

FORMER TERRITORIAL COURTHOUSE NHSC

PHASE 2.3 STRUCTURAL & ROOF UPGRADE:

ISSUED FOR TENDER 2021-01-29



Prime Consultant & Architect
RATIO ARCHITECTURE INTERIOR DESIGN PLANNING INC

ARCHITECTURAL DRAWING LIST

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Structural Consultant
STANTEC

STRUCTURAL DRAWING LIST

- S001 GENERAL NOTES
- S002 DESIGN TABLES
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- S501 SECTION DETAILS
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- S601 DIAGRAMS
- S701 ISOMETRIC VIEW



Revision/	ISSUED FOR PHASE 2.3 TENDER	2021-01-29
Revision	Description/Description	Date/Date

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessine par

HS / DFT C Rincon / SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

COVER SHEET

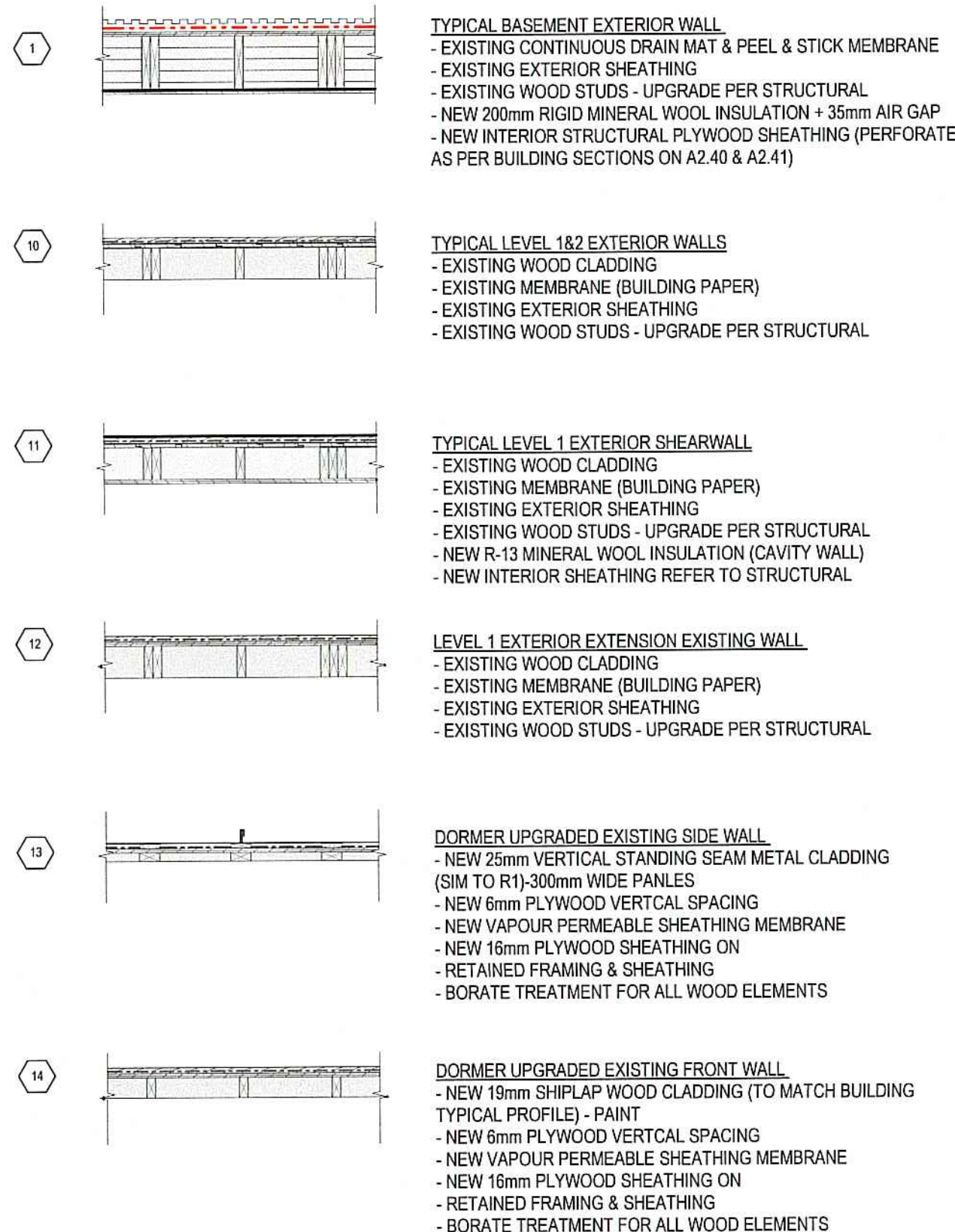
Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.000	1

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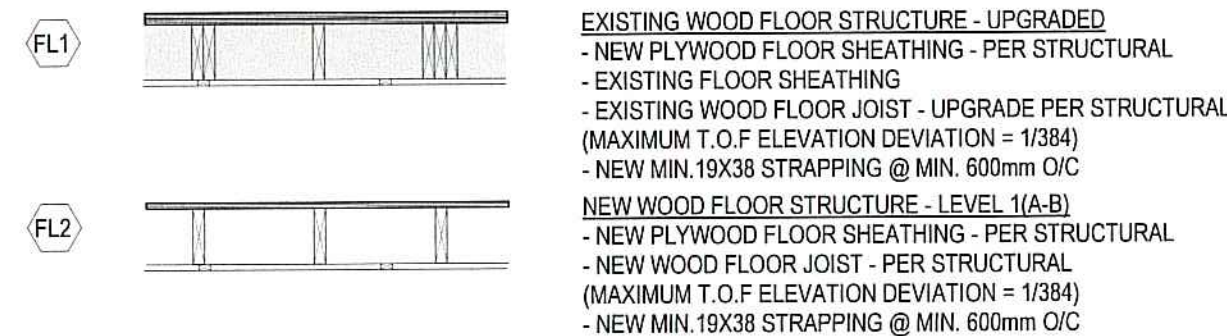
RATIO

PROJECT NO: 4053

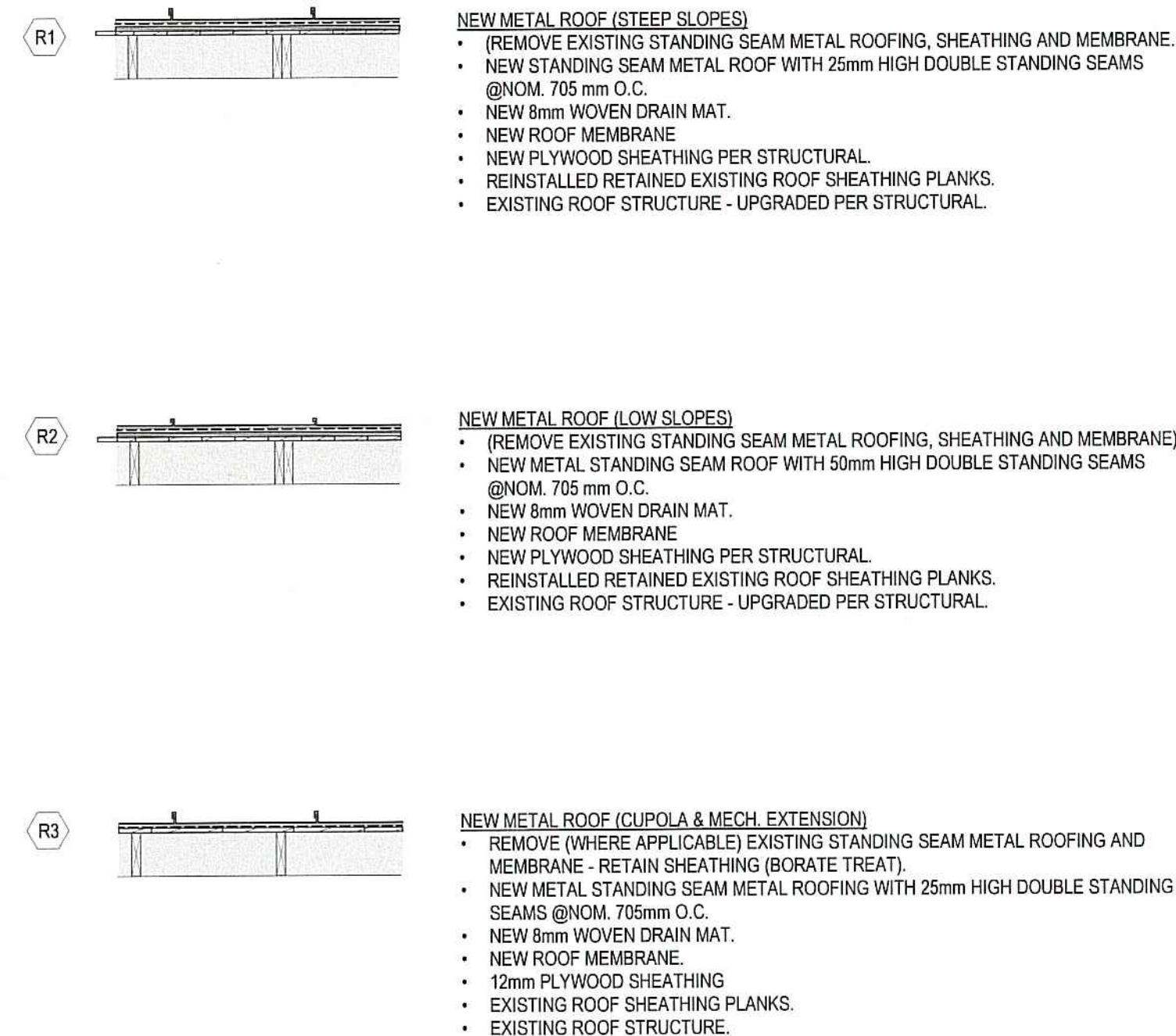
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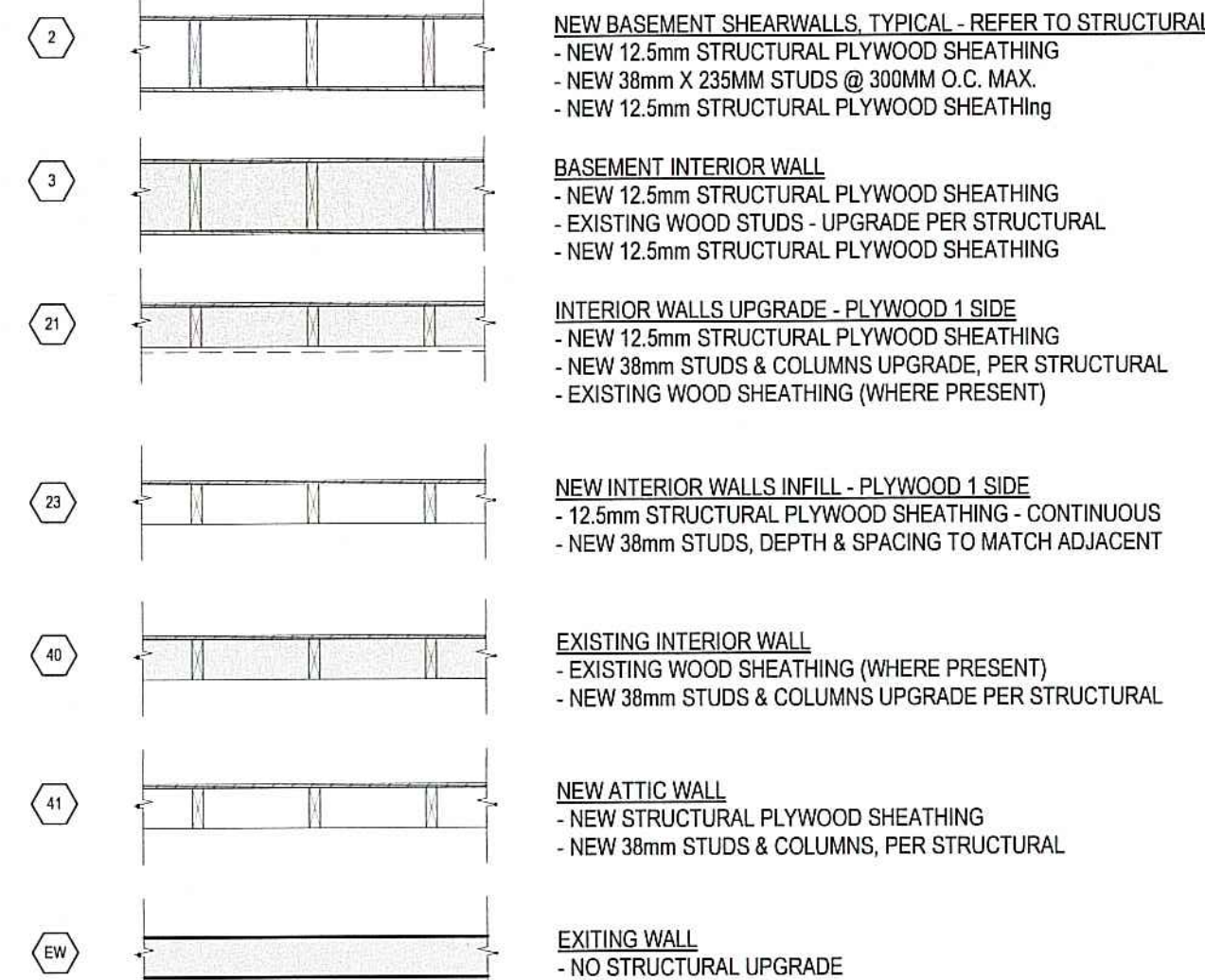
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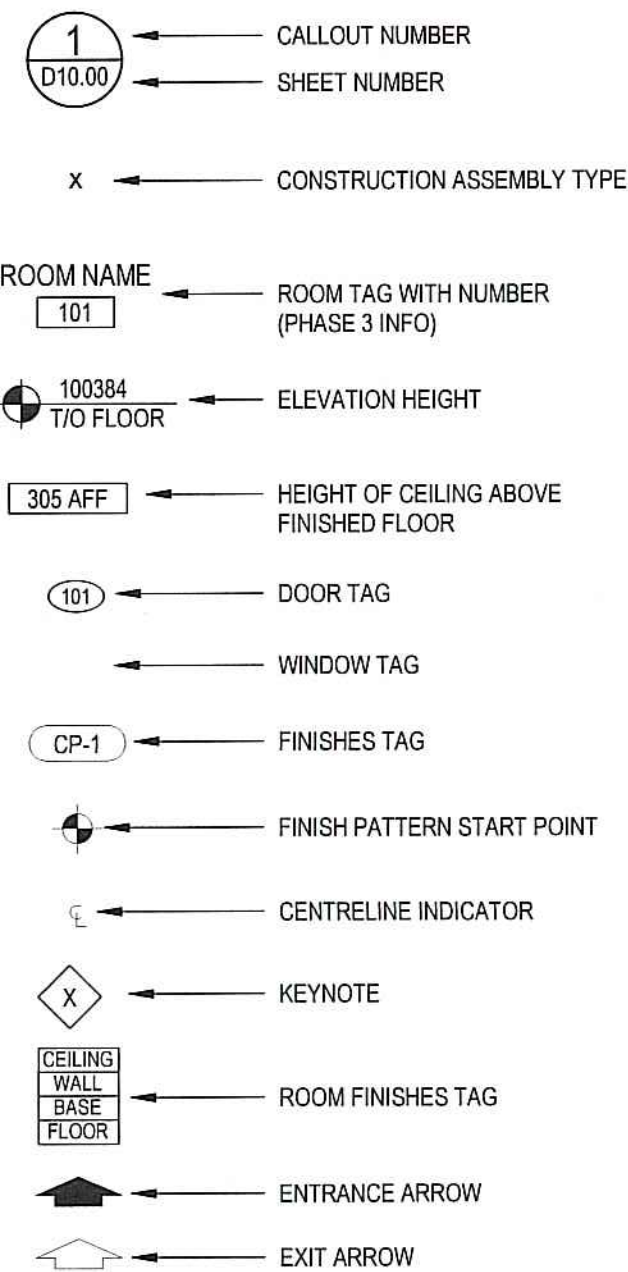
ROOF ASSEMBLIES



INTERIOR WALLS



GENERAL SYMBOL LEGEND



TYPICAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	HB	HOSE BIB
AHJ	AUTHORITIES HAVING JURISDICTION	M OR (m)	METRE
BIS	BOTH SIDES	MM OR (mm)	MILLIMETRES
BCBC	BRITISH COLUMBIA BUILDING CODE (CURRENT EDITION)	P-T	PRESSURE TREATED
BF	BARRIER FREE	PL	PROPERTY LINE
CW	COMPLETE WITH	RD	ROOF DRAIN
CJ	CONTROL JOINT	RP	ROCK PIT
CL	CENTRE LINE	RWL	RAIN WATER LEADER
CLR	DENOTES 'CLEAR' DIMENSION REQUIRED	SC	SMALL CAR
CONC	CONCRETE	SM	SQUARE METRES
DW	DRYWALL	T/O	TOP OF
FRL	FINISH FLOOR LINE	TYP	TYPICAL
FRR	FIRE RESISTANCE RATING	UIS	UNDERSIDE
		UNO	UNLESS NOTED OTHERWISE
		W	WITH
		WD	WOOD

GENERAL ARCHITECTURAL NOTES:

- REFER TO THE SPECIFICATIONS DIVISION 1 FOR THE SPECIFIC GENERAL REQUIREMENTS OF THE WORK.
- ALL ARCHITECTURAL WORK SHALL BE UNDERTAKEN IN COORDINATION WITH STRUCTURAL WORK. ENSURE THE PROPER SEQUENCING OF ALL WORK TO MINIMIZE THE DISRUPTION OF THE EXISTING BUILDING FABRIC.
- COORDINATE ALL STRUCTURAL & ARCHITECTURAL DIMENSIONS & DETAILS TOGETHER, AND ADVISE THE DEPARTMENTAL REPRESENTATIVE OF ANY DISCREPANCIES BEFORE COMMENCING THE WORK.
- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE DEPARTMENTAL REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE DESIGN BEFORE COMMENCING THE WORK.
- PERFORM THE WORK, AT A MINIMUM, IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA 2015 AS ADAPTED BY THE GOVERNMENT OF YUKON. OBTAIN A BUILDING PERMIT FROM THE GOVERNMENT OF YUKON, AND OTHER PERMITS AS APPLICABLE FOR THE WORK. PERMIT FEES SHALL BE BORNE BY THE CONTRACTOR.
- REFER TO DRAWING SHEETS A2.112 TO A2.116 AND SPECIFICATIONS APPENDIX D FOR PHOTO DOCUMENTATION OF COURTHOUSE EXISTING CONDITIONS. NOTE TYPICAL REQUIREMENTS FOR THE PROTECTION OF HERITAGE ELEMENTS.
- FLOOR LEVEL ELEVATIONS SHOWN ON DRAWINGS ARE NOMINAL ONLY. REFER TO ACTUAL SITE CONDITIONS AND CONFIRM ELEVATION DATA.
- FIRE WATCH: PROVIDE FULL-TIME FIRE WATCH WHEN THE FIRE ALARM SYSTEM IS DISABLED. PROVIDE A FIRE ALARM SYSTEM IMPAIRMENT PLAN FOR APPROVAL BY THE DEPARTMENTAL REPRESENTATIVE BEFORE COMMENCING WORK. REFER TO SECTION 28.31.01 - FIRE ALARM SYSTEMS FOR SPECIFIC REQUIREMENTS.

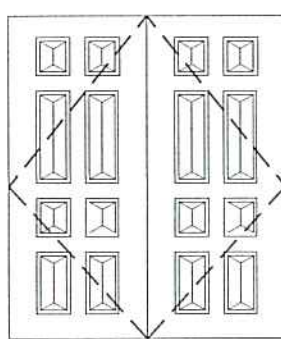
ARCHITECTURAL HERITAGE NOTES:

- THE FORMER TERRITORIAL COURTHOUSE (AKA THE COURTHOUSE) IS A FEDERAL CLASSIFIED HERITAGE BUILDING, AND PART OF A NATIONAL HISTORIC SITE.
- REFER TO SPECIFICATION SECTION 01.11.55 - GENERAL INSTRUCTIONS, PART 1.3.2.5 HERITAGE - SPECIAL CONDITIONS FOR THE RETENTION AND PROTECTION OF THE COURTHOUSE'S HERITAGE VALUE.
- RETENTION OF HERITAGE VALUE: REFER TO SECTION 01.14.00 - WORK RESTRICTIONS, PART 1.5 FOR THE EXPECTED STANDARD OF CARE.
- PROTECTION OF HERITAGE ELEMENTS: REFER TO SECTION 01.51.00 - TEMPORARY FACILITIES, PART 1.2 FOR THE PROTECTION OF HERITAGE ELEMENTS, INCLUDING THE PROVISION OF A HERITAGE PROTECTION PLAN FOR APPROVAL BY THE DEPARTMENTAL REPRESENTATIVE BEFORE COMMENCING THE WORK.
- REPAIR OF HERITAGE ELEMENTS DAMAGED IN THE COURSE OF THE WORK: REFER TO SECTION 01.14.00 - WORK RESTRICTIONS PART 1.6 FOR REQUIRED REPAIR PROCEDURES, AT THE DIRECTION OF THE DEPARTMENTAL REPRESENTATIVE, AT NO COST TO THE OWNER.
- FOR THE DORMERS, SOFFITS, ROOF FASCIA AT GUTTERS AND FRONT DOOR REHABILITATION, REFER TO SECTION 06.03.20 - CONSERVATION TREATMENT FOR PERIOD FINISH CARPENTRY.
- REFER ALSO TO THE DEMOLITION NOTES ON DRAWING SHEETS A2.212 TO A2.217.

DOOR SCHEDULE										
NO	LEAF QTY	DOOR						GLAZING TYPE	HDW SET NO	REMARKS
		WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH			
100	PAIR	2 x 735	2230	45	1	WD	PNTD	-	1	WEST MAIN ENTRY / OWNER SUPPLIED DOORS.

DOORS

PANEL TYPE



Consultant

RATIO

PROJECT NO: 4053

Seal



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1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

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Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

C Rincon

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

OVERALL SITE PLAN

Project No./No. du projet

PRO 842

Sheet/Feuille

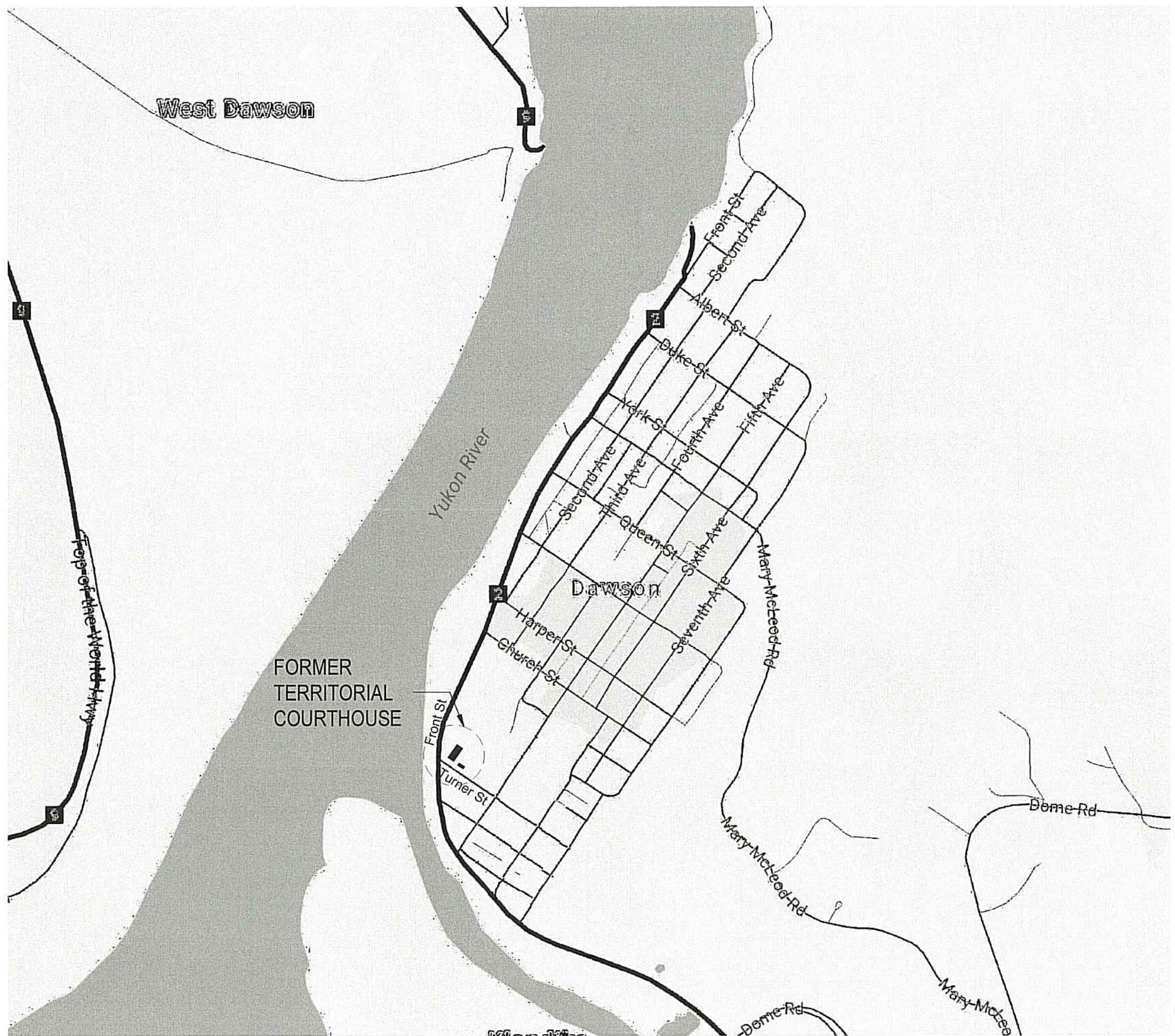
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Revision no./

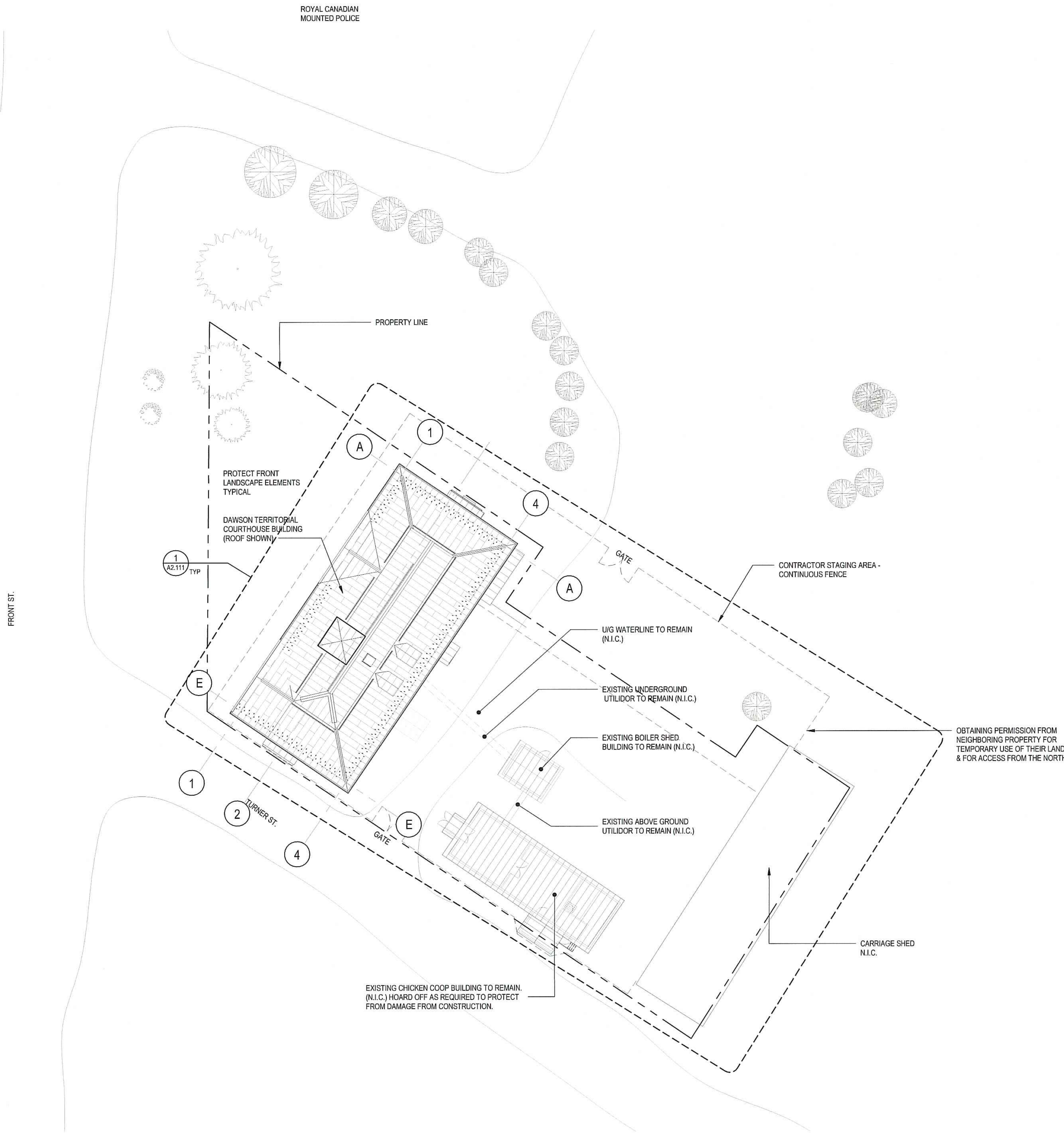
La Révision

no.

