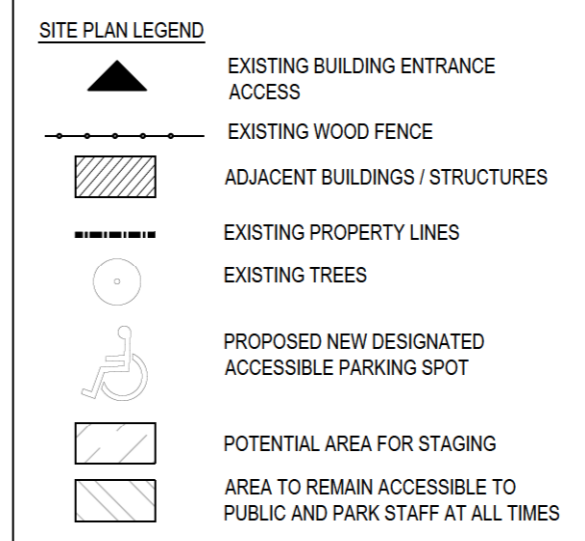
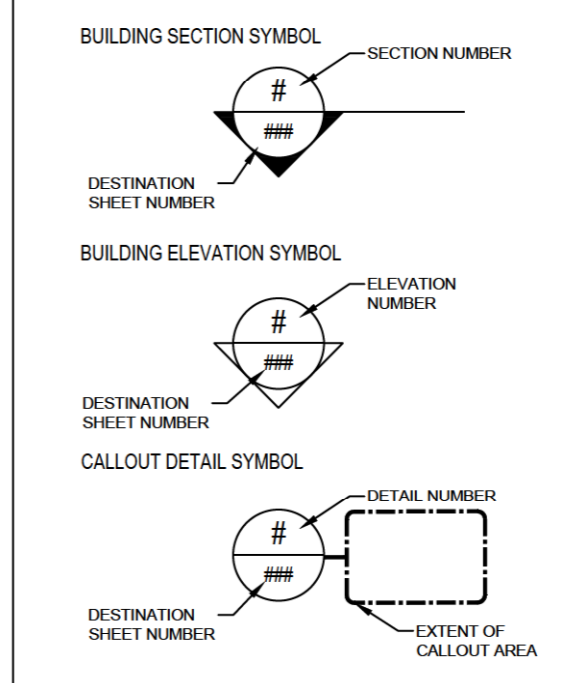
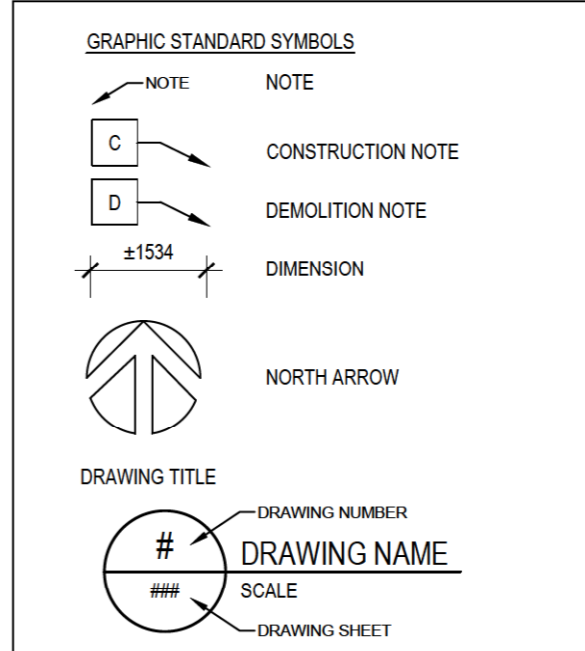
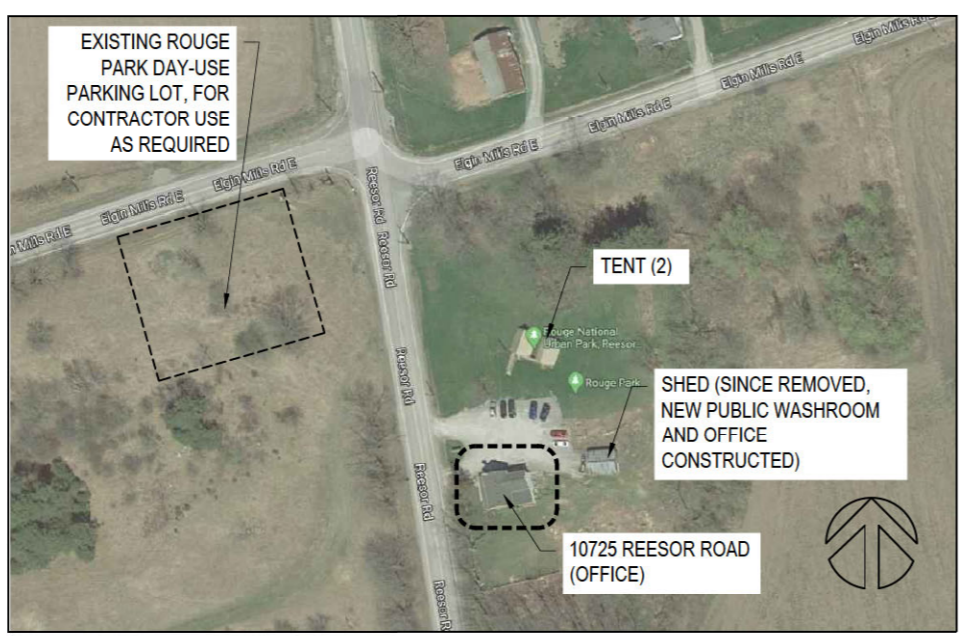


- DRAWING LIST:**
- ARCHITECTURAL:**
- A000 LOCATION PLAN, SITE PLAN, DRAWING LIST
 - A100 DEMOLITION FLOOR PLAN
 - A101 PROPOSED FLOOR PLAN
 - A201 DEMOLITION ELEVATIONS
 - A202 PROPOSED ELEVATIONS
 - A500 INTERIOR RECEPTION DETAILS
 - A501 FRONT PORCH STAIR DETAILS
 - A502 REAR ENTRANCE STAIR DETAILS
 - A503 RAMP DETAILS
 - A504 DOOR DETAILS AND DOOR SCHEDULE
- STRUCTURAL:**
- S001 GENERAL NOTES AND TYPICAL DETAILS
 - S101 GROUND FLOOR PLAN
 - S301 CONCRETE RAMP DETAILS
 - S302 CONCRETE RAMP DETAILS
 - S303 REAR ENTRANCE STAIR DETAILS
 - S304 REAR ENTRANCE STAIR DETAILS

- GENERAL NOTES**
1. PRIOR TO COMMENCING WORK, THE CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS ON THE DRAWINGS AGAINST THE EXISTING BUILDING CONDITIONS. SCALED MEASUREMENTS ARE NOT TO BE TAKEN FROM THE DRAWINGS.
 2. PROVIDE PROTECTION OF EXTERIOR WALLS, DOORS AND WINDOWS, BALCONIES, AND INTERIOR SPACES NOT IN CONTRACT DURING ALL WORK.



1 SITE PLAN
A000 1:200



2 LOCATION PLAN
A000 N.T.S.



3 10725 REESOR ROAD OFFICE
A000 N.T.S.

ARCHITECTS:

EVOQ

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T: 647-723-2030

CLIENT:

STRUCTURAL ENGINEER:

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
T 416.925.0333 F 416.925.3980 www.ojdrovic.com

| NO. | DESCRIPTION | BY | DATE |
|-----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
| 6 | ISSUED FOR 100% REVIEW | JH | 2020-09-18 |
| 5 | PROGRESS REVIEW | JH | 2020-08-31 |
| 4 | PROGRESS REVIEW | JH | 2020-08-18 |
| 3 | PROGRESS REVIEW | JH | 2020-07-29 |
| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |

REVISION:

THE GENERAL CONTRACTOR:

1. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
2. SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLINING ANY INACCURACIES.
3. SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
4. ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, MAY BE USED FOR CONSTRUCTION.

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PROJECT:
**REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM**

DRAWING TITLE:
**LOCATION PLAN, SITE PLAN,
DRAWING LIST**

| | | | |
|--------------|-------|--------------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | HG | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | AS NOTED |
| PROJECT NO.: | 9380 | DRAWING NO.: | A000 |

ARCHITECTS:

EVOQ

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T: 647-723-2030

CLIENT:



STRUCTURAL ENGINEER:

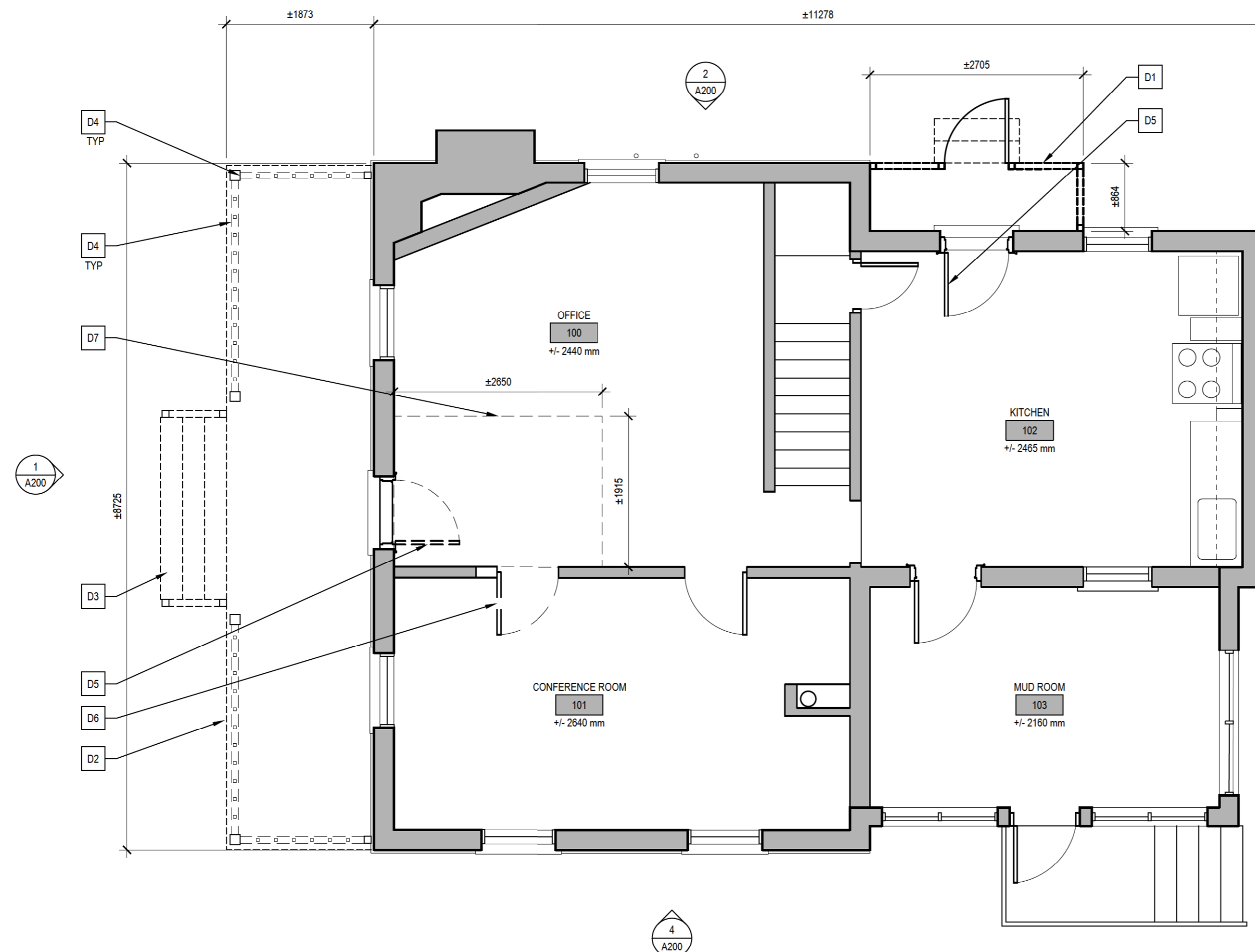
ojdrovic engineering

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
T 416.925.0333 F 416.925.3980 www.ojdrovic.com

SELECTIVE DEMOLITION:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
2. ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED AND REVIEWED PRIOR TO STARTING ANY DEMOLITION OR DISMANTLING WORK.
3. PROVIDE PROTECTION OF EXTERIOR WALLS, DOORS, WINDOWS, STAIRS, AND INTERIOR SPACES THAT ARE NOT WITHIN SCOPE PRIOR TO STARTING ANY DEMOLITION OR DISMANTLING WORK.
4. NOTES APPLY TO EVERY ELEMENT TYPE DESCRIBED IN EACH NOTE.
5. ABATEMENT PROCEDURES FOR MATERIALS CONTAINING LEAD (PAINT) AND ASBESTOS (PLASTER AND CEMENT PARING) TO BE COMPLETED AS PER MINISTRY OF ENVIRONMENT STANDARDS. REFER TO DESIGNATED SUBSTANCES REPORT.
6. TEMPORARY SHORING: CONTRACTOR SHALL SUBMIT SHORING DRAWINGS SEALED BY A PROFESSIONAL ENGINEER LICENCED IN THE PROVINCE OF ONTARIO FOR REVIEW PRIOR TO ORDERING SHORING MATERIALS.

- D1** REMOVE AND DISCARD EXISTING METAL PORCH ENCLOSURE AND ROOF, MASONRY / CONCRETE EXTERIOR LANDING, AND EXISTING PRECAST STAIR.
- D2** REMOVE AND DISCARD EXISTING PORCH DECK AND ASSOCIATED STRUCTURE.
- D3** REMOVE AND DISCARD EXISTING EXTERIOR STAIR AND HANDRAIL.
- D4** REMOVE EXISTING PORCH POSTS, GUARDRAILS, AND BALUSTERS. SALVAGE ONE TURNED POST AND ONE BALUSTER FOR REPLICATION OF PROFILE. PROVIDE TEMPORARY SHORING FOR PORCH ROOF.
- D5** REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED HARDWARE AND ACCESSORIES. REMOVE AND SALVAGE MAIL RECEPTACLE. REMOVE EXISTING STORM DOOR. JAMBS AND CASINGS TO REMAIN.
- D6** EXISTING DOOR, DOOR JAMBS AND TRIMS TO BE REMOVED, EXTENT OF EXISTING WALL AND WAINSCOTING TO BE REMOVED TO SUIT NEW BARRIER-FREE DOOR.
- D7** REMOVE EXISTING CARPET. EXTENT AS SHOWN.



1 DEMOLITION
GROUND FLOOR PLAN
A000 1:50

| N° | DESCRIPTION | BY | DATE |
|----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
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| 3 | PROGRESS REVIEW | JH | 2020-07-29 |
| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |

REVISION:

THE GENERAL CONTRACTOR :

1. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

DEMOLITION FLOOR PLAN

| | | | |
|-----------|-------|-----------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | 1:50 |

PROJECT N°: DRAWING N°:

9380 A100



| NO. | DESCRIPTION | BY | DATE |
|-----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
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| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |

REVISION:

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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

PROPOSED FLOOR PLAN

| | | | |
|-----------|-------|-----------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | 1:50 |

PROJECT NO. DRAWING NO.

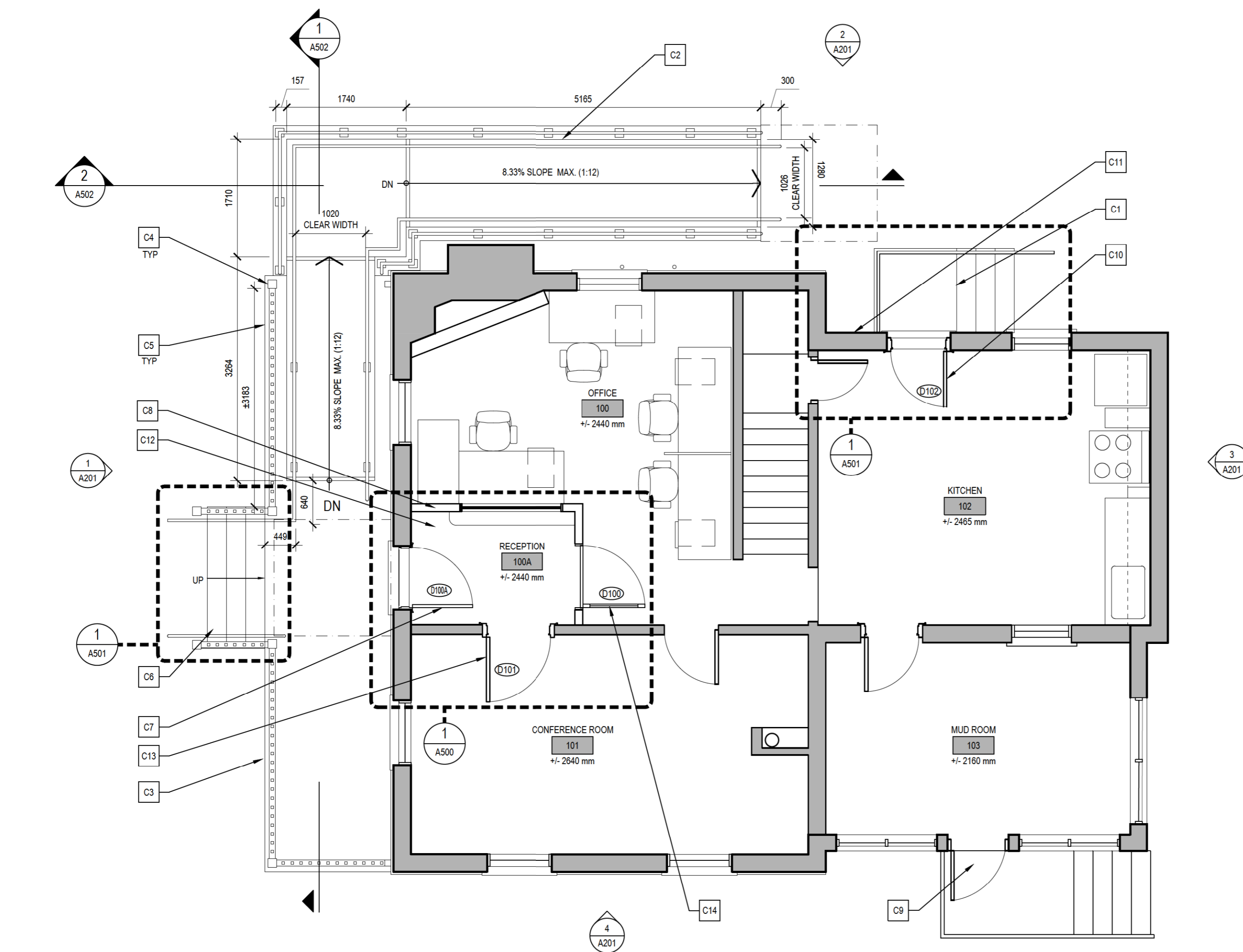
9380 A101

CONSTRUCTION:

