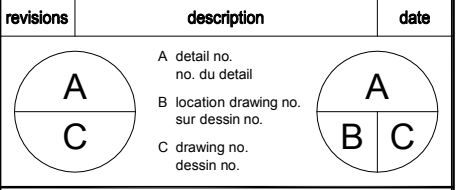
- ① NEW CODE COMPLIANT INTERIOR STAIR AND HANDRAIL C/W COAT CLOSET UNDERNEATH OFF ENTRANCE LOBBY
- ② NEW NON HEATED AIR LOCK C/W VISION PANEL, MILLWORK AS INDICATED
- ③ NEW GLAZED OFFICE PARTITION SYSTEM AND SOLID DOORS, ACOUSTICALLY RATED FOR OFFICE USE
- ④ NEW KITCHENETTE C/W UPPER AND LOWER CABINERY, SINGLE SINK, DISHWASHER AND ROUGH IN FOR FUTURE COOK TOP
- ⑤ PROVIDE ROUGH IN NEW BATHROOM FOR FUTURE STACKED WASHER AND DRYER.
- ⑥ NEW MECHANICAL ROOM PARTITION C/W ACOUSTIC INSULATION, ACOUSTICALLY RATED DOOR AND DOOR SEAL
- ⑦ NEW LAUNDRY SINK AND WASHER AND DRYER C/W SURFACE MOUNTED PLUMBING
- ⑧ NEW KITCHEN (NEW LAYOUT WITH NEW FIXTURES AND MILLWORK)
- ⑨ NEW BATHROOM FIXTURES, MILLWORK AND LAYOUT
- ⑩ AIR LOCK SLANTED ROOF BELOW
- ⑪ NEW 915mm ROOF OVERHANG
- ⑫ NEW MAIN ELECTRICAL PANEL
- ⑬ NEW CONC. PAD FOR PORTABLE GENERATOR
- ⑭ NEW ELECTRICAL METER
- ⑮ NEW MECHANICAL HVAC: BOILER, HRV, INDIRECT DHW TANK
- ⑯ FUTURE ELECT. PANEL FOR TRANSIENT UNIT
- ⑰ FUTURE ELECTRICITY METER

PROPOSED PLAN LEGEND:



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drawing / dessin
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CONCEPT PLAN
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A01

WASTE

A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE PROVIDED TO DIVERT AS MUCH CONSTRUCTION AND DEMOLITION WASTE AS POSSIBLE FROM LANDFILLS. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL INCLUDE:

- AN ANALYSIS OF SITE WASTE GENERATED INCLUDING TYPES AND QUANTITIES
 - LANDFILL ALTERNATIVES: LIST OF EACH MATERIAL PROPOSED TO BE SALVAGED, REUSED OR RECYCLED DURING THE COURSE OF THE PROJECT
 - LANDFILL OPTIONS
1. SERVICES: THE CONTRACTOR SHALL, AT NO EXPENSE, HAVE USE OF EXISTING BUILDING SERVICES REQUIRED TO COMPLETE THE WORK. ENSURE THAT CAPACITY IS ADEQUATE FOR ALL ANTICIPATED OR REQUIRED LOADS. CONNECT AND DISCONNECT AT OWN EXPENSE AND RESPONSIBILITY. NOTIFY OWNER OF INTENDED INTERRUPTION TO SERVICES AT LEAST 48HR. PRIOR TO INTERRUPTION AND OBTAIN REQUISITE PERMISSIONS.
 2. OPEN FLAMES AND HIGH HEAT: TOOLS AND PROCESSES REQUIRING FUEL, AND HIGH HEAT AND/OR OPEN FLAMES ARE PROHIBITED WITHOUT EXPRESS PERMISSION OF PARKS CANADA. OBTAIN SPECIAL HOT WORK PERMIT PRIOR TO USING OPEN FLAME OR HIGH HEAT.
 3. DUST TIGHT SCREENS: PROVIDE DUST TIGHT SCREENS OR PARTITIONS TO LOCALIZE DUST-GENERATING ACTIVITIES, AND FOR THE PROTECTION OF WORKERS, FINISHED AREAS OF THE WORK, OCCUPIED AREAS OF THE PREMISES AND THE PUBLIC.
 4. CLEAN-UP: MAINTAIN THE AREA OF WORK IN CLEAN AND ORDERLY CONDITION, FREE FROM ACCUMULATION OF WASTE PRODUCTS AND DEBRIS. REMOVE WASTE MATERIAL AND DEBRIS FROM SITE AT THE END OF EACH WORKING DAY. DRAINS, INCLUDING JANITOR'S SINK AND DRAINS IN STAFF WASHROOMS SHALL NOT BE USED TO DISPOSE OF MATERIALS SUCH AS DRYWALL, CONCRETE OR PAINT, WHICH MAY CLOG OR HAMPER FLOW THROUGH THE DRAINAGE SYSTEM. CLEAN INTERIOR AREAS PRIOR TO THE START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS. UPON COMPLETION OF THE WORK, CLEAN PROJECT AREA TO BUILDING STANDARD FOR INTENDED USE. CLEAN AND POLISH GLASS, MIRRORS, CERAMIC TILE, ALUMINIUM, CHROME, STAINLESS STEEL, BAKED ENAMEL, PLASTIC SURFACES, FLOORS AND HARDWARE. CLEAN MANUFACTURED COMPONENTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 5. STORAGE: ALL CONSTRUCTION MATERIALS, TOOLS, EQUIPMENT, AND WORK BENCHES MUST BE KEPT WITHIN THE AREA OF WORK THROUGHOUT THE CONSTRUCTION PERIOD
 6. SUBMITTALS: REVIEW SHOP DRAWINGS PRIOR TO SUBMITTING TO PARKS CANADA. VERIFY FIELD MEASUREMENTS. CO-ORDINATE WITH ADJACENT CONDITIONS AND RELATED WORK. SUBMIT SHOP DRAWINGS, PRODUCT DATA, SAMPLES, CATALOGUE CUTS, INSTALLATION INSTRUCTIONS, MOCK-UPS AND OTHER INFORMATION FOR ALL MANUFACTURED PRODUCTS AND AS REQUESTED BY PARKS CANADA. PROVIDE COLOUR AND FINISH SAMPLES AS DIRECTED AND/OR COLOUR CHARTS OF MANUFACTURER'S STANDARD RANGE FROM WHICH TO SELECT COLOURS. ALL SHOP DRAWINGS 11"X17" OR SMALLER TO BE SUBMITTED ELECTRONICALLY ON PDF FORMAT.
 7. MATERIALS: ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED AND SHALL CONFORM TO THE MINIMUM APPLICABLE STANDARDS OF THE CANADIAN GENERAL STANDARDS BOARD (CGSB), THE NATIONAL BUILDING CODE, AND REFERENCED STANDARDS. CONTRACTOR TO CHECK ALL MATERIALS FOR DEFECTS PRIOR TO COMMENCING CONSTRUCTION. SUBSTITUTIONS OF ALTERNATE MATERIALS AND COMPONENTS WILL NOT BE ACCEPTED WITHOUT PRIOR AUTHORIZATION, UNDER THE CONTRACT. CONTRACTOR TO NOTIFY PARKS CANADA OF ANY MATERIALS THAT ARE NOT AVAILABLE OR HAVE DELAYED DELIVERY DATES. INSTALL ALL ITEMS AND COMPONENTS AS PER MANUFACTURER'S INSTRUCTIONS.
 8. WORKMANSHIP: WORKMANSHIP SHALL BE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN RESPECTIVE TRADES. DO NOT EMPLOY ANY UNFIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.

9. CUTTING, PATCHING AND MAKING GOOD: CUT EXISTING SURFACES AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR OR REPLACE ANY SURFACES, ASSEMBLIES OR COMPONENTS DAMAGED DURING CONSTRUCTION, TO THE SATISFACTION OF PARKS CANADA.

10. MILLWORK

PROVIDE INTERIOR WINDOW SILLS, CLOSET SHELVING, KITCHEN AND BATHROOM COUNTERTOPS AND SPECIAL FABRICATED CABINET UNITS AND HARDWARE WHERE INDICATED ON DRAWINGS.

ALL COMPOSITE WOOD PRODUCTS SHALL CONTAIN NO ADDED UREA-FORMALDEHYDE RESINS.

CABINETS

FABRICATE CASEWORK TO AWMAC CUSTOM GRADE AS FOLLOWS:

CASEWORK: PARTICLE BOARD, LAMINATED WITH PLASTIC LAMINATE, 19mm THICK.

SHELVING: PARTICLE BOARD, LAMINATED WITH PLASTIC LAMINATE, 19mm THICK.

PROVIDE EDGE BANDING ON EDGES, EXPOSED IN FINAL ASSEMBLY. STRIPS SAME WIDTH AS PARTICLE BOARD.

DRAWERS

FABRICATE DRAWERS TO AWMAC CUSTOM GRADE SUPPLEMENTED AS FOLLOWS:

SIDES AND BACKS: MELAMINE, 13mm THICK.

BOTTOMS: MELAMINE, 13mm THICK.

FRONTS: MDF, LAMINATED WITH PLASTIC LAMINATE, 19mm THICK.

CASEWORK DOORS

FABRICATE DOORS TO AWMAC CUSTOM GRADE SUPPLEMENTED AS FOLLOWS: MEDIUM DENSITY FIBREBOARD LAMINATED WITH PLASTIC LAMINATE.

COUNTERTOP & WINDOW SILLS

FABRICATE TO AWMAC CUSTOM GRADE.

POST-FORMED HIGH PRESSURE DECORATIVE LAMINATE COUNTERTOP AND WINDOW SILLS:

HIGH PRESSURE LAMINATE (HPL) BONDED TO 19mm MDF

COVED INTEGRAL BACKSPLASH FOR COUNTERTOPS

BULL-NOSE EDGE THROUGHOUT

EXPOSED EDGES FACED WITH MATCHING LAMINATE TO PROVIDE SQUARE EDGES AND CORNERS.