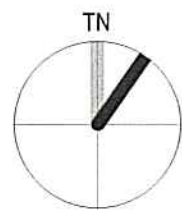
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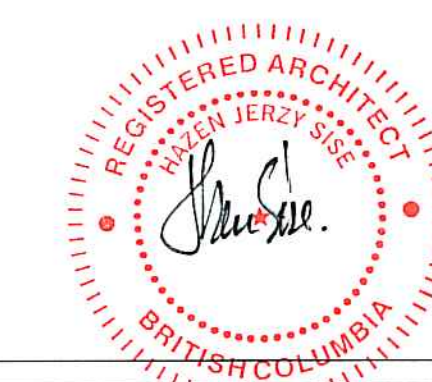
1 LOCATION MAP
A2.110 1:250



2 OVERALL SITE PLAN
A2.002 1:250



NORTH



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Hazen Sise

Drawn by/Dessiné par

C Rincon / SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing Title/Titre du dessin

PHASE 2

SITE PLAN

Project No./No. du projet

PRO 842

Sheet/Feuille

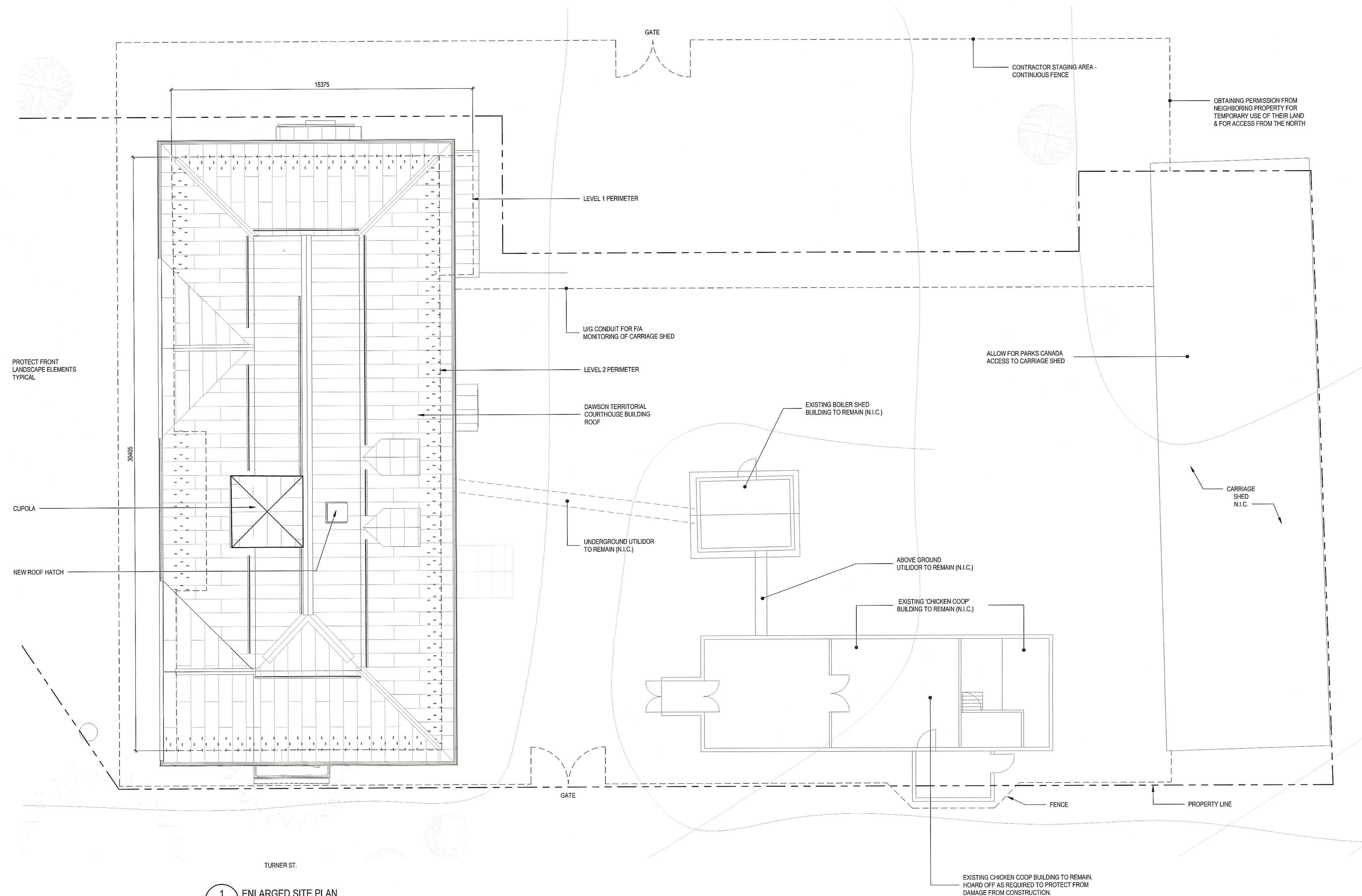
A2.111

Revision no./

La Révision

no.

1



1 ENLARGED SITE PLAN
A2.111 1: 100



1 EXISTING PHOTOGRAPH



2 EXISTING PHOTOGRAPH



3 EXISTING PHOTOGRAPH



4 EXISTING PHOTOGRAPH

PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

- PROTECT DECORATIVE SCROLLWORK & LETTERING IN TWO (2) PEDIMENTS
- TEMPORARILY REMOVE, RETAIN AND REINSTALL GUTTERS AND DIVERSERS, RETAIN DOWNSPIPE IN PLACE TYP.
- PROTECT WOOD COLUMNS, MOULDINGS, BALUSTRADES & RAILS
- PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS



5 EXISTING PHOTOGRAPH



6 EXISTING PHOTOGRAPH



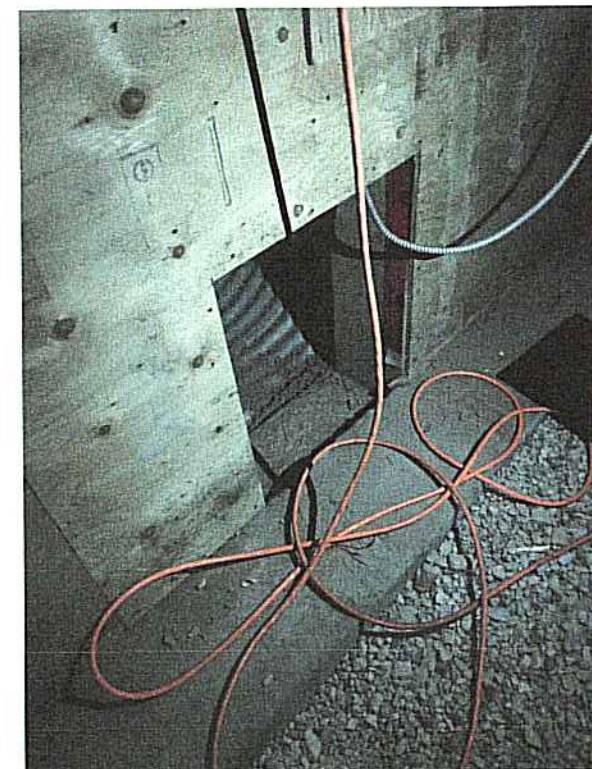
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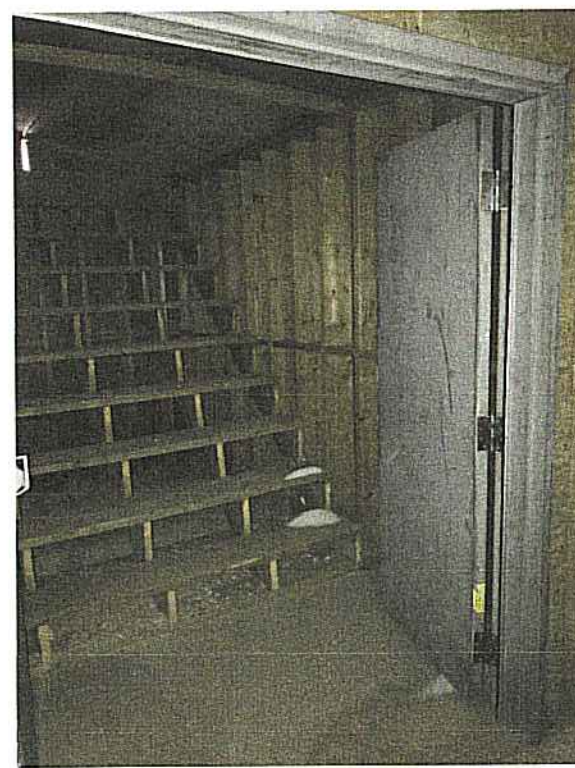
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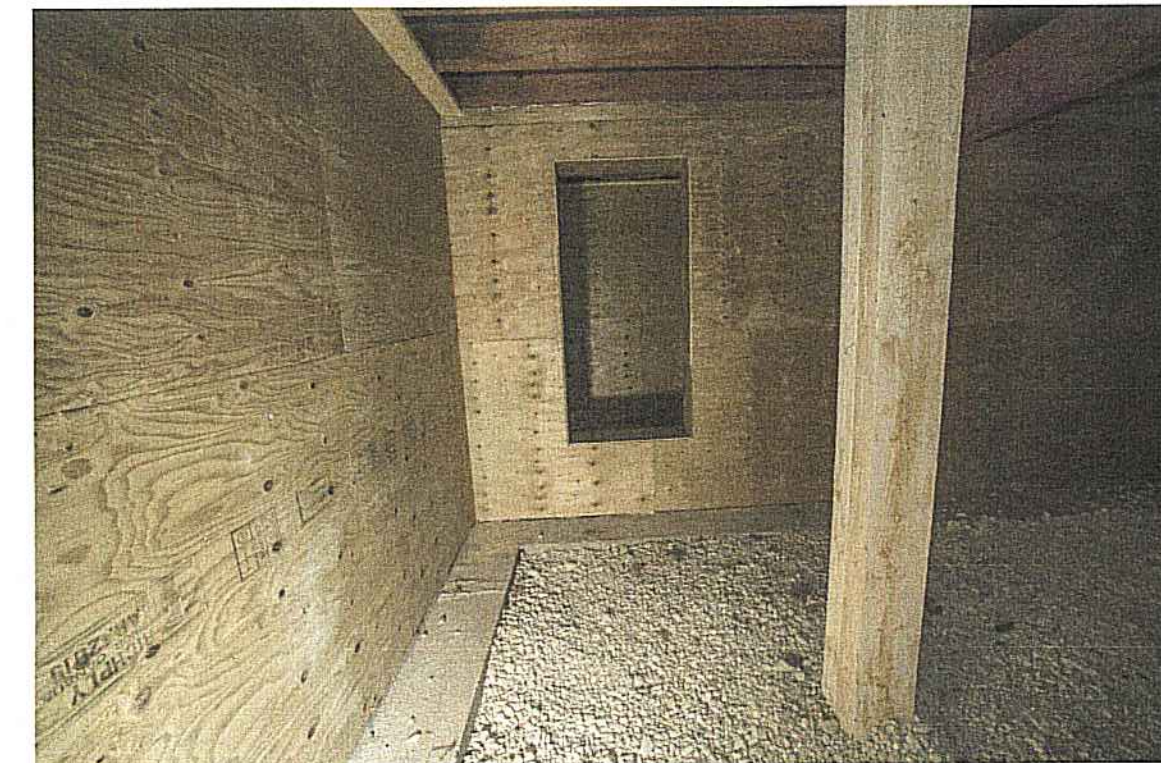
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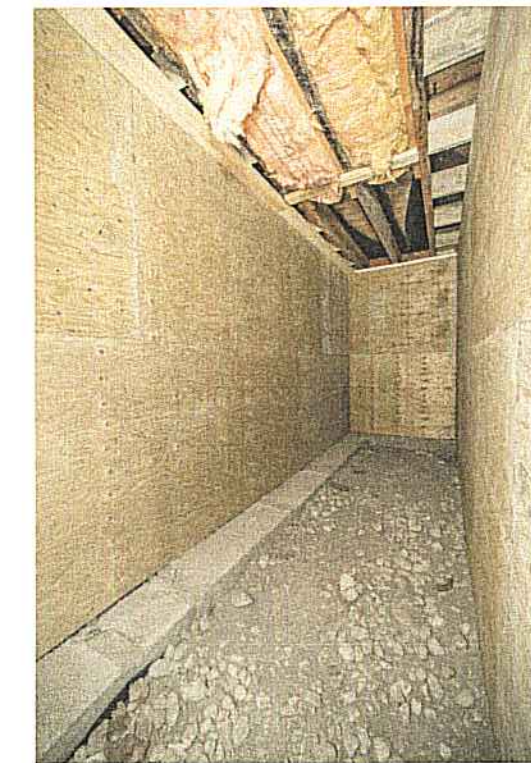
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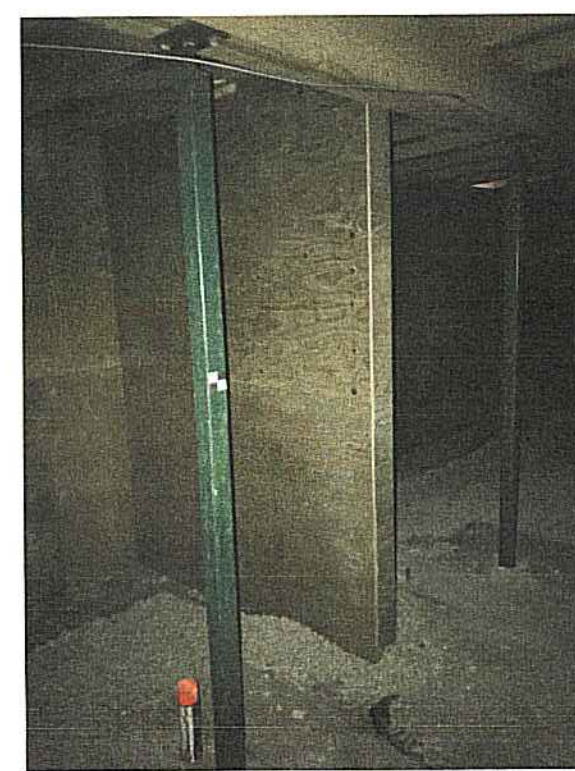
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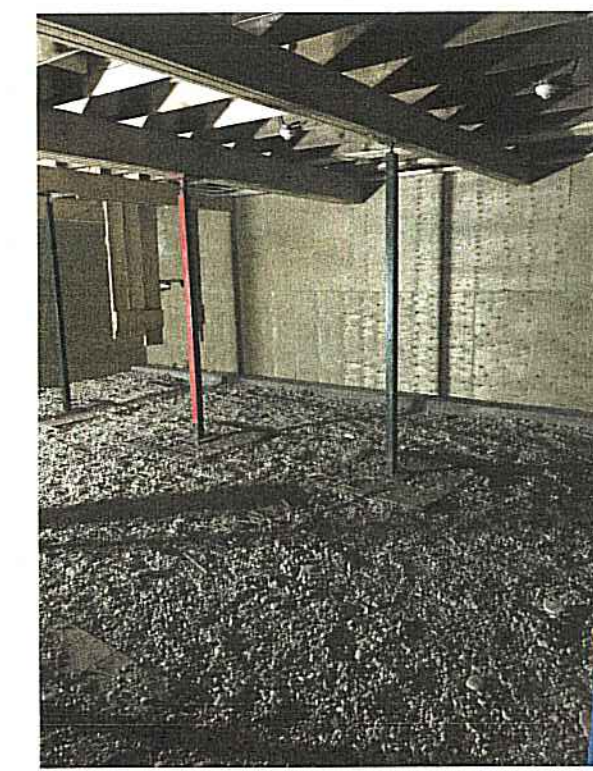
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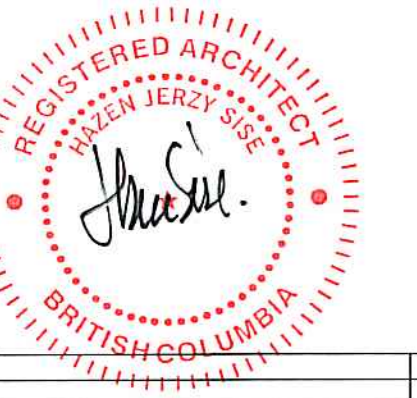


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NOTE: THESE IMAGES INDICATE
THE GENERAL EXISTING CONDITION
OF THE DAWSON TERRITORIAL
COURTHOUSE INTERIORS, NOT THE
SUM TOTALITY OF THE WORK -
REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS
(TYPICAL)

Seal



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**301 FRONT STREET
DAWSON, YT Y0B 1G0**

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise
Drawn by/Dessine par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

**PHASE 2
EXISTING PICTURES -
EXTERIOR & BASEMENT**

Project No./No. du projet	Sheet / Feuille	Revision no./ La Révision no.
PRO 842	A2.112	1