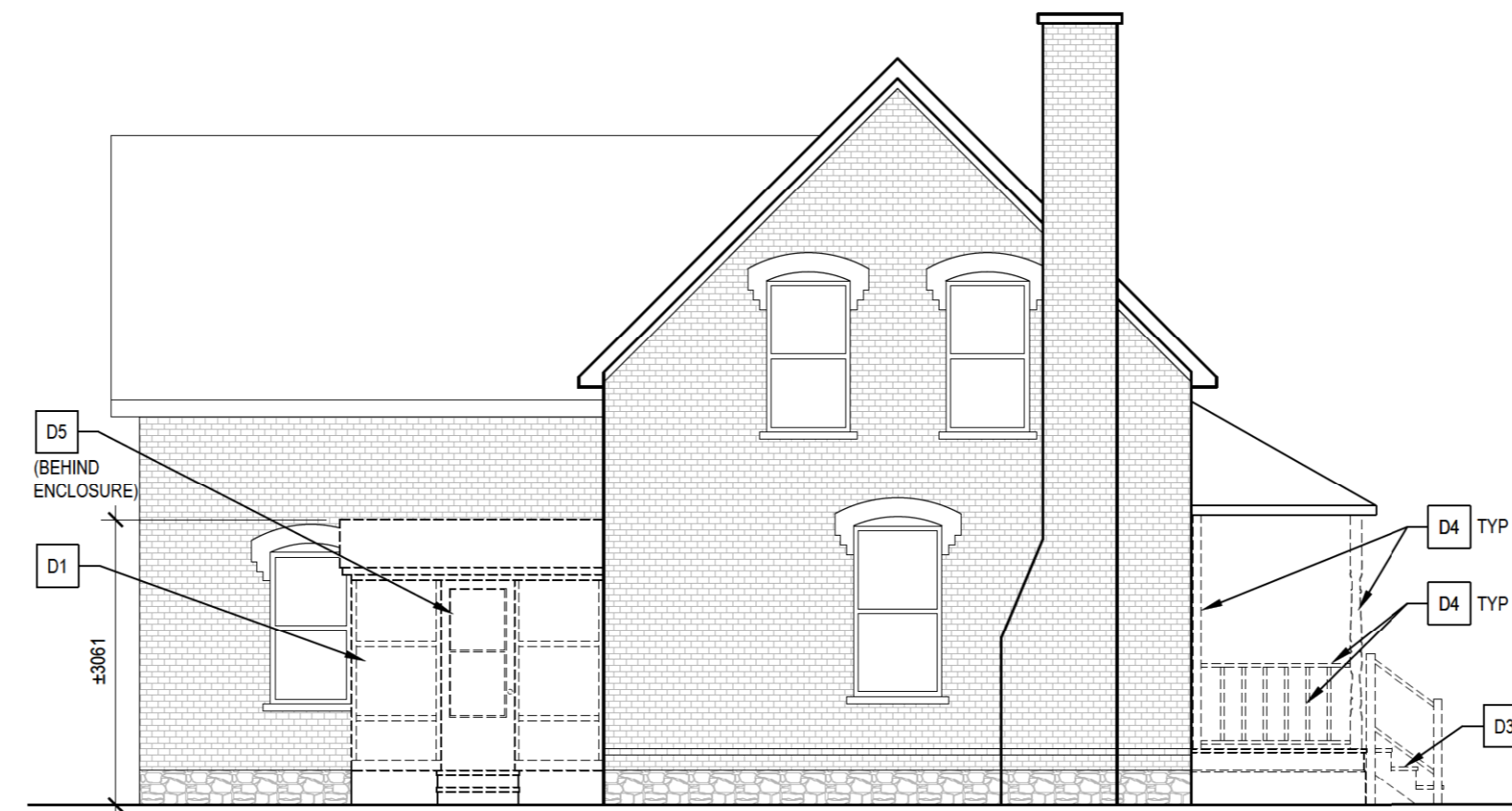
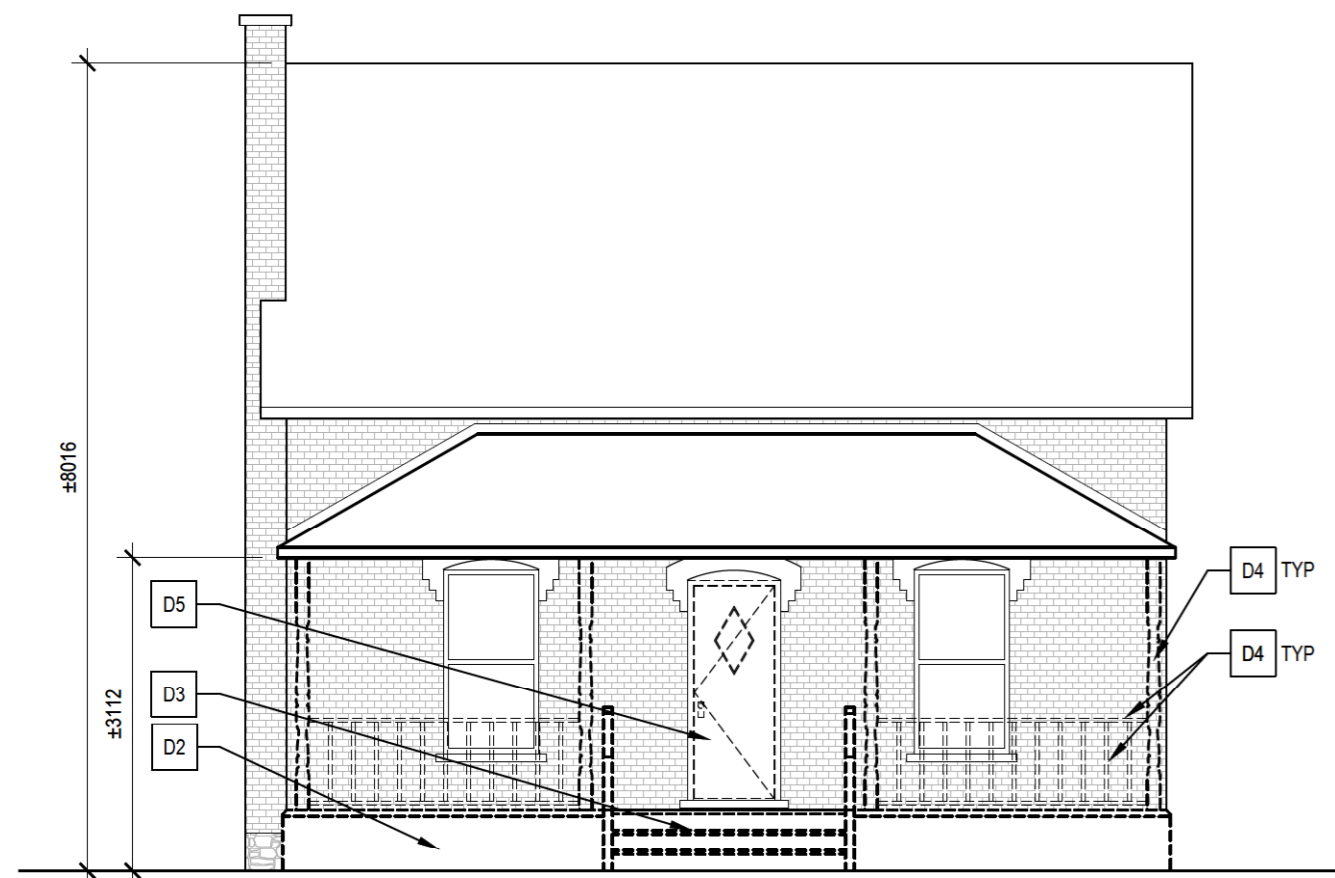
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
- NOTES APPLY TO EVERY ELEMENT TYPE DESCRIBED IN EACH NOTE.

- C1 CONSTRUCT NEW SIDE ENTRANCE STAIR STRUCTURE. REFER TO DETAILS AND STRUCTURAL DRAWINGS.
- C2 CONSTRUCT NEW ACCESS RAMP TO MAIN ENTRANCE. REFER TO RAMP DETAILS AND STRUCTURAL.
- C3 CONSTRUCT NEW FRONT WOOD PORCH STRUCTURE WITH NEW PAINTED BOARD AND BATTEN SKIRT. FOOTPRINT OF PORCH TO MATCH EXISTING. REFER TO DETAILS.
- C4 CONSTRUCT NEW TURNED PORCH POSTS TO SUIT HEIGHT OF NEW PORCH, TO BE PAINTED. PROFILE TO MATCH EXISTING. REFER TO PORCH DETAILS.
- C5 CONSTRUCT NEW WOOD GUARDRAIL WITH TURNED BALUSTERS, TO BE PAINTED. PROFILE TO MATCH EXISTING. REFER TO DETAILS.
- C6 CONSTRUCT NEW WOOD STAIR WITH METAL HANDRAIL AND WOOD RAILING. REFER TO STAIR DETAILS.
- C7 PROVIDE AND INSTALL NEW EXTERIOR DOOR WITH OFFSET PIVOT HINGES, POWER DOOR OPENER WITH ACCESSIBLE DOOR OPERATOR AND ELECTRIC STRIKE. REINSTALL MAIL RECEPTACLE. REFER TO DOOR DETAILS. PERFORM MINOR REPAIRS TO WOOD JAMBS, TRIMWORK THRESHOLD AS REQUIRED.
- C8 CONSTRUCT NEW ENTRANCE RECEPTION VESTIBULE. REFER TO INTERIOR DETAILS.
- C9 PROVIDE NEW EXTERIOR-GRADE PORCH LIGHTING, INSTALLED TO UIS OF PORCH SOFFIT.
- C10 INSTALL NEW EXTERIOR WOOD DOOR. REFER TO DOOR DETAILS. PERFORM MINOR REPAIRS TO WOOD JAMBS, TRIMWORK THRESHOLD AS REQUIRED.
- C11 REMOVE PAINT FINISH FROM EXISTING BRICKWORK. REPARGE STONE BASE AS REQUIRED.
- C12 INSTALL NEW NON-SLIP VINYL FLOORING.
- C13 CONSTRUCT NEW BARRIER-FREE OPENING. INSTALL NEW DOOR, DOOR JAMBS, TRIMWORK AND HARDWARE FOR EXISTING DOOR. INSTALL NEW SECURITY HARDWARE. REFER TO DOOR SCHEDULE.
- C14 INSTALL NEW INTERIOR WOOD DOOR AND WOOD FRAME

- OUTLINE OF REQUIRED BARRIER-FREE RAMP 1700 MM X 1700 MM
- CLEARANCE



1 PROPOSED GROUND FLOOR PLAN
A101 1:50



1 DEMOLITION WEST ELEVATION
A200 1:75

2 DEMOLITION NORTH ELEVATION
A200 1:75



3 DEMOLITION EAST ELEVATION
A200 1:75

4 DEMOLITION SOUTH ELEVATION
A200 1:75

SELECTIVE DEMOLITION:

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- D5** REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED HARDWARE AND ACCESSORIES. REMOVE AND SALVAGE MAIL RECEPTACLE. REMOVE EXISTING STORM DOOR. JAMBS AND CASINGS TO REMAIN.
- D6** EXISTING DOOR, DOOR JAMBS AND TRIMS TO BE REMOVED. EXTENT OF EXISTING WALL AND WAINSCOTING TO BE REMOVED TO SUIT NEW BARRIER-FREE DOOR.

| Nº | DESCRIPTION | BY | DATE |
|----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
| 6 | ISSUED FOR 100% REVIEW | JH | 2020-09-18 |
| 5 | PROGRESS REVIEW | JH | 2020-08-31 |
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| 3 | PROGRESS REVIEW | JH | 2020-07-29 |
| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |

REVISION:

THE GENERAL CONTRACTOR :

1. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

DEMOLITION ELEVATIONS

| | | | |
|-----------|-------|-----------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | 1:75 |

PROJECT Nº: 9380 DRAWING Nº: A200

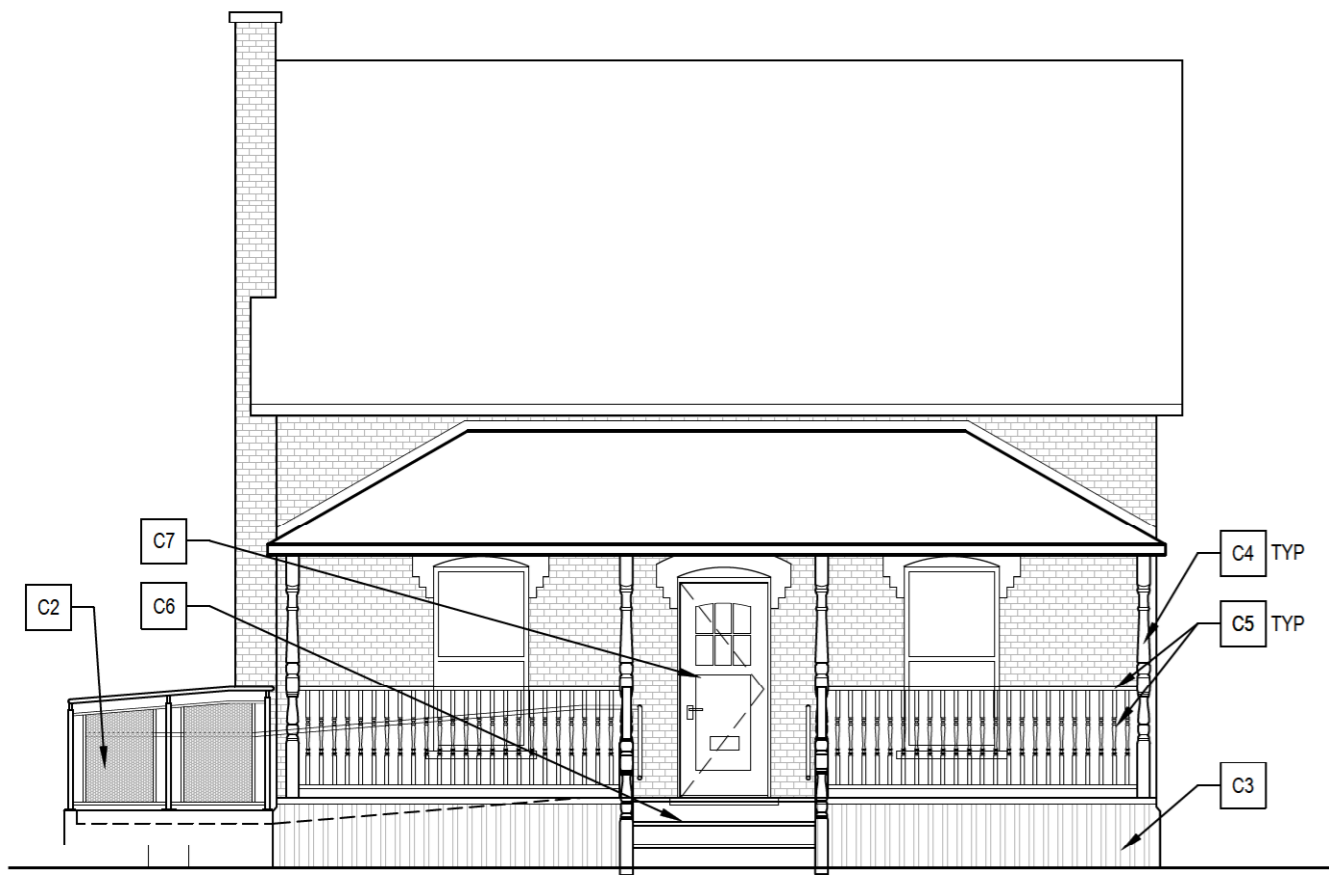
CLIENT:



STRUCTURAL ENGINEER



4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
 T. 416.925.0333 F. 416.925.3980 www.ojdrovic.com



1 PROPOSED WEST ELEVATION
 A201 1:75

2 PROPOSED NORTH ELEVATION
 A201 1:75



3 PROPOSED EAST ELEVATION
 A201 1:75

4 PROPOSED SOUTH ELEVATION
 A201 1:75

CONSTRUCTION:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. NOTES APPLY TO EVERY ELEMENT TYPE DESCRIBED IN EACH NOTE.
- C1 CONSTRUCT NEW SIDE ENTRANCE STAIR STRUCTURE. REFER TO DETAILS AND STRUCTURAL DRAWINGS.
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- C8 CONSTRUCT NEW ENTRANCE RECEPTION VESTIBULE. REFER TO INTERIOR DETAILS.
- C9 PROVIDE NEW EXTERIOR-GRADE PORCH LIGHTING; INSTALLED TO U/S OF PORCH SOFFIT.
- C10 INSTALL NEW EXTERIOR WOOD DOOR. REFER TO DOOR DETAILS. PERFORM MINOR REPAIRS TO WOOD JAMBS, TRIMWORK THRESHOLD AS REQUIRED.
- C11 REMOVE PAINT FINISH FROM EXISTING BRICKWORK. REPARGE STONE BASE AS REQUIRED.