ACCESSORIES

ADHESIVE: TO CSA O112.4-M. ADHESIVES SHALL CONTAIN NO UREA-FORMALDEHYDE.

FASTENERS: SIZE AND TYPE TO SUIT APPLICATION.

BOLTS, NUTS, WASHERS, LAGS, PINS, AND SCREWS: OF SIZE AND TYPE TO SUIT APPLICATION; BRUSHED STAINLESS STEEL FINISH IN EXPOSED LOCATIONS.

EDGE VENEER STRIPS: ADHESIVE SHALL CONTAIN NO UREA-FORMALDEHYDE.

HARDWARE

USE ONE MANUFACTURER'S PRODUCT FOR ALL SIMILAR ITEMS.

ADJUSTABLE SHELF STANDARDS AND RESTS: PROVIDE DRILLED HOLES @ 25mm ON CENTRE AND FITTED RESTS AT 25mm ON CENTRE, SATIN FINISH.

SHELF BRACKETS: FORMED STEEL BRACKETS, FORMED FOR ATTACHMENT WITH LUGS; CHROME FINISH

DRAWER AND DOOR PULLS: "ARC" SHAPED PULL, STEEL WITH SATIN FINISH.

CATCHES: MAGNETIC.

DRAWER SLIDES: GALVANIZED STEEL CONSTRUCTION, BALL BEARINGS SEPARATING TRACKS, FULL EXTENSION TYPE.

HINGES: CONCEALED, EUROPEAN STYLE, 110 DEGREE OPENING, STEEL WITH SATIN FINISH "SOFT CLOSE" HARDWARE FOR KITCHEN AND BATHROOM DRAWERS AND CABINET DOORS

Canada



Parks Canada

Parcs Canada

Asset & Environmental
Management
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Gestion des biens et
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Services d'architecture
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A	A detail no. no. du detail	A
B	B location drawing no. sur dessin no.	B
C	C drawing no. dessin no.	C

project project

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing dessin

GENERAL NOTES AND FLOOR PLAN LEGEND

Designed By PCA AES Conçu par

Date (yyyy/mm/dd)

Drawn By Dessiné par

Date (yyyy/mm/dd)

Reviewed By Examiné par

Date (yyyy/mm/dd)

Approved By Approuvé par

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CONCEPT PLAN
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A02

DEMOLITION NOTES:

MINIMIZE DAMAGE. PATCH AND MAKE GOOD WHEREVER DAMAGE OCCURS.

EXTERIOR WALLS AT THERMAL ENVELOPE: REMOVE ALL INTERIOR AND EXTERIOR LAYERS UP TO THE STRUCTURE. REMOVE EXISTING BATT INSULATION, ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND FRAMES.

PROVIDE FOR NEW WINDOW AND DOOR OPENINGS IN EXTERIOR WALLS. COORDINATE WITH PROPOSED FLOOR PLANS

PROVIDE FOR FOUNDATIONS AT NEW AIR LOCKS. COORDINATE WITH PROPOSED FLOOR PLANS

1 REMOVE EXISTING EXTERIOR AIR LOCK

2 REMOVE EXISTING STAIRS

3 REMOVE EXISTING LOAD BEARING WALL

4 REMOVE EXISTING FLOOR FINISHES INCLUDING THRESHOLDS, EDGES AND WALL BASE TO EXPOSE SUBFLOORING

5 REMOVE EXISTING MILLWORK

6 REMOVE EXISTING PLUMBING FIXTURES

7 REMOVE EXISTING ELECTRICAL PANEL

8 EXISTING LAUNDRY SINK TO BE REMOVED

9 EXISTING WATER TANK TO BE REMOVED

DEMOLITION LEGEND:

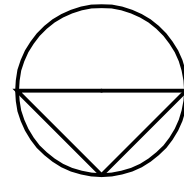
== WALL TO BE REMOVED

DOOR TO BE REMOVED

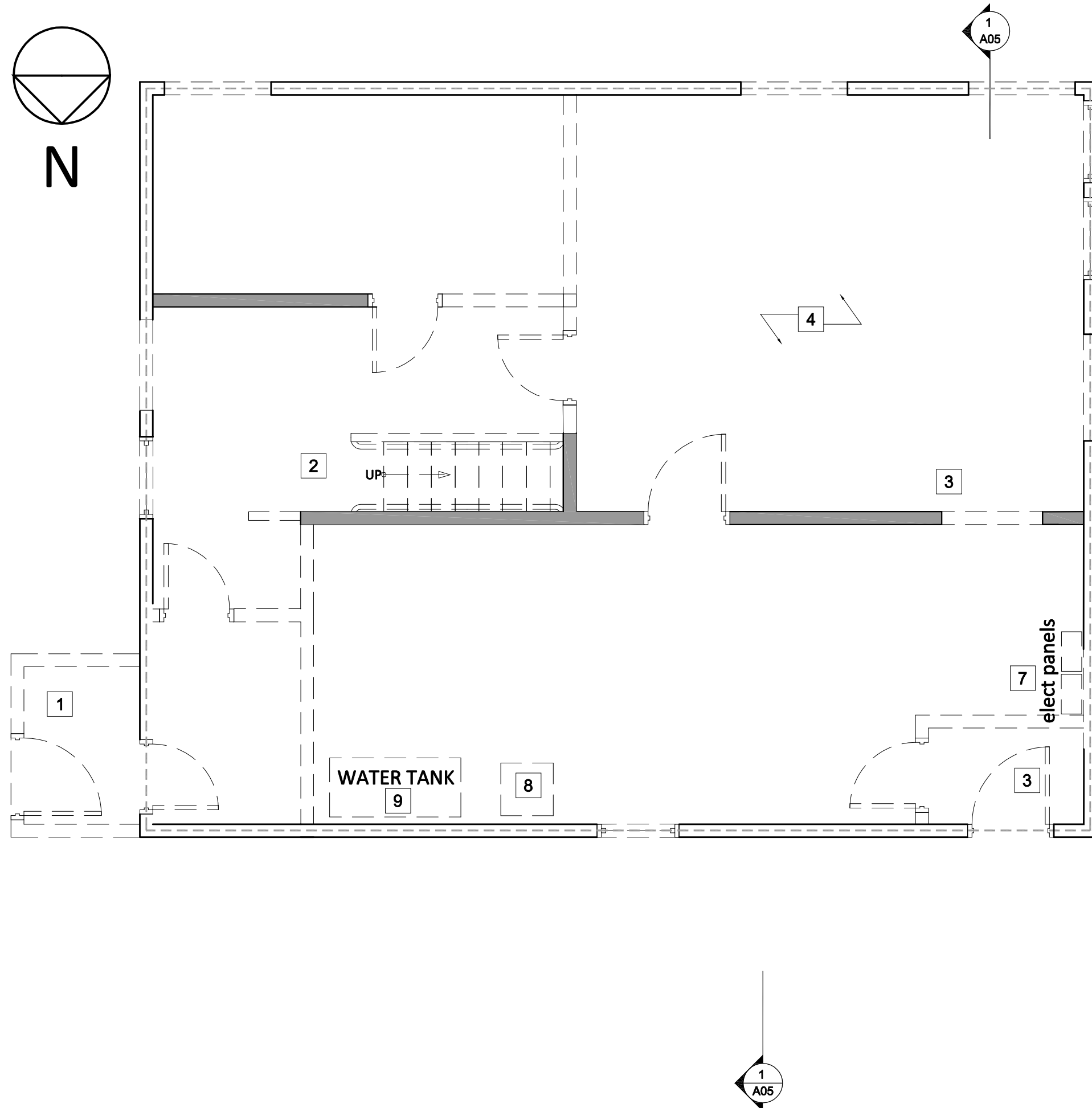
WINDOW TO BE REMOVED

--- THERMAL ENVELOPE OUTLINE

EXISTING INTERIOR PARTITION TO REMAIN



N



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Parks Canada

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Asset & Environmental Management Architectural & Engineering Services

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project

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing

GROUND FLOOR DEMOLITION PLAN

Designed By PCA AES Conçu par

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Drawn By Dessiné par

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D01

DEMOLITION NOTES:

MINIMIZE DAMAGE. PATCH AND MAKE GOOD WHEREVER DAMAGE OCCURS.

EXTERIOR WALLS AT THERMAL ENVELOPE: REMOVE ALL INTERIOR AND EXTERIOR LAYERS UP TO THE STRUCTURE. REMOVE EXISTING BATT INSULATION, ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND FRAMES.