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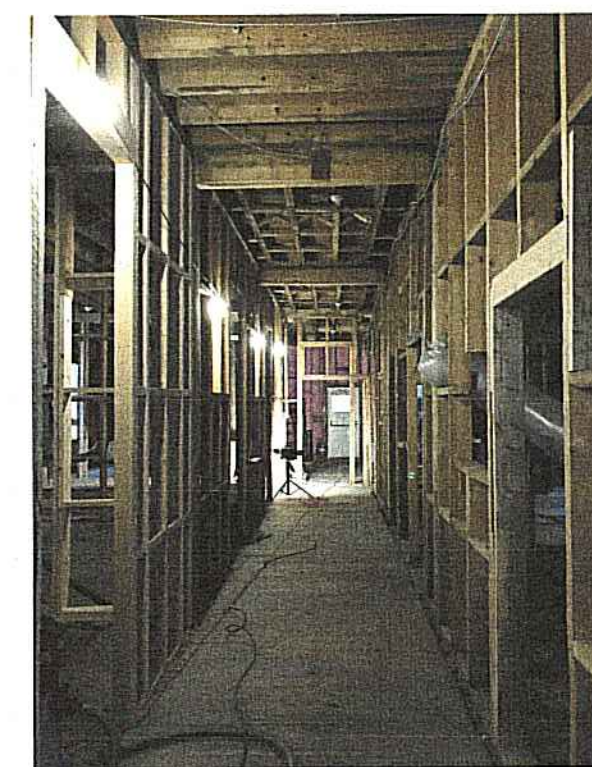
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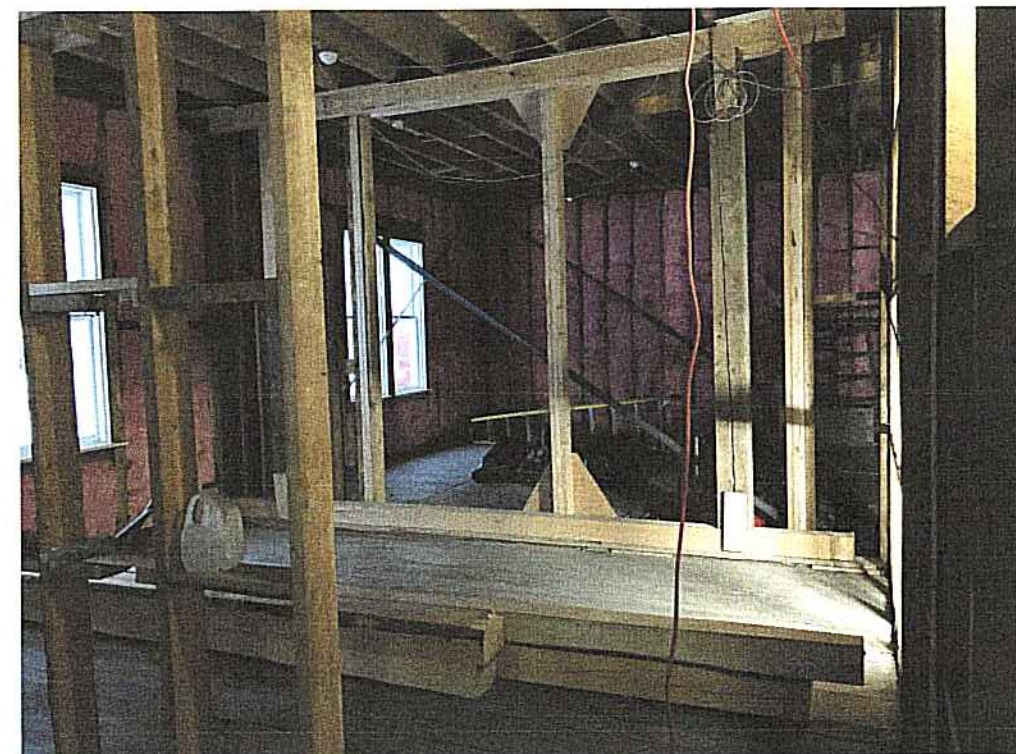
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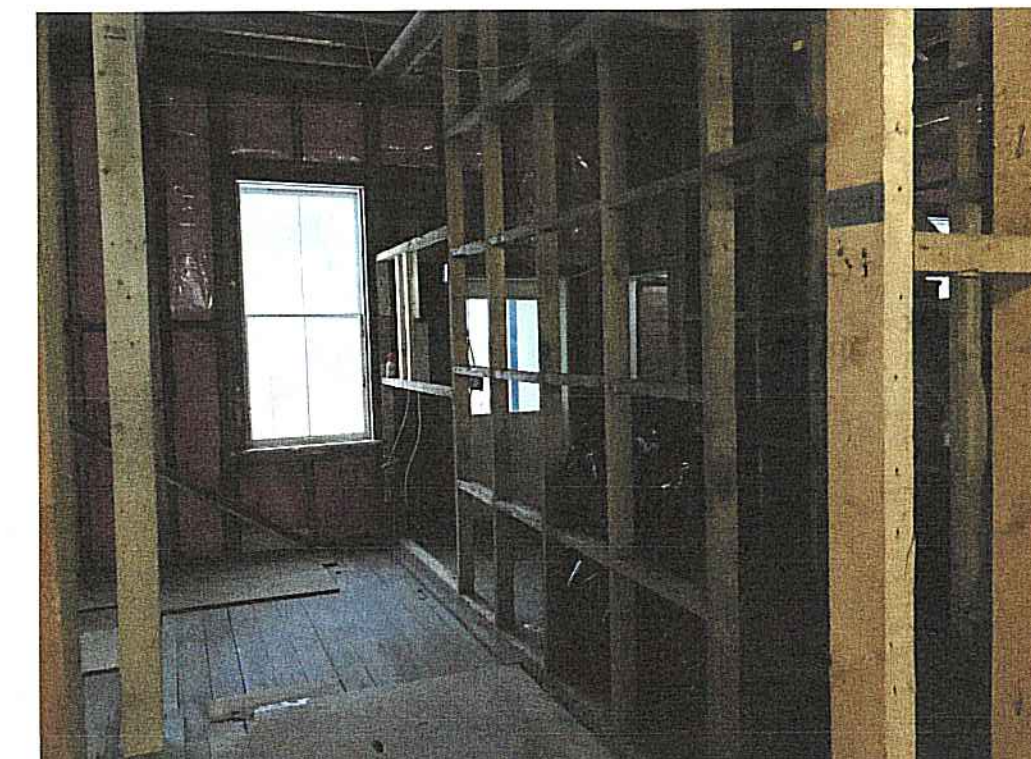
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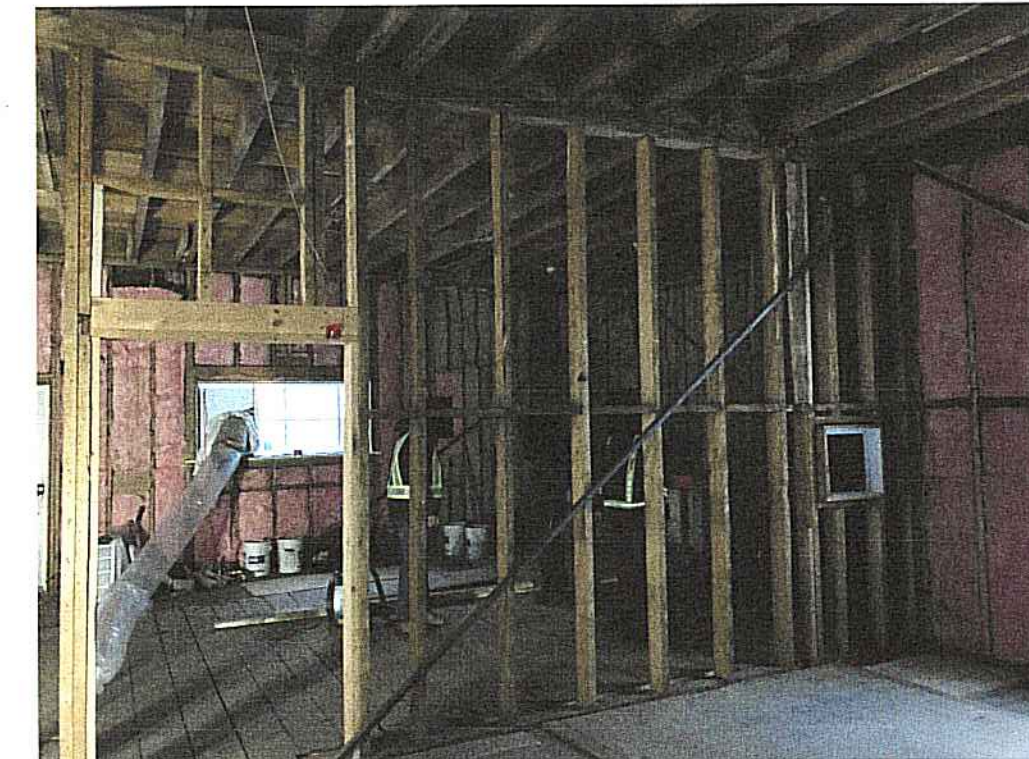
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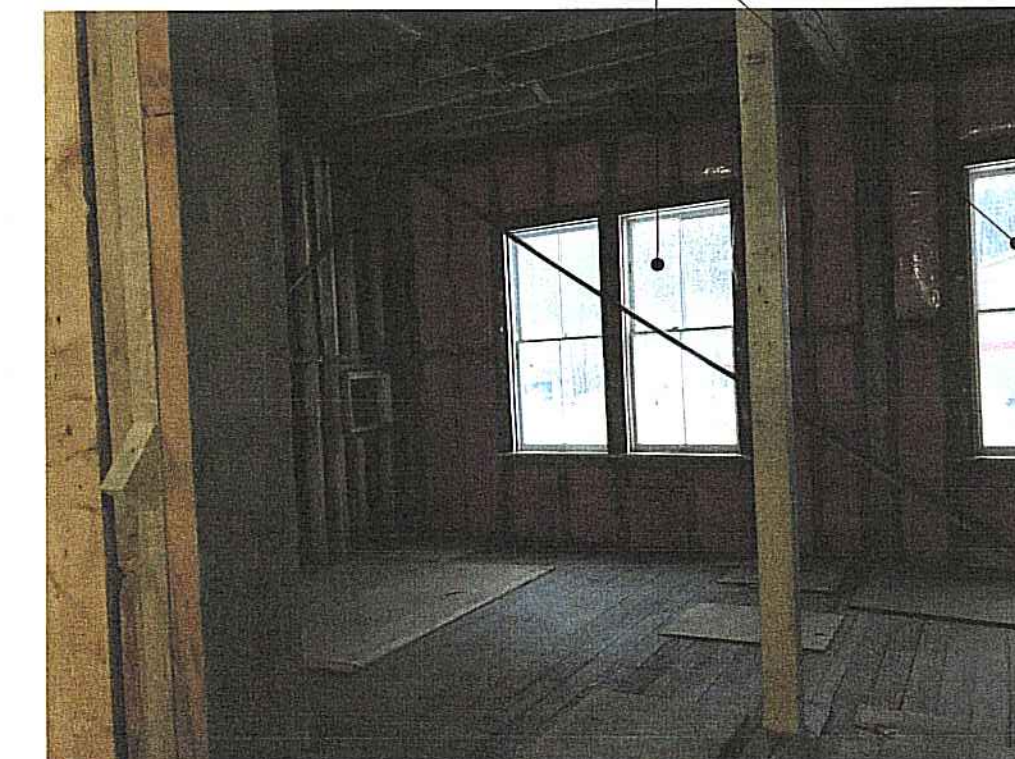
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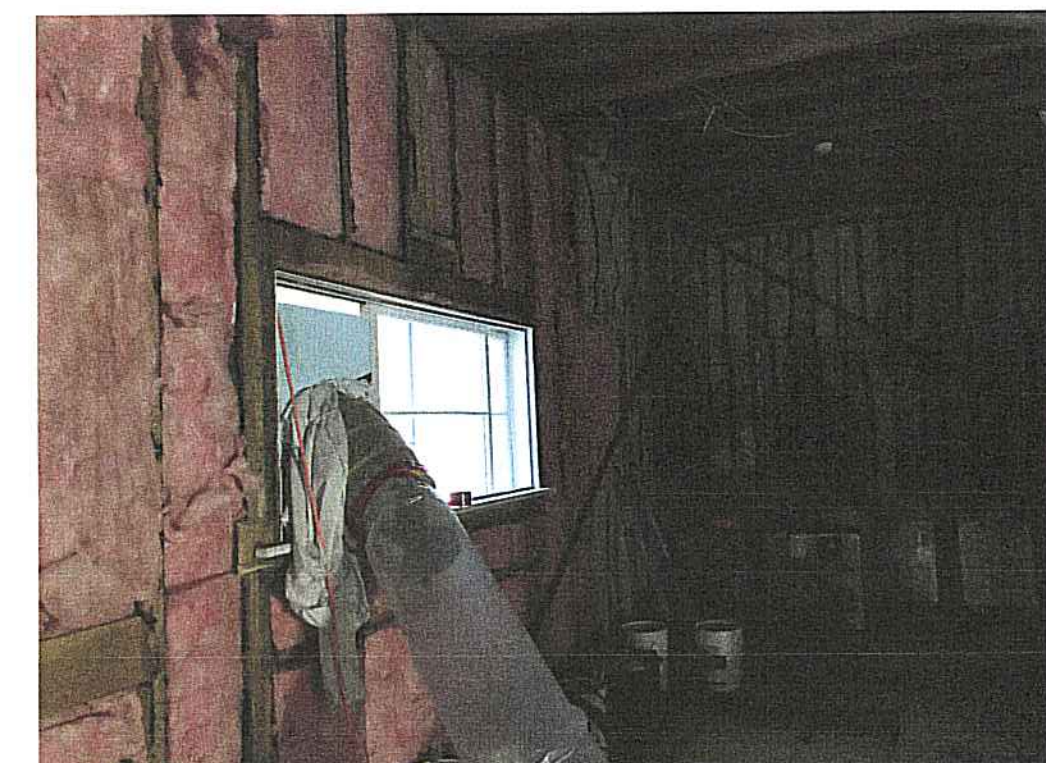
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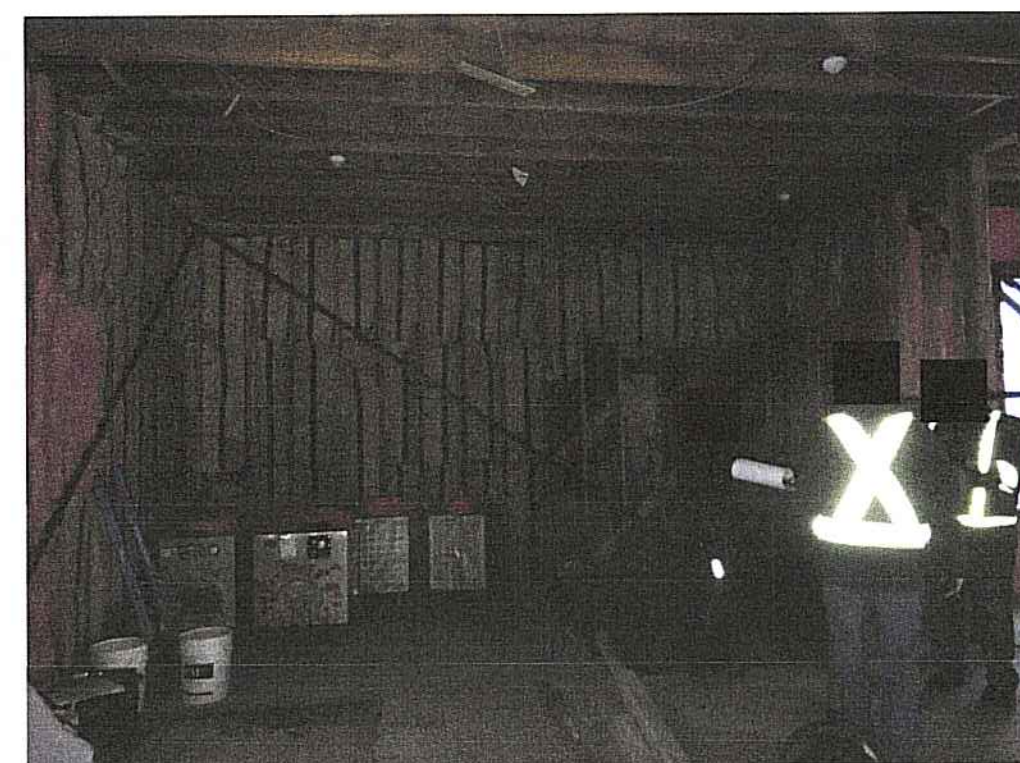
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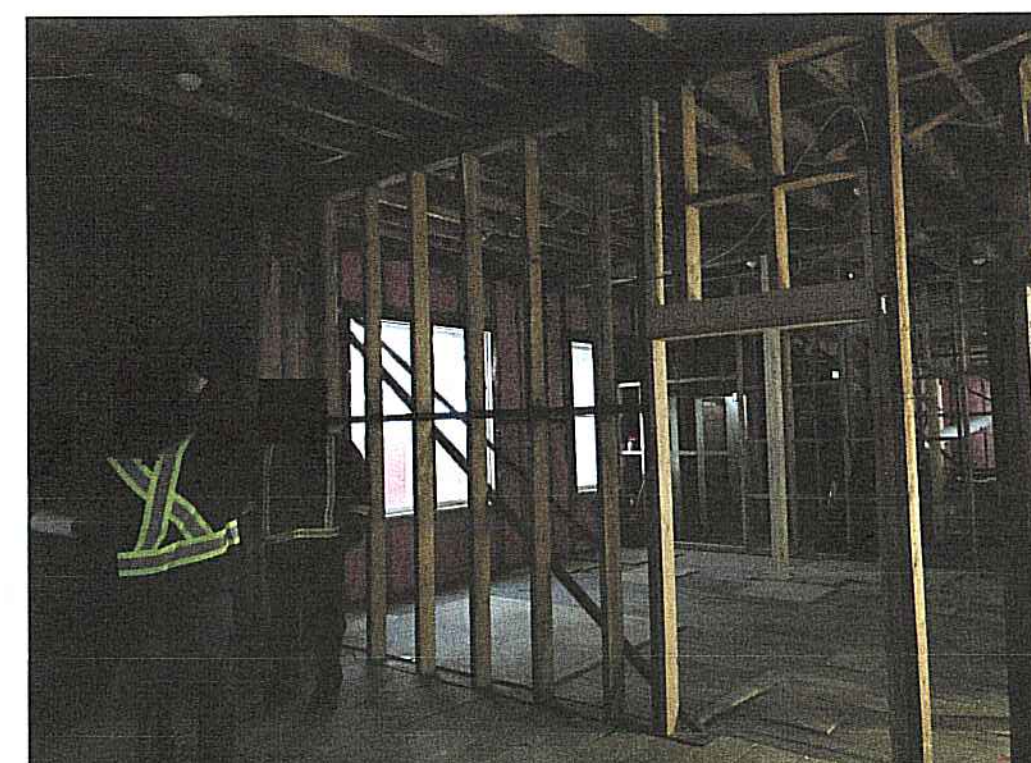
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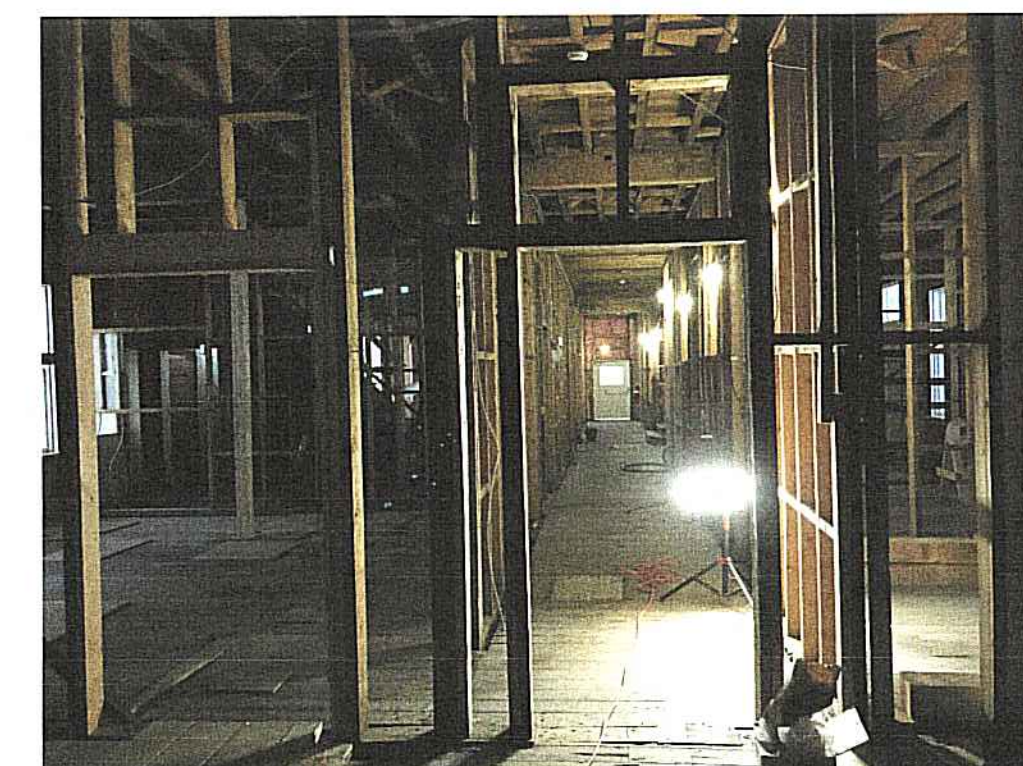
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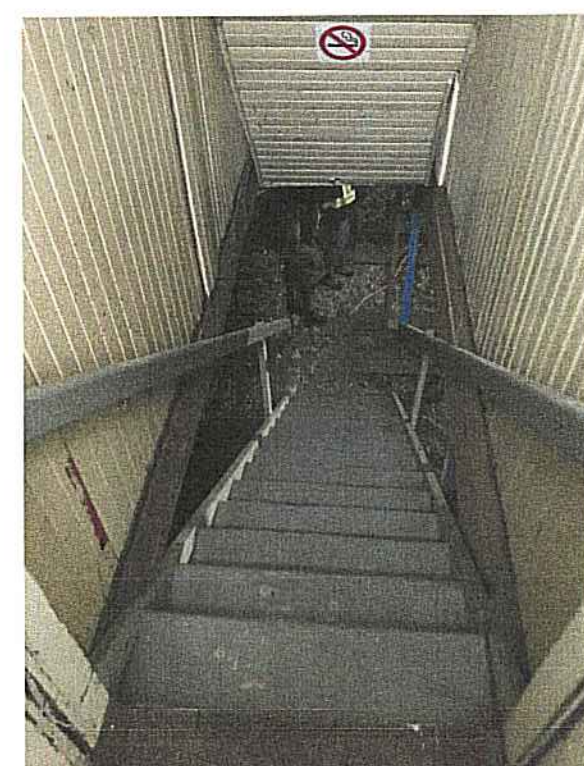
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15 EXISTING PHOTOGRAPH



16 EXISTING PHOTOGRAPH



17 EXISTING PHOTOGRAPH

NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS (TYPICAL)



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Hazen Sise

Drawn by/Dessine par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

EXISTING PICTURES - LEVEL 1

Project No./No. du projet

PRO 842

Sheet/ Feuille

A2.113

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no.

1

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PROJECT NO: 4053

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TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

EXISTING PICTURES - LEVEL 2

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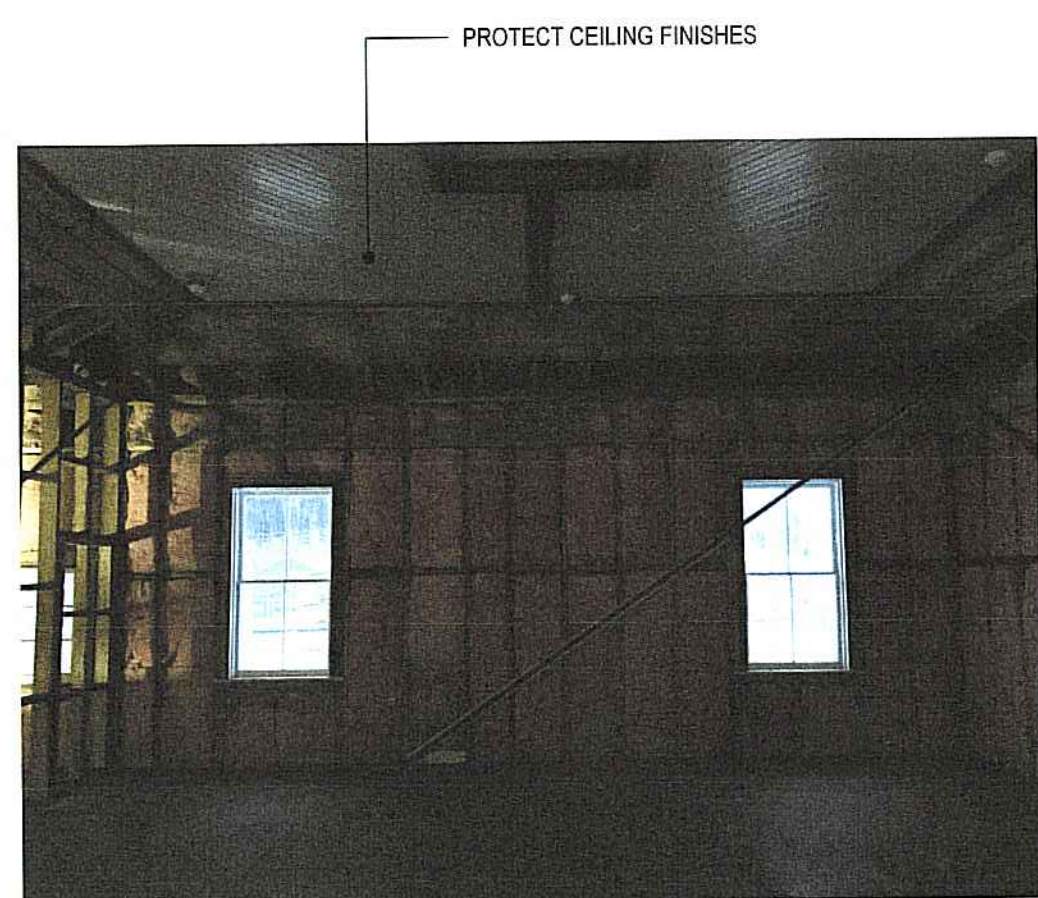
PRO 842

Sheet/ Feuille

A2.114

Revision no./
La Révision
no.