APPROXIMATE EXTENT OF BRICK TO BE CLEANED OF PAINT

| | | | |
|-----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
| 6 | ISSUED FOR 100% REVIEW | JH | 2020-09-18 |
| 5 | PROGRESS REVIEW | JH | 2020-08-31 |
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| 3 | PROGRESS REVIEW | JH | 2020-07-29 |
| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |
| Nº: | DESCRIPTION: | BY | DATE |

REVISION:

THE GENERAL CONTRACTOR :

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SEAL



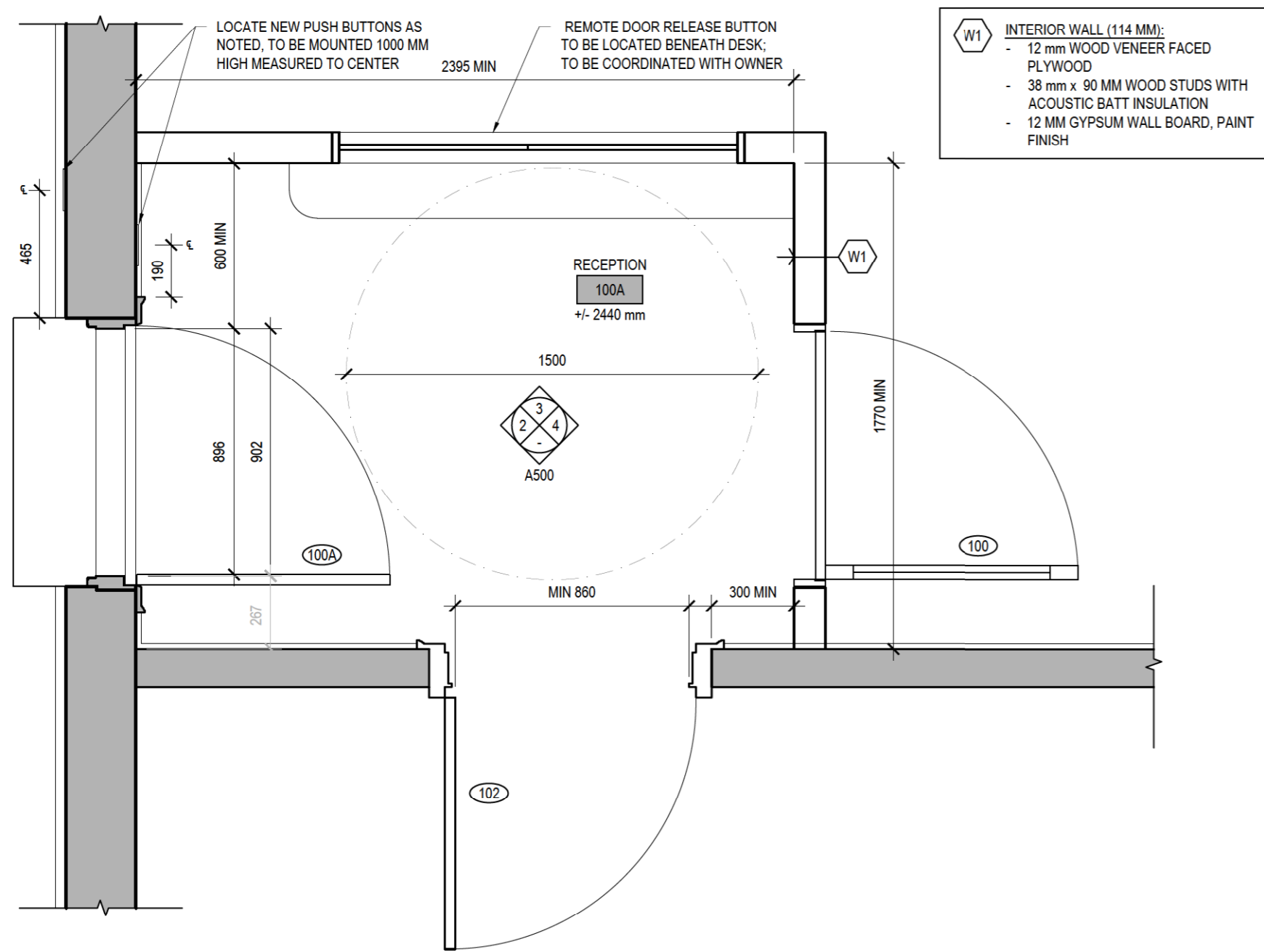
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PROJECT:
**REESOR NORTH OFFICE
 ACCESSIBILITY IMPROVEMENTS
 10725 REESOR ROAD, MARKHAM**

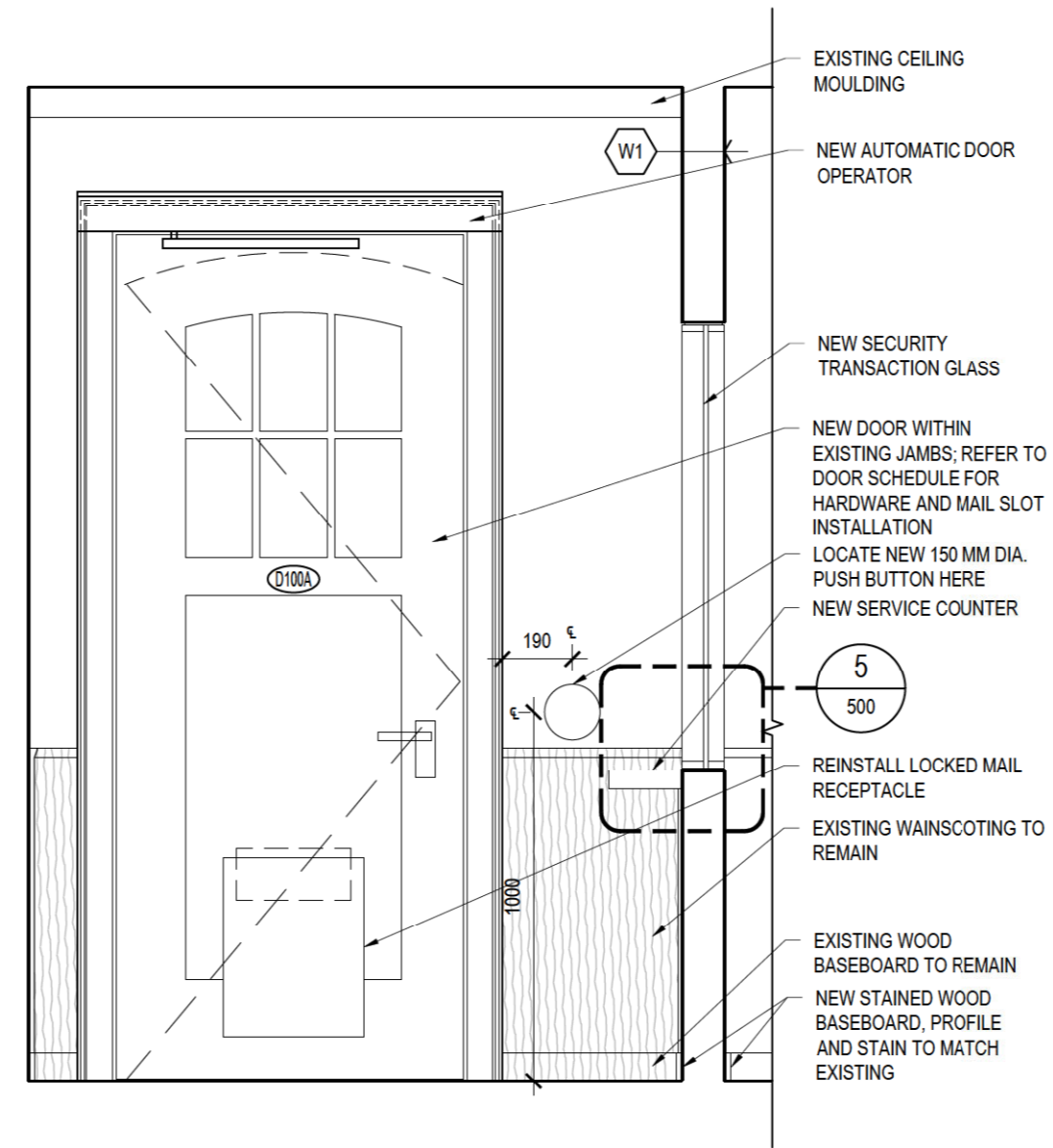
DRAWING TITLE:
PROPOSED ELEVATIONS

| | | | |
|-----------|------|-----------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DGJH | SCALE: | AS NOTED |

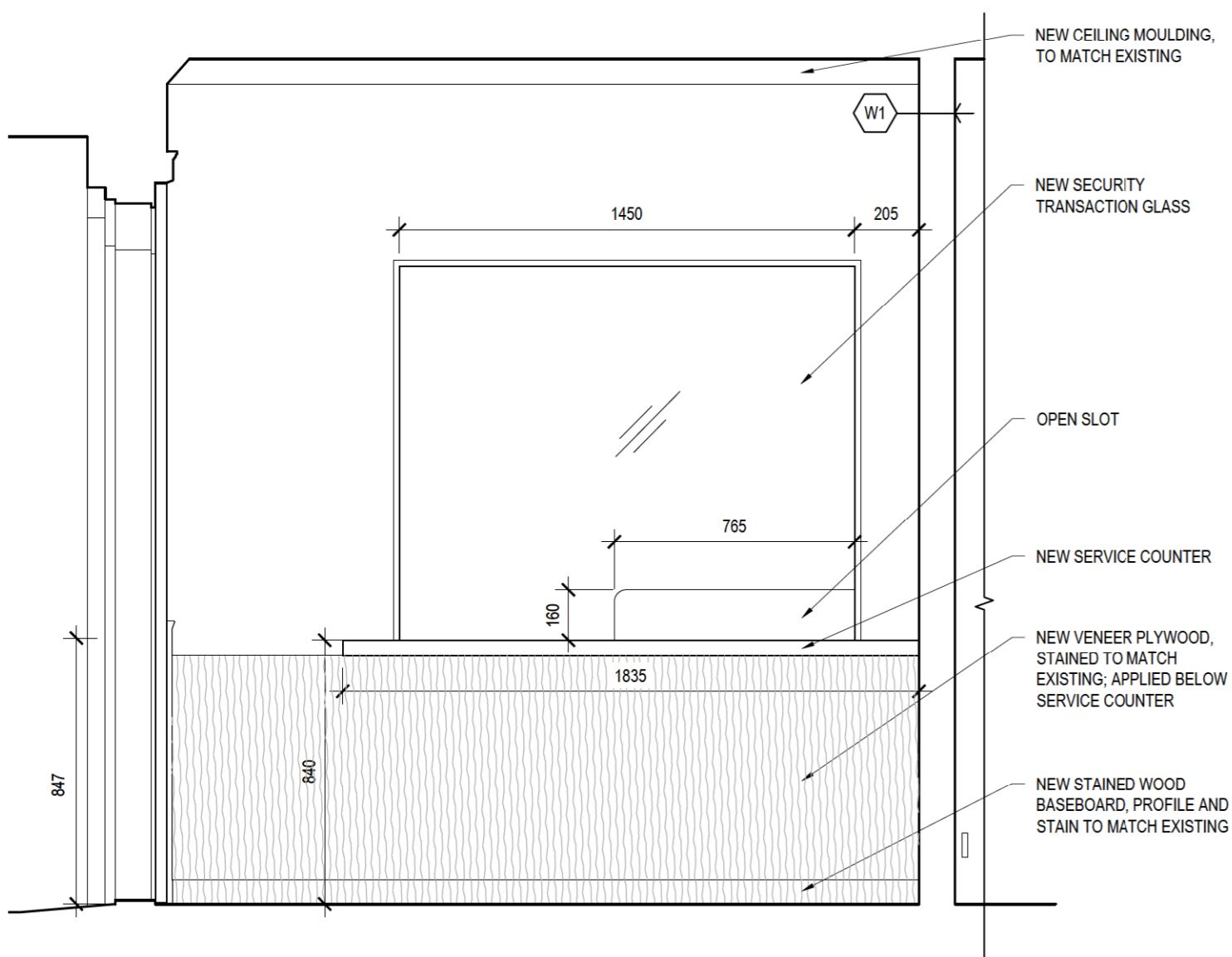
PROJECT Nº: 9380 DRAWING Nº: A201



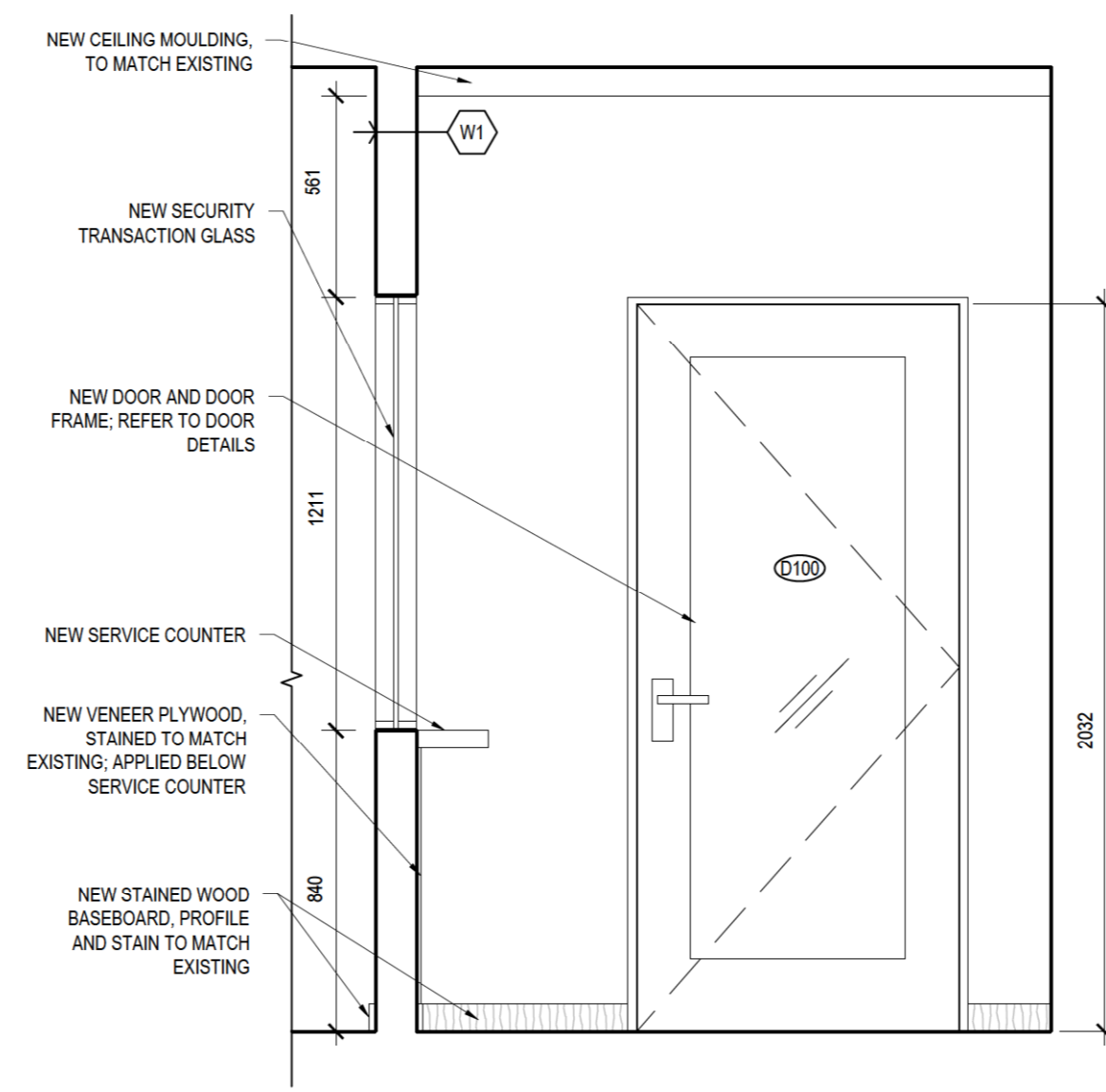
1 PROPOSED RECEPTION ROOM PLAN
500 1:20



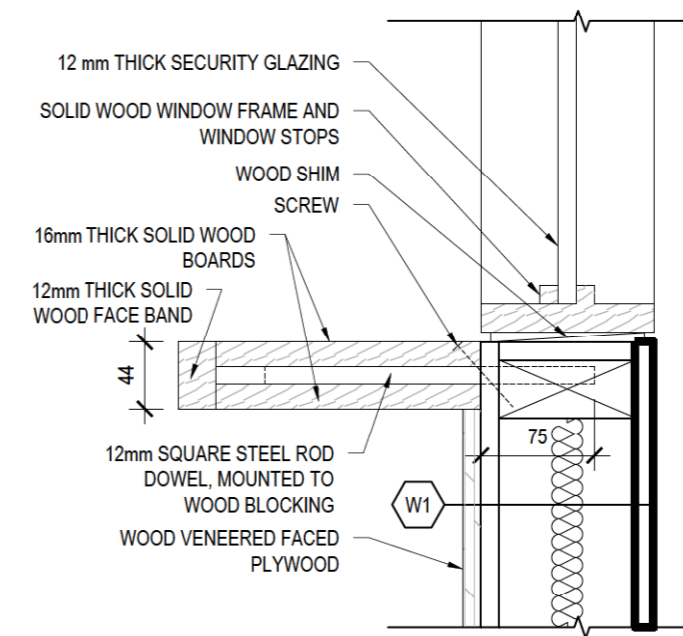
2 PROPOSED RECEPTION ROOM EAST ELEVATION
500 1:20



3 PROPOSED RECEPTION ROOM NORTH ELEVATION
500 1:20



4 PROPOSED RECEPTION ROOM WEST ELEVATION
500 1:20



5 NEW SERVICE COUNTER DETAIL
500 1:5

ARCHITECTS

EVOQ

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T. 647-723-2030

CLIENT:

STRUCTURAL ENGINEER:

ojdrovic engineering

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
T 416.925.0333 F 416.925.3980 www.ojdrovic.com

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| NF | DESCRIPTION: | BY | DATE |

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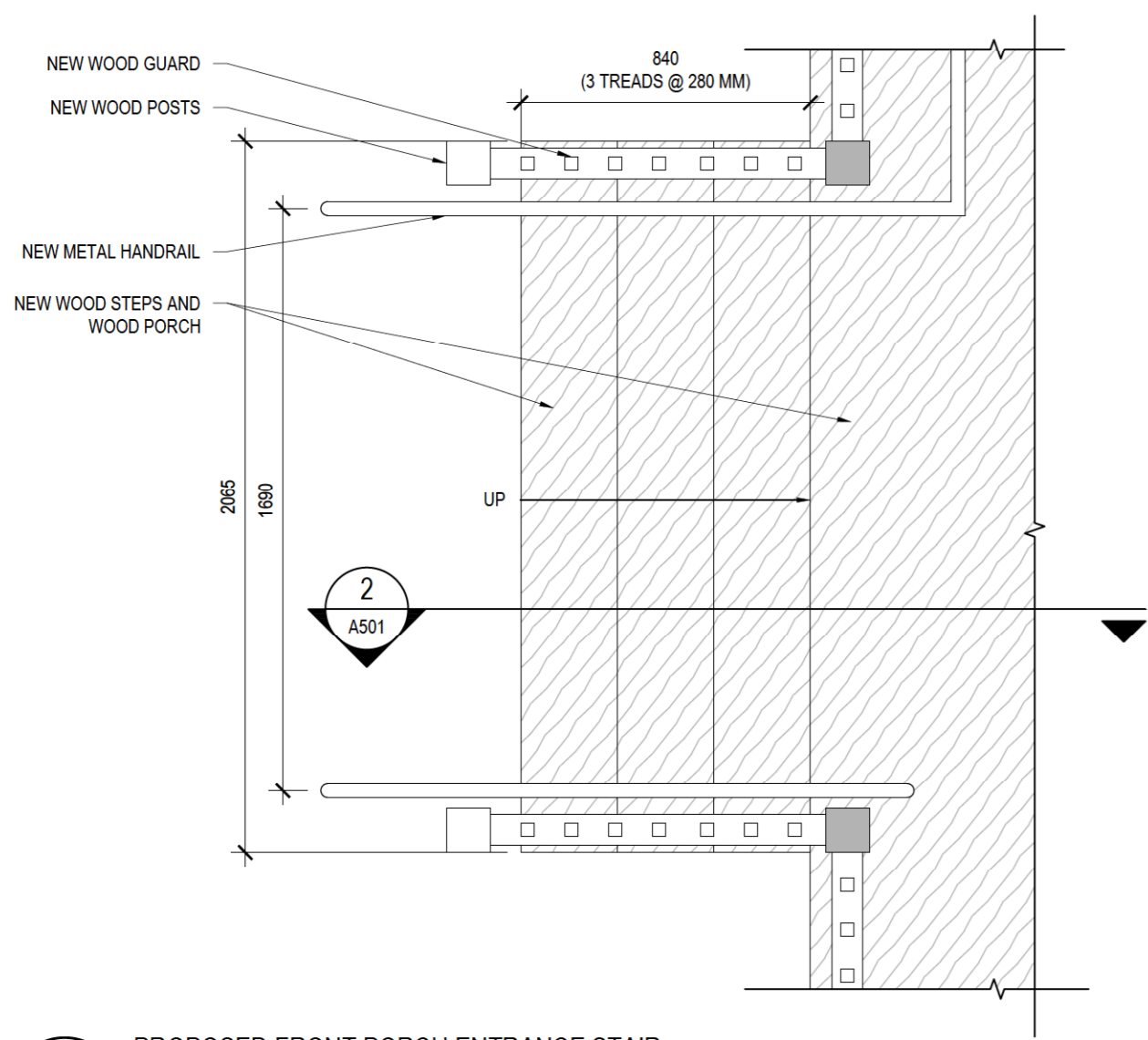
PROJECT:

**REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM**

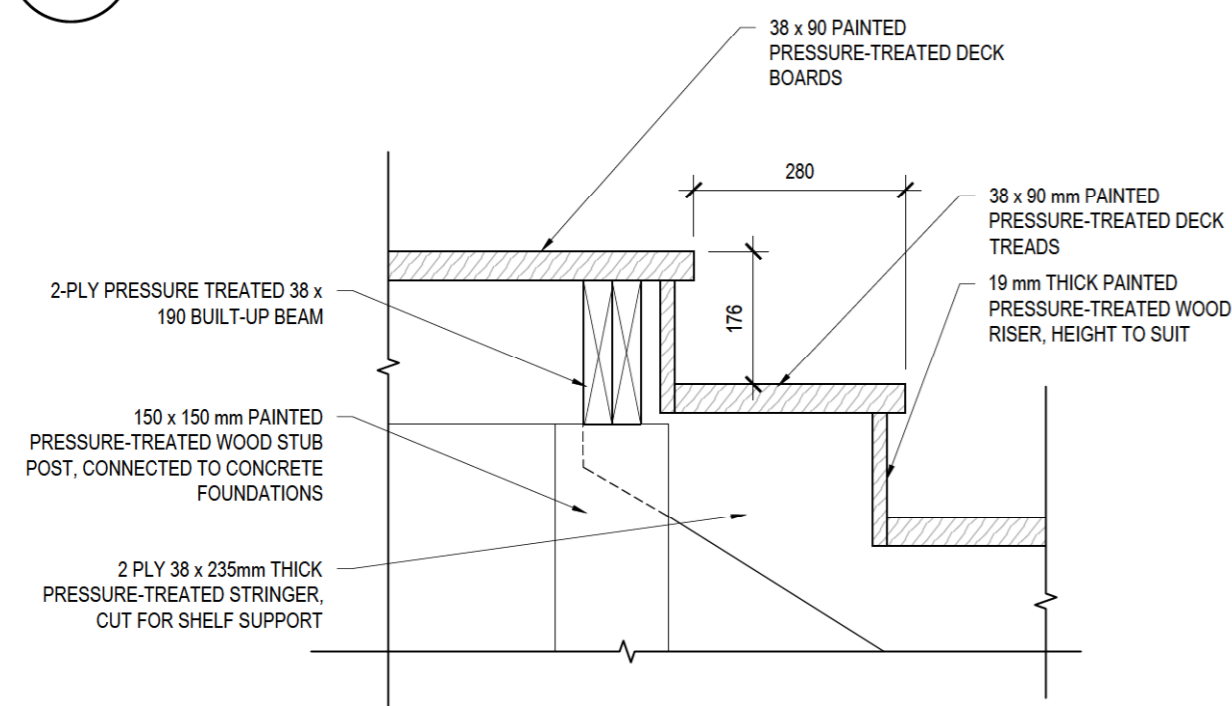
DRAWING TITLE:

INTERIOR RECEPTION DETAILS

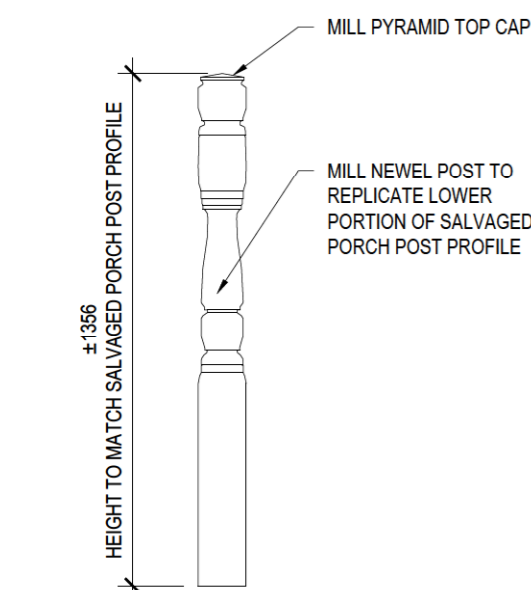
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|-------------|-------|-------------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | AS NOTED |
| PROJECT N°: | 9380 | DRAWING N°: | A500 |



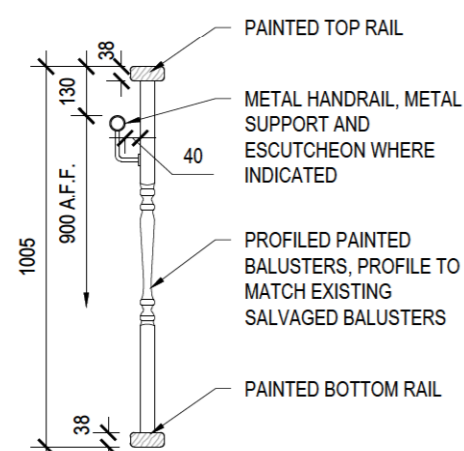
1 PROPOSED FRONT PORCH ENTRANCE STAIR PLAN
501 1:20



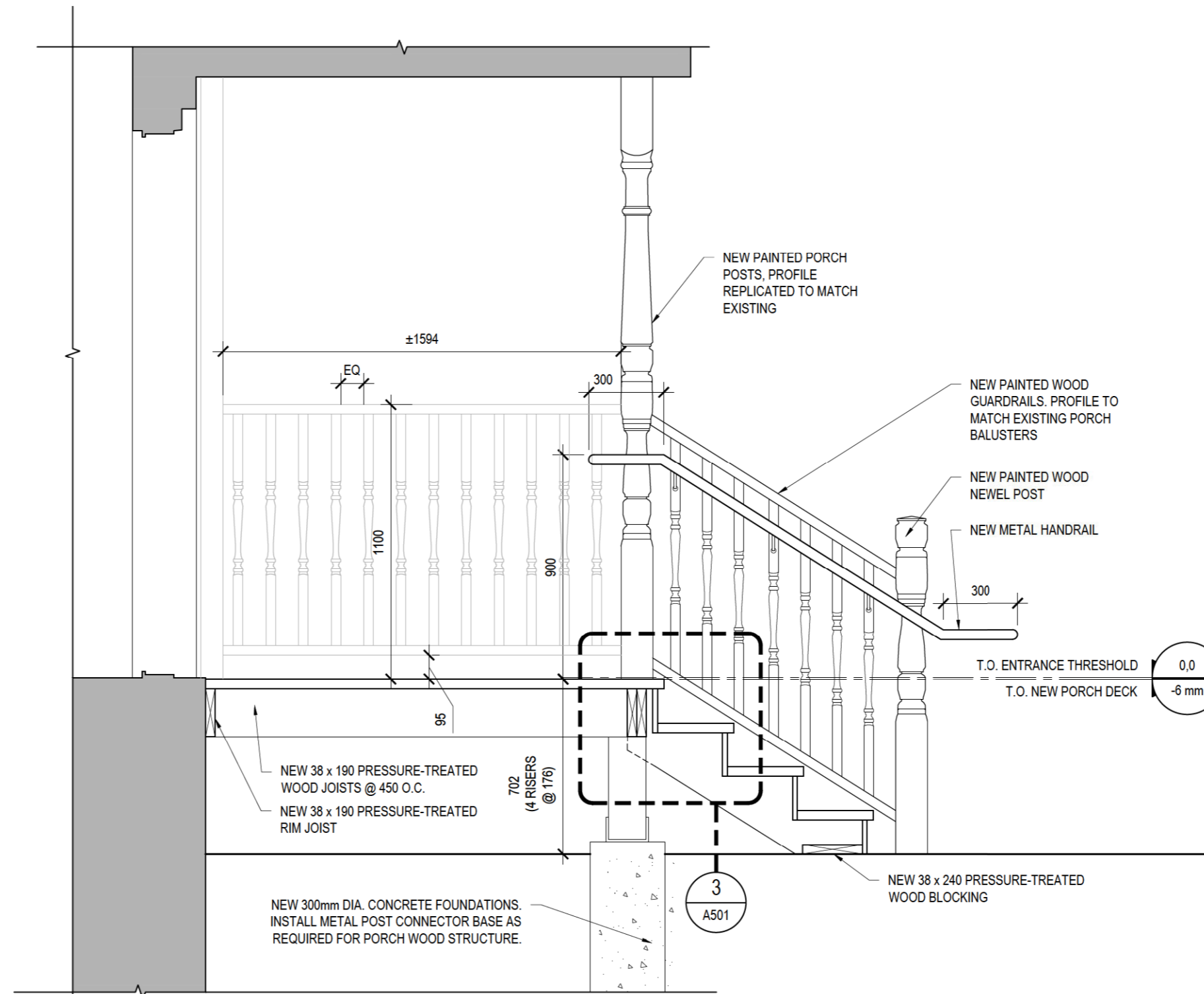
3 PROPOSED FRONT PORCH ENTRANCE STAIR PORCH DECK AND STAIR DETAIL
501 1:10



4 NEWEL POST DETAIL
501 1:20



5 RAILING AND BALUSTER PROFILE
501 1:20



2 PROPOSED FRONT ENTRANCE STAIR AND PORCH DECK SECTION
501 1:20

ARCHITECTS

EVOQ

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T. 647-723-2030

CLIENT:



STRUCTURAL ENGINEER

ojdrovic engineering

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
T. 416.925.0333 F. 416.925.3980 www.ojdrovic.com

| NO. | DESCRIPTION | BY | DATE |
|-----|------------------------|----|------------|
| 7 | ISSUED FOR TENDER | JH | 2020-11-25 |
| 6 | ISSUED FOR 100% REVIEW | JH | 2020-09-18 |
| 5 | PROGRESS REVIEW | JH | 2020-08-31 |
| 4 | PROGRESS REVIEW | JH | 2020-08-18 |
| 3 | PROGRESS REVIEW | JH | 2020-07-29 |
| 2 | CLIENT REVIEW | CB | 2020-07-06 |
| 1 | CLIENT REVIEW | GR | 2020-05-15 |
| Nº | DESCRIPTION | BY | DATE |

REVISION:

THE GENERAL CONTRACTOR :

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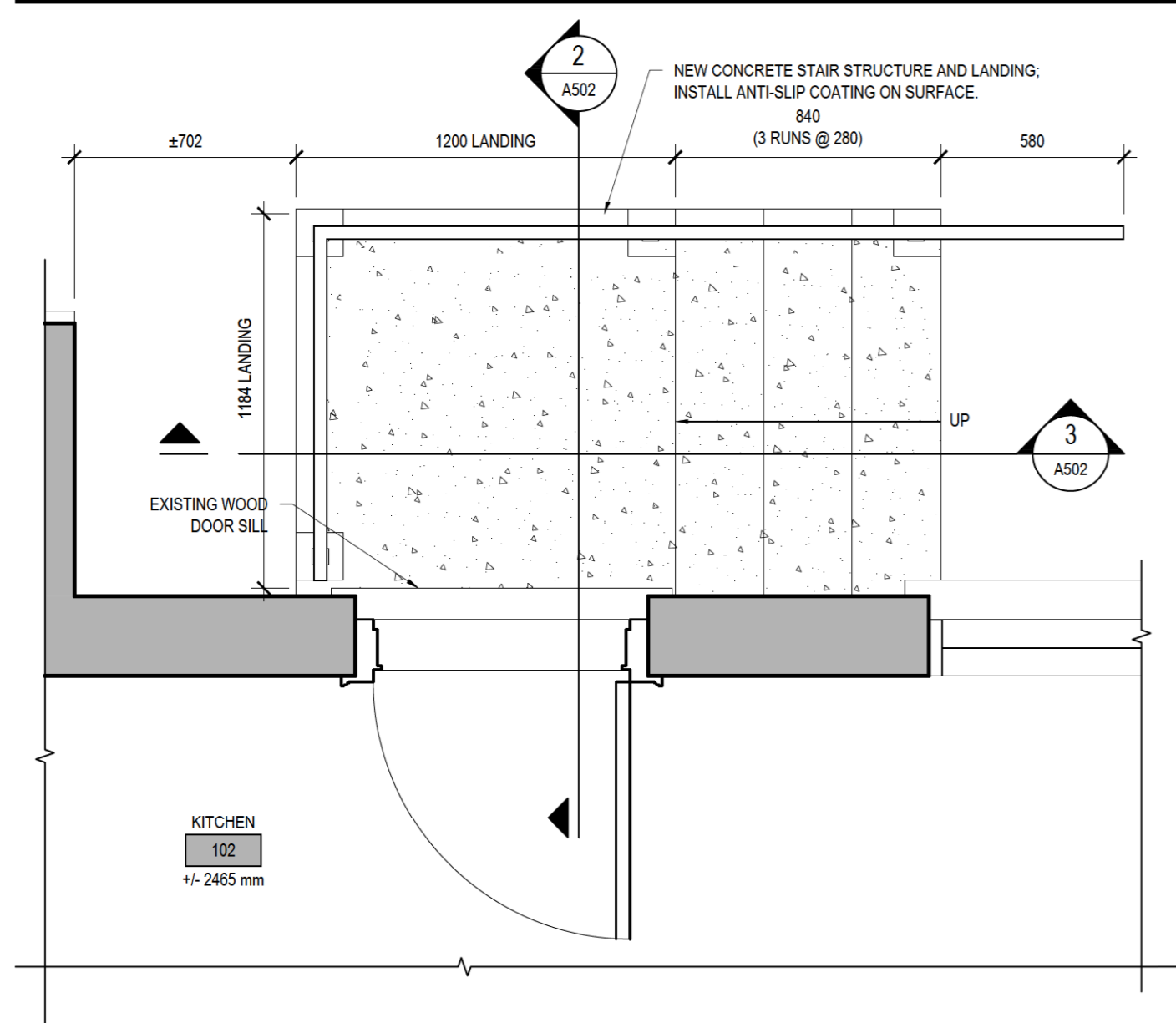
PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

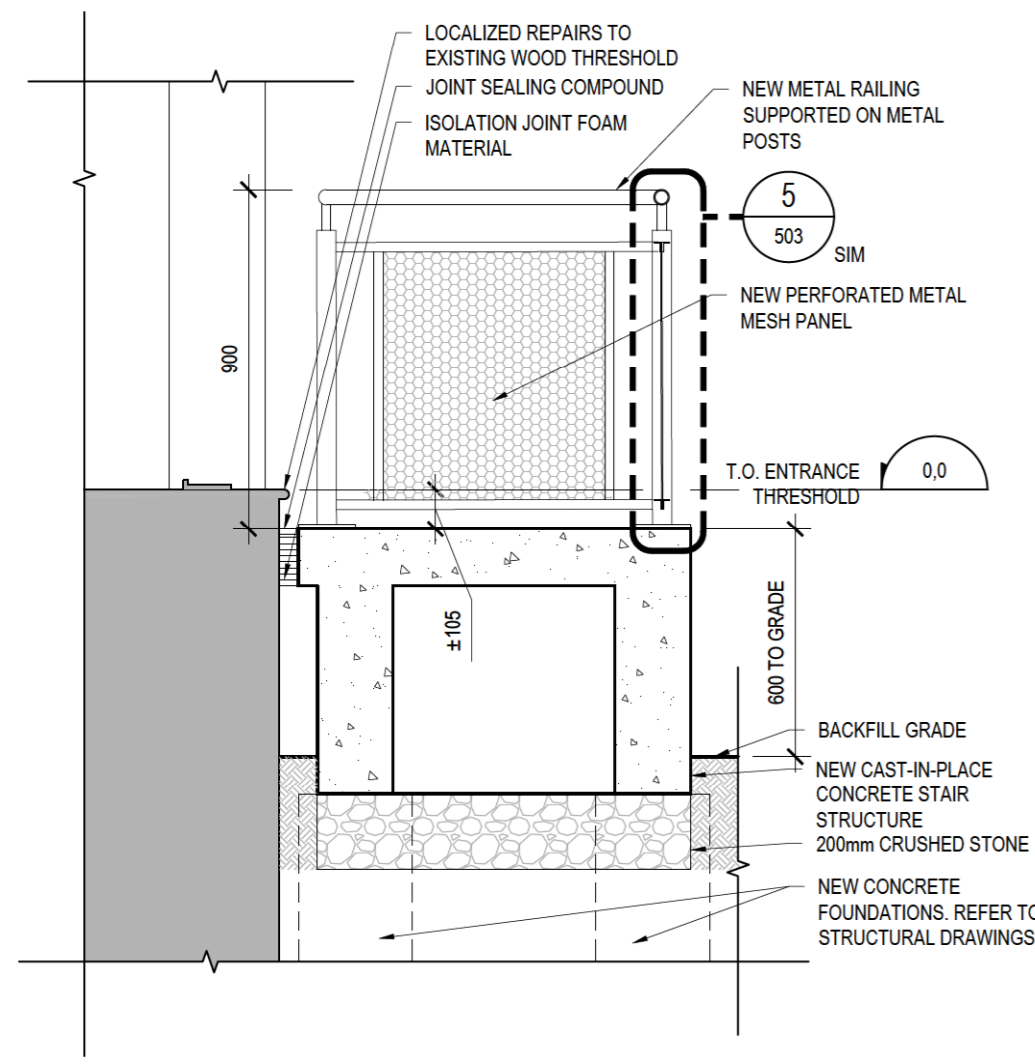
DRAWING TITLE:

FRONT PORCH STAIR DETAILS

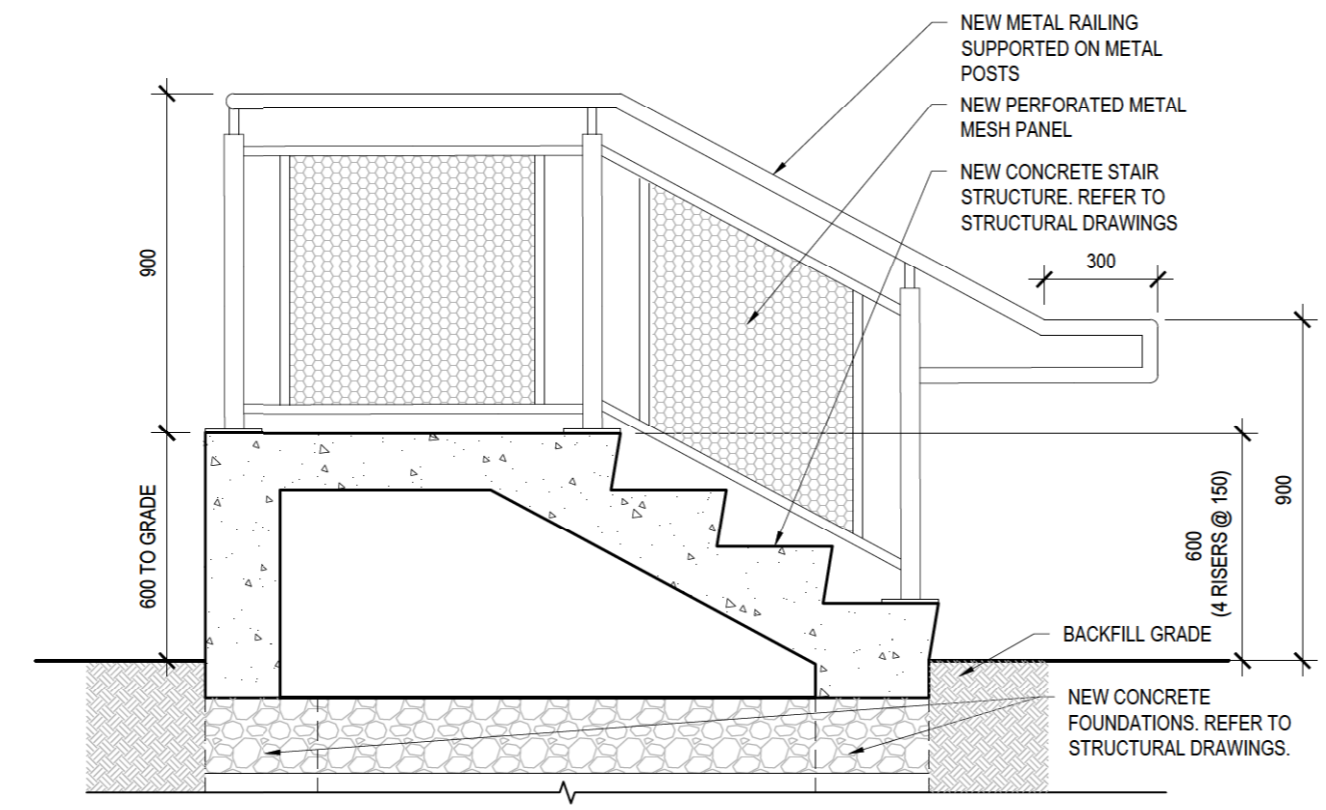
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| DESIGN: | CB/JH | APPROVED: | DC |
| DRAWN: | CB/JH | DATE: | 2020-07-08 |
| VERIFIED: | CB/JH | SCALE: | AS NOTED |
| PROJECT Nº: | 9380 | DRAWING Nº: | A501 |