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5 REMOVE EXISTING MILLWORK

6 REMOVE EXISTING PLUMBING FIXTURES

7 REMOVE EXISTING ELECTRICAL PANEL

8 EXISTING LAUNDRY SINK TO BE REMOVED
EXISTING WATER TANK TO BE REMOVED

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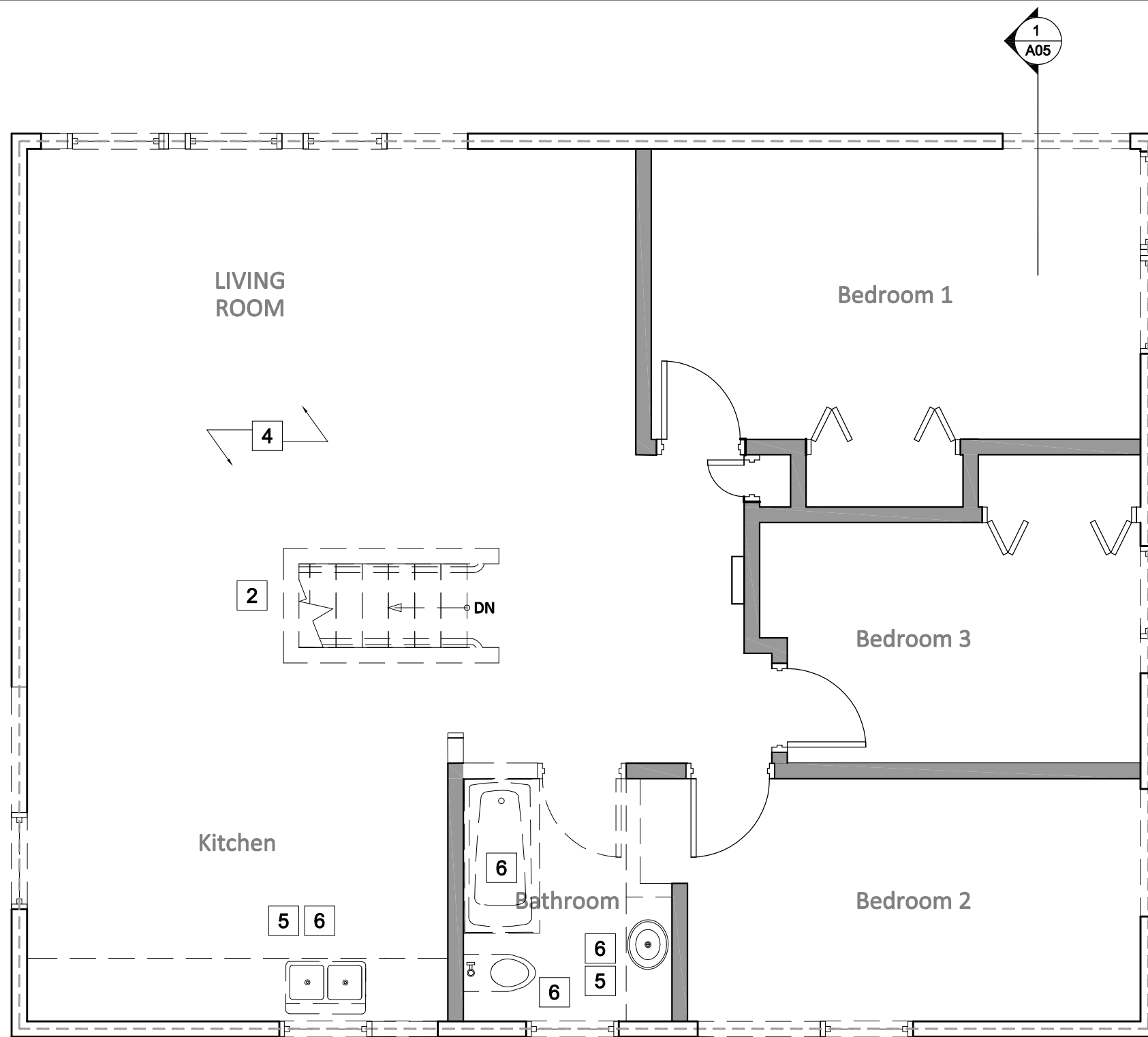
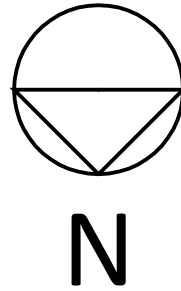
== WALL TO BE REMOVED

DOOR TO BE REMOVED

WINDOW TO BE REMOVED

--- THERMAL ENVELOPE OUTLINE

EXISTING INTERIOR PARTITION TO REMAIN



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project projet

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drawing dessin

SECOND FLOOR DEMOLITION PLAN

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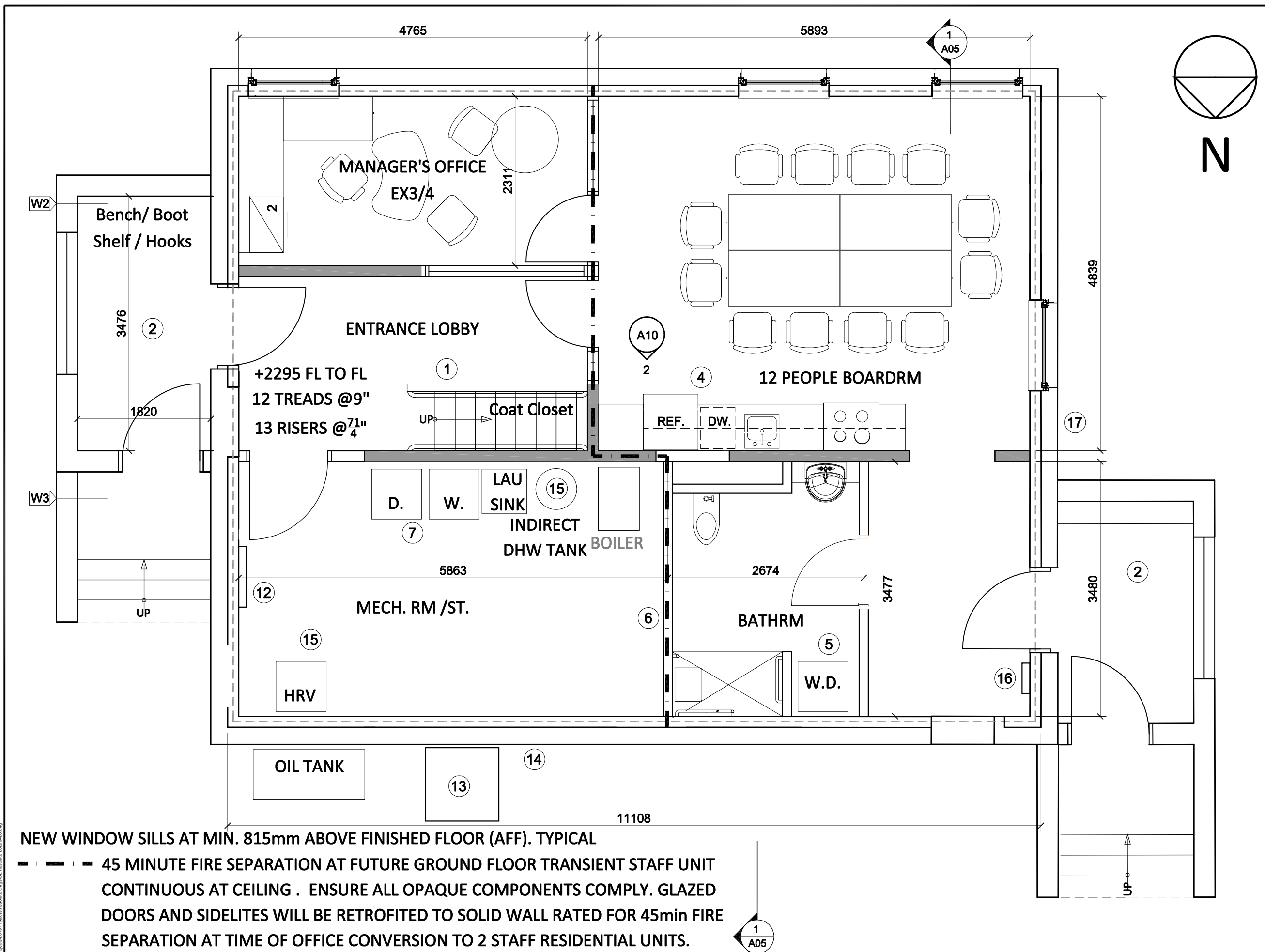
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D02



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GROUND FLOOR PROPOSED PLAN

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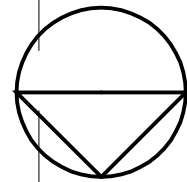
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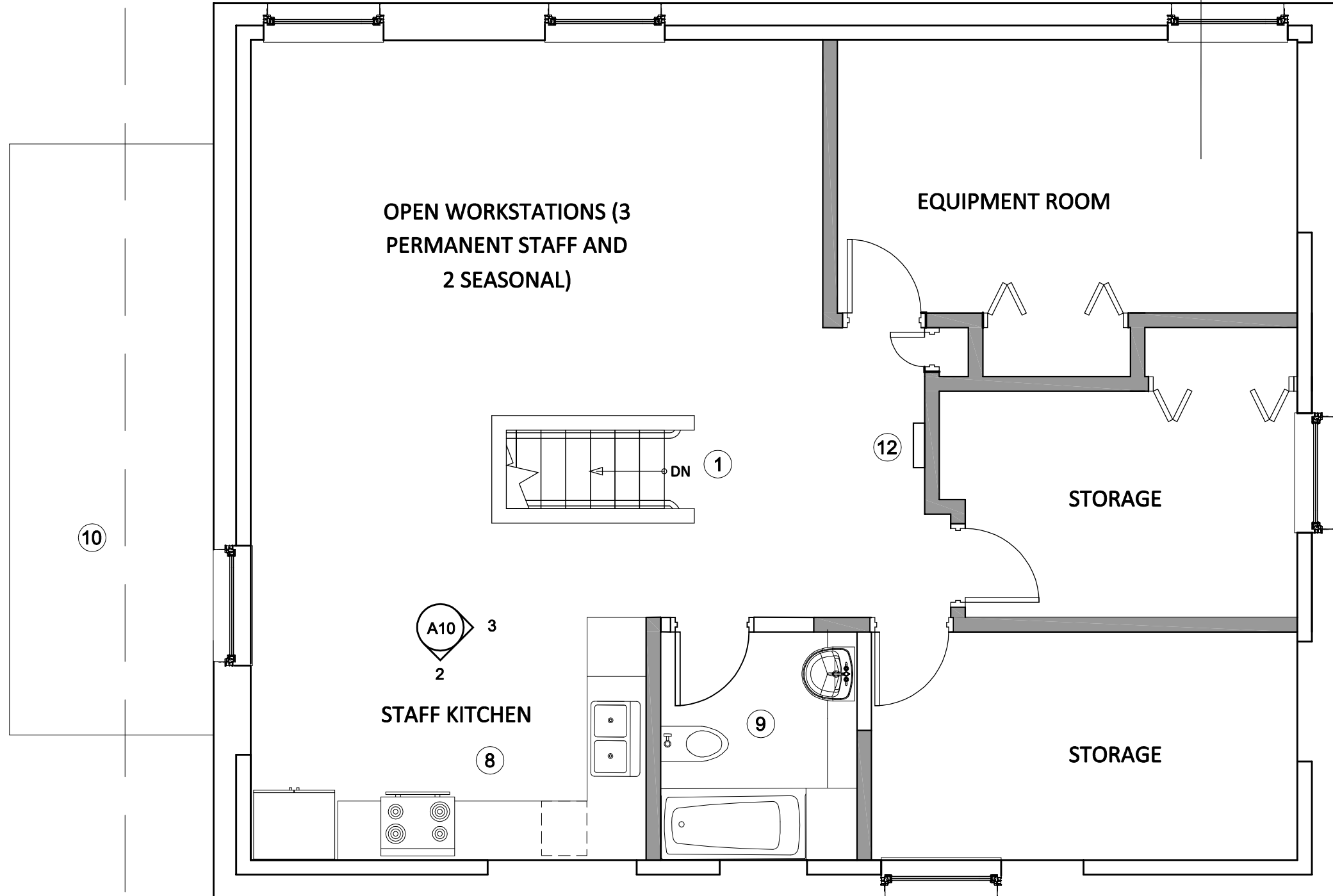
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A03