1



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2 EXISTING PHOTOGRAPH



3 EXISTING PHOTOGRAPH



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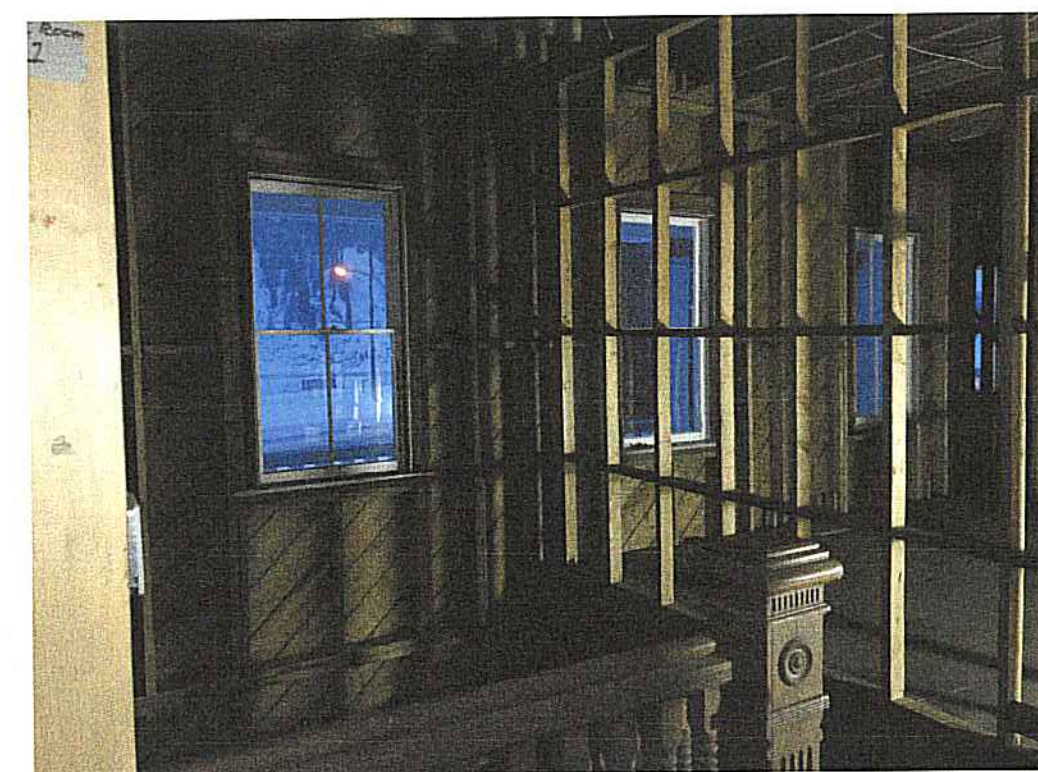
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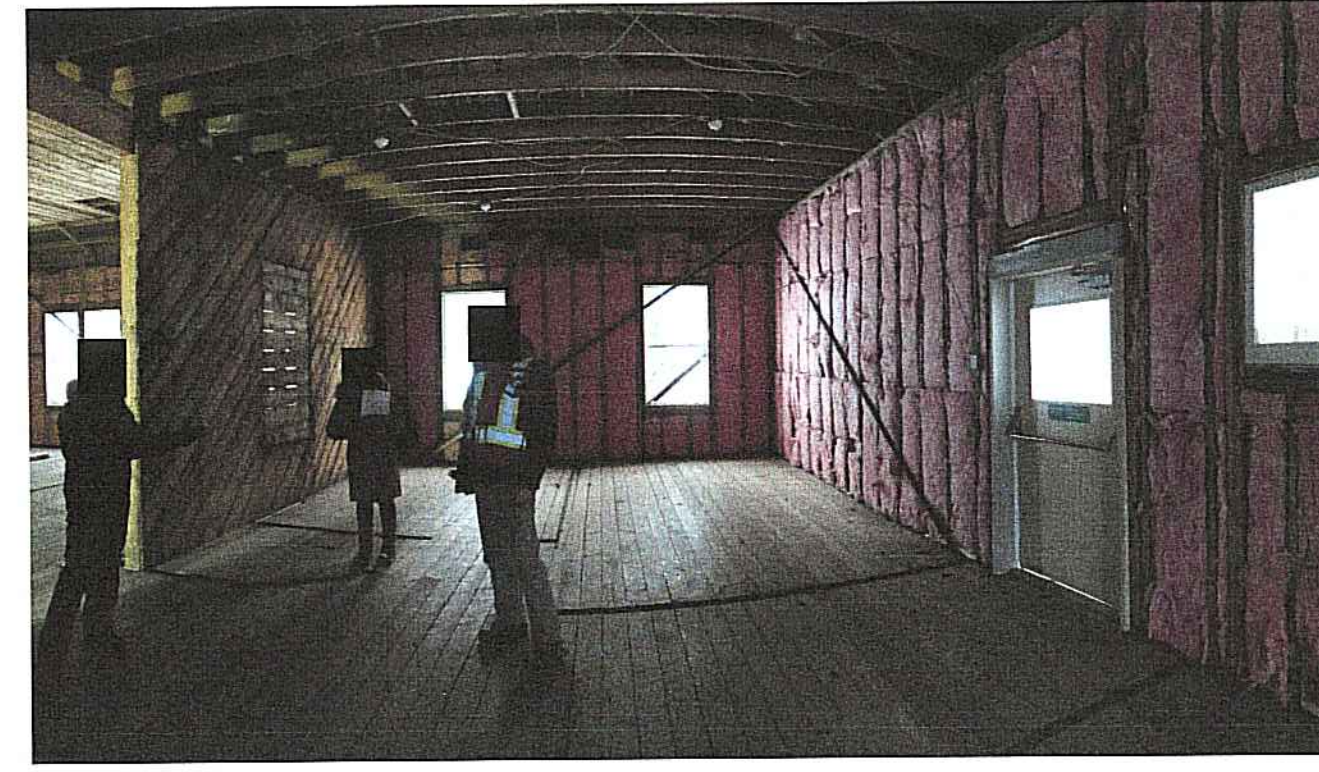
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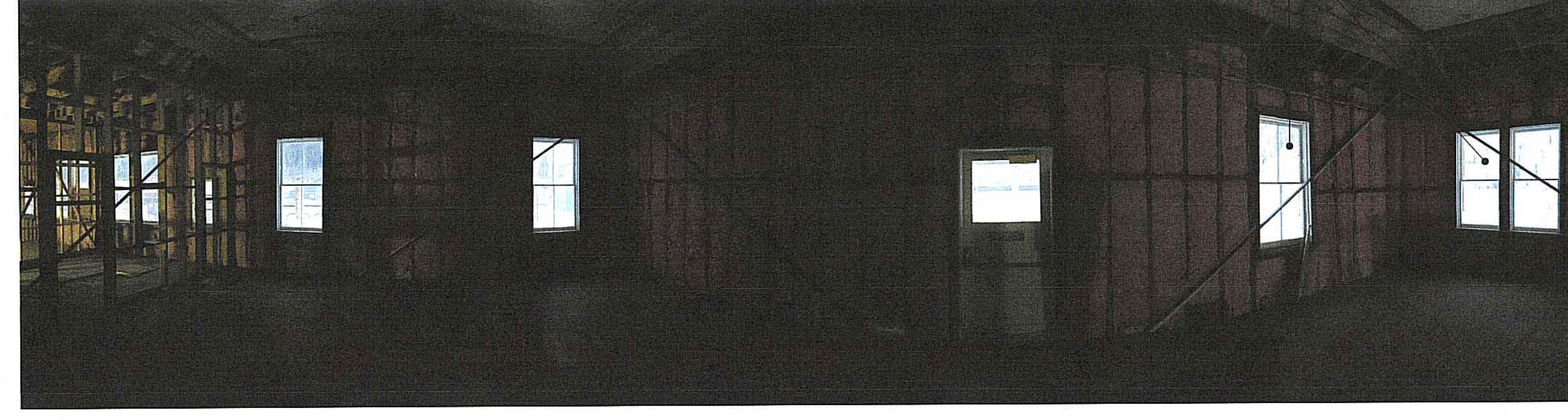
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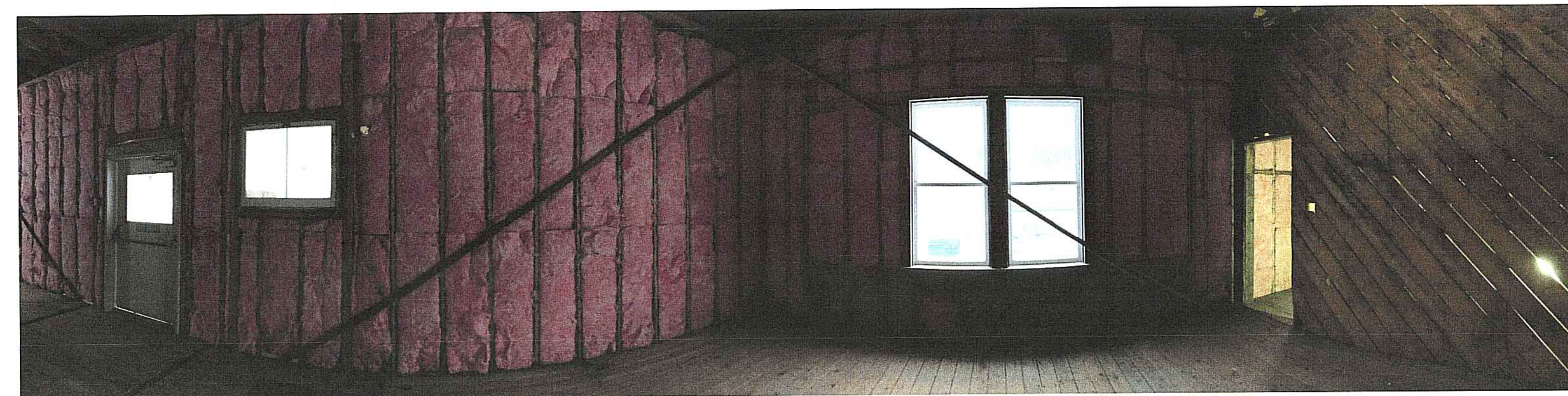
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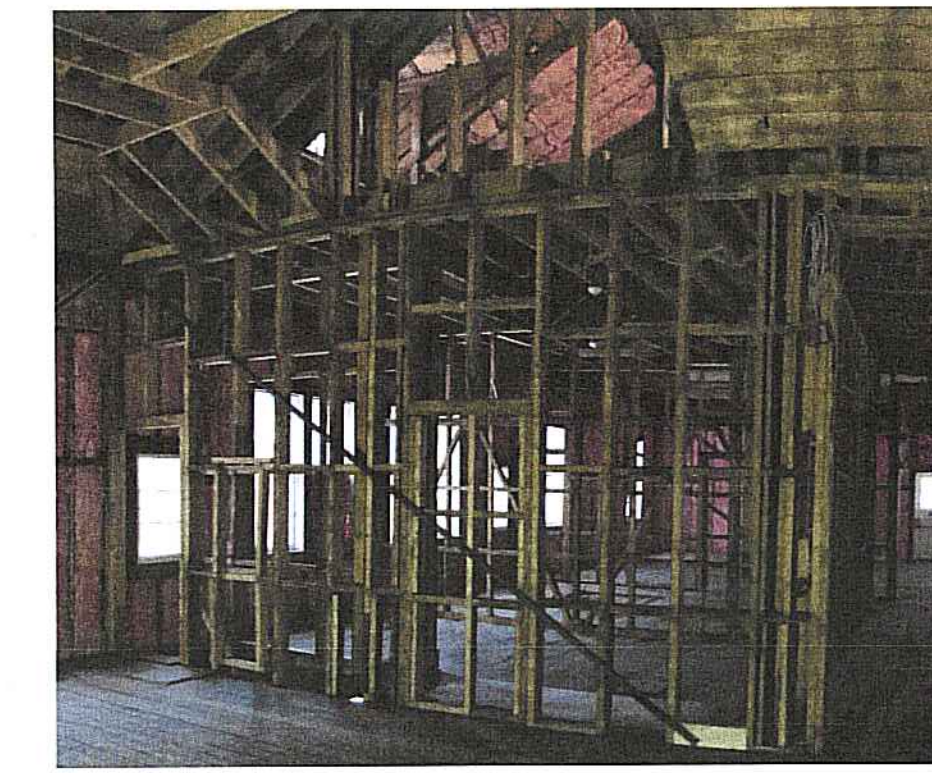
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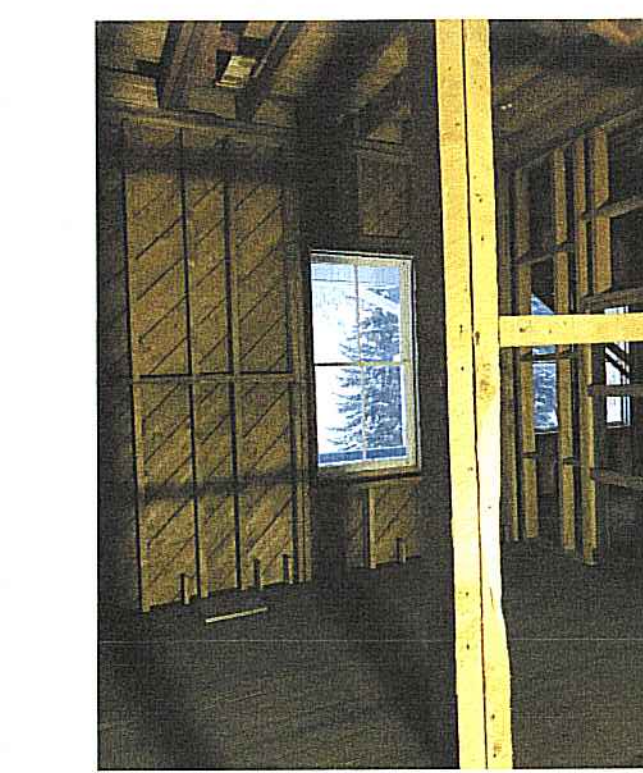
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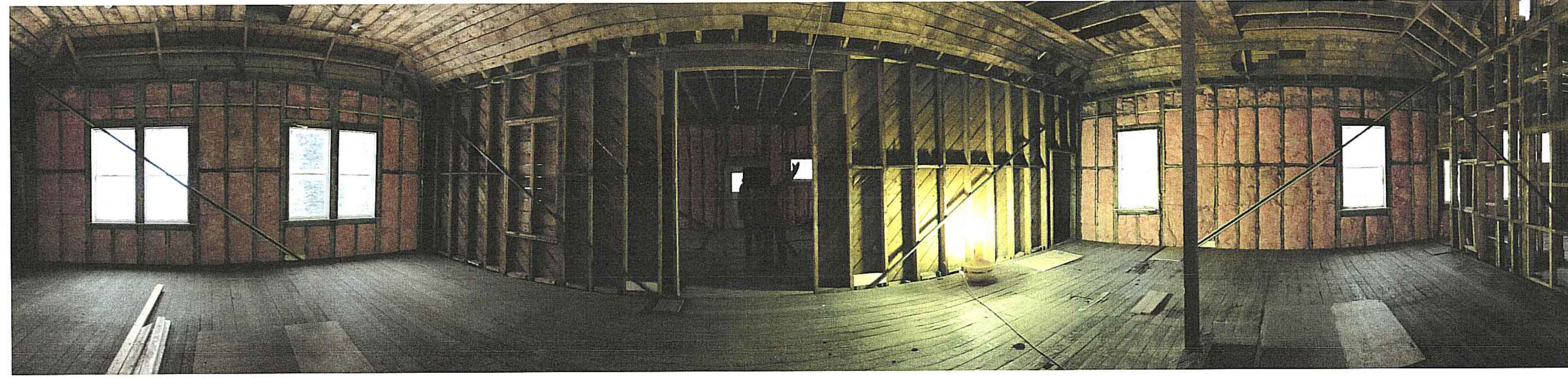
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19 EXISTING PHOTOGRAPH

Consultant

RATIO

PROJECT NO: 4053

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JOSHUA KUMMERFIELD

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PHASE 2
EXISTING PICTURES - LEVEL 3
- ATTIC

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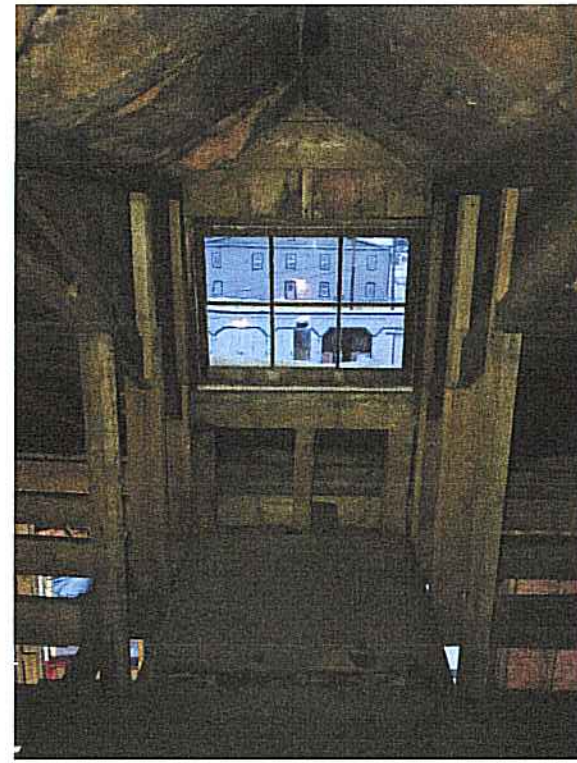
A2.115

Revision no./

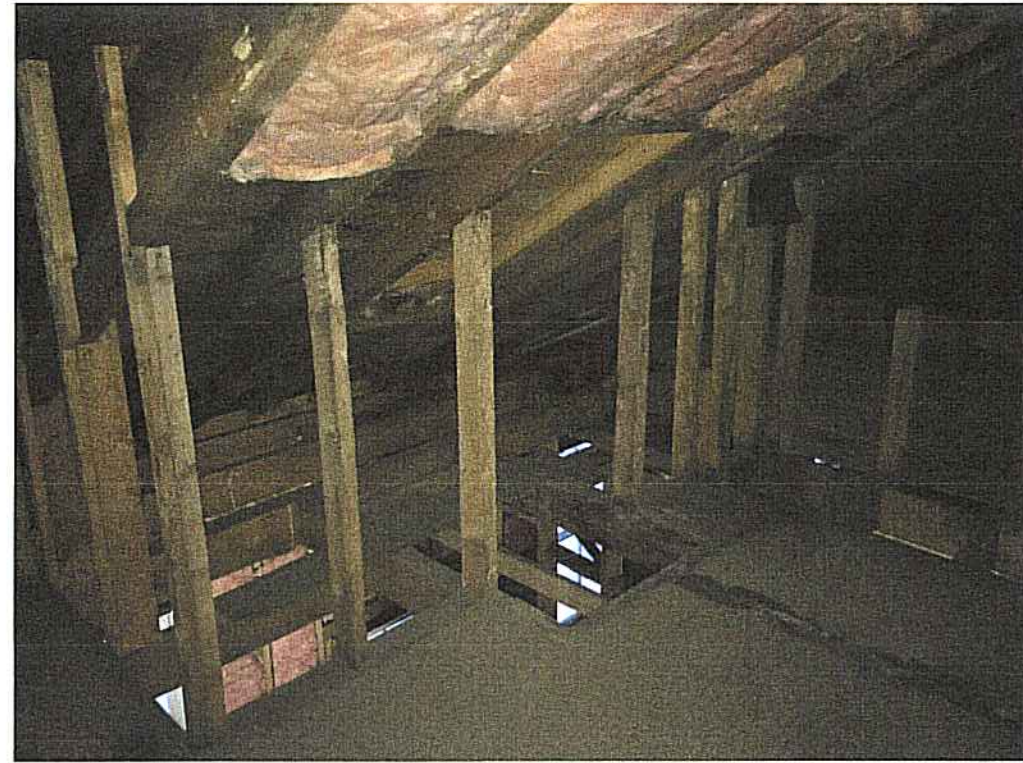
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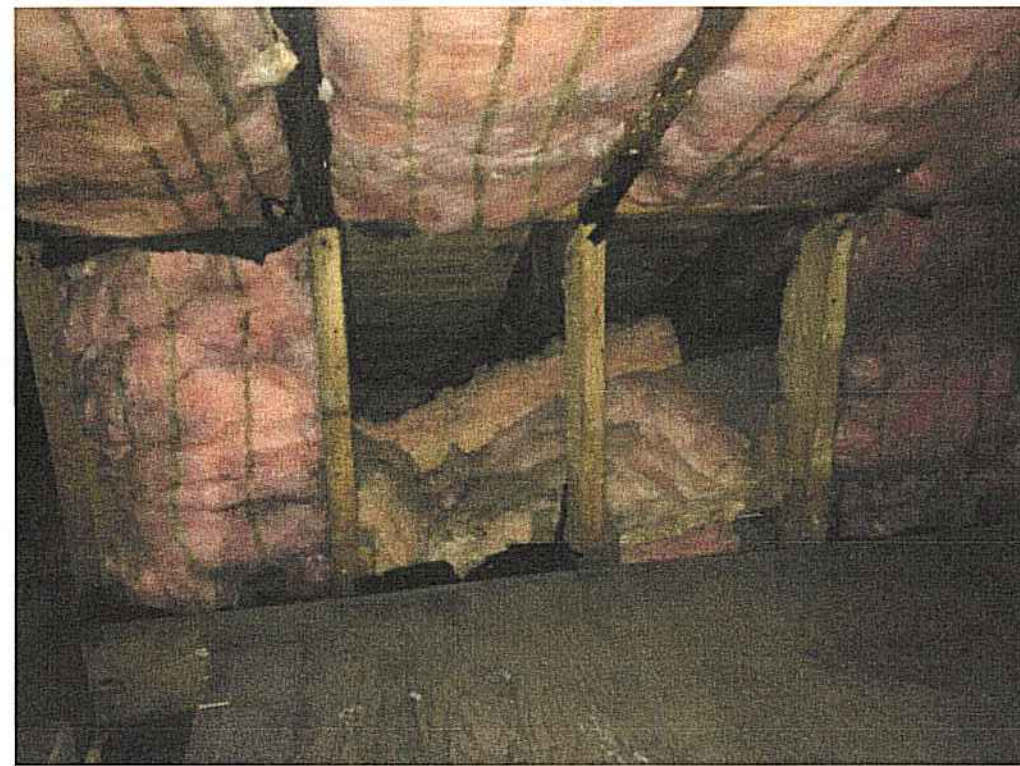
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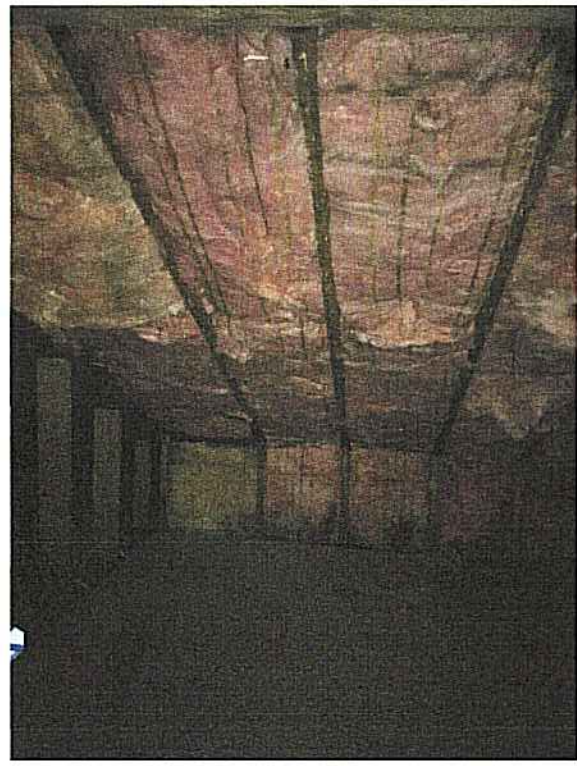
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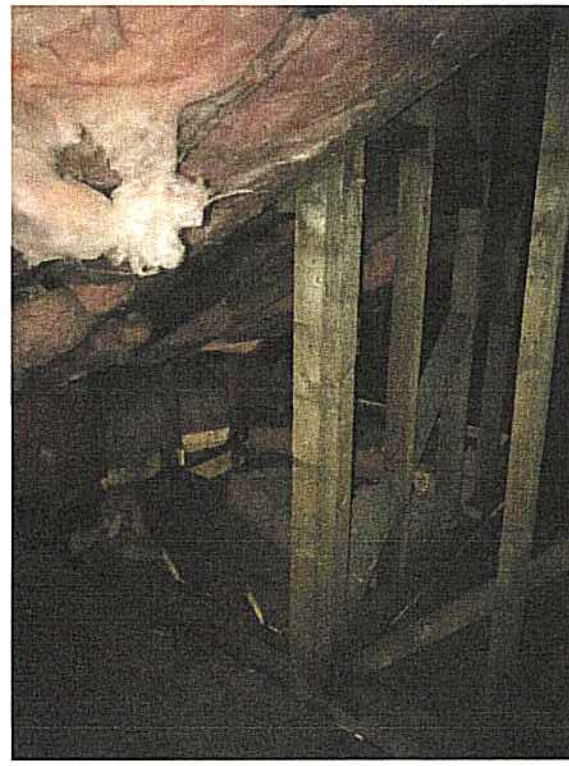
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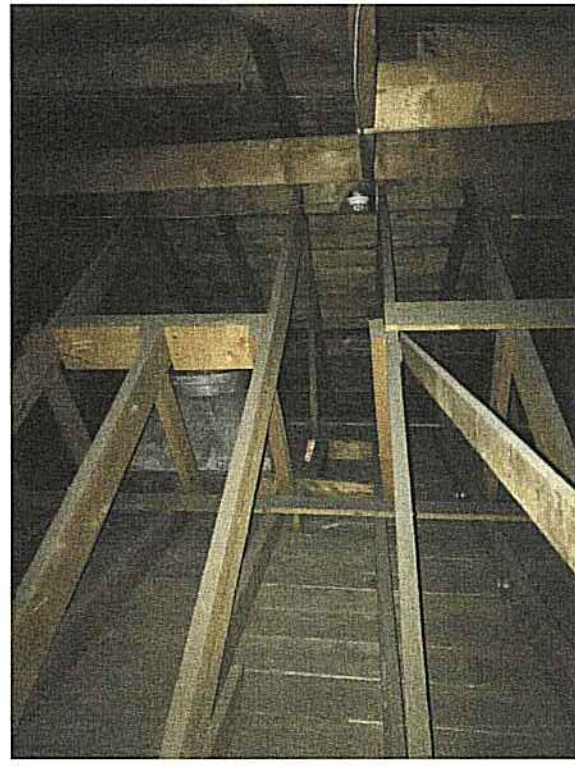
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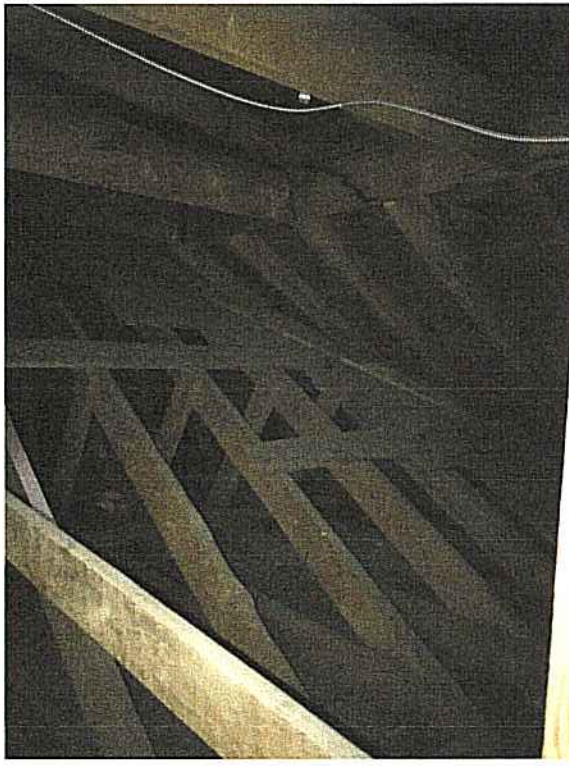
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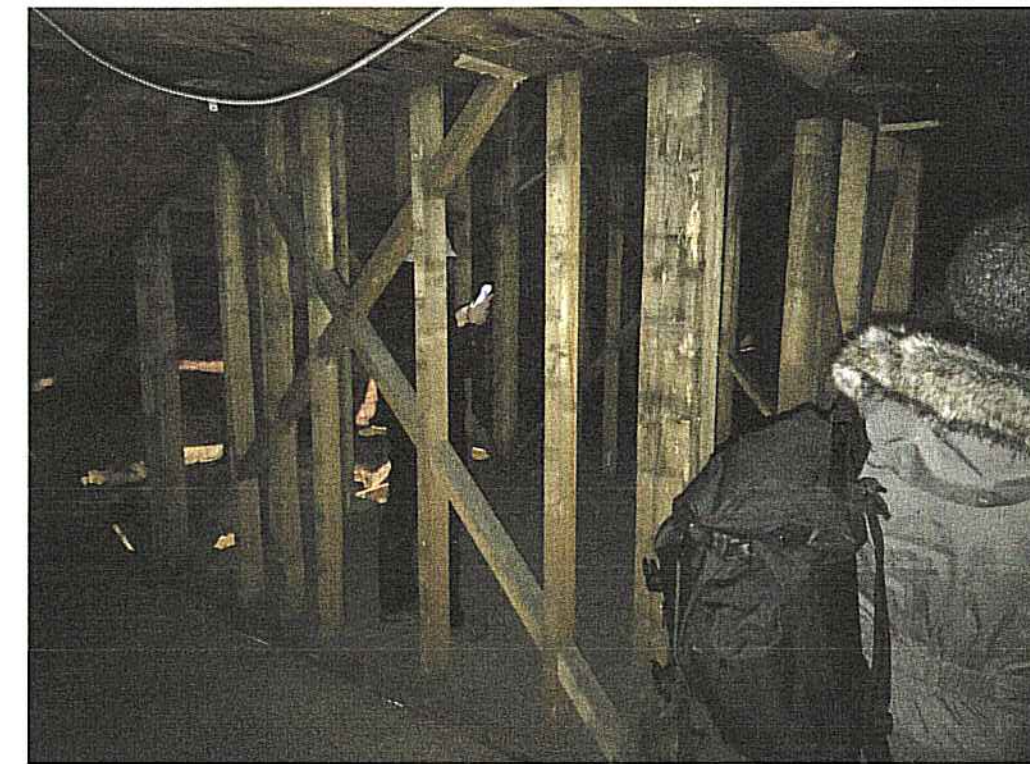
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13 EXISTING PHOTOGRAPH