1 PROPOSED REAR ENTRANCE STAIR PLAN
502 1:20



2 PROPOSED REAR ENTRANCE STAIR SECTION
502 1:20



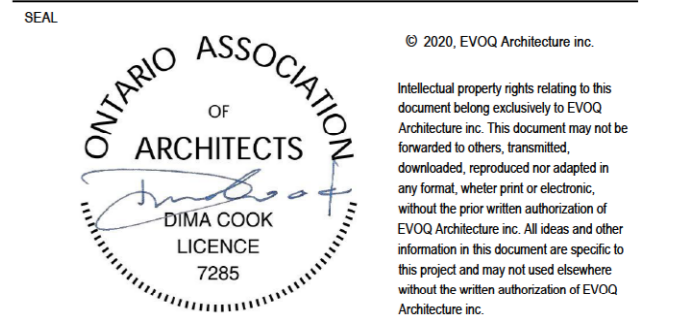
3 PROPOSED REAR ENTRANCE STAIR SECTION
502 1:20



STRUCTURAL ENGINEER
ojdrovic engineering
4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
T 416.925.0333 F 416.925.3980 www.ojdrovic.com

| REVISION | NO. | DESCRIPTION | BY | DATE |
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| | 1 | CLIENT REVIEW | GR | 2020-05-15 |

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10725 REESOR ROAD, MARKHAM**

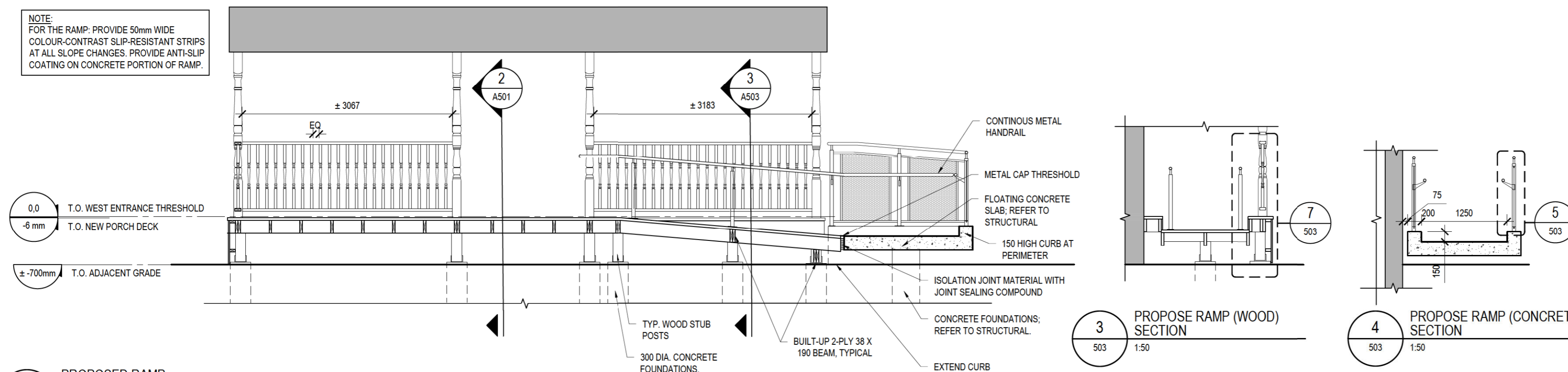
DRAWING TITLE:
REAR ENTRANCE STAIR DETAILS

| | | | |
|-----------|-------|-----------|------------|
| DESIGN: | CB/JH | APPROVED: | DC |
| DRAWN: | CB/JH | DATE: | 2020-07-08 |
| VERIFIED: | CB/JH | SCALE: | AS NOTED |

PROJECT N°: **9380** DRAWING N°: **A502**



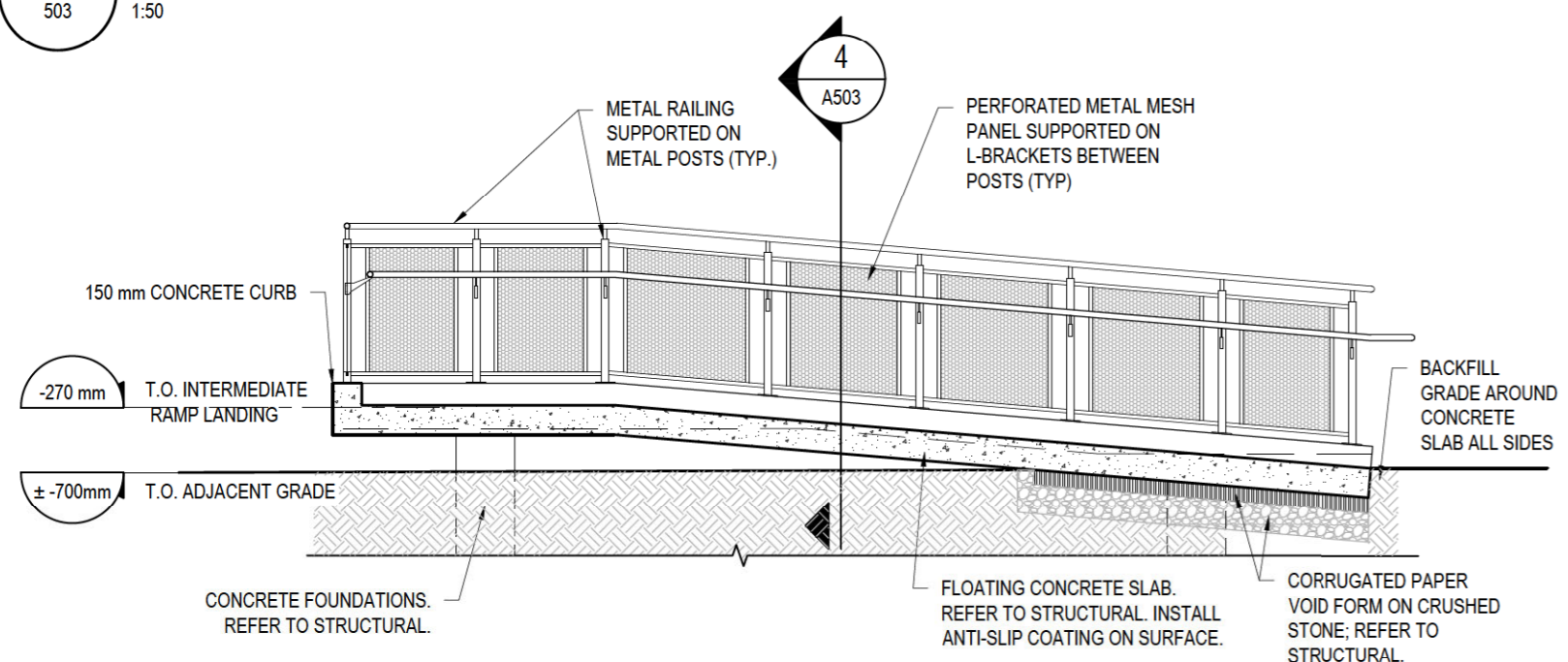
NOTE:
FOR THE RAMP: PROVIDE 50mm WIDE
COLOUR-CONTRAST SLIP-RESISTANT STRIPS
AT ALL SLOPE CHANGES. PROVIDE ANTI-SLIP
COATING ON CONCRETE PORTION OF RAMP.



3
503
1:50
PROPOSE RAMP (WOOD)
SECTION

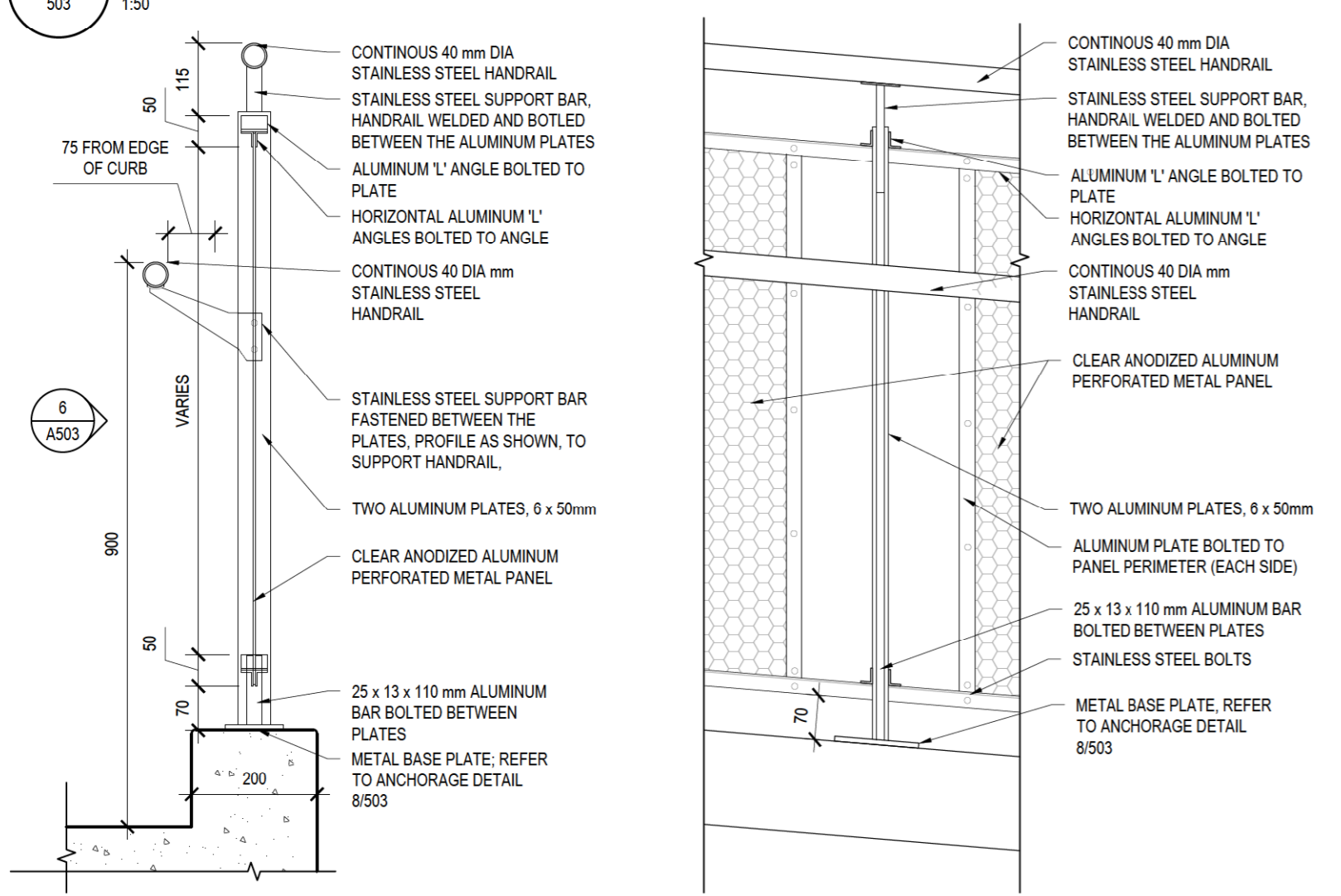
4
503
1:50
PROPOSE RAMP (CONCRETE)
SECTION

1
503
1:50
PROPOSED RAMP
SECTION ALONG EAST ELEVATION



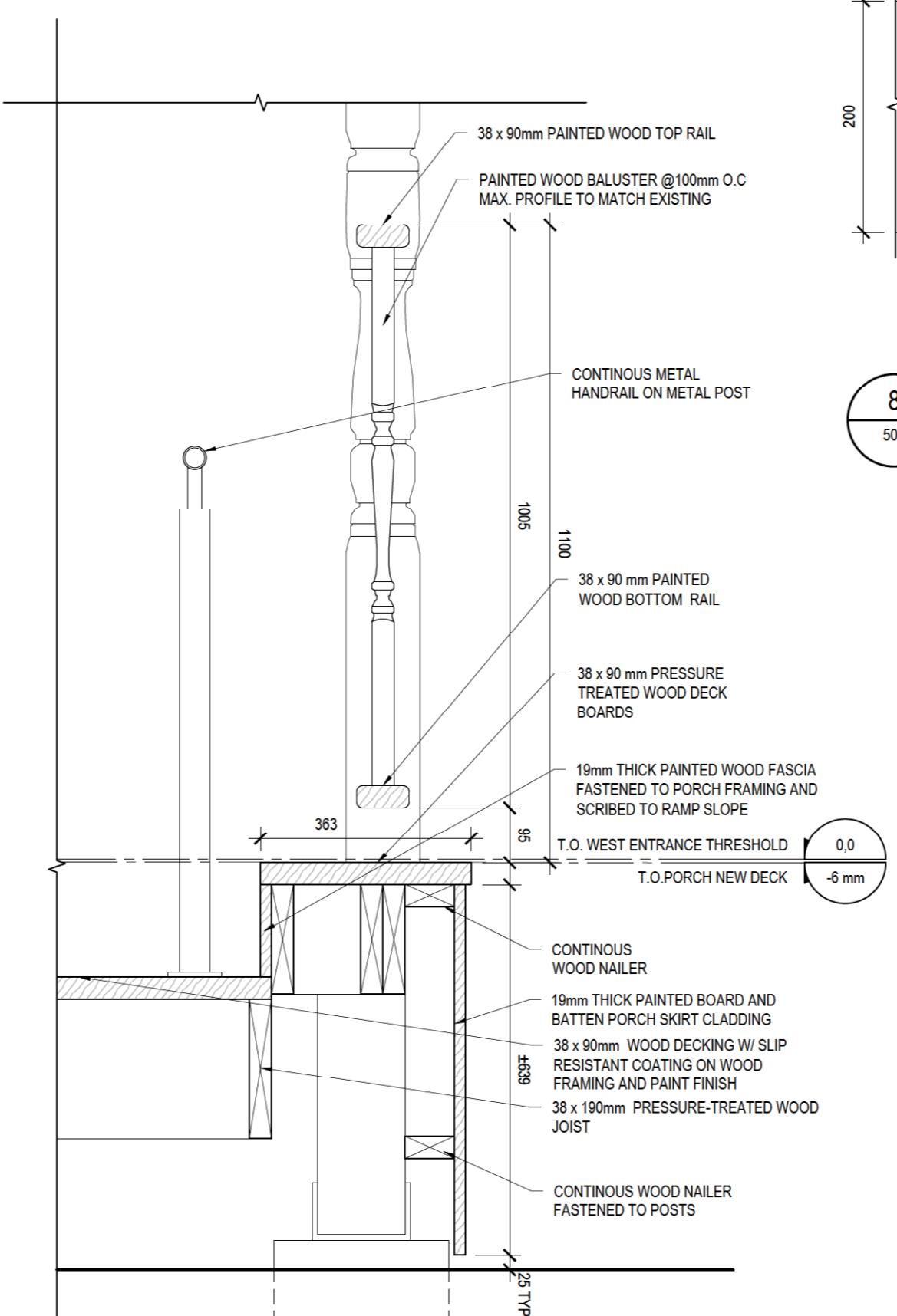
4
503
1:50
PROPOSED RAMP
SECTION ALONG NORTH ELEVATION

2
503
1:50
PROPOSED RAMP
SECTION ALONG NORTH ELEVATION

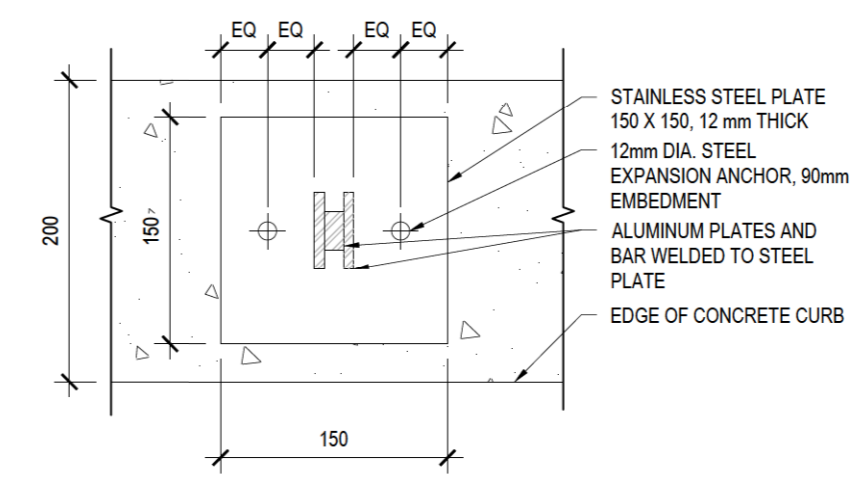


5
503
1:10
PROPOSED RAMP RAILING
SECTION DETAIL

6
503
1:10
PROPOSED RAMP RAILING
ELEVATION DETAIL



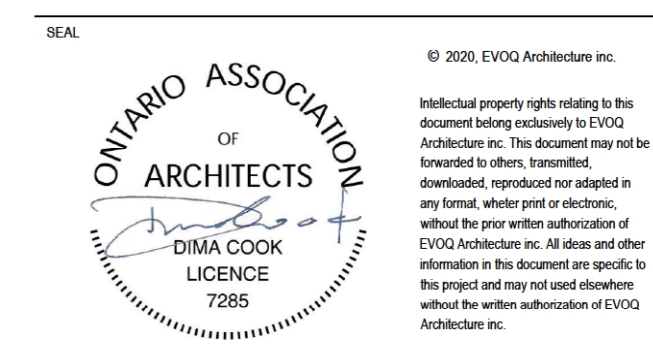
7
503
1:20
PROPOSED RAMP RAILING AND PORCH RAILING DETAILS
SECTION DETAIL



8
503
1:5
NEW GUARD RAIL BASE PLATE
PLAN DETAIL

| Nº | DESCRIPTION | BY | DATE |
|----|------------------------|----|------------|
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| 1 | CLIENT REVIEW | GR | 2020-05-15 |

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PROJECT:
**REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM**