NEW WINDOW SILLS AT MIN. 815mm ABOVE FINISHED FLOOR (AFF). TYPICAL

45 MINUTE FIRE SEPARATION AT FUTURE GROUND FLOOR TRANSIENT STAFF UNIT CONTINUOUS AT CEILING . ENSURE ALL OPAQUE COMPONENTS COMPLY. GLAZED DOORS AND SIDELITES WILL BE RETROFITED TO SOLID WALL RATED FOR 45min FIRE SEPARATION AT TIME OF OFFICE CONVERSION TO 2 STAFF RESIDENTIAL UNITS.



N



OPEN WORKSTATIONS (3 PERMANENT STAFF AND 2 SEASONAL)

EQUIPMENT ROOM

STAFF KITCHEN

STORAGE

STORAGE

DN 1

A10 3

9

10

10

11

1 A05

1 A05

NORTH WINDOW SILL AT MIN 790MM AFF AND MAX 900mm AFF (2ND FLOOR FIREFIGHTER ACCESS)
 SOUTH, EAST AND WEST WINDOW SILLS AT 1100 A.F.F.

revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

A	A detail no. no. du detail	A
C	B location drawing no. sur dessin no.	B C
	C drawing no. dessin no.	

project / projet
QANP OFFICE RENOVATION, Resolute Bay, NU

drawing / dessin
SECOND FLOOR PROPOSED PLAN

Designed By	PCA AES	Conçu par
Date		(yyyy/mm/dd)
Drawn By		Dessiné par
Date		(yyyy/mm/dd)
Reviewed By		Examiné par
Date		(yyyy/mm/dd)
Approved By		Approuvé par
Date		(yyyy/mm/dd)

CONCEPT PLAN NOT FOR CONSTRUCTION

Project no. / No. du projet

Drawing no. / No. du dessin

A04

4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

revisions	description	date
A	A detail no. no. du detail	A
B	B location drawing no. sur dessin no.	B C
C	C drawing no. dessin no.	

project / projet

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing / dessin

NORTH/SOUTH BLDG SECTION

Designed By / Conçu par: PCA AES

Date / (yyyy/mm/dd)

Drawn By / Dessiné par

Date / (yyyy/mm/dd)

Reviewed By / Examiné par

Date / (yyyy/mm/dd)

Approved By / Approuvé par

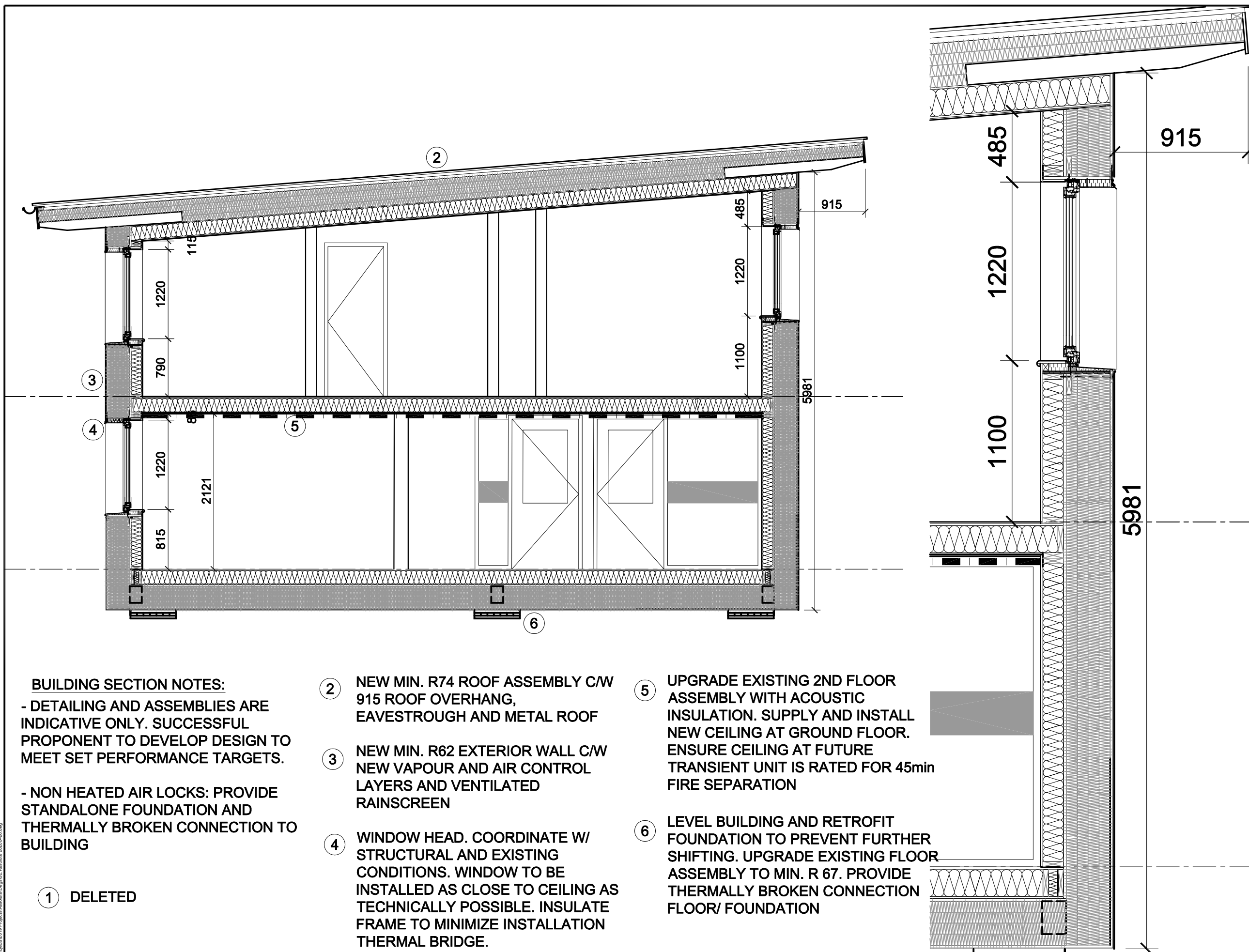
Date / (yyyy/mm/dd)

CONCEPT PLAN NOT FOR CONSTRUCTION

Project no. / No. du projet

Drawing no. / No. du dessin

A05



BUILDING SECTION NOTES:

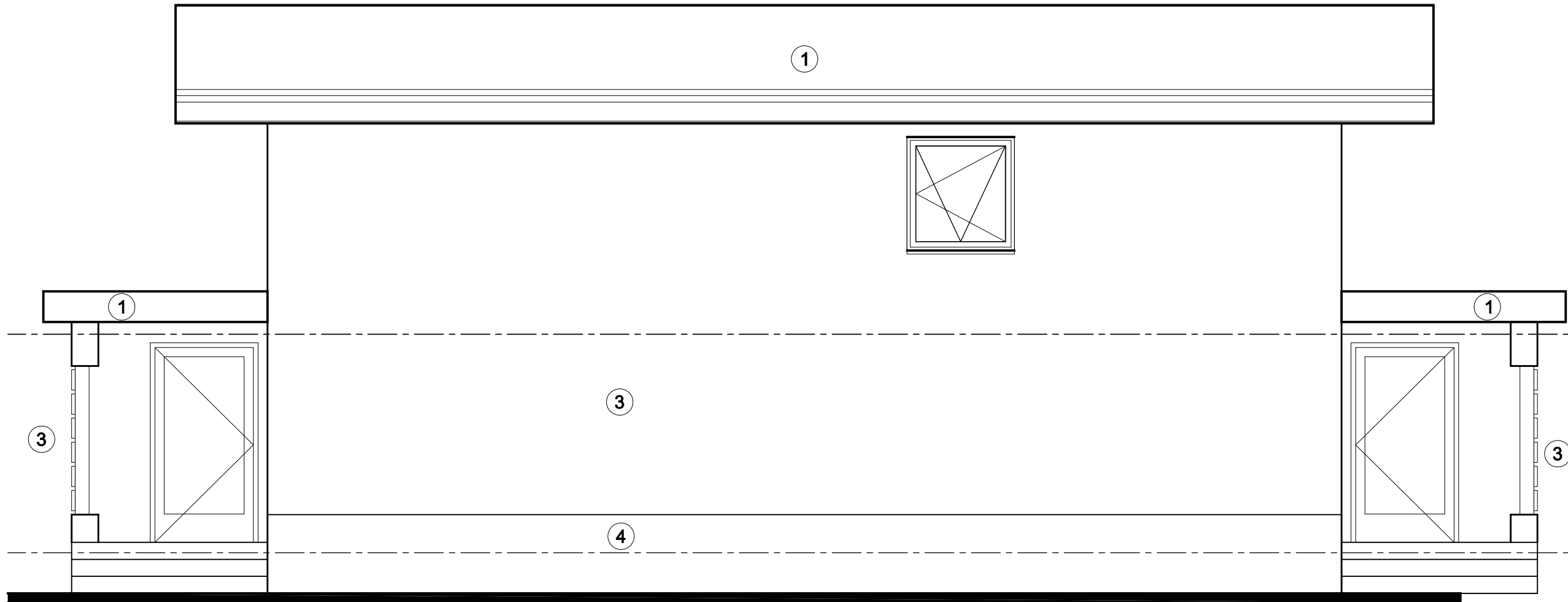
- DETAILING AND ASSEMBLIES ARE INDICATIVE ONLY. SUCCESSFUL PROPONENT TO DEVELOP DESIGN TO MEET SET PERFORMANCE TARGETS.