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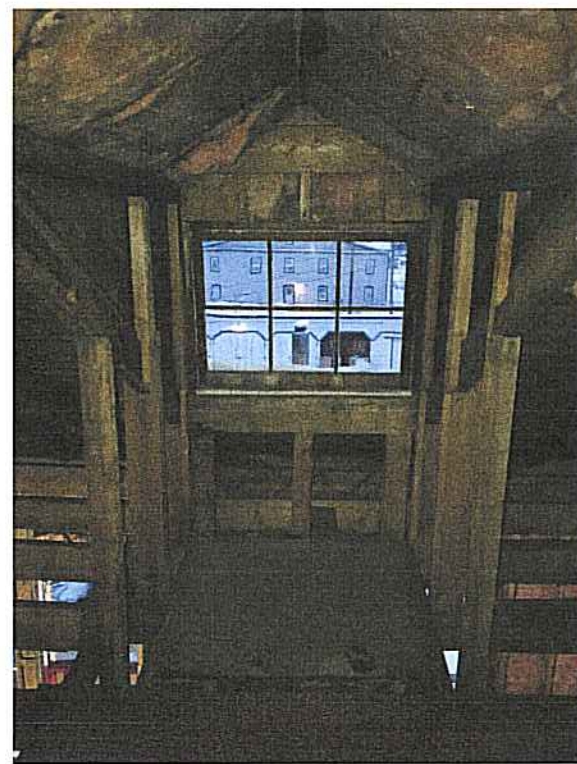
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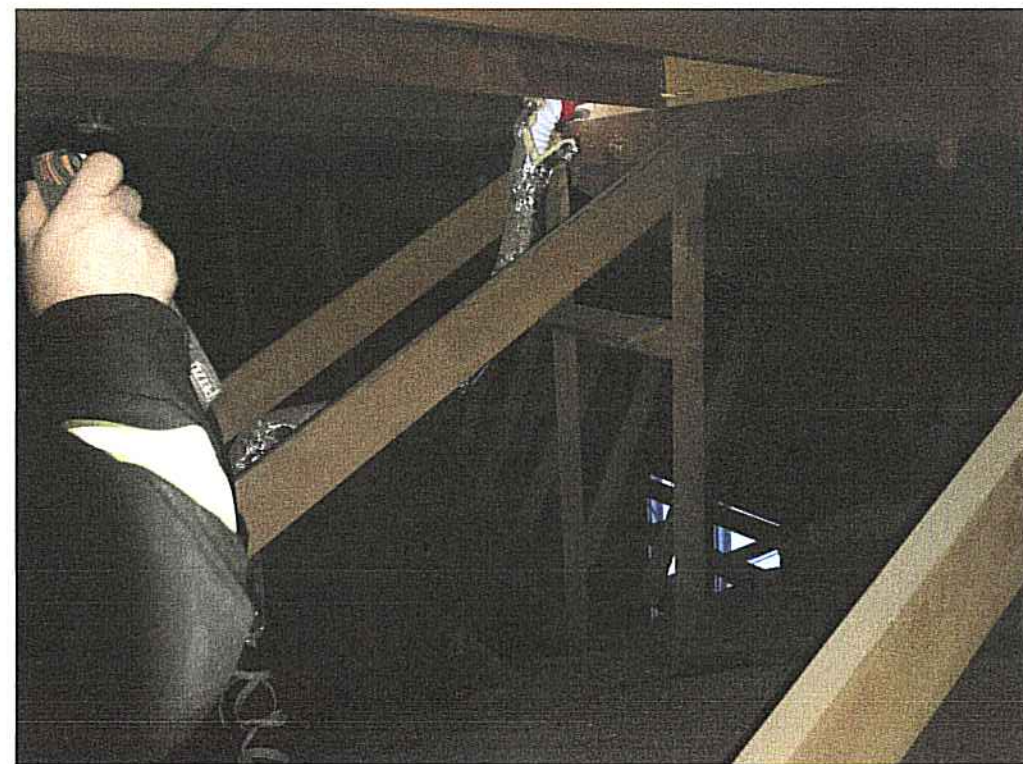
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17 EXISTING PHOTOGRAPH



18 EXISTING PHOTOGRAPH



19 EXISTING PHOTOGRAPH



20 EXISTING PHOTOGRAPH
1:75



21 EXISTING PHOTOGRAPH
1:75



22 EXISTING PHOTOGRAPH
1:75



23 EXISTING PHOTOGRAPH
1:75

NOTE: THESE IMAGES INDICATE
THE GENERAL EXISTING CONDITION
OF THE DAWSON TERRITORIAL
COURTHOUSE INTERIORS, NOT THE
SUM TOTALITY OF THE WORK -
REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS
(TYPICAL)





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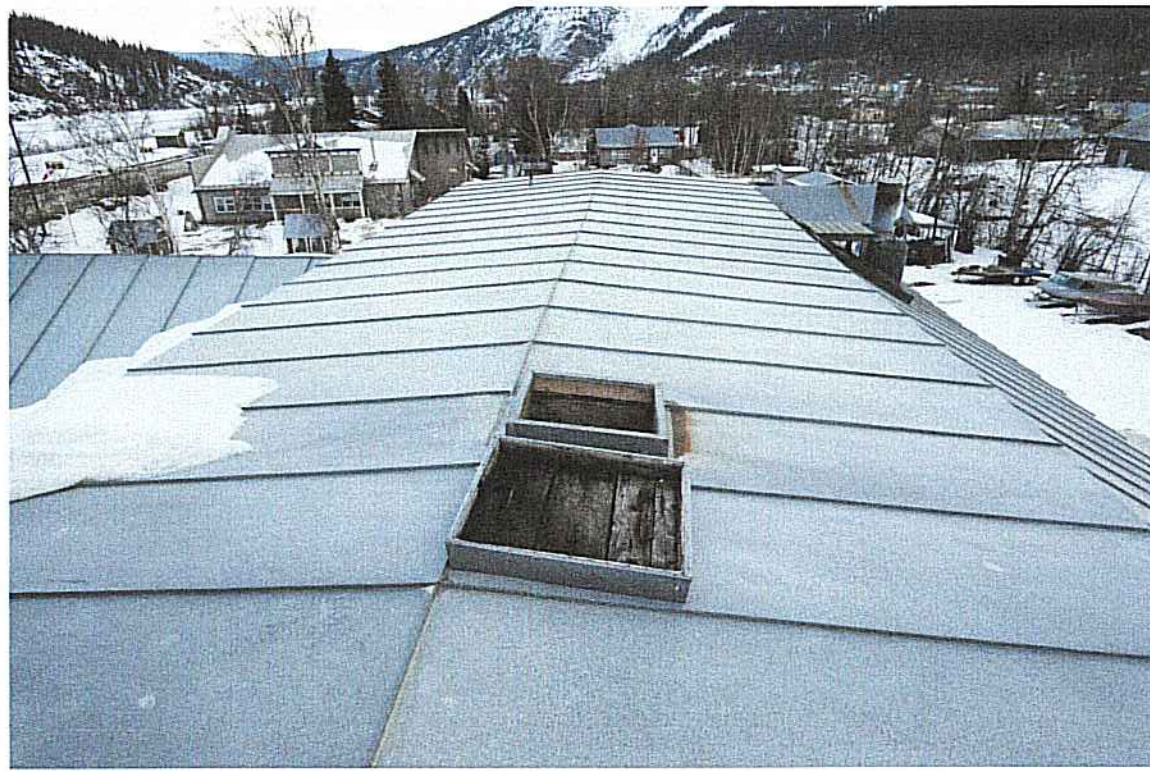
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4 EXISTING PHOTOGRAPH

NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS (TYPICAL)



5 EXISTING PHOTOGRAPH



6 EXISTING PHOTOGRAPH



7 EXISTING PHOTOGRAPH



8 EXISTING PHOTOGRAPH



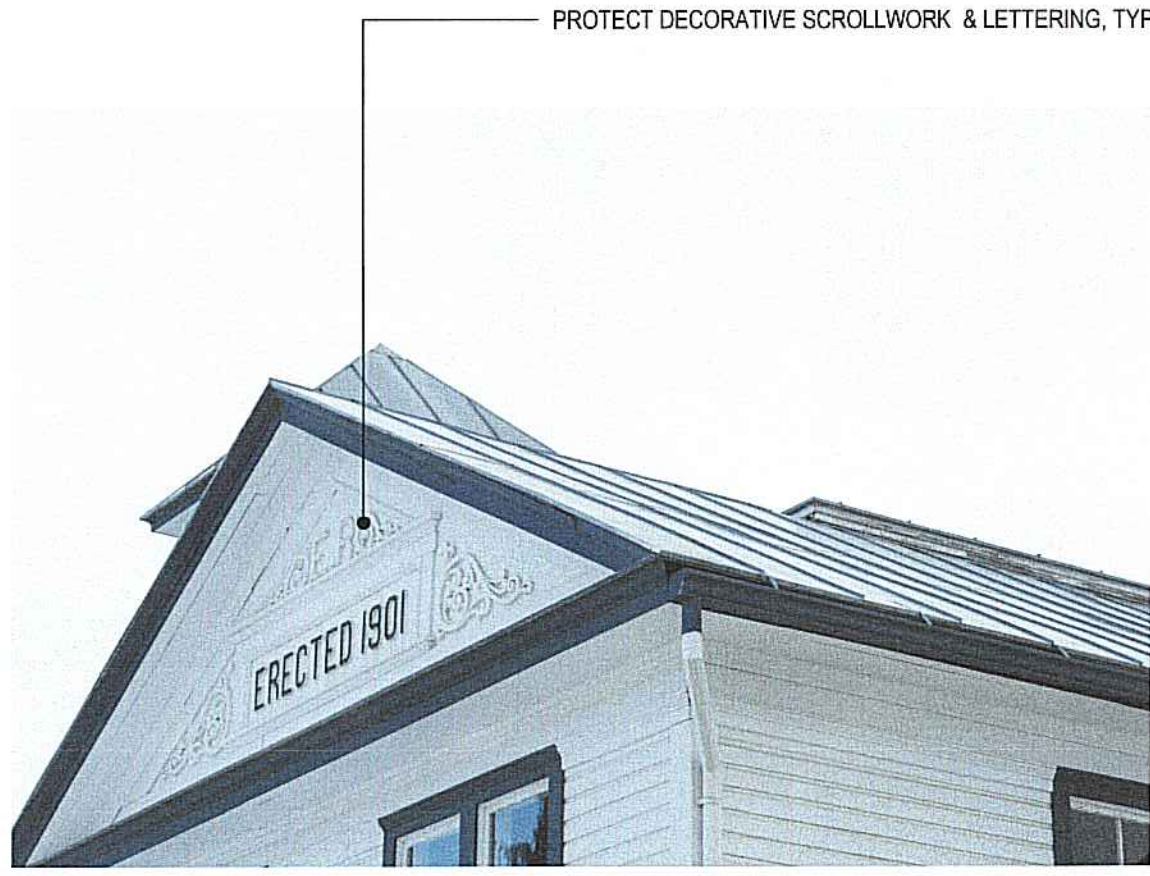
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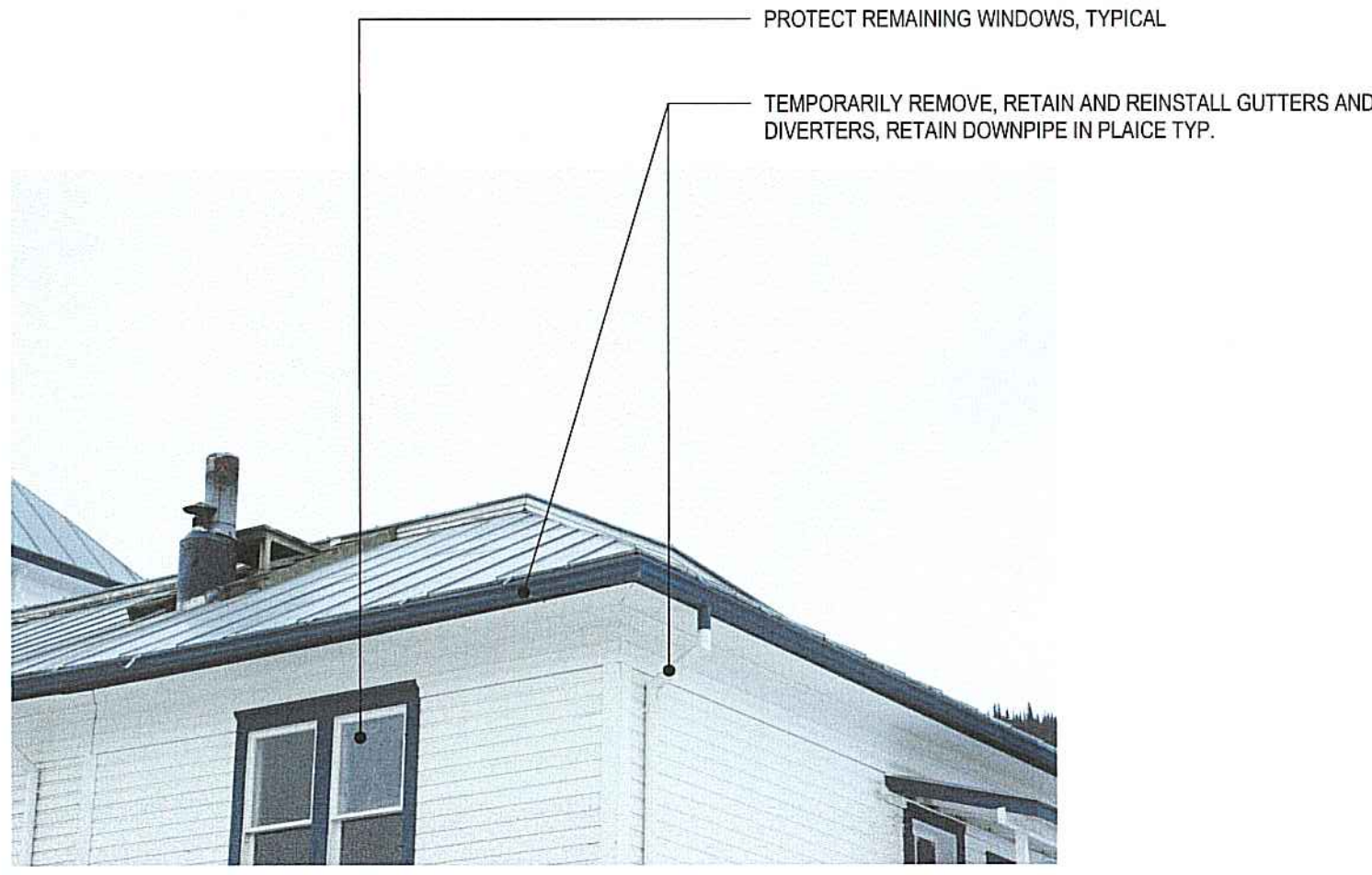
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14 EXISTING PHOTOGRAPH



15 EXISTING PHOTOGRAPH



16 EXISTING PHOTOGRAPH

Consultant

RATIO
PROJECT NO: 4053

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessine par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

EXISTING PICTURES - ROOF

Project No./No. du projet

PRO 842

Sheet / Feuille

A2.116

Revision no./

Lo. Revision

1

DEMOLITION KEYNOTES

00	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
01	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS	REMOVE & DISPOSE.
02	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
03	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS
04	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
05	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
06	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED
016	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

DEMOLITION LEGEND:

- REMOVE & DISPOSE OF EXISTING ASSEMBLY OR ELEMENT
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
- REMOVE & DISPOSE OF EXISTING METAL POST & FOUNDATION PAD. REFER TO STRUCTURAL
- REMOVE & DISPOSE OF EXISTING WOOD POST & FOUNDATION PAD. REFER TO STRUCTURAL
- EXISTING METAL POST & FOUNDATION PAD TO REMAIN. REFER TO STRUCTURAL
- EXISTING PHOTOGRAPHY LOCATION - REFER TO DRAWING SHEETS A2.112 TO A2.116 REFER TO DEMOLITION KEYNOTES ON A2.216

DEMOLITION NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE
- DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION
- AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED
- REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL
- FLOORS:
 - REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 - RETAIN FLOOR SHEATHING
- REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
- REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1+2
- ROOFS:
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 - ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
 - PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE
- REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES
- CHANCE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK
- REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK
- REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL



Parks Canada

Parcs Canada

Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

**301 FRONT STREET
DAWSON, YT Y0B 1G0**

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
DEMOLITION PLAN -
BASEMENT**

Project No./No. du projet

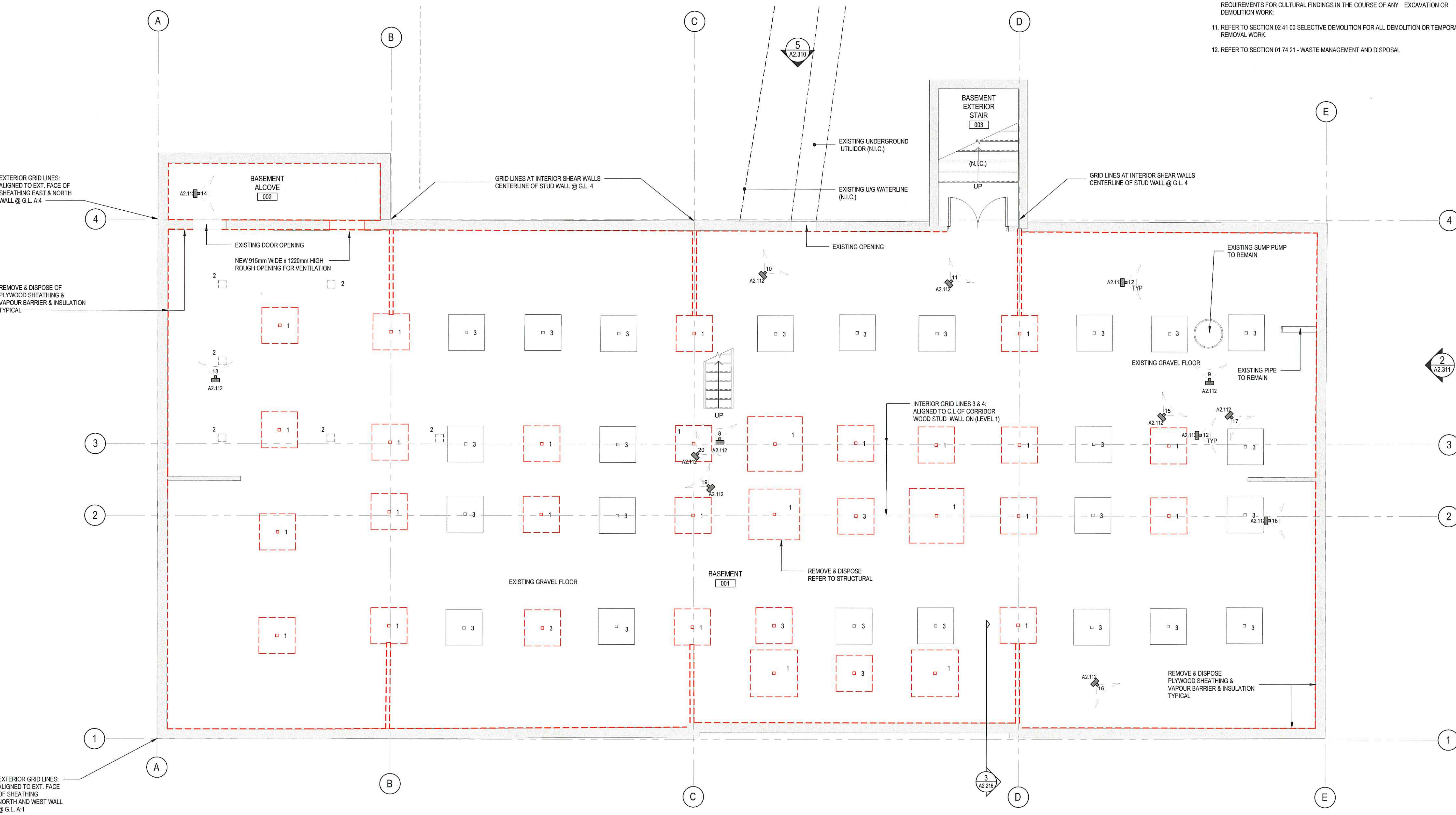
PRO 842

Sheet/ Feuille

A2.212

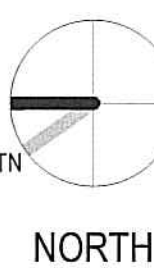
Revision no./
La Révision
no.

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1 DEMOLITION PLAN - BASEMENT
A2.002 1:50

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A2.311

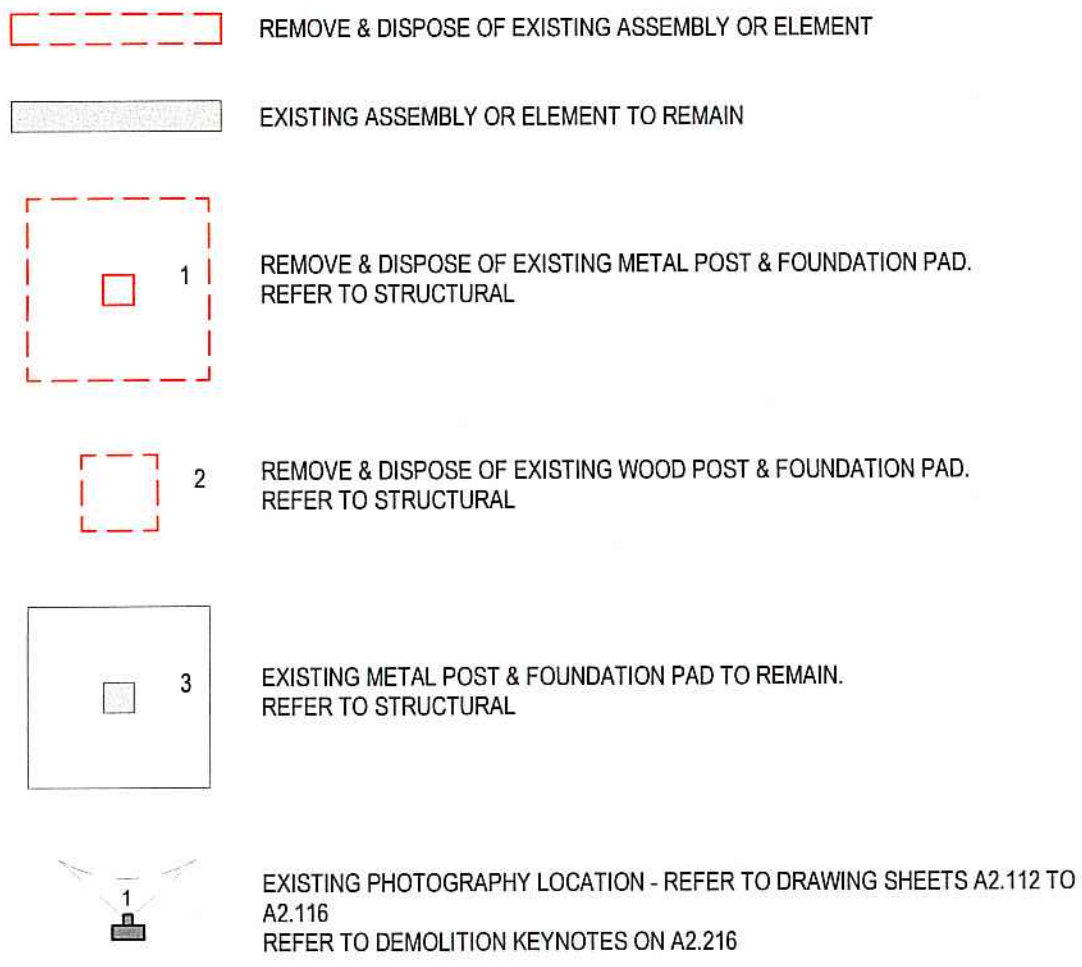


DEMOLITION KEYNOTES

00	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
01	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
02	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
03	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS
04	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
05	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
06	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED
015	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

DEMOLITION LEGEND:



DEMOLITION NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE.
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- FLOORS:
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- RETAIN FLOOR SHEATHING
- REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
- REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1-2
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 - ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
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 - REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
 - REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL.

Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessine par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

DEMOLITION PLAN - LEVEL 1

Project No./No. du projet

PRO 842

Sheet/ Feuille





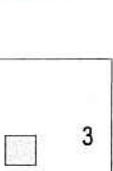

A2.213

Revision no./

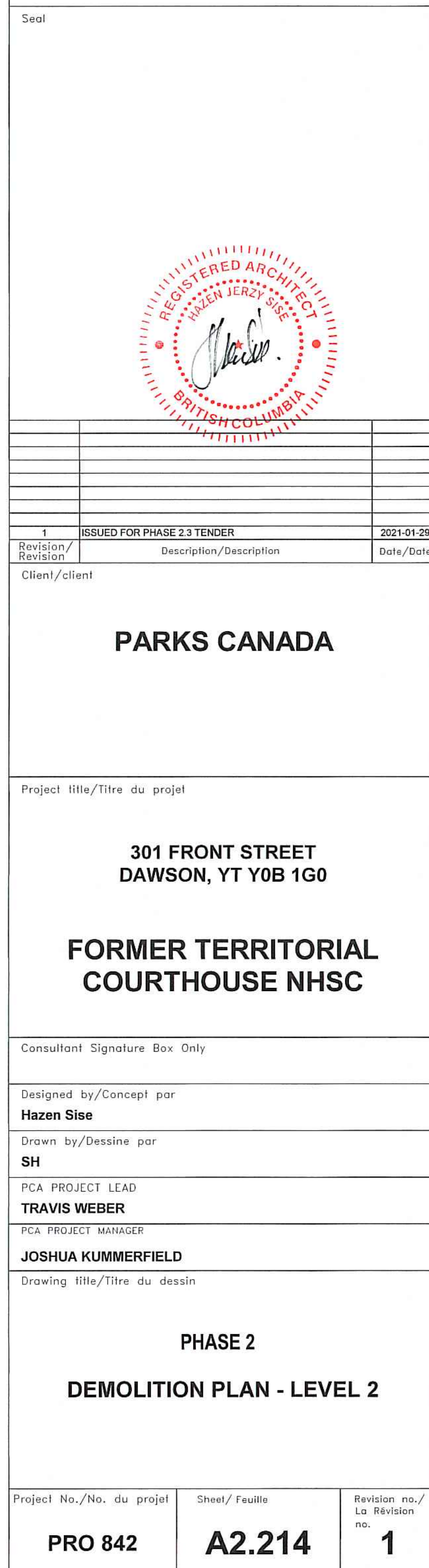
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00	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF. UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
01	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
02	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
03	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS
04	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
05	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
06	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED
07	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

	REMOVE & DISPOSE OF EXISTING ASSEMBLY OR ELEMENT
	EXISTING ASSEMBLY OR ELEMENT TO REMAIN
	REMOVE & DISPOSE OF EXISTING METAL POST & FOUNDATION PAD. REFER TO STRUCTURAL
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	EXISTING METAL POST & FOUNDATION PAD TO REMAIN. REFER TO STRUCTURAL
	EXISTING PHOTOGRAPHY LOCATION - REFER TO DRAWING SHEETS A2.112 TO A2.116 REFER TO DEMOLITION KEYNOTES ON A2.216

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE
2. DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION
3. AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED
4. REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL
5. FLOORS:
 1. REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 2. RETAIN FLOOR SHEATHING
6. REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
7. REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1+2
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 1. REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE
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9. REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES
10. CHANCE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK;
11. REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVE WORK.
12. REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL

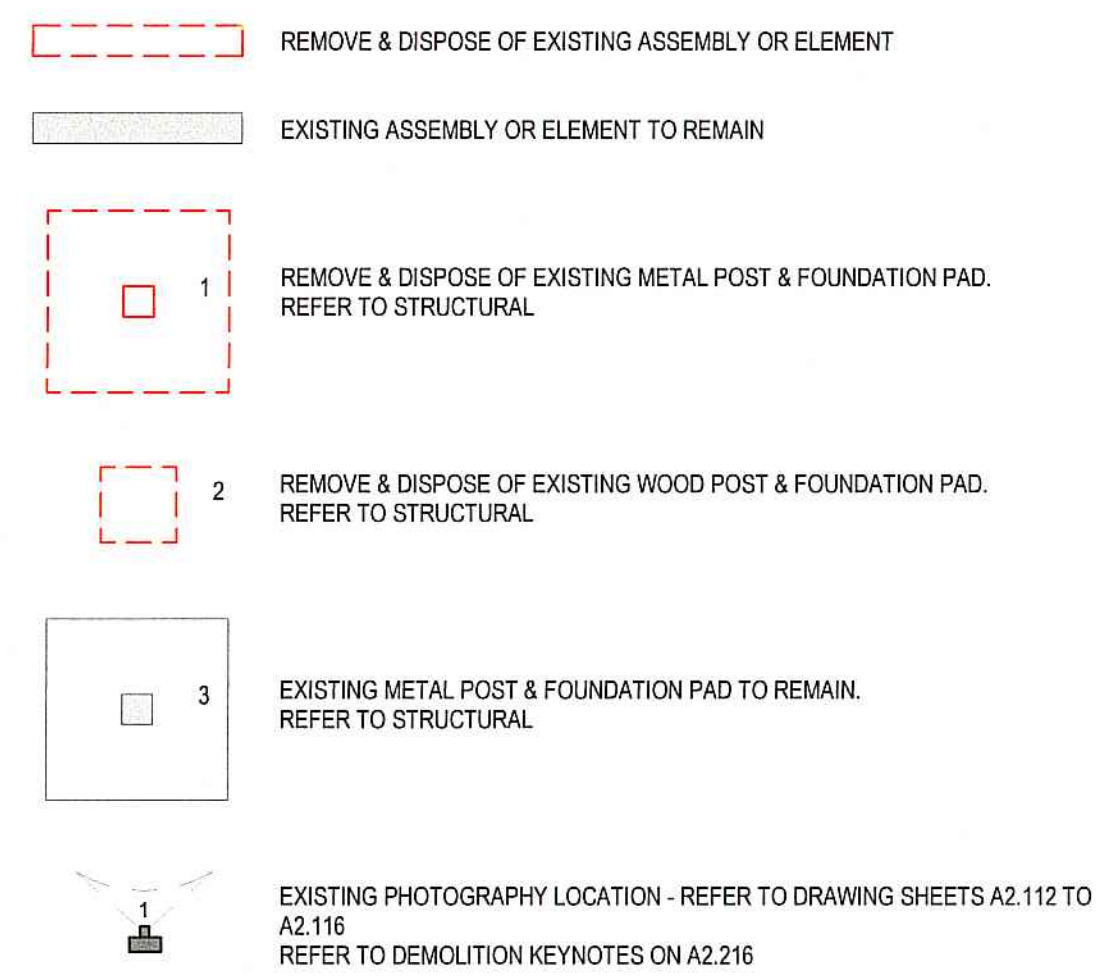


DEMOLITION KEYNOTES

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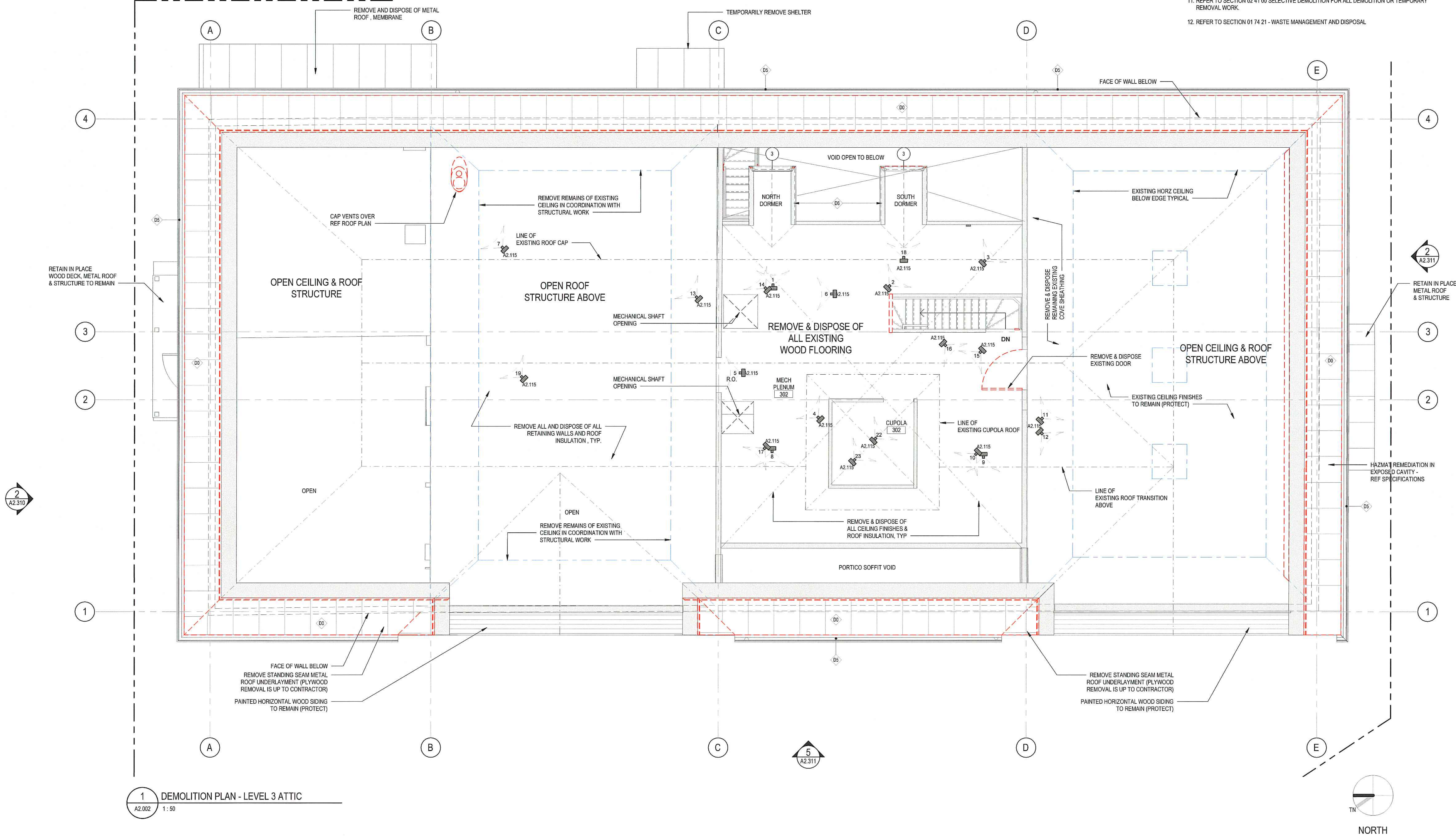
ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
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DEMOLITION LEGEND:



DEMOLITION NOTES:

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- REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
- REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL.



1 DEMOLITION PLAN - LEVEL 3 ATTIC
A2.002 1:50

Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 3.3 TENDER	2021-01-28

Client/Client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2
DEMOLITION PLAN - LEVEL 3 -
ATTIC

Project No./No. du projet

PRO 842

Sheet/ Feuille

A2.215

Revision no./

La Revision

1

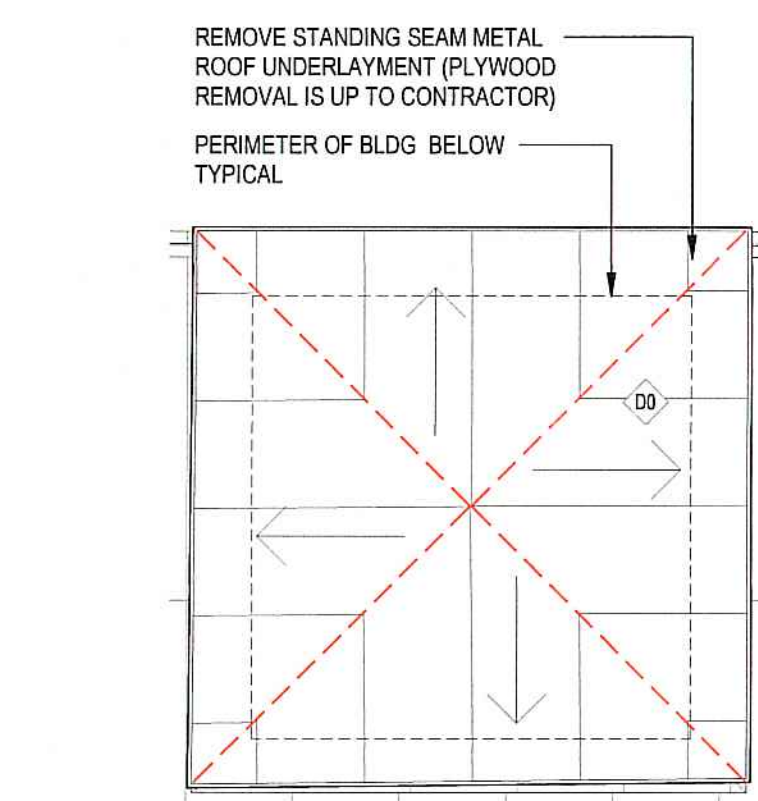
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2. DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION
3. AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED
4. REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL
5. FLOORS:
 1. REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 2. RETAIN FLOOR SHEATHING
6. REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
7. REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1+2
8. ROOFS:
 1. REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE
 2. ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
 3. PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE
 9. REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES
 10. CHANCE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK;
 11. REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
 12. REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL

DEMOLITION LEGEND:

- REMOVE & DISPOSE OF EXISTING ASSEMBLY OR ELEMENT
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
- 1 REMOVE & DISPOSE OF EXISTING METAL POST & FOUNDATION PAD. REFER TO STRUCTURAL
- 2 REMOVE & DISPOSE OF EXISTING WOOD POST & FOUNDATION PAD. REFER TO STRUCTURAL
- 3 EXISTING METAL POST & FOUNDATION PAD TO REMAIN. REFER TO STRUCTURAL
- 1 EXISTING PHOTOGRAPHY LOCATION - REFER TO DRAWING SHEETS A2.112 TO A2.116 REFER TO DEMOLITION KEYNOTES ON A2.216

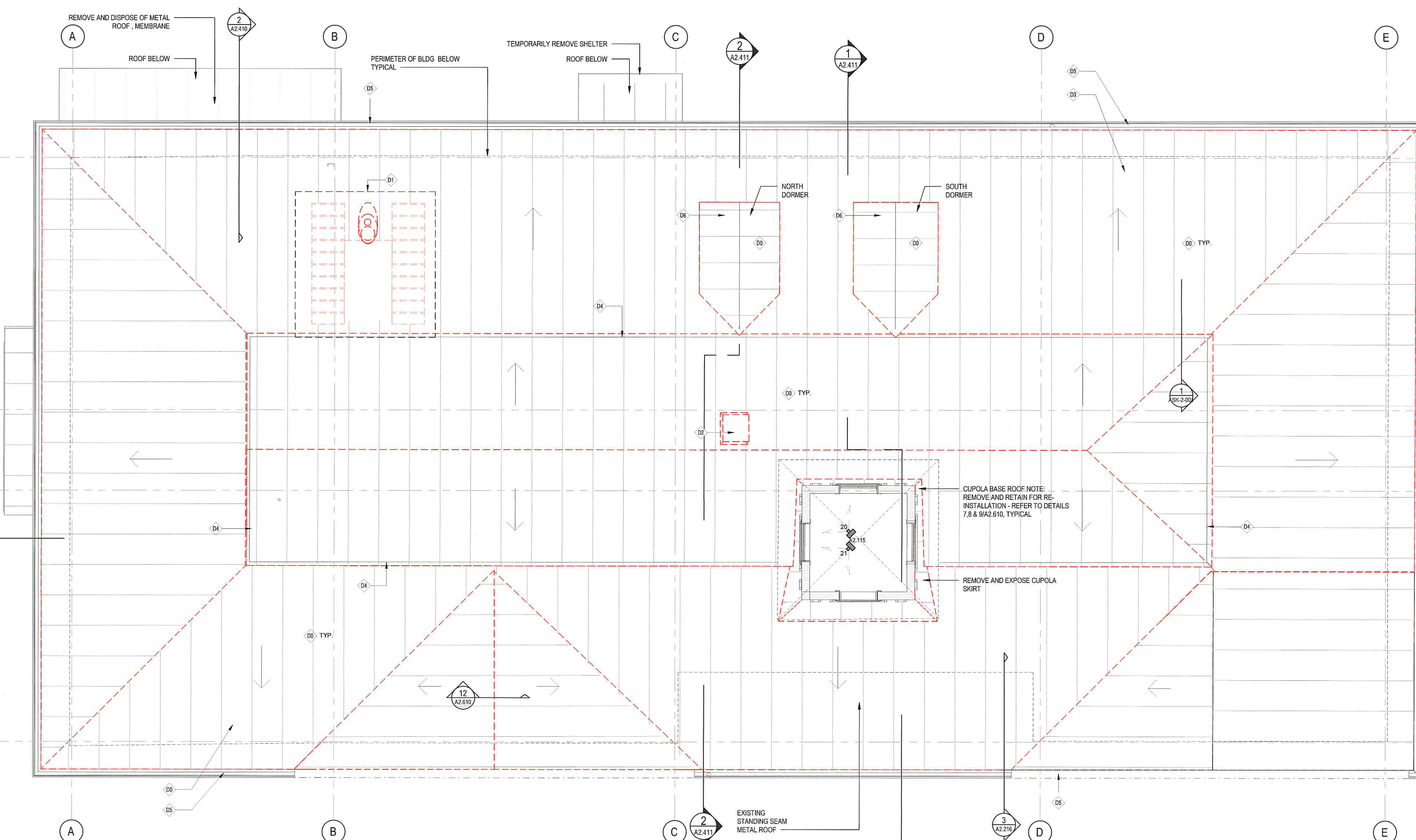
2 DEMOLITION PLAN - CUPOLA ROOF
1:50



DEMOLITION KEYNOTES

D0	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
D1	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
D2	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
D3	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS
D4	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
D5	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
D6	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED
D7	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

3 SECTION
A2.212
1:50



1 DEMOLITION PLAN - ROOF PLAN
A2.002
1:50

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29
Client/client		

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessine par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
DEMOLITION PLAN - ROOF
PLAN**

Project No./No. du projet

PRO 842

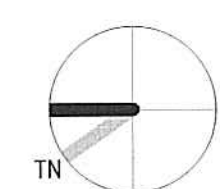
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A2.216

Revision no./

1

2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE)
STANDING SEAM PER DETAIL 4/A2 224



Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

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COURTHOUSE NHSC

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Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

FLOOR PLAN - LEVEL 1

Project No./No. du projet

PRO 842

Sheet/Feuille

A2.221

Revision no./
La Révision
no.

1

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

ARCHITECTURAL LEGEND:

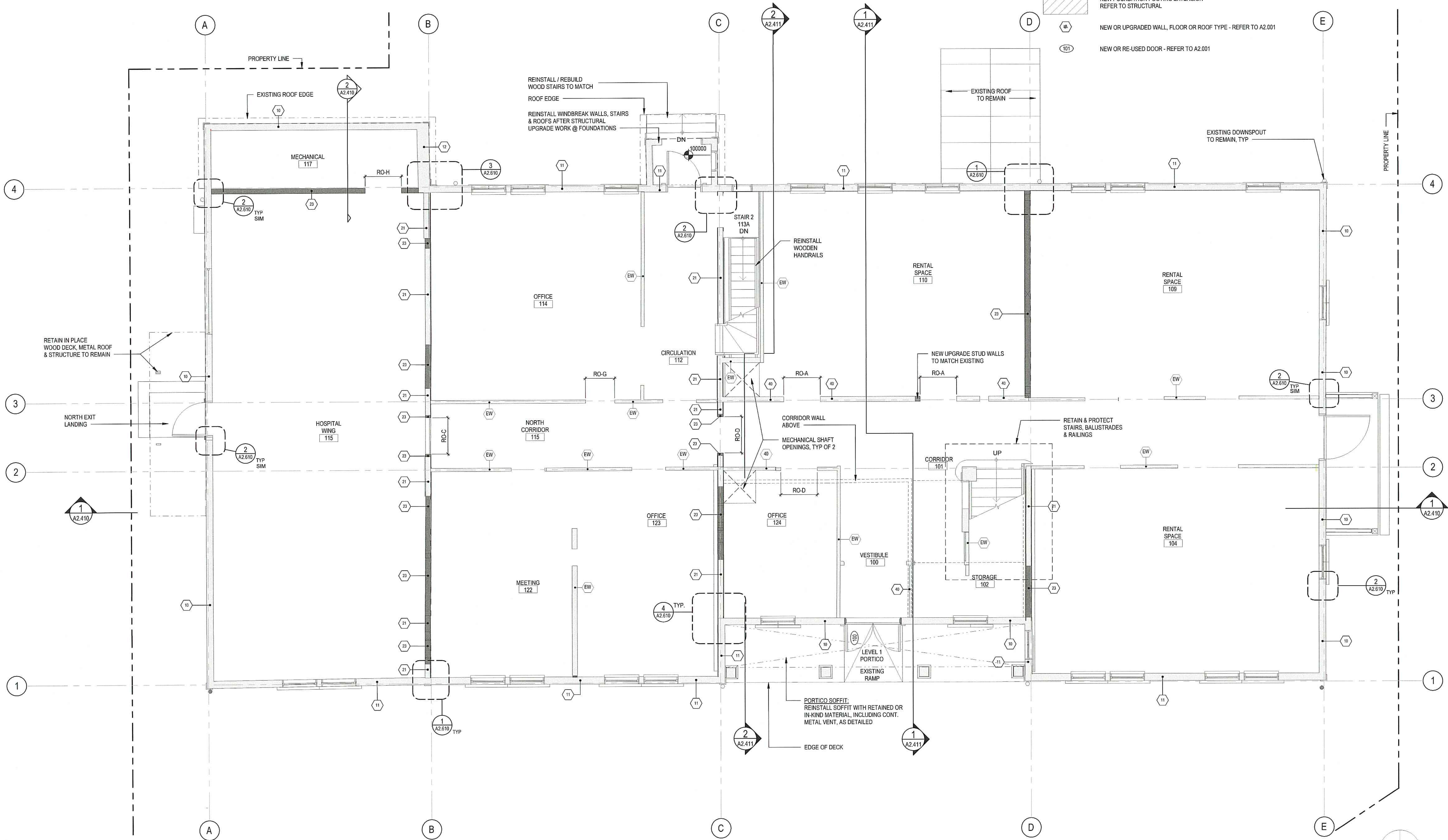
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR
REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD
REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION
REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001

ARCHITECTURAL NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
- INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
- INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

- ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1986 ROOF PLAN
- FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 FLOOR PLAN LEVEL 1
1:50

ARCHITECTURAL NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

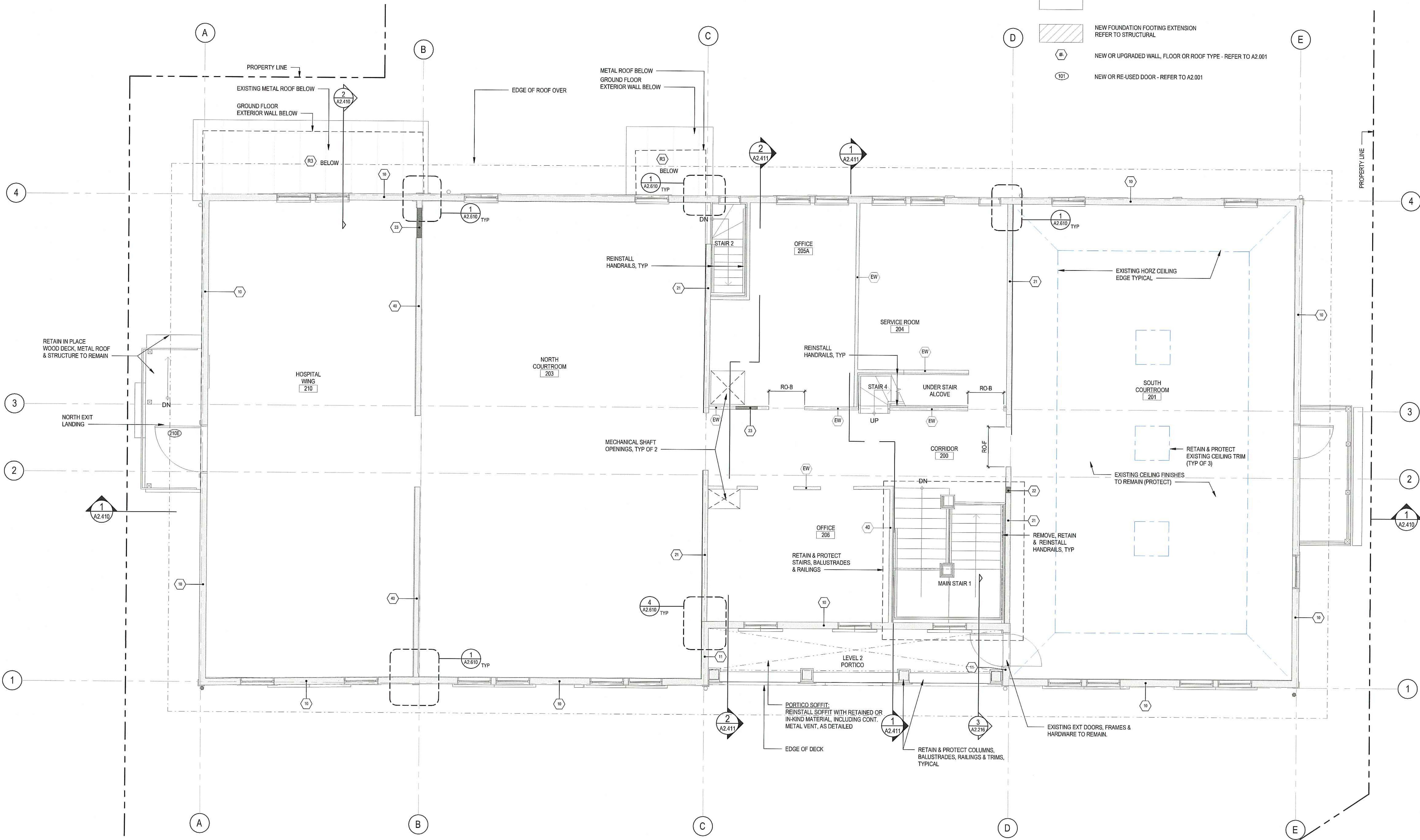
ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1989 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224

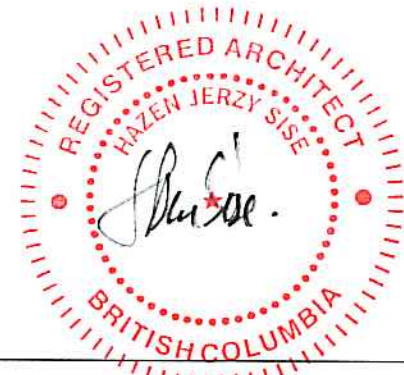
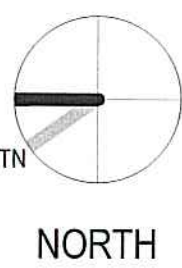
ARCHITECTURAL LEGEND:

- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR
REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD
REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION
REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	



1 FLOORPLAN - LEVEL 2
1:50



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

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301 FRONT STREET
DAWSON, YT Y0B 1G0

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Hazen Site

Drawn by/Dessiné par

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PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2
FLOOR PLAN - LEVEL 2

Project No./No. du projet

PRO 842

Sheet/ Feuille

A2.222

Revision no./

La Révision

no.