DRAWING TITLE:
RAMP DETAILS

| | | | |
|-------------|-------|-------------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DG/JH | SCALE: | AS NOTED |
| PROJECT Nº: | 9380 | DRAWING Nº: | A503 |

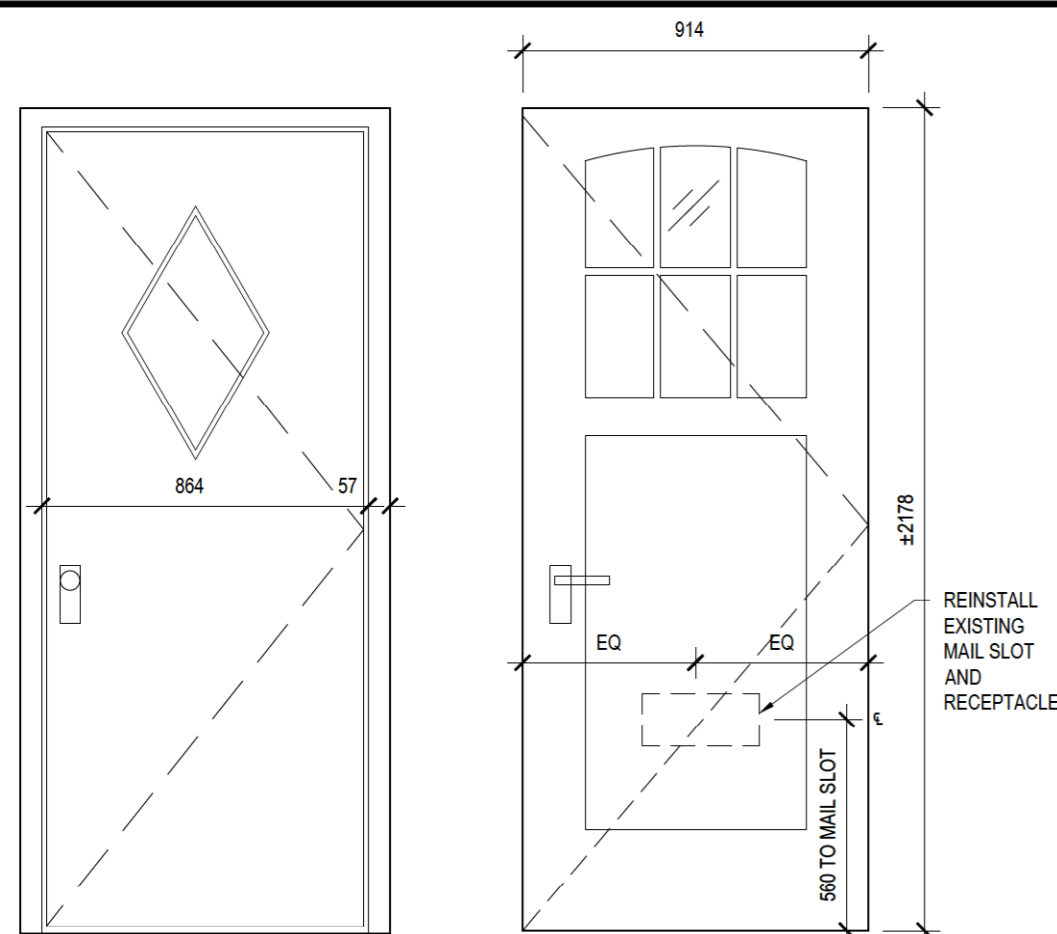
CLIENT:



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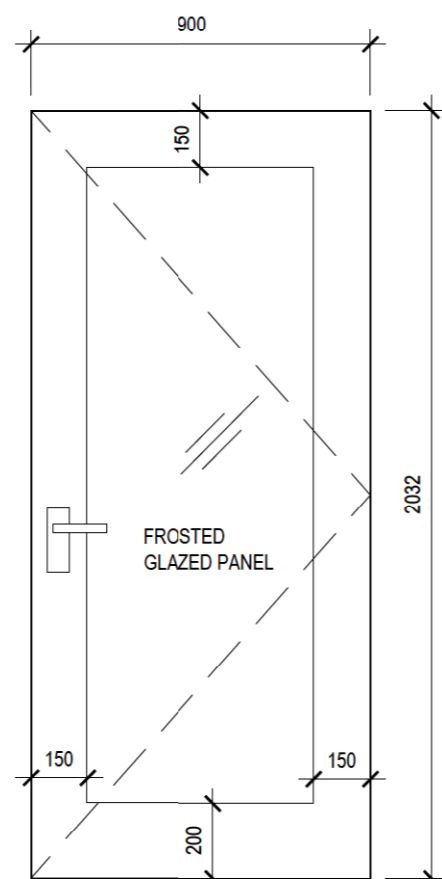
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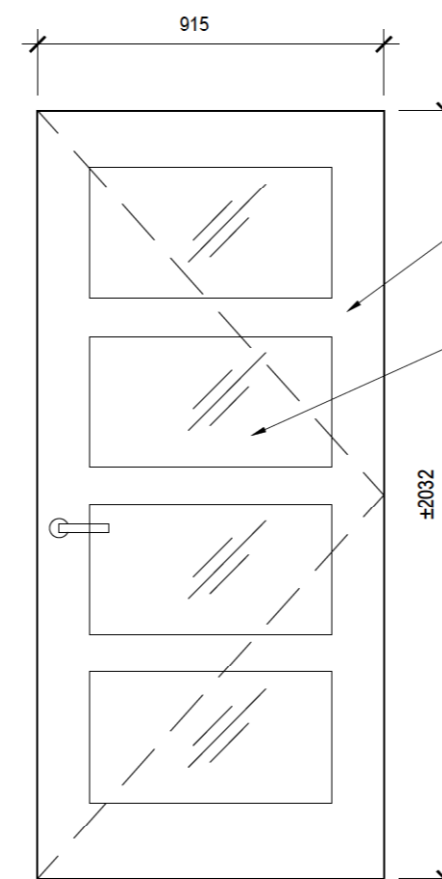
EXISTING WOOD DOOR (FOR RECORDS)

NEW WOOD DOOR

REINSTALL EXISTING MAIL SLOT AND RECEPTACLE

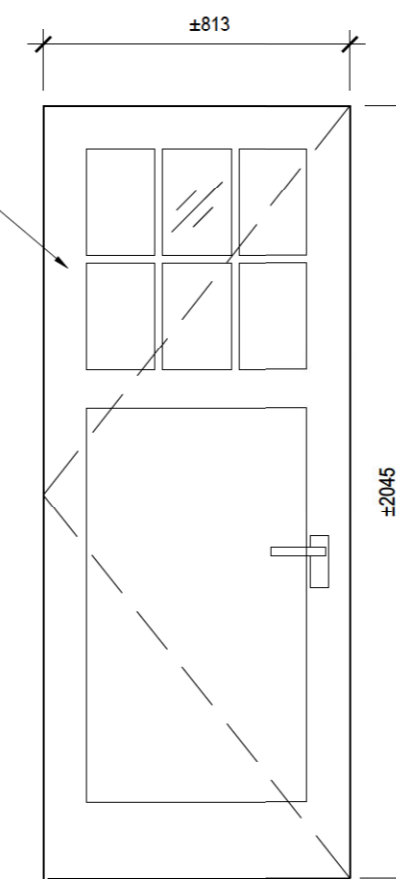


TYPE B
NEW GLAZED INTERIOR WOOD DOOR



TYPE C
NEW GLAZED AND PANELLED INTERIOR WOOD DOOR

STILE WIDTHS TO MATCH EXISTING
FROSTED GLAZED PANELS (TYP)

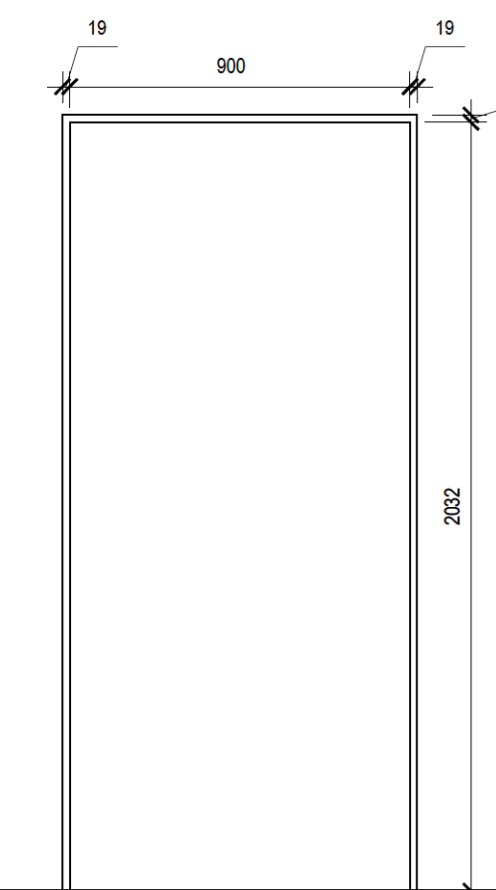


TYPE D
NEW GLAZED AND PANELLED EXTERIOR WOOD DOOR

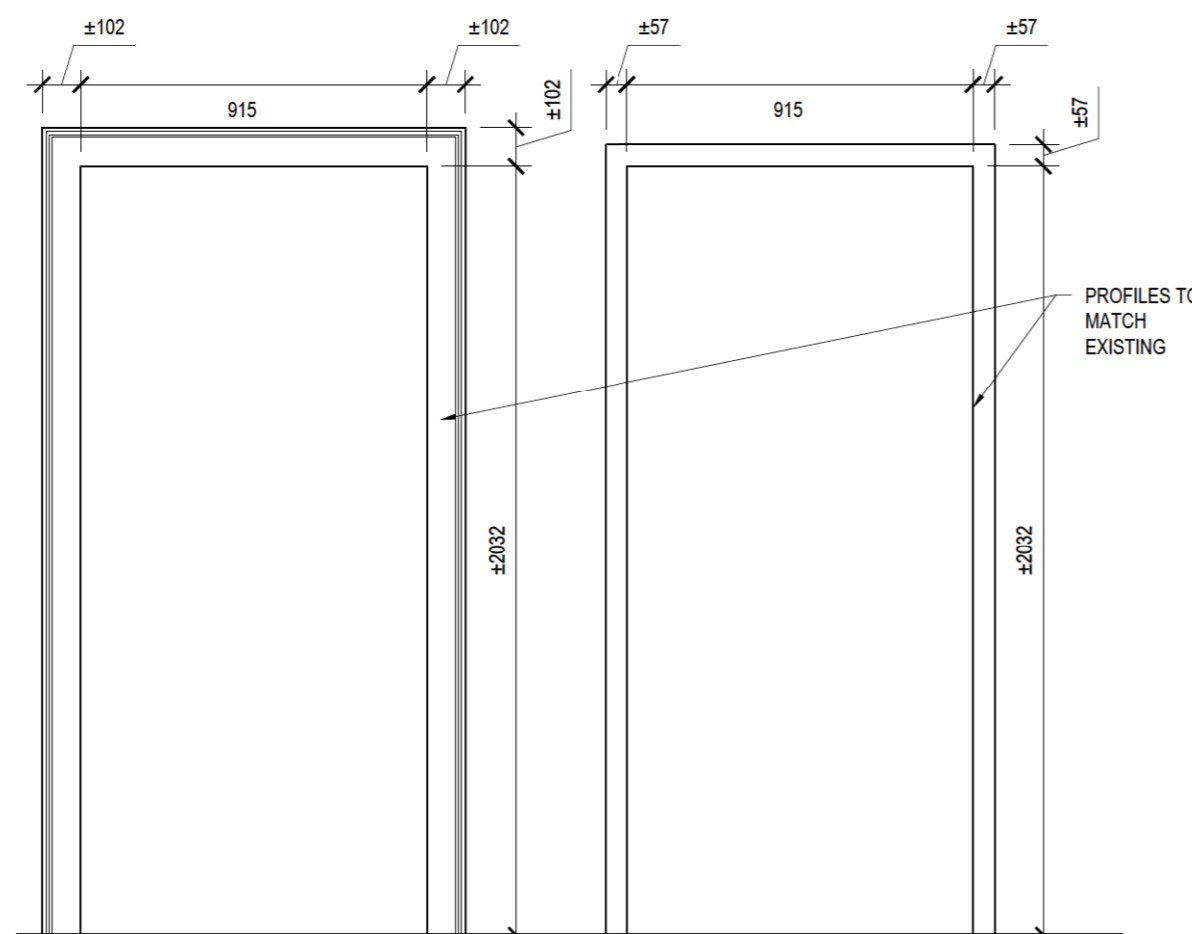
TYPE A
NEW GLAZED AND PANELLED EXTERIOR WOOD DOOR. REINSTALL EXISTING MAIL SLOT.

1 DOOR TYPES

504 1:20



TYPE 1 (INTERIOR AND EXTERIOR)
NEW WOOD FRAME AND TRIM



TYPE 2
NEW WOOD FRAME AND TRIM; PROFILE TO MATCH EXISTING

PROFILES TO MATCH EXISTING

2 DOOR FRAME TYPES

504 1:20

| DOOR SCHEDULE | | | | | | | | | |
|---------------|-------------------|----------|------|-----------|------------|---------|----------|--------|---------------|
| DOOR NUMBER | SIZE | FROM | TO | DOOR TYPE | FRAME TYPE | HANDING | MATERIAL | FINISH | HARDWARE SETS |
| D100A | ±940 x ±2178 x 38 | EXTERIOR | 100A | A | EX | RH | SW | ST | #1 |
| D100 | 900 x 2032 x 38 | 100A | 100 | B | 1 | RH | SW | ST | #2 |
| D101 | 940 x ±2032 x 38 | 100A | 101 | C | 2 | RH | SW | PT | #3 |
| D102 | ±815 x ±2045 x 45 | EXTERIOR | 102 | D | EX | LH | SW | PT | #4 |

ABBREVIATIONS:

RH RIGHT HAND
LH LEFT HAND
RHR RIGHT HAND REVERSE
LHR LEFT HAND REVERSE
SW SOLID WOOD
EX EXISTING TO REMAIN
PT PAINT FINISH
ST STAIN FINISH

HARDWARE SET #1

1 EA LEVER LOCKSET
1 EA ESCUTCHEON
3 EA OFFSET PIVOT HINGES
1 SET WEATHERSTRIPPING
1 EA THRESHOLD
1 EA AUTO DOOR OPERATOR
2 EA PUSH BUTTONS
1 EA ELECTRIC STRIKE C/W WITH REMOTE DOOR RELEASE ACCESS

HARDWARE SET #2

1 EA LEVER LOCKSET
1 EA ESCUTCHEON
3 EA HINGES

HARDWARE SET #3

1 EA LEVER LOCKSET
1 EA ESCUTCHEON
3 EA HINGES

HARDWARE SET #4

1 EA LEVER LOCKSET
1 EA ESCUTCHEON
1 EA THRESHOLD
1 SET WEATHERSTRIPPING
3 EA HINGES

3 DOOR SCHEDULE

504 N.T.S.

| REVISION | DESCRIPTION | BY | DATE |
|----------|------------------------|----|------------|
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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

DOOR DETAILS & DOOR SCHEDULE

| | | | |
|-------------|-------|-------------|------------|
| DESIGN: | JH | APPROVED: | DC |
| DRAWN: | JH | DATE: | 2020-07-08 |
| VERIFIED: | DC/JH | SCALE: | AS NOTED |
| PROJECT N°: | 9380 | DRAWING N°: | A504 |

GENERAL NOTES

A. GENERAL

1. THESE DRAWINGS SHOW STRUCTURAL CONTENT ONLY. SEE DRAWINGS OF OTHER DISCIPLINES FOR LIFE SAFETY, ARCHITECTURAL, MECHANICAL AND ELECTRICAL.
2. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
3. BEFORE PROCEEDING WITH WORK, VERIFY ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ACTUAL DIMENSIONS OF EXISTING STRUCTURE. REPORT ANY DISCREPANCIES TO ENGINEER BEFORE PROCEEDING WITH WORK.
4. ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE METRIC. ALL LEVELS, UNLESS OTHERWISE NOTED, ARE IN mm. DO NOT SCALE DRAWINGS.
5. THESE DRAWINGS SHOW THE COMPLETED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE JOB SITE, AND DESIGN, INSTALLATION AND SUPERVISION OF ALL TEMPORARY BRACING, SHORING, FORM WORK AND FALSE WORK, REQUIRED TO COMPLETE THE WORK.
6. THE USE OF THESE DRAWINGS SHALL BE STRICTLY LIMITED TO THE INSTRUCTIONS IN THE REVISION BLOCK. BUILDING FROM THESE DRAWINGS SHALL PROCEED ONLY WHEN "ISSUED FOR CONSTRUCTION".
7. ANY DAMAGE TO EXISTING BUILDING OR TO NEIGHBOURING PROPERTIES IS NOT PERMITTED. CONTRACTOR IS RESPONSIBLE TO MAKE GOOD ALL UNAVOIDABLE DAMAGE.
8. SHORE ALREADY EXISTING WORK, AND EXISTING STRUCTURE AS REQUIRED UNTIL ALL NEW WORK HAS BEEN COMPLETED AND REVIEWED BY THE CONSULTANT.
9. SHORE FLOORS AS REQUIRED TO SUPPORT CRANES, HOISTS AND OTHER CONSTRUCTION EQUIPMENT, UNTIL COMPLETION OF CONSTRUCTION.
10. CONFORM WITH ALL APPLICABLE CODES AND BY LAWS CONCERNING SAFETY, NOISE AND VIBRATIONS.
11. INFORMATION ABOUT EXISTING BUILDING STRUCTURE IS TRANSFERRED FROM AVAILABLE EXISTING BUILDING DRAWINGS. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN SHOWN EXISTING BUILDING AND ACTUAL CONDITIONS ON SITE.
12. CONTRACTOR IS RESPONSIBLE FOR ALL WORK NOT EXPLICITLY SHOWN, NECESSARY TO ACHIEVE FINAL RESULT SHOWN ON CONTRACT DRAWINGS.

B. ALTERATIONS AND CONNECTIONS TO EXISTING STRUCTURE

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON PLANS AND ASSUME FULL RESPONSIBILITY FOR THE ACCURACY OF CONSTRUCTION.
2. INSPECT THE EXISTING BUILDING AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS.
3. CHECK ALL DRAWINGS AGAINST ACTUAL CONDITIONS ON SITE PRIOR TO FABRICATING ANY REINFORCEMENT, ORDERING ANCHORS, ETC. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

C. CODES AND STANDARDS

1. PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, 2012.
2. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS (LATEST EDITION).

D. MATERIAL AND DESIGN DATA

1. CONCRETE: CONFORM TO THE REQUIREMENTS OF CAN/CSA-A23.1-14 - CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION.

RAMP AND STAIRS: CLASS C-1, $f_c = 32 \text{ MPa}$ AT 28 D.

CONCRETE MAY CONTAIN UP TO 50% OF FLY ASH (ASTM C618) OR GROUND GRANULATED BLAST FURNACE SLAG (ASTM C989) PROVIDED THAT CONCRETE SUPPLIER CERTIFIES THAT REQUIREMENTS FOR CONCRETE CLASS AND COMPRESSIVE STRENGTH SPECIFIED ABOVE ARE MET. CONTRACTOR SHALL ARRANGE FOR CONCRETE QUALITY TESTING AS PER CAN CSA A23.2-04.