- NON HEATED AIR LOCKS: PROVIDE STANDALONE FOUNDATION AND THERMALLY BROKEN CONNECTION TO BUILDING

- ② NEW MIN. R74 ROOF ASSEMBLY C/W 915 ROOF OVERHANG, EAVESTROUGH AND METAL ROOF
- ③ NEW MIN. R62 EXTERIOR WALL C/W NEW VAPOUR AND AIR CONTROL LAYERS AND VENTILATED RAINSCREEN
- ④ WINDOW HEAD. COORDINATE W/ STRUCTURAL AND EXISTING CONDITIONS. WINDOW TO BE INSTALLED AS CLOSE TO CEILING AS TECHNICALLY POSSIBLE. INSULATE FRAME TO MINIMIZE INSTALLATION THERMAL BRIDGE.

- ⑤ UPGRADE EXISTING 2ND FLOOR ASSEMBLY WITH ACOUSTIC INSULATION. SUPPLY AND INSTALL NEW CEILING AT GROUND FLOOR. ENSURE CEILING AT FUTURE TRANSIENT UNIT IS RATED FOR 45min FIRE SEPARATION
- ⑥ LEVEL BUILDING AND RETROFIT FOUNDATION TO PREVENT FURTHER SHIFTING. UPGRADE EXISTING FLOOR ASSEMBLY TO MIN. R 67. PROVIDE THERMALLY BROKEN CONNECTION FLOOR/ FOUNDATION

① DELETED



revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

A C	A detail no. no. du détail B location drawing no. sur dessin no. C drawing no. dessin no.	A B C
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project / projet

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing / dessin

NORTH ELEVATION

BUILDING ELEVATION NOTES:

- ① STANDING SEAM METAL ROOF C/W PREFINISHED METAL FASHIA AND SOFFIT AT MAIN ROOF AND AIR LOCKS
- ② DELETED
- ③ METAL PANEL SIDING
- ④ METAL SKIRT C/W VENTILATION STRIPS AND INSECT SCREENS

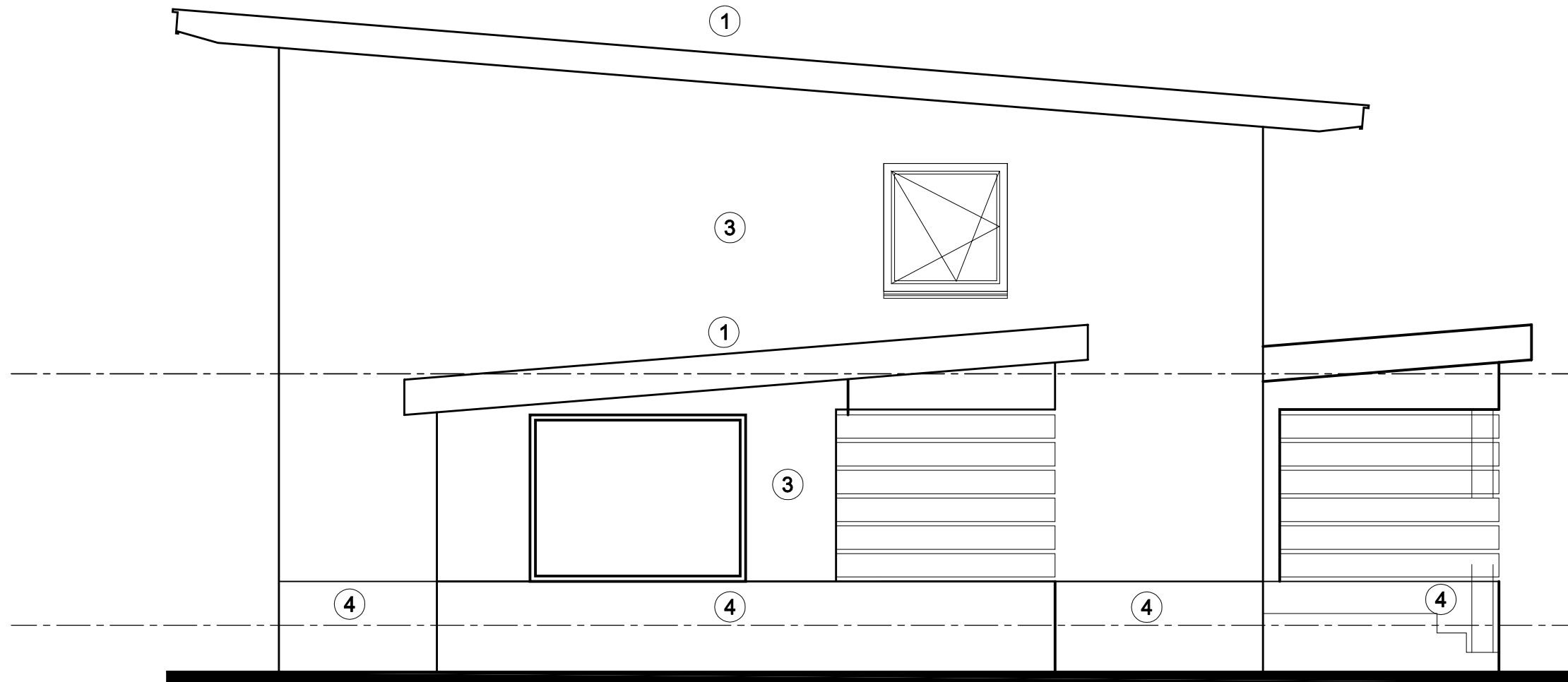
Designed By	PCA AES	Conçu par
Date		(yyyy/mm/dd)
Drawn By		Dessiné par
Date		(yyyy/mm/dd)
Reviewed By		Examiné par
Date		(yyyy/mm/dd)
Approved By		Approuvé par
Date		(yyyy/mm/dd)

CONCEPT PLAN
NOT FOR CONSTRUCTION

Project no. / No. du projet

Drawing no. / No. du dessin

A06



BUILDING ELEVATION NOTES:

- ① STANDING SEAM METAL ROOF C/W PREFINISHED METAL FASHIA AND SOFFIT AT MAIN ROOF AND AIR LOCKS
- ② DELETED
- ③ METAL PANEL SIDING
- ④ METAL SKIRT C/W VENTILATION STRIPS AND INSECT SCREENS

revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

revisions	description	date
A	A detail no. no. du detail	A
B	B location drawing no. sur dessin no.	B
C	C drawing no. dessin no.	C

project projet

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing dessin

EAST ELEVATION

Designed By PCA AES Conçu par

Date (yyyy/mm/dd)

Drawn By Dessiné par

Date (yyyy/mm/dd)

Reviewed By Examiné par

Date (yyyy/mm/dd)

Approved By Approuvé par

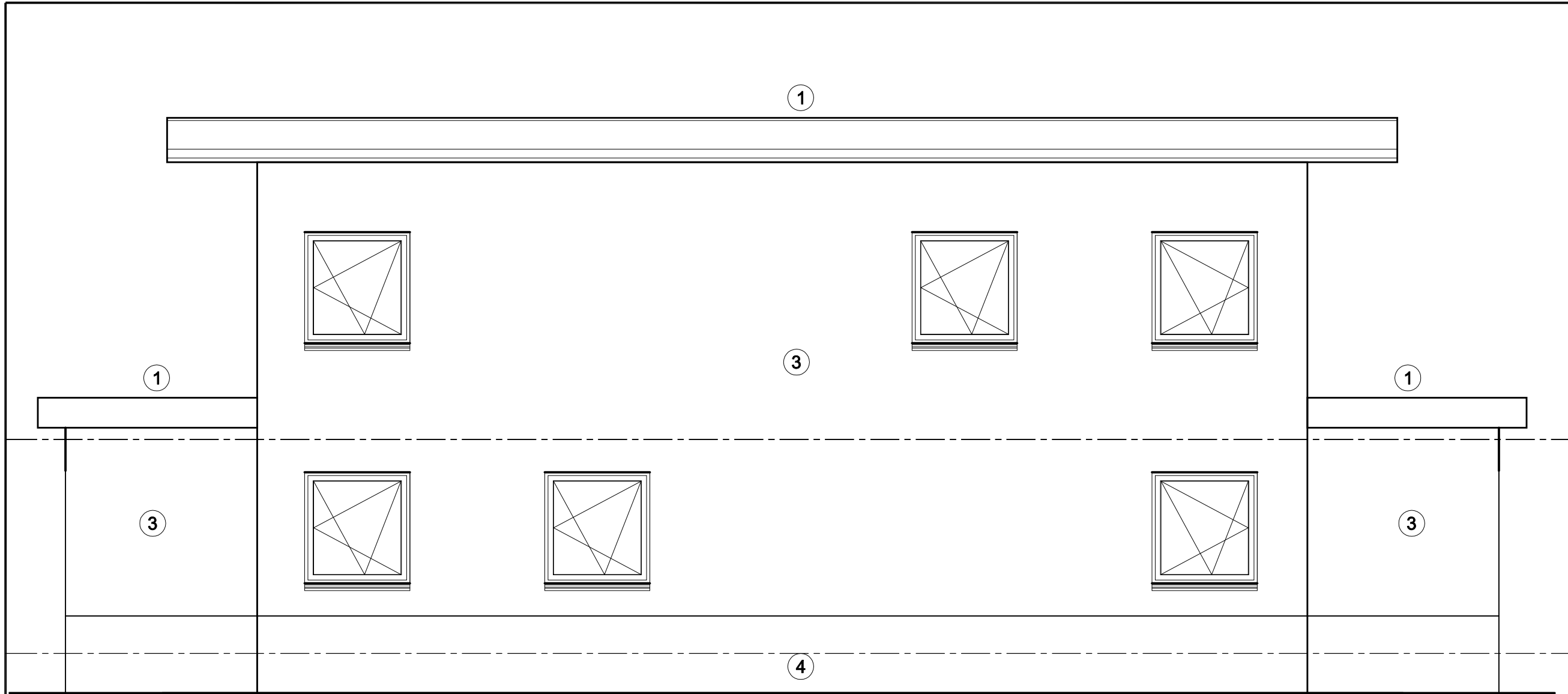
Date (yyyy/mm/dd)