1



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-20

Client/client

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Project title/Titre du projet

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PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

ROOF PLAN

Project No./No. du projet

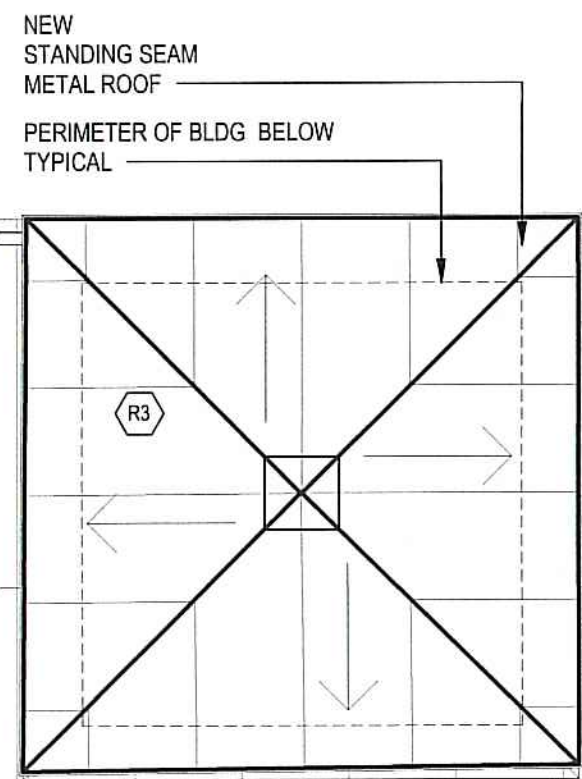
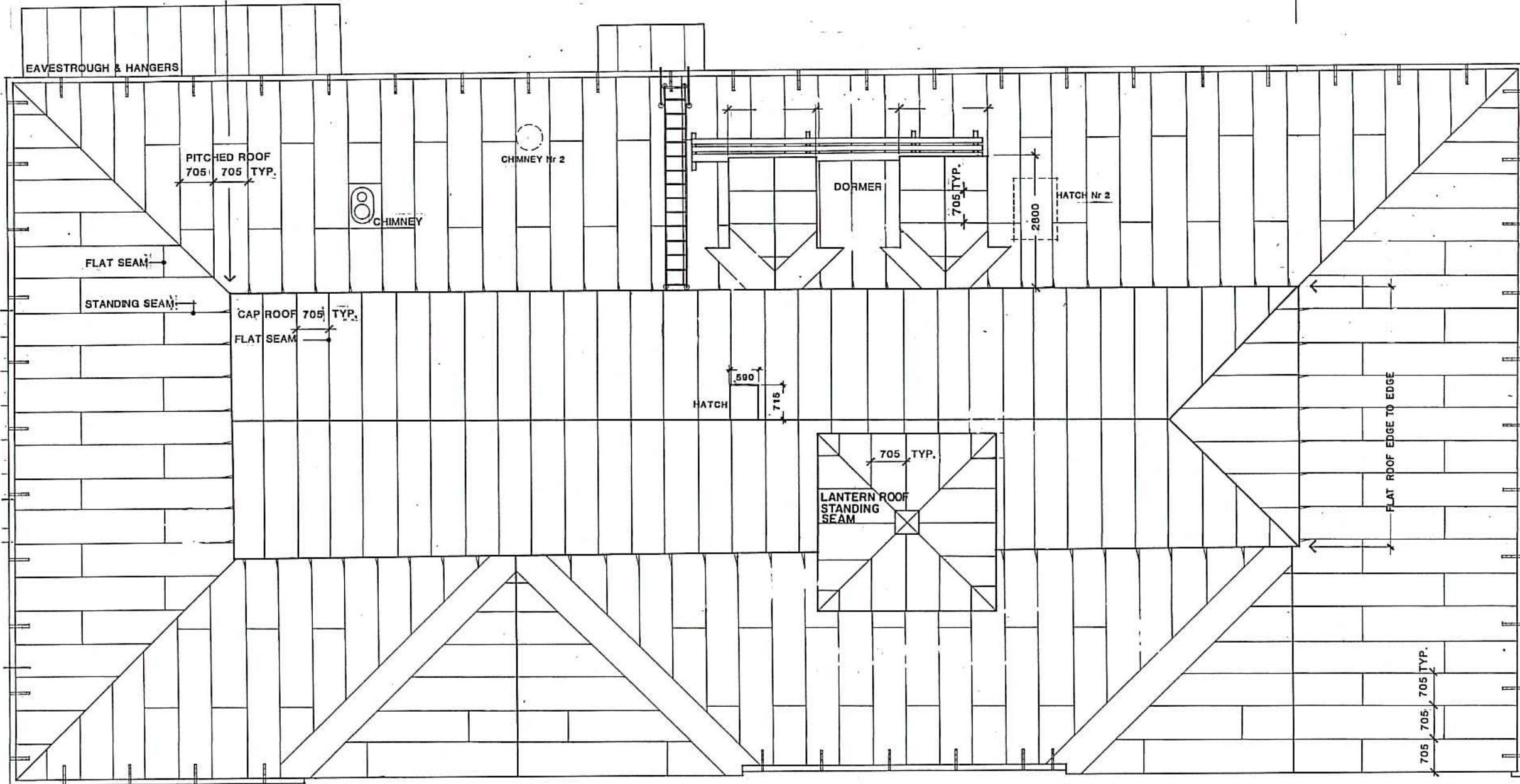
PRO 842

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A2.224

Revision no./

1



ARCHITECTURAL NOTES:

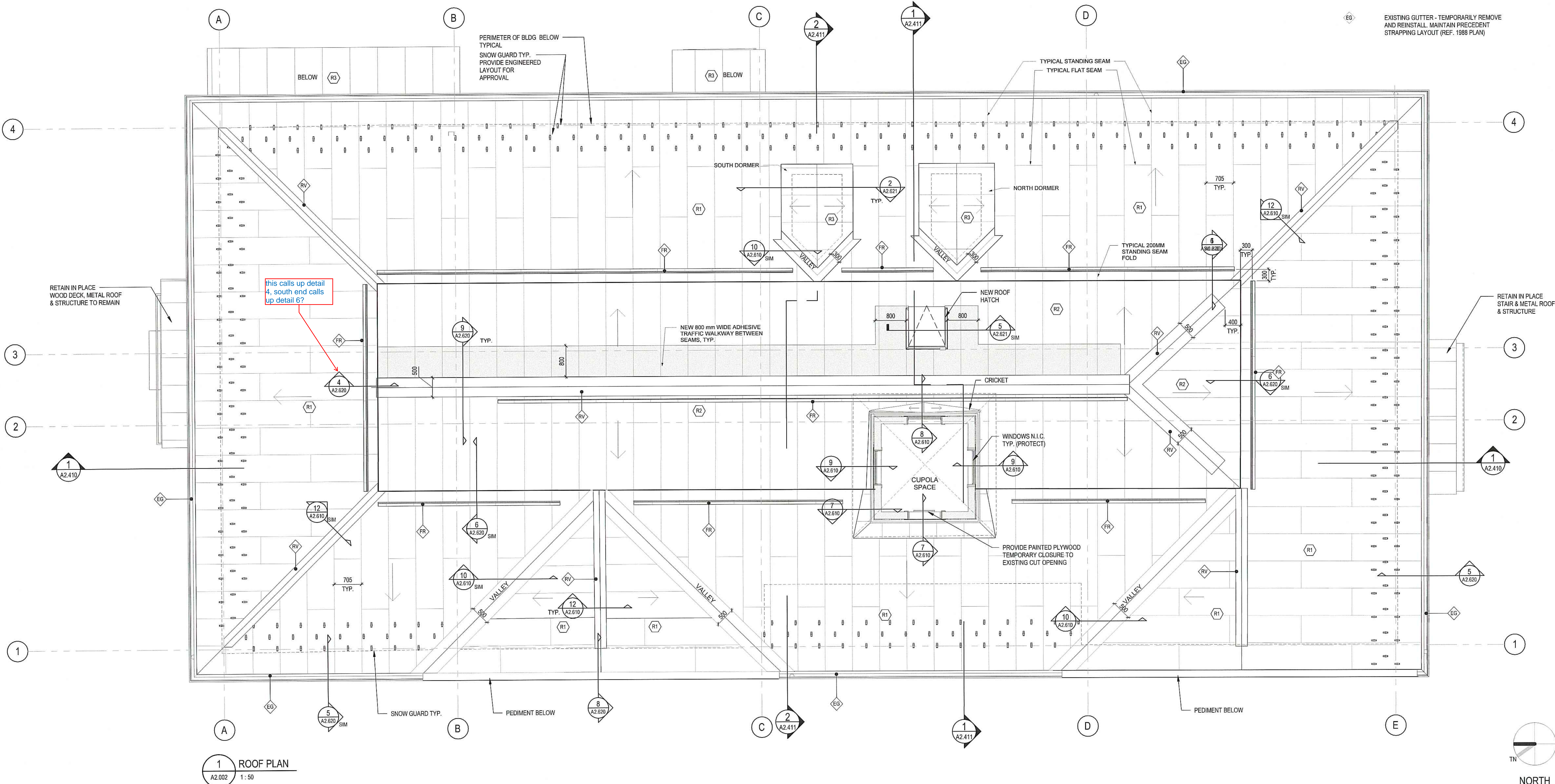
1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224

ARCHITECTURAL LEGEND:

- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR
REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD
REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION
REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001
- FALL RESTRAINT SYSTEM
- VENTED RIDGE @ 2 PEAKED ROOF
SEGMENTS - USE RCABC DETAIL ASM 10.4.3
(RIDGE), DIMENSIONS AS INDICATED.
- EXISTING GUTTER - TEMPORARILY REMOVE
AND REINSTALL, MAINTAIN PRECEDENT
STRAPPING LAYOUT (REF. 1988 PLAN)



ELEVATION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE

FR FALL RESTRAINT SYSTEM

RV VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.

EG EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL, MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)

PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

PROTECT GUTTERS, FASCIA & DOWNSPOUTS

PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

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COURTHOUSE NHSC

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Hazen Sise

Drawn by/Dessine par

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PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2
BUILDING ELEVATIONS

Project No./No. du projet

PRO 842

Sheet/ Feuille

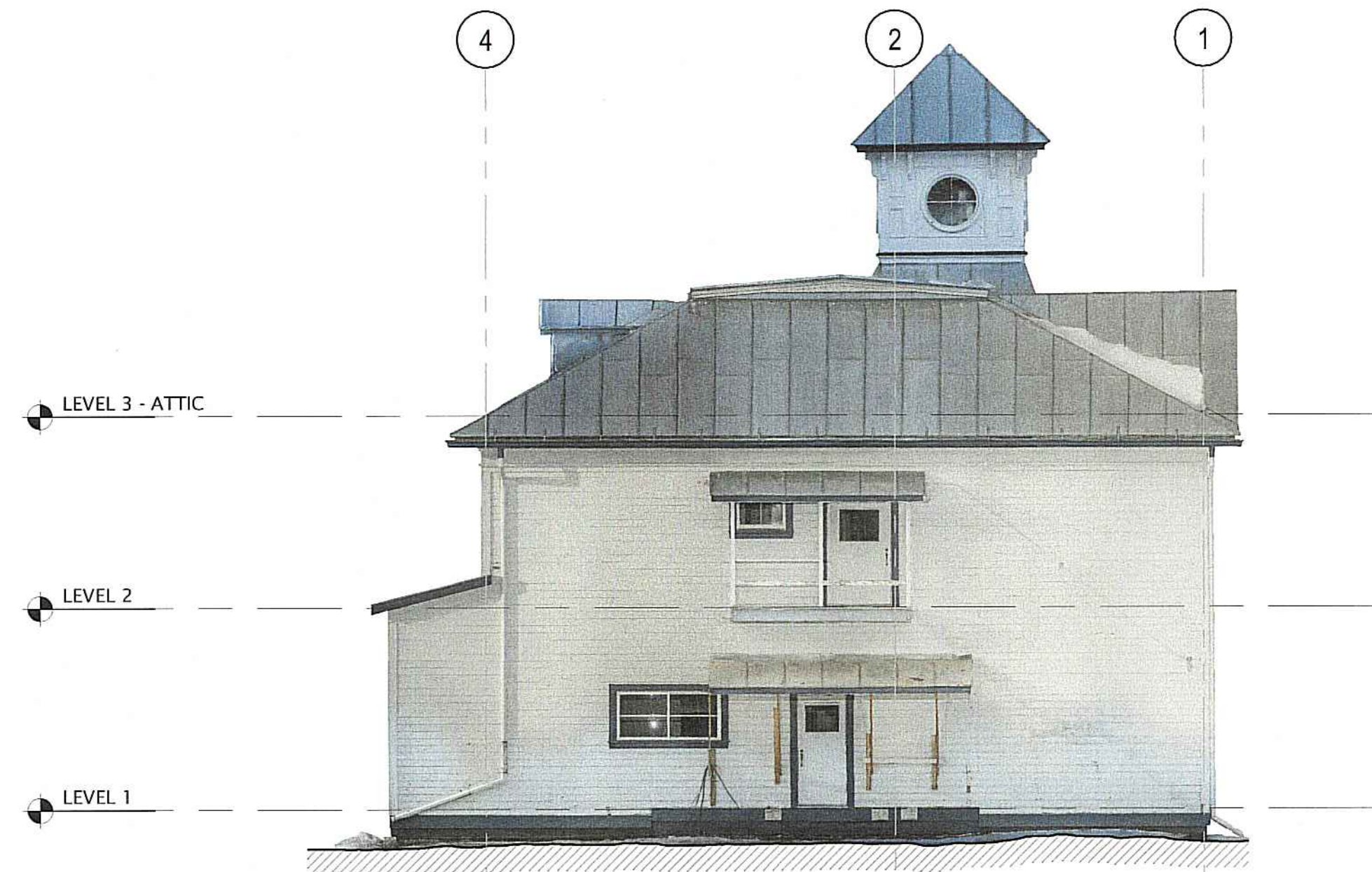
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Revision no./

La Révision

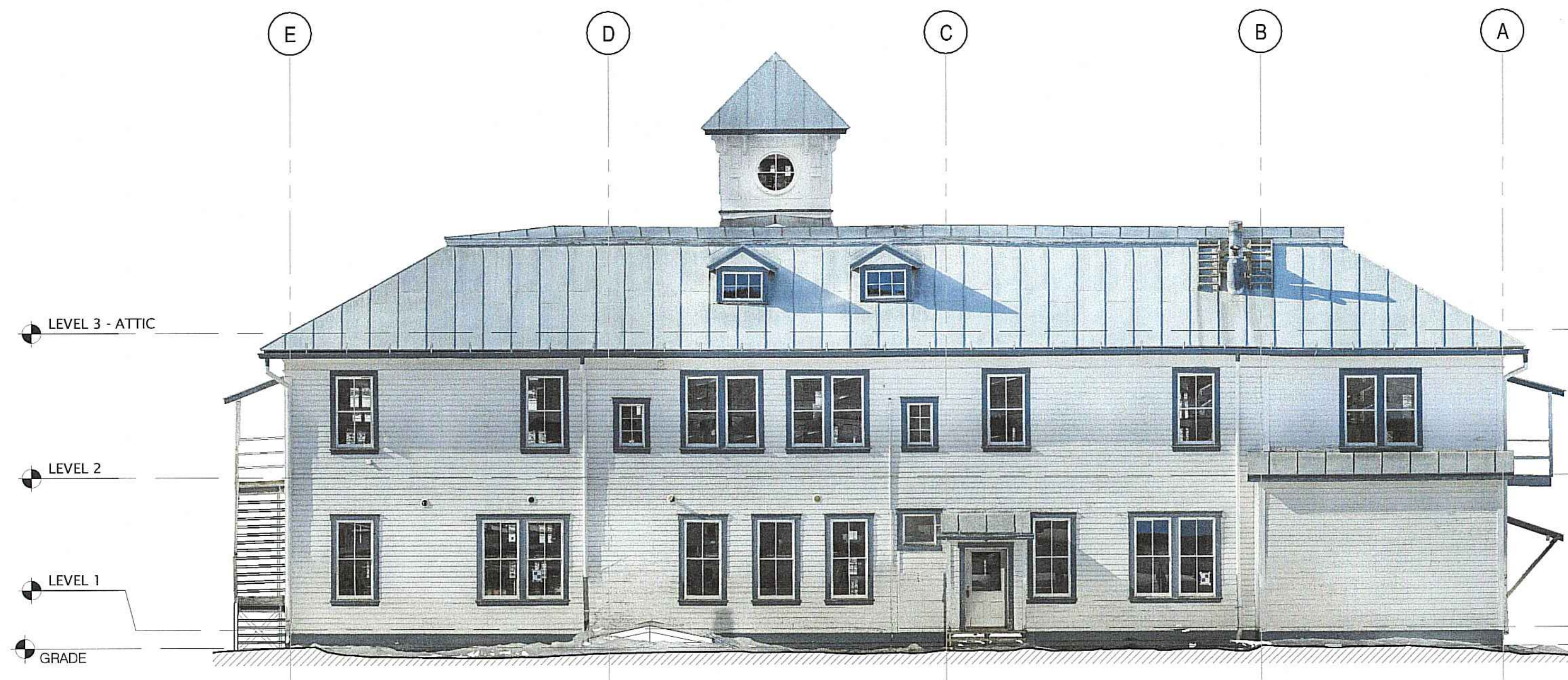
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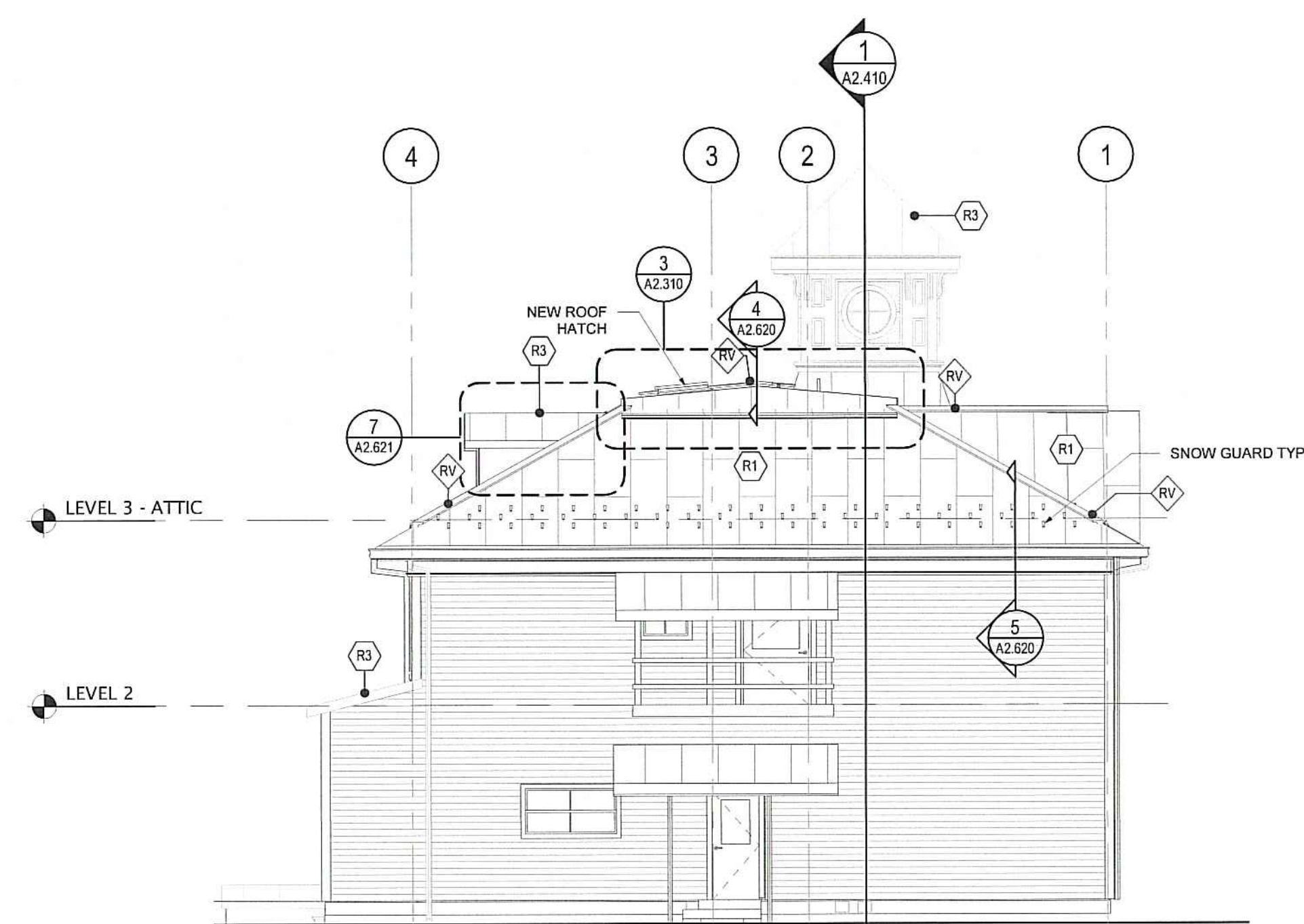
1 NORTH ELEVATION - EXISTING CONDITION

A3.223 1:100



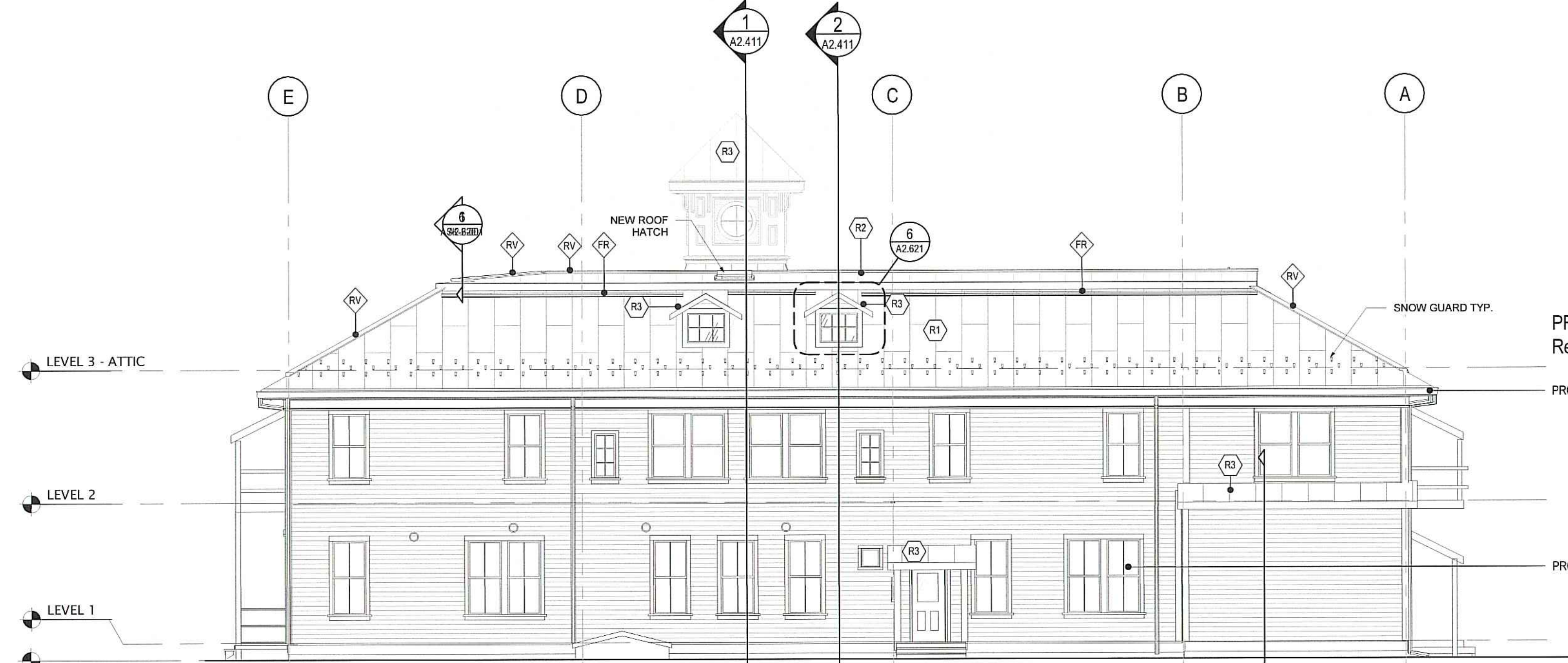
4 EAST ELEVATION - EXISTING CONDITION

A3.223 1:100



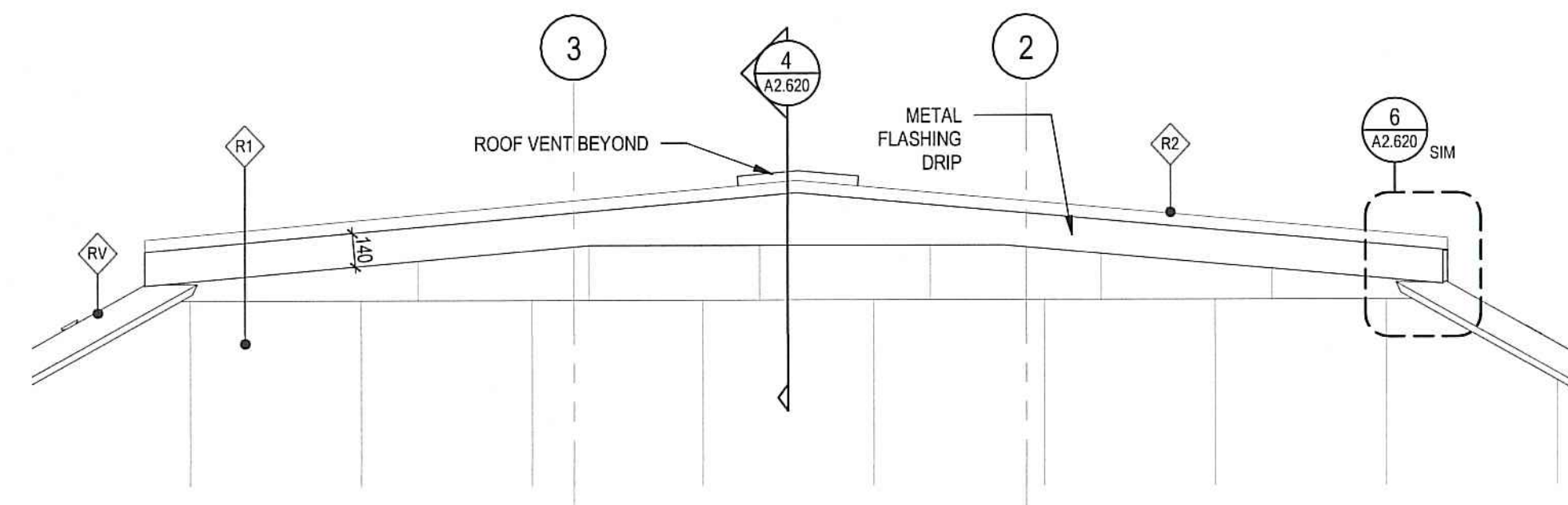
2 NORTH ELEVATION

A2.212 1:100



5 EAST ELEVATION

A2.212 1:100



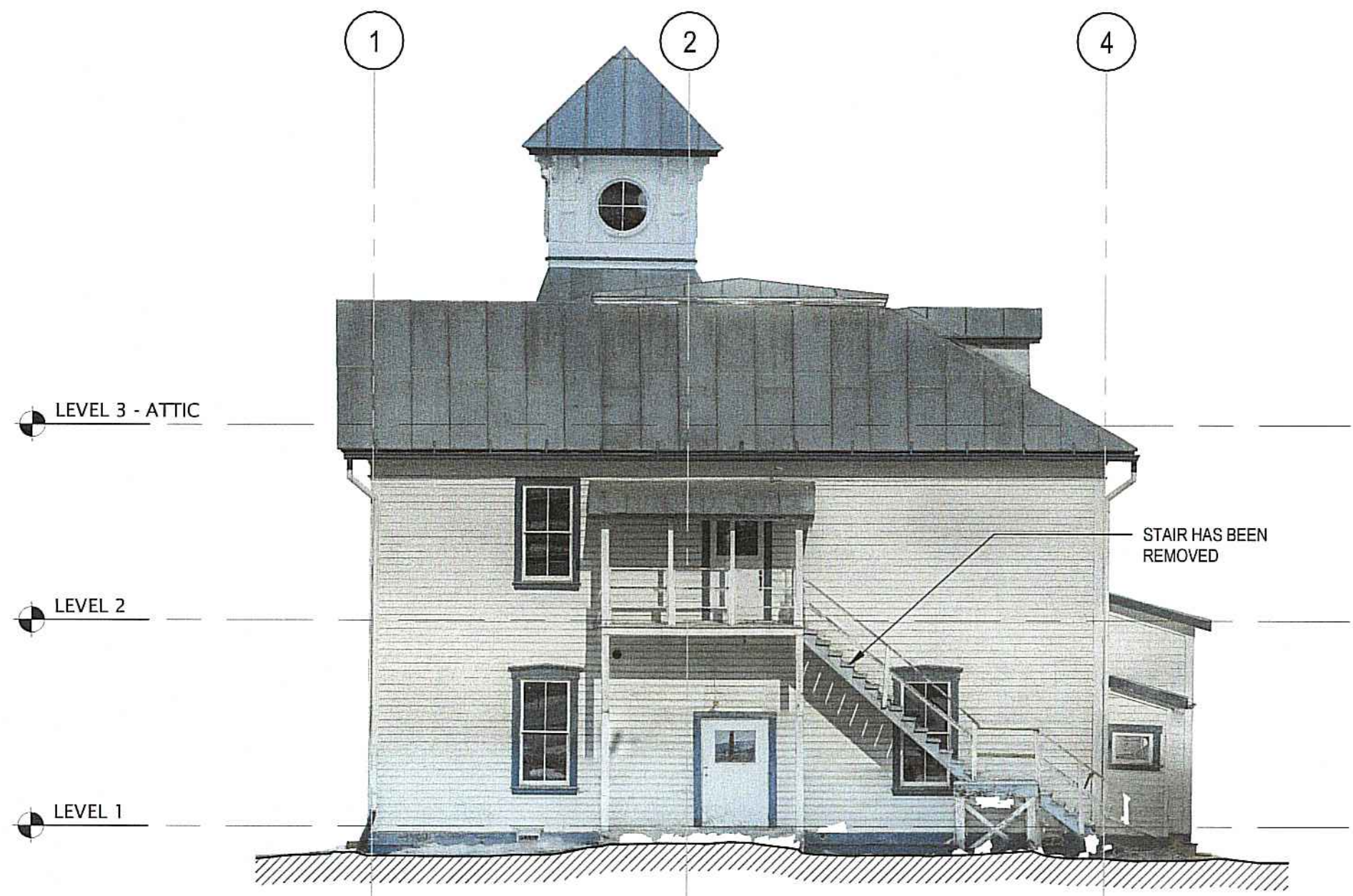
3 DETAIL ELEVATION - NORTH ROOF TRANSITION