2. CONCRETE REINFORCEMENT: CONFORM TO CSA G30.18, MIN. $f_y = 400 \text{ MPa}$.

E. ENVIRONMENTAL DATA AND LOADS

ENVIRONMENTAL DESIGN DATA FOR TORONTO

SNOW 1/50: $S_s = 0.9 \text{ kPa}$
 RAIN 1/50: $S_r = 0.4 \text{ kPa}$

LIVE LOAD 4.8 kPa

F. SITE REVIEW RESPONSIBILITIES

1. OJDROVIC ENGINEERING (OE) WILL PROVIDE GENERAL REVIEW OF CONSTRUCTION IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION OF PROFESSIONAL ENGINEERS OF ONTARIO BY MEANS OF A RATIONAL SAMPLING PROCEDURE TO DETERMINE WHETHER THE CONSTRUCTION OF THAT WORK SHOWN ON THE OE DRAWINGS IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWING AND SPECIFICATIONS FORMING PART OF THE CONTRACT DOCUMENTS PREPARED BY OE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL AND THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT.
3. OE SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

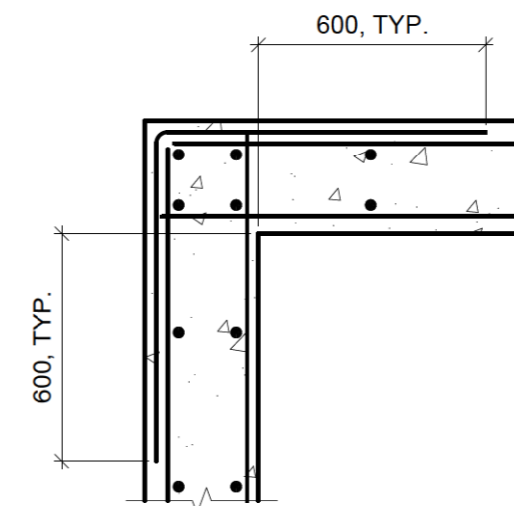
G. SHOP DRAWINGS REVIEW

1. BEFORE ORDERING, CUTTING OR ASSEMBLING ANY MATERIAL, PREPARE SHOP DRAWINGS AS REQUESTED IN CONTRACT DOCUMENTS AND REQUEST REVIEW BY ENGINEER.
2. REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. SUCH REVIEW DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS OR FOR COMPLIANCE WITH CONTRACT DOCUMENTS.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INFORMATION PERTAINING TO THE FABRICATION PROCESS, TECHNIQUES OF CONSTRUCTION AND INSTALLATION, AND FOR COORDINATION OF THE WORK OF ALL SUB-TRADES.

CONSTRUCTION NOTES

A. CONCRETE AND REINFORCEMENT

1. ALL DOWELS SHALL HAVE A MINIMUM EMBEDMENT EQUIVALENT TO THE STRAIGHT TENSION EMBEDMENT LENGTH CORRESPONDING TO THE SIZE OF BAR. DOWELS FROM WALLS TO SLABS SHALL HAVE A MINIMUM EMBEDMENT OF 600 mm INTO WALLS AND SLABS UNLESS OTHERWISE NOTED OR SHOWN.
2. PROVIDE DOWELS TO WALLS AND COLUMNS SIMILAR IN NUMBER, SIZE AND SPACING TO THE VERTICAL STEEL IN THE WALL OR COLUMN ABOVE UNLESS OTHERWISE NOTED OR SHOWN.
3. PROVIDE CORNER BARS AS PER 1/S001 TO MATCH HORIZONTAL WALL REINFORCEMENT AT ALL WALL CORNERS.
4. PREPARE AND SUBMIT FOR REVIEW, REINFORCEMENT DRAWINGS IN ACCORDANCE WITH RSIC MANUAL OF STANDARD PRACTICE, PRIOR TO FABRICATING REINFORCEMENT.
5. CONSTRUCTION JOINTS:
 - A) HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE MADE IN BEAMS OR WALLS UNLESS SHOWN ON DRAWINGS OR REVIEWED AND APPROVED BY THE CONSULTANT.
 - B) VERTICAL CONSTRUCTION JOINTS MAY BE MADE ONLY AT POINTS OF MINIMUM BENDING MOMENT IN BEAMS OR SLABS UNLESS OTHERWISE NOTED OR SHOWN AND THEIR LOCATION SHALL BE REVIEWED AND APPROVED BY THE CONSULTANT.
6. CONTROL JOINTS:
 - A) UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS BELOW GRADE SHALL HAVE CONTROL JOINTS AT 6000 mm MAXIMUM.
 - B) UNLESS NOTED OTHERWISE, ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS AT 6000 mm MAXIMUM. CUT CONTROL JOINTS AS SOON AS SLAB ON GRADE WILL SUPPORT THE SAW WITHOUT DAMAGE TO SLAB.
7. OPENINGS, SLEEVES, EMBEDDED DUCTS:
 - A) NO SLEEVES SHALL BE PLACED VERTICALLY OR HORIZONTALLY THROUGH BEAMS UNLESS REVIEWED AND APPROVED BY THE CONSULTANT.
 - B) NO OPENINGS SHALL BE MADE IN FLAT PLATES OR FLAT SLAB COLUMN STRIPS EXCEPT AS SHOWN ON PLANS OR UNLESS REVIEWED AND APPROVED BY THE CONSULTANT.
8. FOR MINIMUM CONCRETE COVER TO REINFORCEMENT SEE TABLE 17 IN CSA-A23.1-04.
9. MINIMUM CONCRETE COVER TO REINFORCEMENT FOR ALL CONCRETE EXPOSED TO DE-ICING CHEMICALS: 60 mm.
10. COORDINATE AND PROVIDE INSERTS, ANCHOR BOLTS AND ALL CONNECTIONS WITH OTHER TRADES AS REQUIRED.
11. FOR EXACT LOCATION OF SUMP PITS AND MECHANICAL AND ELECTRICAL INSERTS SEE MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS.
12. REQUEST REVIEW OF PLACED REBAR BEFORE POURING ANY CONCRETE. PROVIDE MIN. 48 HOUR NOTICE TO ENGINEER.
13. INSPECTION AND TESTING OF CONCRETE AND CONCRETE MATERIALS WILL BE CARRIED OUT BY TESTING LABORATORY DESIGNATED BY THE OWNER IN ACCORDANCE WITH CSA A23.1/A23.2.
14. INSPECTION OR TESTING BY CONSULTANT WILL NOT AUGMENT OR REPLACE CONTRACTOR QUALITY CONTROL NOR RELIEVE CONTRACTOR OF HIS CONTRACTUAL RESPONSIBILITY.



1 CONCRETE WALL CORNER DETAIL
 S001 SCALE 1:20

ARCHITECTS:



366 ADELAIDE ST. EAST, SUITE 225
 TORONTO (ONTARIO) M5A 3X9
 T: 647-723-2030

CLIENT:



STRUCTURAL ENGINEER



4195 Dundas St. W., Suite 233, Toronto ON M9X 1Y4
 T 416.925.0333 F 416.925.3980 www.ojdrovic.com

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REVISION:

THE GENERAL CONTRACTOR :

1. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
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3. SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
4. ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, MAY BE USED FOR CONSTRUCTION.

SFAI



PROJECT:

REESOR NORTH OFFICE
 ACCESSIBILITY IMPROVEMENTS
 10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

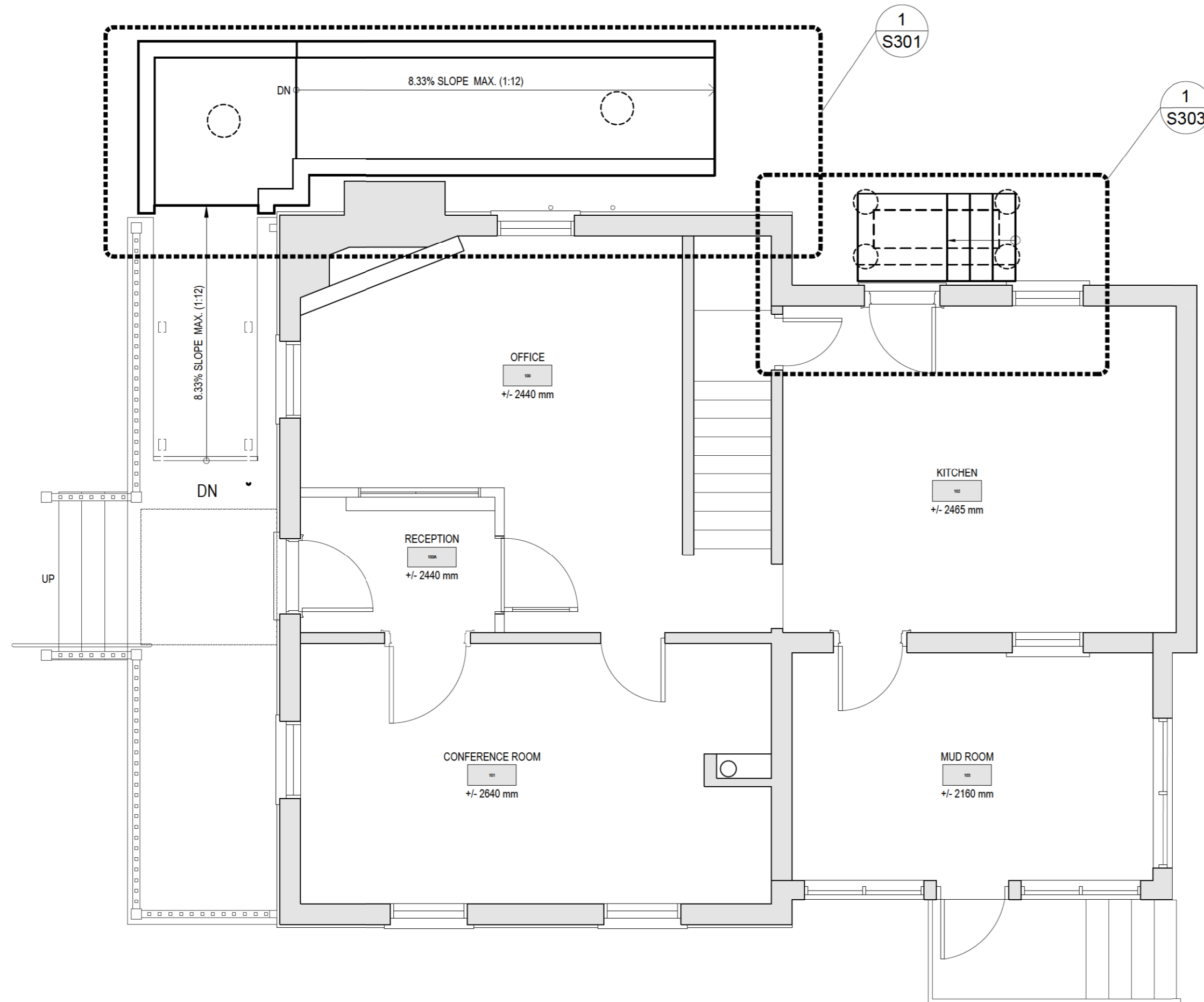
GENERAL NOTES AND TYPICAL
 DETAILS

DESIGN: GS APPROVED: GS

DRAWN: AK DATE: 2020-08-25

VERIFIED: GS SCALE: N/A

PROJECT Nº: 9380 DRAWING Nº: S001



1
S101 GROUND FLOOR PLAN
SCALE 1:50

CLIENT:



STRUCTURAL ENGINEER



4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
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PROJECT:
REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:
GROUND FLOOR PLAN

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| DESIGN: | GS | APPROVED: | GS |
| DRAWN: | AK | DATE: | 2020-08-25 |
| VERIFIED: | GS | SCALE: | AS NOTED |

PROJECT N°: 9380 DRAWING N°: S101

ARCHITECTS:

EVOO

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T: 647-723-2030

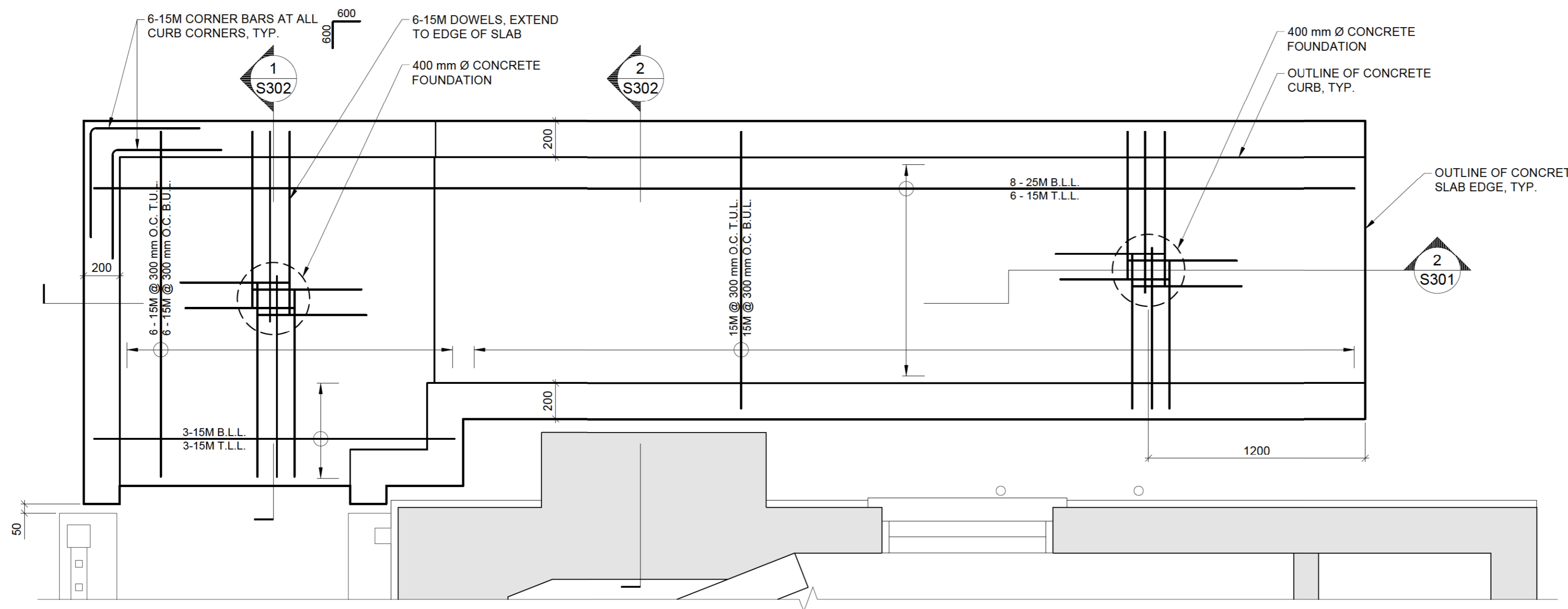
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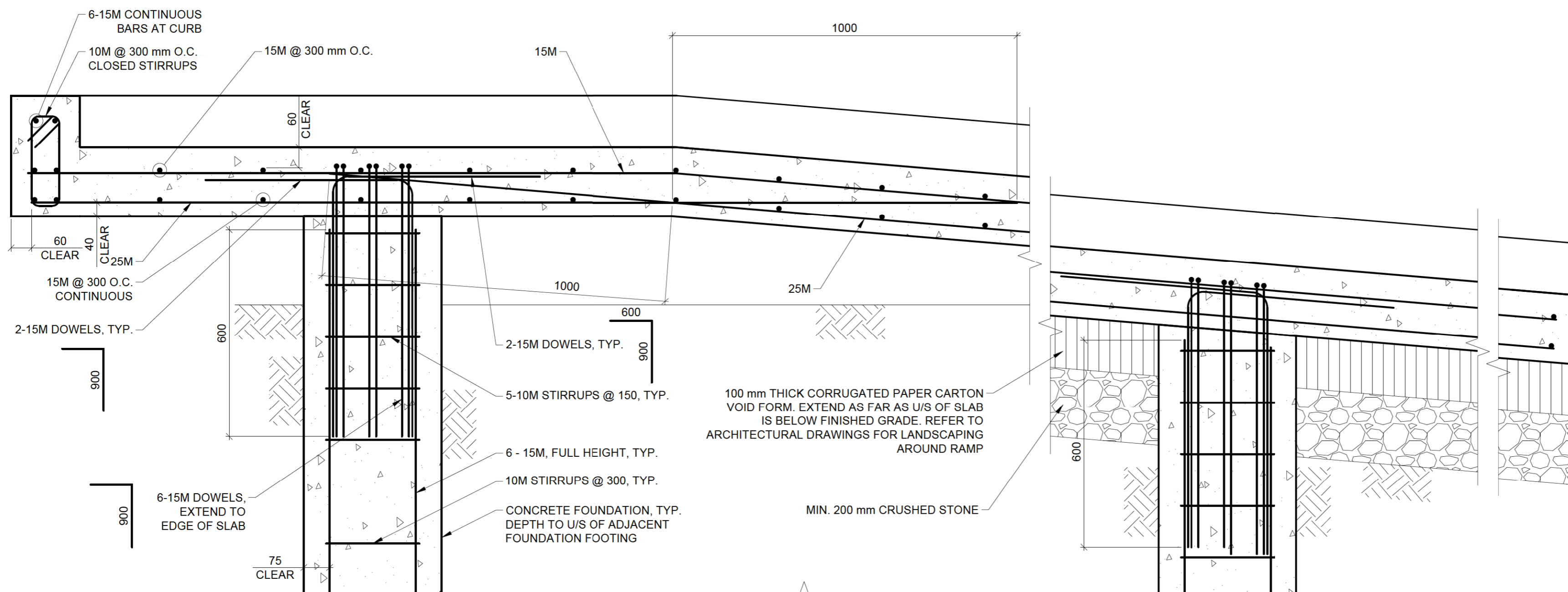
STRUCTURAL ENGINEER

ojdrovic engineering

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
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1 CONCRETE RAMP - PARTIAL PLAN DETAIL
S301 SCALE 1:20



2 CONCRETE RAMP
S301 SCALE 1:10

| Ø | ISSUED FOR TENDER | GS | NOV. 25-2020 |
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| Nº | DESCRIPTION | BY | DATE |
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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