CONCEPT PLAN
NOT FOR CONSTRUCTION

Project no. No. du projet

Drawing no. No. du dessin

A07



revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

A C	A detail no. no. du detail B location drawing no. sur dessin no. C drawing no. dessin no.	A B C
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project projet
QANP OFFICE RENOVATION, Resolute Bay, NU

drawing dessin
SOUTH ELEVATION

Designed By	PCA AES	Conçu par
Date		(yyyy/mm/dd)
Drawn By		Dessiné par
Date		(yyyy/mm/dd)
Reviewed By		Examiné par
Date		(yyyy/mm/dd)
Approved By		Approuvé par
Date		(yyyy/mm/dd)

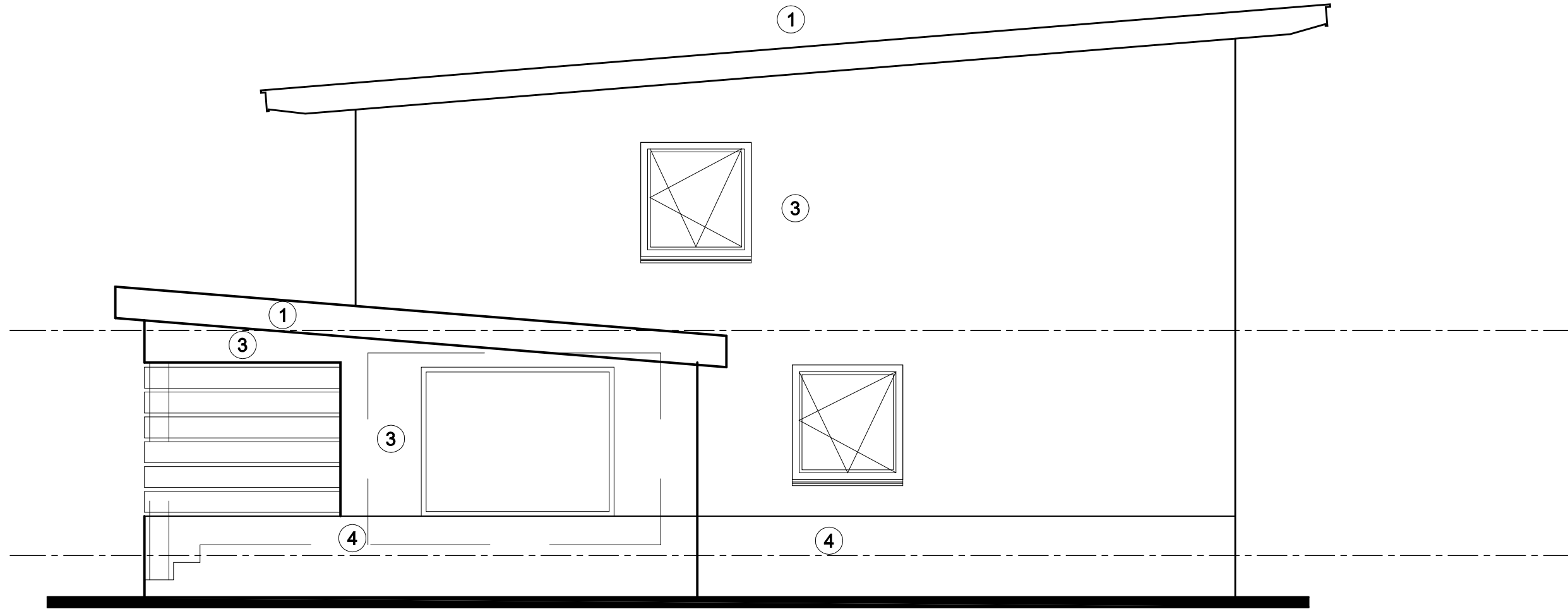
**CONCEPT PLAN
NOT FOR CONSTRUCTION**

Project no. No. du projet

Drawing no. No. du dessin
A08

BUILDING ELEVATION NOTES:

- ① STANDING SEAM METAL ROOF C/W PREFINISHED METAL FASHIA AND SOFFIT AT MAIN ROOF AND AIR LOCKS
- ② DELETED
- ③ METAL PANEL SIDING
- ④ METAL SKIRT C/W VENTILATION STRIPS AND INSECT SCREENS



BUILDING ELEVATION NOTES:

- ① STANDING SEAM METAL ROOF C/W PREFINISHED METAL FASHIA AND SOFFIT AT MAIN ROOF AND AIR LOCKS
- ② DELETED
- ③ METAL PANEL SIDING
- ④ METAL SKIRT C/W VENTILATION STRIPS AND INSECT SCREENS

revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

revisions	description	date
A	A detail no. no. du detail	A
B	B location drawing no. sur dessin no.	B C
C	C drawing no. dessin no.	

project projet

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing dessin

WEST ELEVATION

Designed By	PCA AES	Conçu par
Date		(yyyy/mm/dd)
Drawn By		Dessiné par
Date		(yyyy/mm/dd)
Reviewed By		Examiné par
Date		(yyyy/mm/dd)
Approved By		Approuvé par
Date		(yyyy/mm/dd)

CONCEPT PLAN
NOT FOR CONSTRUCTION

Project no. No. du projet

Drawing no. No. du dessin

A09

revisions	description	date
4	ISSUED FOR TENDER R2	2020/04/26
3	ISSUED FOR TENDER R1	2020/04/12
2	ISSUED FOR TENDER	2020/03/06
1	ISSUED FOR REVIEW	2019/04/24

A	A detail no. no. du detail	A
C	B location drawing no. sur dessin no.	B C
	C drawing no. dessin no.	

project _____ projet _____

QANP OFFICE RENOVATION, Resolute Bay, NU

drawing _____ dessin _____

KITCHEN MILLWORK

Designed By PCA AES Conçu par _____

Date _____ (yyyy/mm/dd)

Drawn By _____ Dessiné par _____

Date _____ (yyyy/mm/dd)

Reviewed By _____ Examiné par _____

Date _____ (yyyy/mm/dd)

Approved By _____ Approuvé par _____

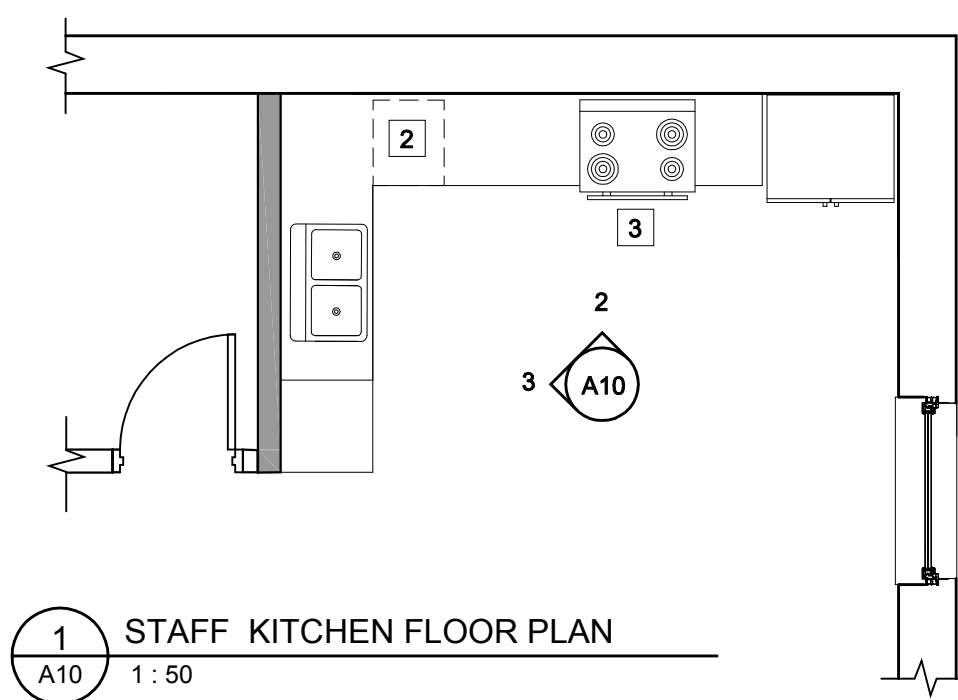
Date _____ (yyyy/mm/dd)

CONCEPT PLAN
NOT FOR CONSTRUCTION

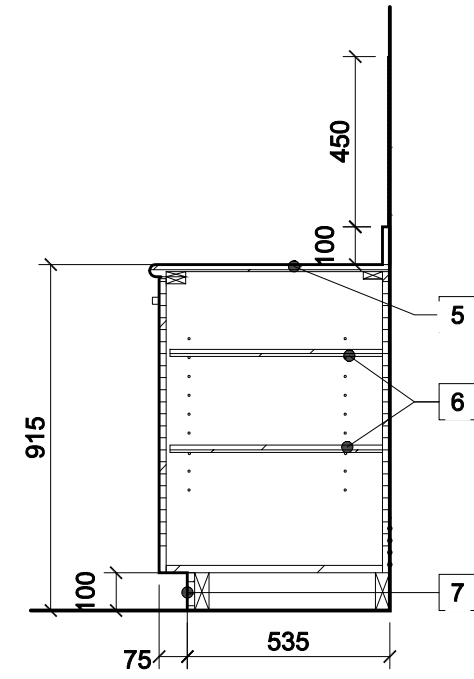
Project no. _____ No. du projet _____

Drawing no. _____ No. du dessin _____

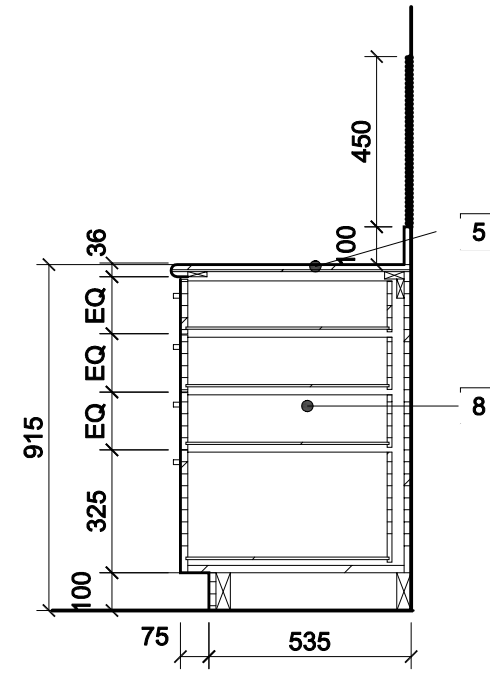
A10



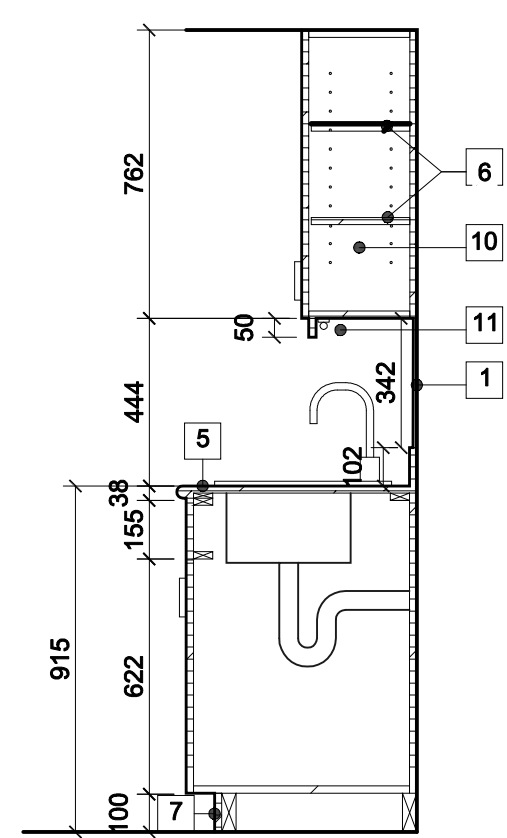
1 STAFF KITCHEN FLOOR PLAN
A10 1:50



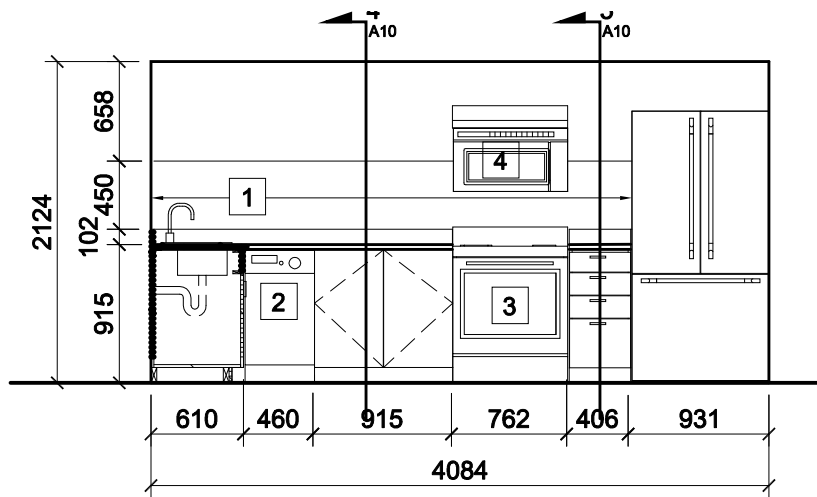
4 TYPICAL BASE CABINET
A10 1:20



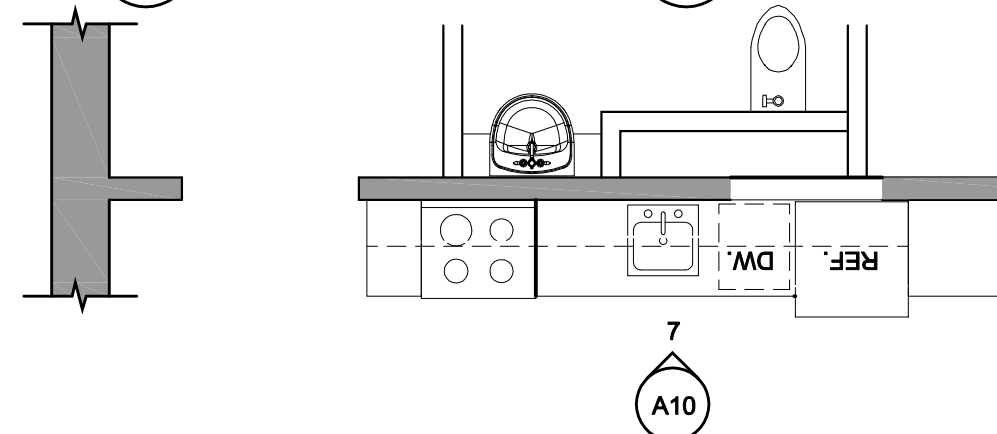
5 TYPICAL DRAWER UNIT
A10 1:20



8 TYPICAL SECTION
A10 1:20

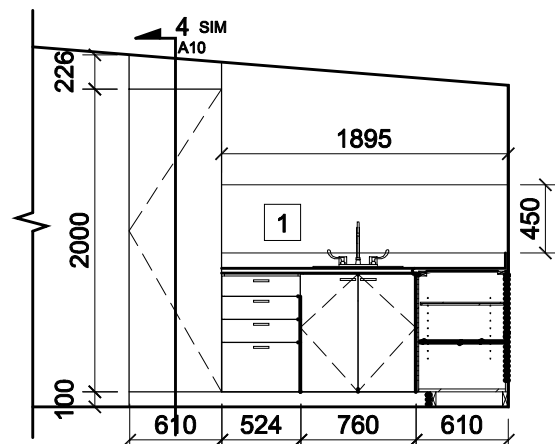


2 STAFF KITCHEN INTERIOR ELEVATION SOUTH
A10 1:50

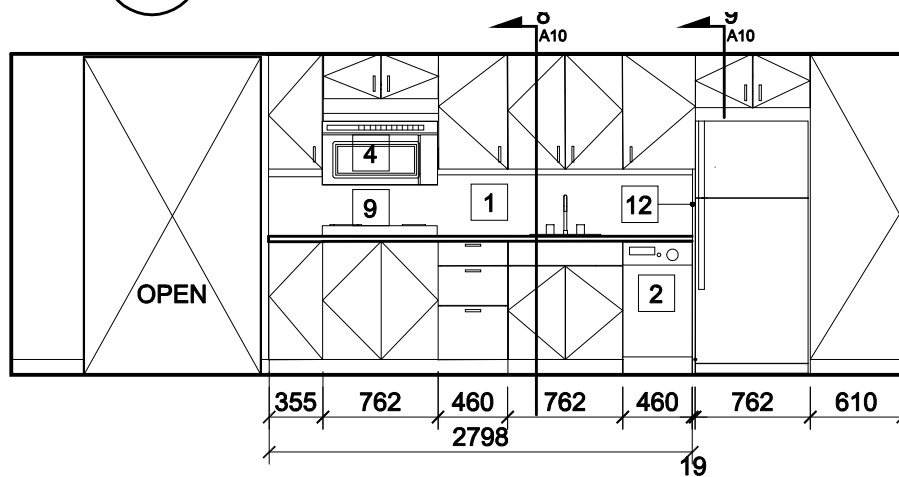


6 BOARDROOM KITCHENETTE PLAN
A10 1:50

9 UPPER CAB. ABOVE FRIDGE
A10 1:20



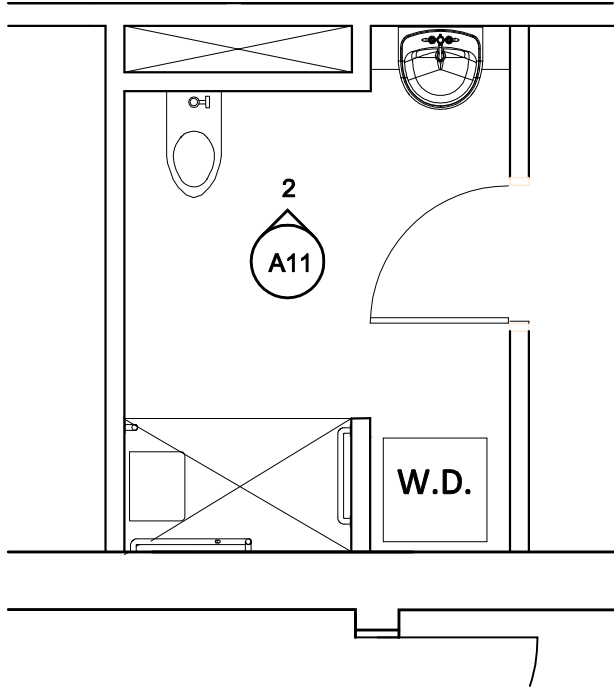
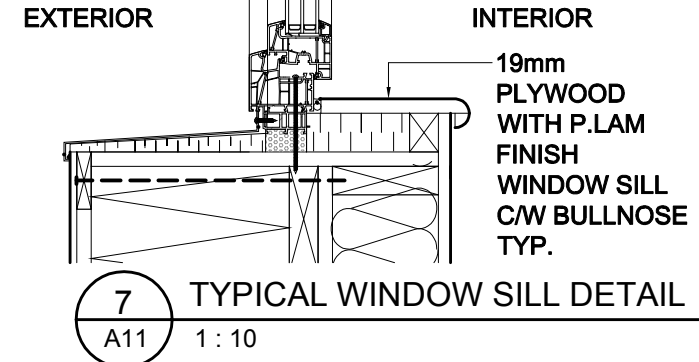
3 STAFF KITCHEN INTERIOR ELEVATION WEST
A10 1:50