CONCRETE RAMP DETAILS

DESIGN: GS APPROVED: GS

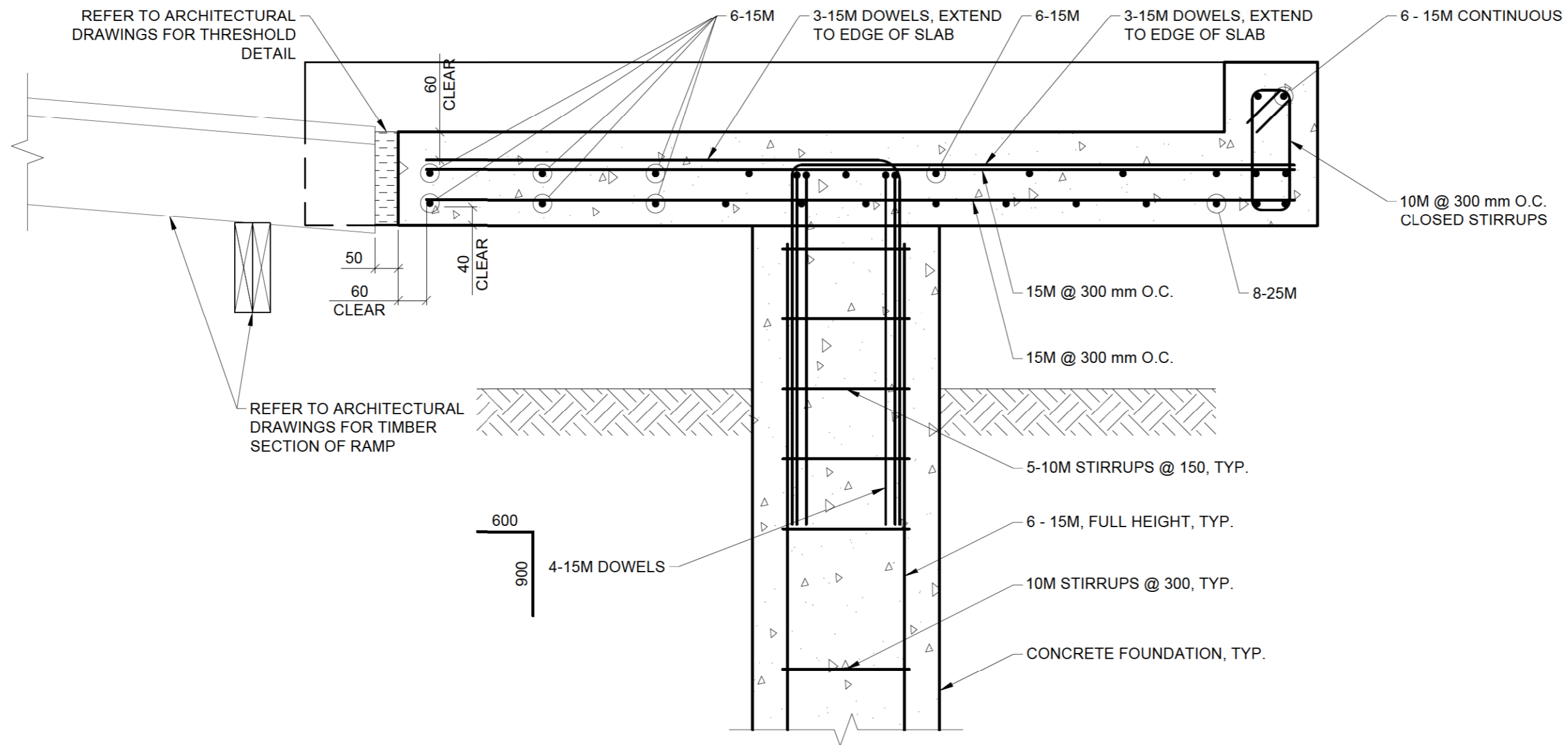
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VERIFIED: GS SCALE: AS NOTED

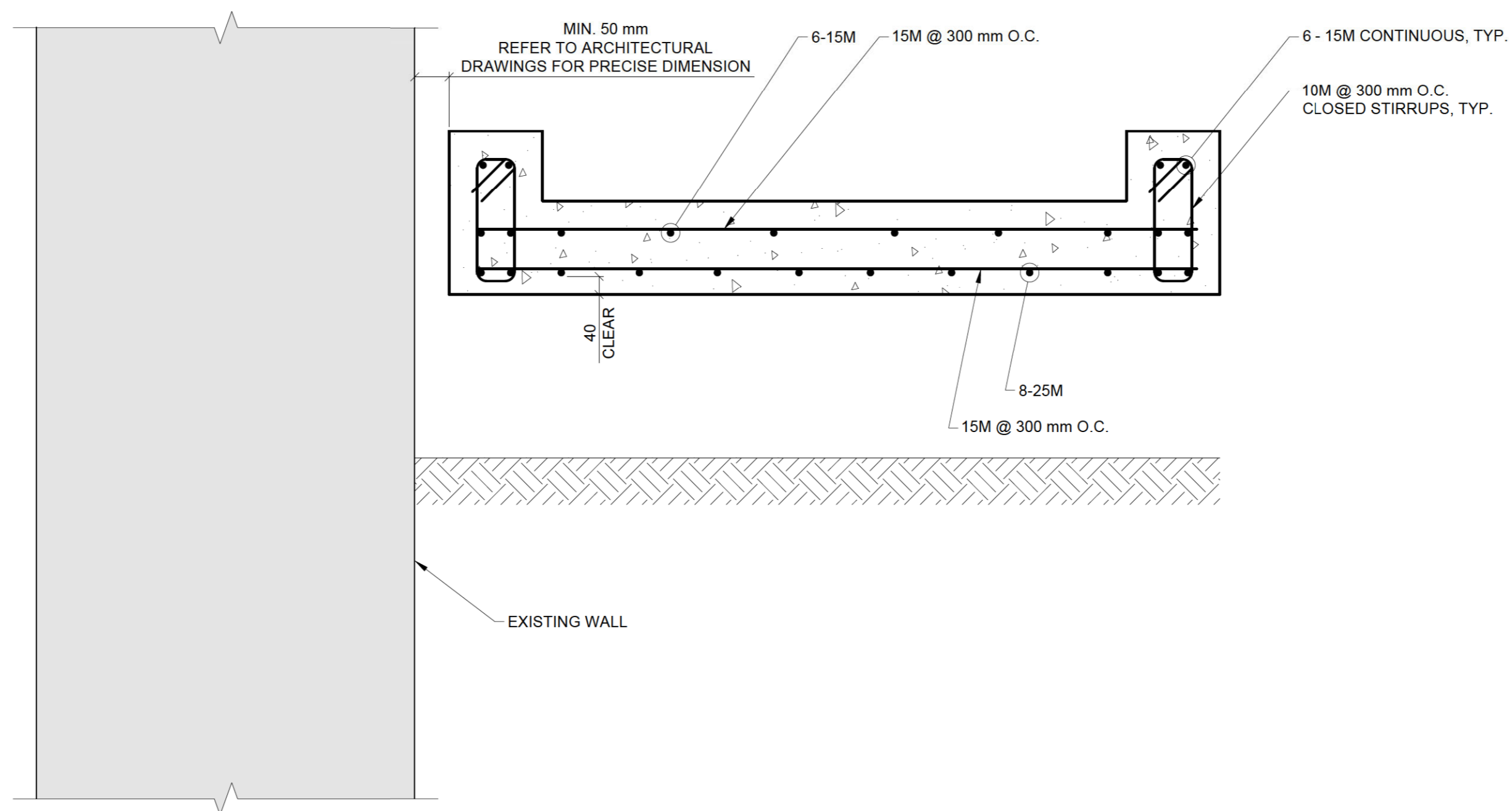
PROJECT Nº: DRAWING Nº:

9380

S301



1 CONCRETE RAMP
S302 SCALE 1:10



2 CONCRETE RAMP
S302 SCALE 1:10



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| Nº | DESCRIPTION | BY | DATE |
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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

CONCRETE RAMP DETAILS

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PROJECT Nº: 9380 DRAWING Nº: S302

ARCHITECTS:

EVOO

366 ADELAIDE ST. EAST, SUITE 225
TORONTO (ONTARIO) M5A 3X9
T: 647-723-2030

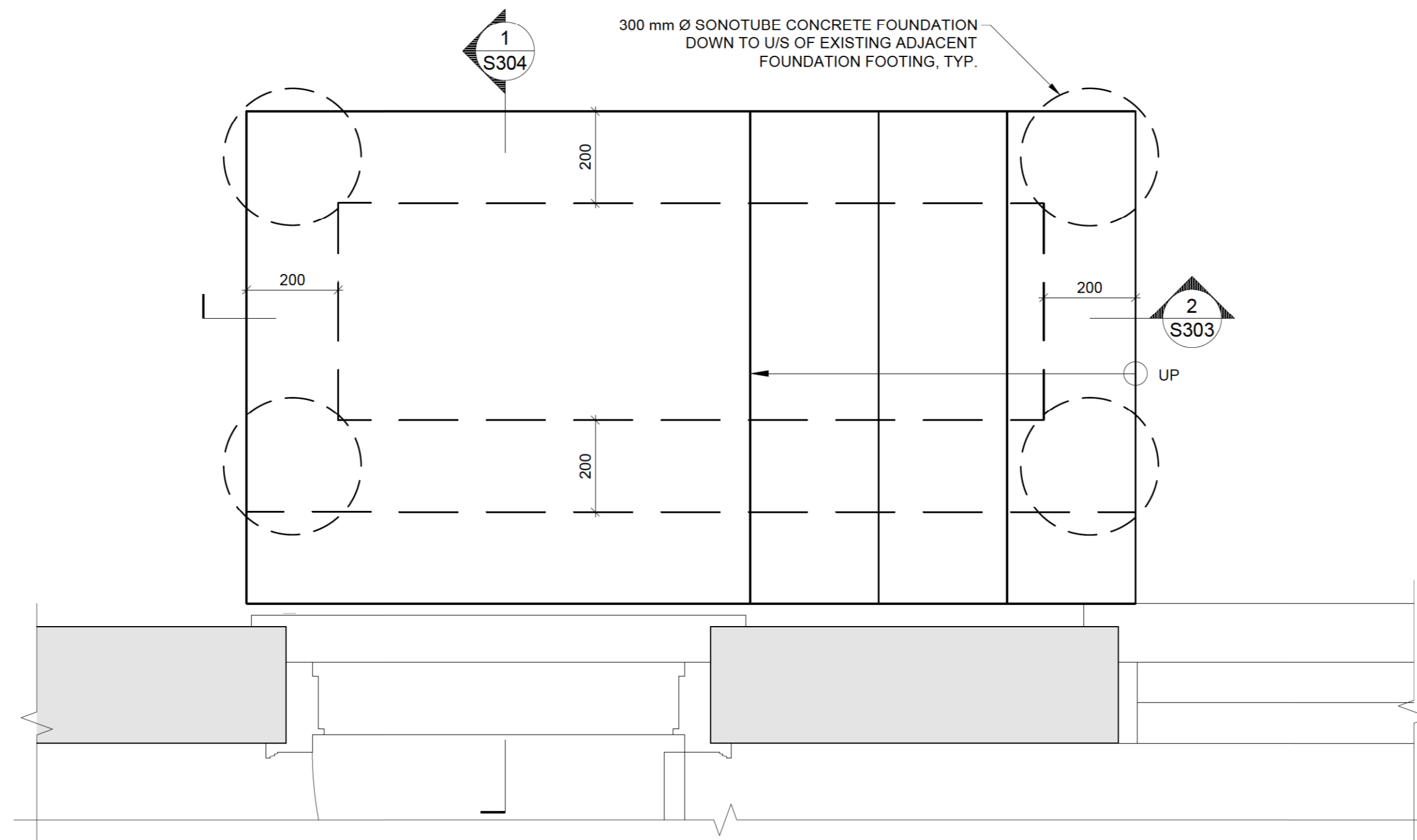
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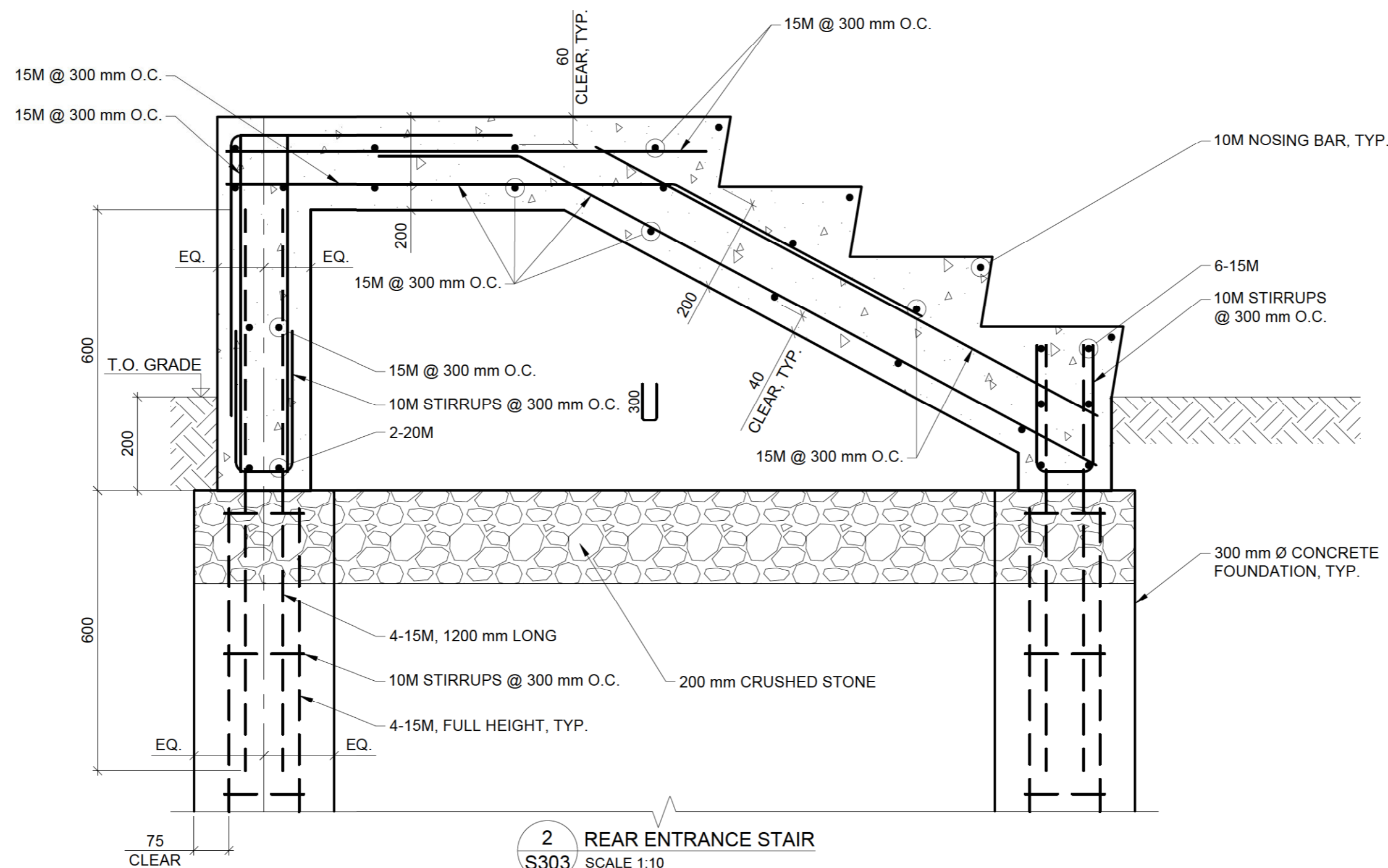
STRUCTURAL ENGINEER

ojdrovic engineering

4195 Dundas St. W., Suite 233, Toronto ON MX8 1Y4
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1 REAR ENTRANCE STAIR - PLAN
S303 SCALE 1:10



2 REAR ENTRANCE STAIR
S303 SCALE 1:10

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PROJECT:

REESOR NORTH OFFICE
ACCESSIBILITY IMPROVEMENTS
10725 REESOR ROAD, MARKHAM

DRAWING TITLE:

REAR ENTRANCE STAIR DETAILS

DESIGN: GS APPROVED: GS

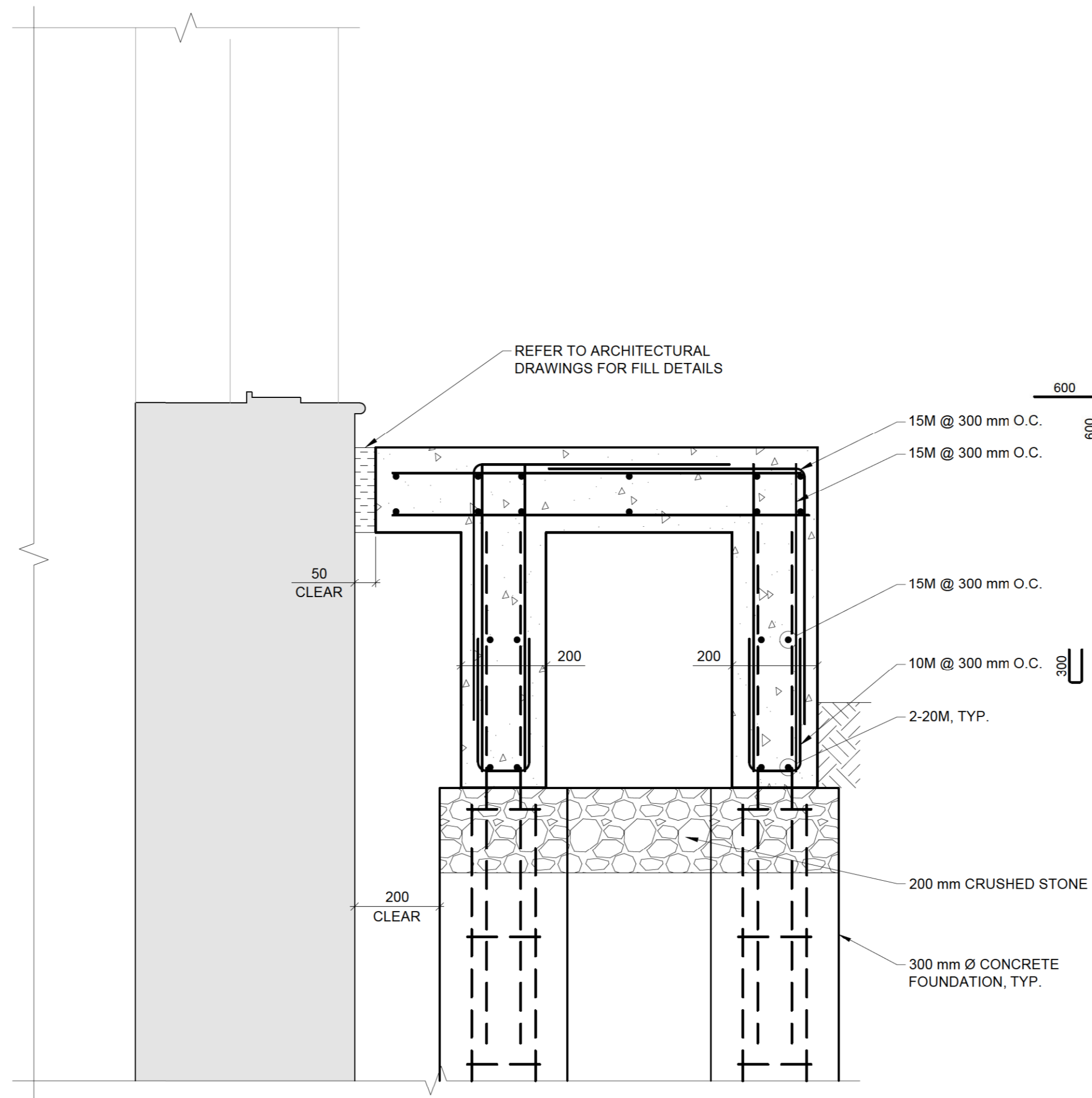
DRAWN: AK DATE: 2020-08-25

VERIFIED: GS SCALE: AS NOTED

PROJECT Nº: DRAWING Nº:

9380

S303



1 REAR ENTRANCE STAIR
S304 SCALE 1:10



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PROJECT:
REESOR NORTH OFFICE
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10725 REESOR ROAD, MARKHAM

DRAWING TITLE:
REAR ENTRANCE STAIR DETAILS

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