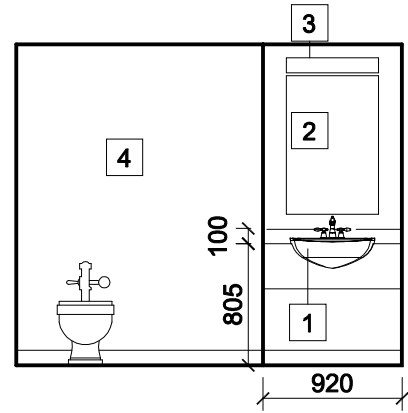
7 BOARDROOM KITCHENETTE ELEVATION
A10 1:50

LEGEND

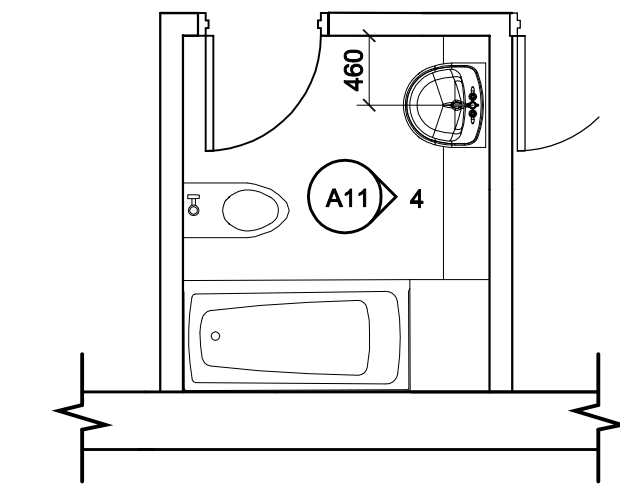
- 1 CONTINUOUS STAINLESS STEEL BACKSPASH
- 2 DISHWASHER 3 STOVE
- 4 COMBO MICROWAVE/ STOVE HOOD
- 5 COUNTERTOP C/W INTEGRATED BACKSPASH P-LAM FINISH ADJUSTABLE SHELVES
- 6 DRAWER UNIT
- 7 MDF KICK PLATE C/W P.LAM FINISH TYP.
- 8 INDUCTION BURNERS
- 9 UPPER CABINET UNIT
- 10 VALENCE LIGHT
- 11 610mm DEEP END GABLE. P.LAM FINISH BOTH SIDES
- 12



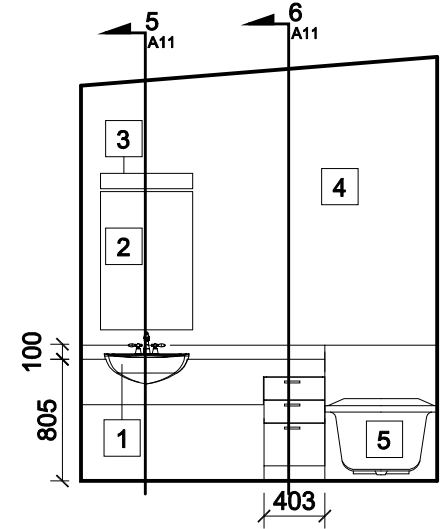
1 GROUND FLOOR BATHROOM PLAN
 A11 1:50



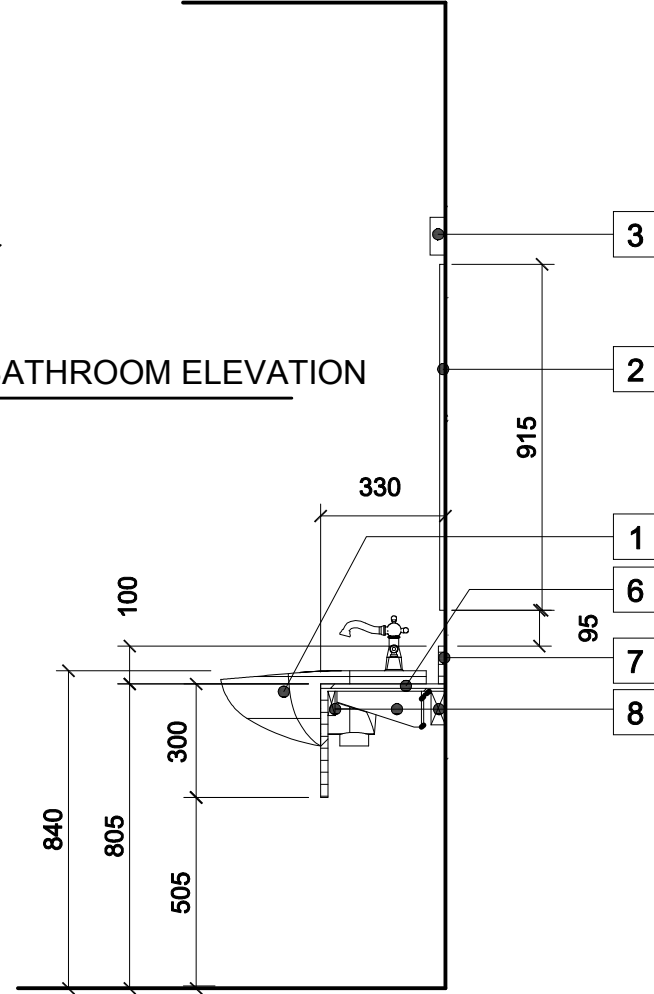
2 GROUND FLOOR BATHROOM ELEVATION
 A11 1:50



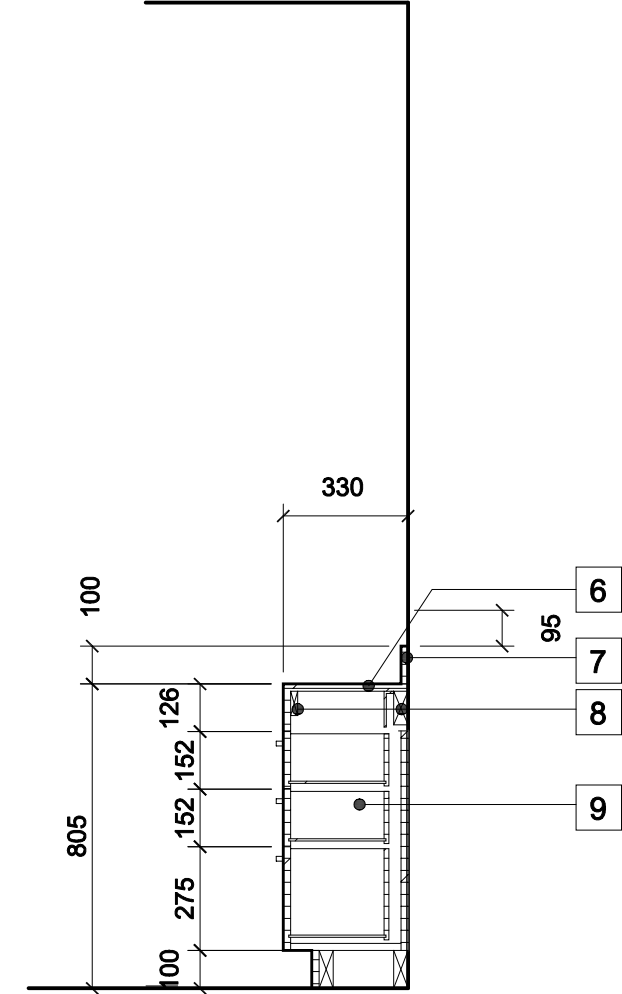
3 2ND FLOOR BATHROOM PLAN
 A11 1:50



4 2ND FL. BATHROOM ELEV.
 A11 1:50



5 SECTION AT LAVATORY & COUNTER
 A11 1:20



6 SECTION AT DRAWER UNIT
 A11 1:20

LEGEND

- 1 WALL MOUNTED ACCESSIBLE LAVATORY (AMERICAN STANDARD MEZZO SEMI-COUNTERTOP SINK) WITH TOP LOCATED @ 840mm AFF. PROVIDE PLYWOOD BACKING AT WALL FOR MOUNTING.
- 2 610mmx915mm WALL MOUNTED MIRROR WITH BOTTOM EDGE @ 950mm AFF
- 3 LIGHT VALENCE
- 4 WATER RESISTANT DRYWALL. TYP IN KICHEN AND BATHROOMS
- 5 BATHTUB
- 6 19mm PLYWOOD COUNTER & APRON C/W P.LAM FINISH
- 7 BACKSPLASH C/W P.LAM FINISH
- 8 WOOD BLOCKING AND MOUNTING BRACKET
- 9 DRAWER UNIT

revisions	description	date
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A	A detail no. no. du detail	A
C	B location drawing no. sur dessin no.	B C
	C drawing no. dessin no.	

project QANP OFFICE RENOVATION, Resolute Bay, NU

drawing BATHROOM/ MISC. MILLWORK

Designed By	PCA AES	Conçu par
Date		(yyyy/mm/dd)
Drawn By		Dessiné par
Date		(yyyy/mm/dd)
Reviewed By		Examiné par
Date		(yyyy/mm/dd)
Approved By		Approuvé par
Date		(yyyy/mm/dd)

CONCEPT PLAN NOT FOR CONSTRUCTION

Project no. No. du projet

Drawing no. No. du dessin

A11