A2.310 1:25

Consultant

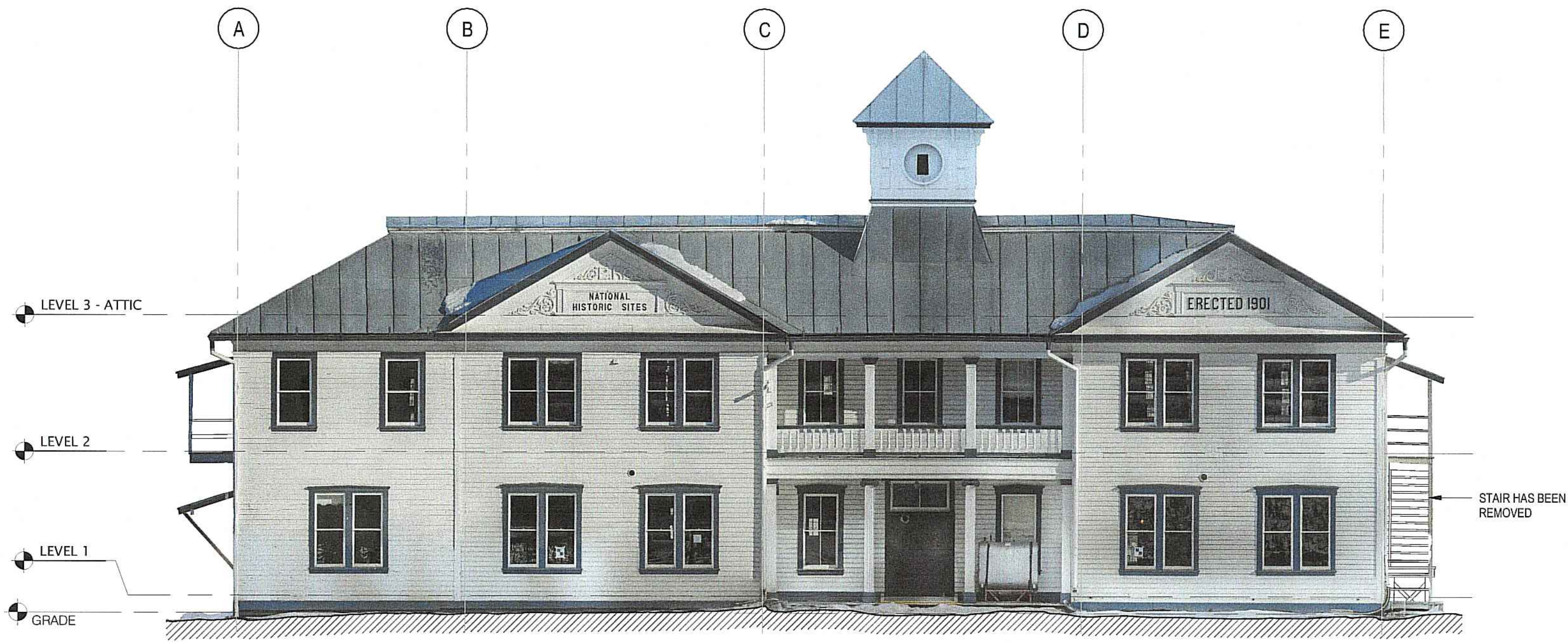
RATIO

PROJECT NO: 4053



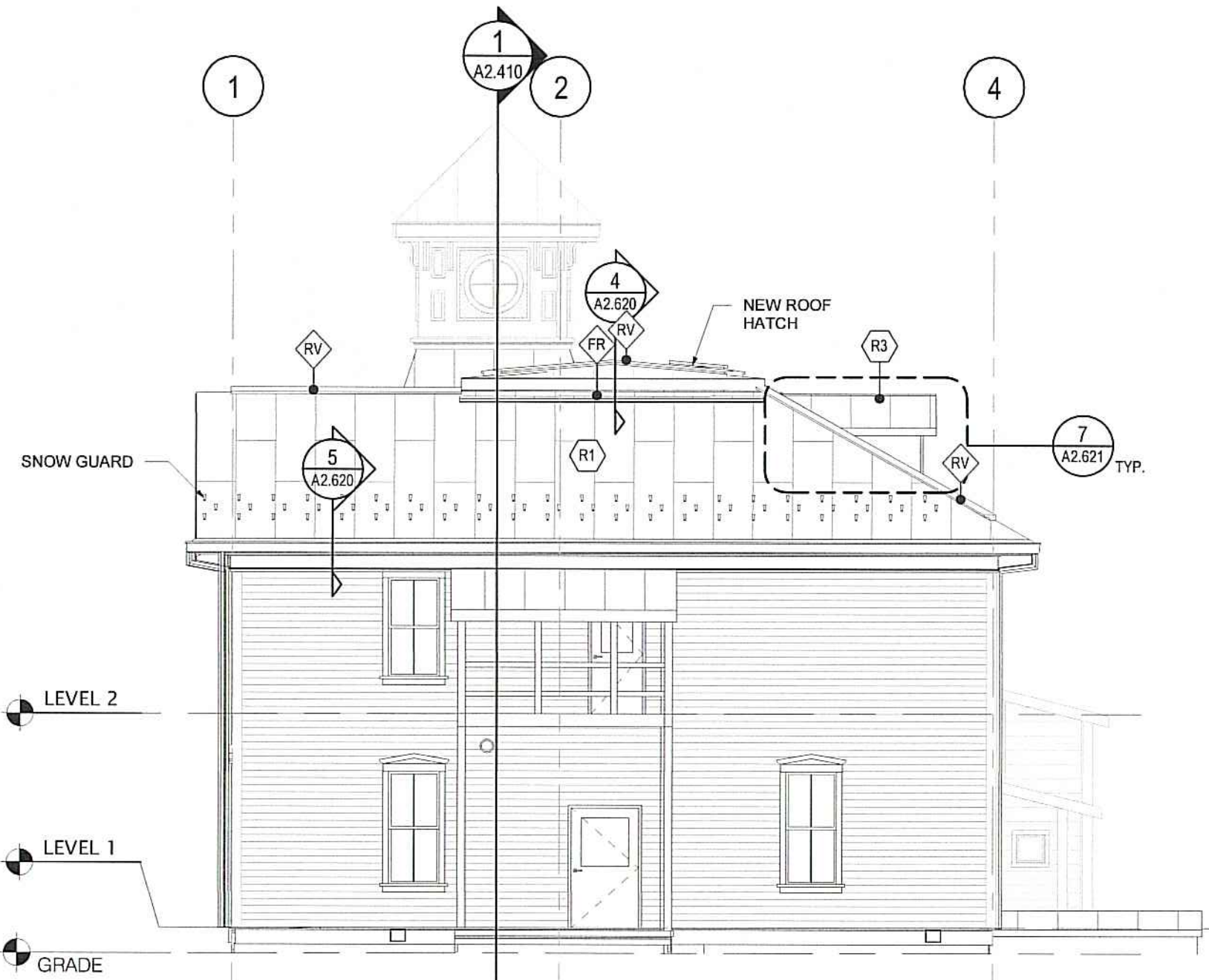
1 SOUTH ELEVATION - EXISTING CONDITION

A3.223 1:100



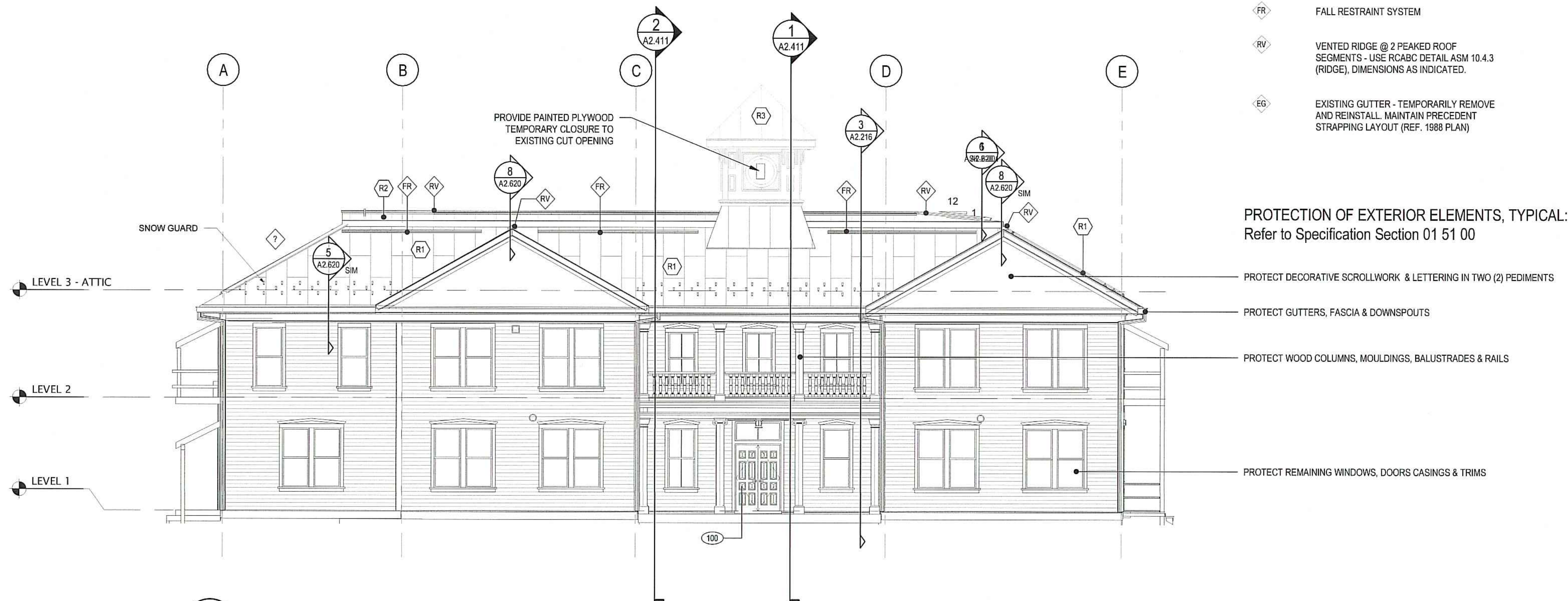
4 WEST ELEVATION - EXISTING CONDITION

A3.223 1:100



2 SOUTH ELEVATION

A2.212 1:100



5 WEST ELEVATION

A2.212 1:100

ELEVATION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE

- FR FALL RESTRAINT SYSTEM
RV VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE R44BC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.
EG EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL. MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)

PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

- PROTECT DECORATIVE SCROLLWORK & LETTERING IN TWO (2) PEDIMENTS
PROTECT GUTTERS, FASCIA & DOWNSPOUTS
PROTECT WOOD COLUMNS, MOULDINGS, BALUSTRADES & RAILS
PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

**301 FRONT STREET
DAWSON, YT Y0B 1G0**

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

BUILDING ELEVATIONS

Project No./No. du projet

PRO 842

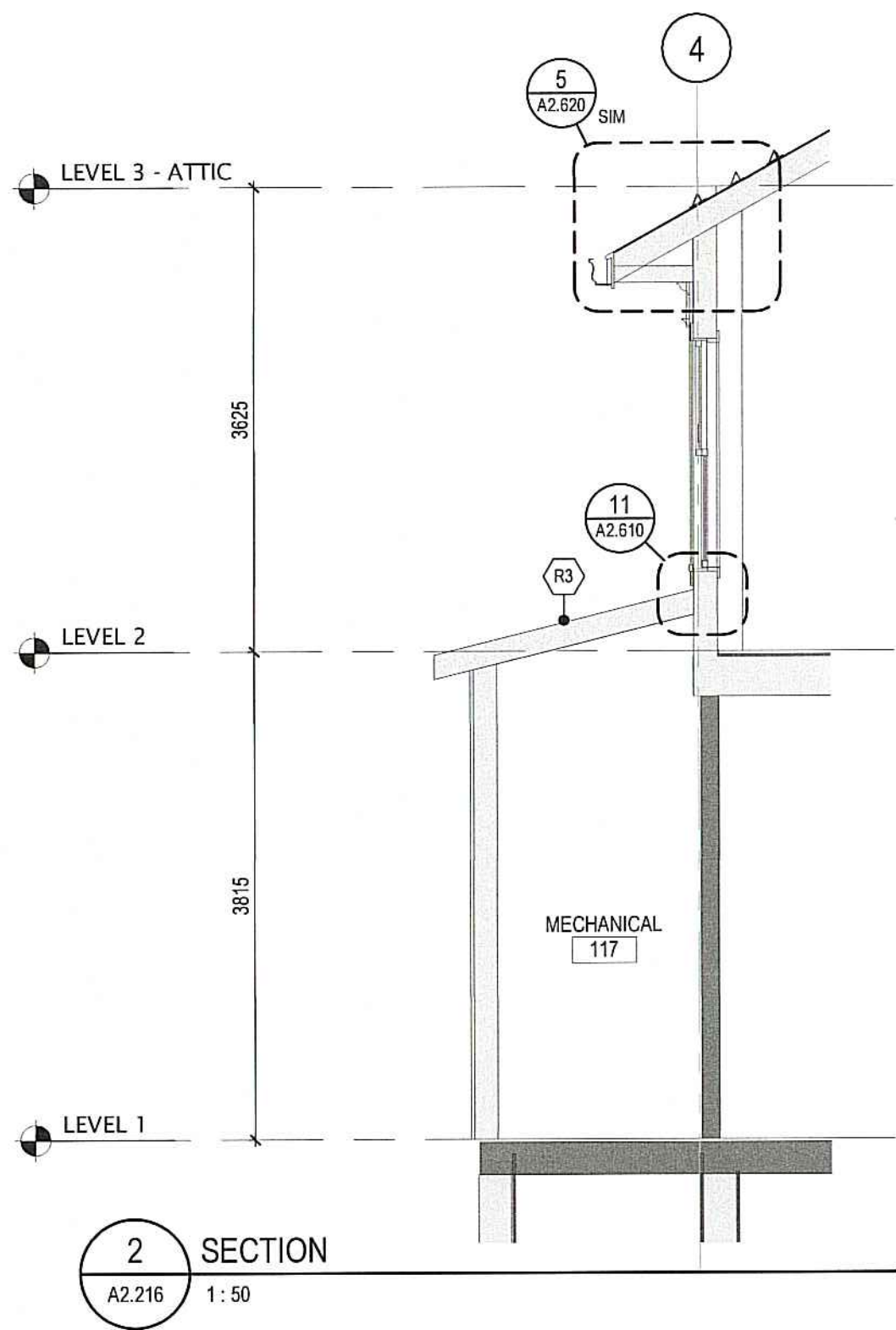
Sheet/ Feuille

A2.311

Revision no./

La Revision

1



2 SECTION
A2.216 1:50

ARCHITECTURAL LEGEND:

- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR
REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD
REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION
REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001

FALL RESTRAINT SYSTEM

VENTED RIDGE @ 2 PEAKED ROOF
SEGMENTS - USE RCABC DETAIL ASM 10.4.3
(RIDGE), DIMENSIONS AS INDICATED.

EXISTING GUTTER - TEMPORARILY REMOVE
AND REINSTALL, MAINTAIN PRECEDENT
STRAPPING LAYOUT (REF. 1988 PLAN)

ARCHITECTURAL NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
- INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
- INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

- ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
- FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224

Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

BUILDING SECTION

Project No./No. du projet

PRO 842

Sheet/Fauille

A2.410

Revision no./

1

ARCHITECTURAL LEGEND:

- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR
REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD
REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
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REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001
- FALL RESTRAINT SYSTEM
- VENTED RIDGE @ 2 PEAVED ROOF
SEGMENTS - USE RCABC DETAIL ASM 10.4.3
(RIDGE), DIMENSIONS AS INDICATED.
- EXISTING GUTTER - TEMPORARILY REMOVE
AND REINSTALL. MAINTAIN PRECEDENT
STRAPPING LAYOUT (REF. 1988 PLAN)

ARCHITECTURAL NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE

2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM

3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING
- ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN

2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



Consultant

RATIO

PROJECT NO: 4053

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessine par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

BUILDING SECTIONS

Project No./No. du projet

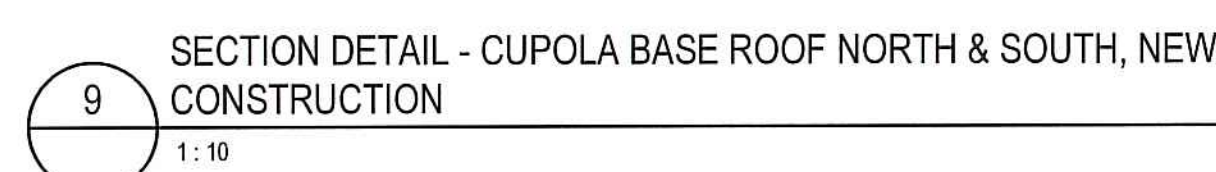
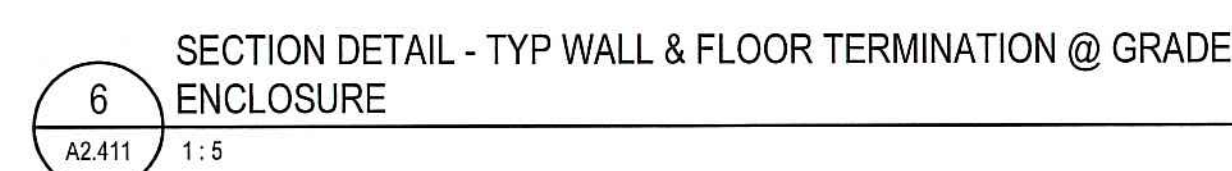
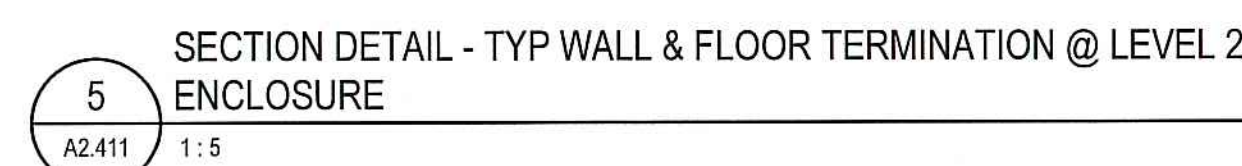
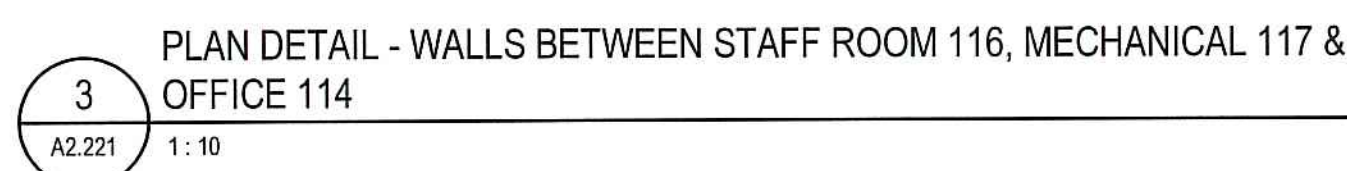
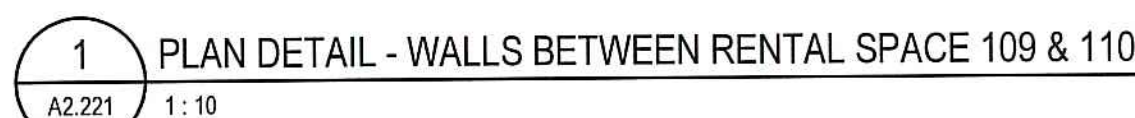
PRO 842

Sheet/Fauille

A2.411

Revision no./
La Revision
no.

1



Revision	
Client / client	

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

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Drawn by/Dessine par

PCA PROJECT LEAD

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

PHASE 2

TYP PLAN & SECTION DETAILS

Project No./No. du projet

PRO 842

Sheet/ Feuille

A2 610

Revision

no. 1



PROJECT NO: 4053

- 1 25mm WOOD ROOF SHEATHING ORIGINAL
- 2 15mm PLYWOOD STRUCTURAL SHEATHING
- 3 EXISTING METAL GUTTER - TEMPORARILY REMOVE AND REINSTALL INCLUDING STRAPPING, (REPLACE FERULLE AND SPIKE)
- 4 EXISTING 19X215mm FASCIA BOARD, PAINTED
- 5 SEPARATION MEMBRANE
- 6 METAL HOOK SECUREMENT STRIP
- 7 CONTINUOUS BREAKFORM METAL FLASHING
- 8 EAVE PROTECTION, SELF ADHERED
- 9 UNDERLAYMENT - SBS
- 10 WOVEN DRAIN MATT - 8mm
- 11 METAL ROOF CLADDING PANEL
- 12 DOUBLE STANDING SEAM BEYOND
- 13 CONTINUOUS GALVANIZED METAL CLOSURE ANGLE WITH DRIP TO US OF SHEATHING
- 14 REMOVE PART OF SOFFIT FOR CONTINUOUS METAL 50mm PERFORATED VENT STRIP
- 15 CONTINUOUS METAL OUTSIDE SECUREMENT CLIP
- 16 CONTINUOUS METAL GIRT
- 17 WOVEN MESH BAFFLE
- 18 GALVANIZED 170mm FERULLE

1	ISSUED FOR PHASE 2 & 3 TENDER	2021-01-29
Revision/ Revision	Description/Description	Date/Date
Client/client		

Project title/Titre du projet

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COURTHOUSE NHSC**

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PCA PROJECT LEAD

TRAVIS WEBER
PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

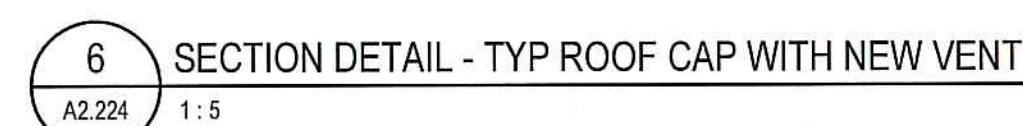
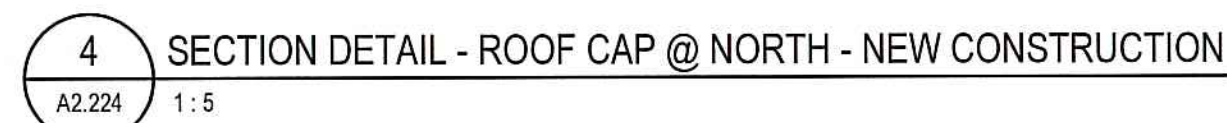
TYP SECTION DETAILS

Project No./No. du projet

PRO 842

A2.620

Revision no./
La Révision
no. **1**





Revision / Révision	Description / Description	Date / Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client / client

PARKS CANADA

Project title / Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

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COURTHOUSE NHSC

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Designed by / Concept par

Designer

Drawn by / Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title / Titre du dessin

TYP SECTION DETAILS

Project No. / No. du projet

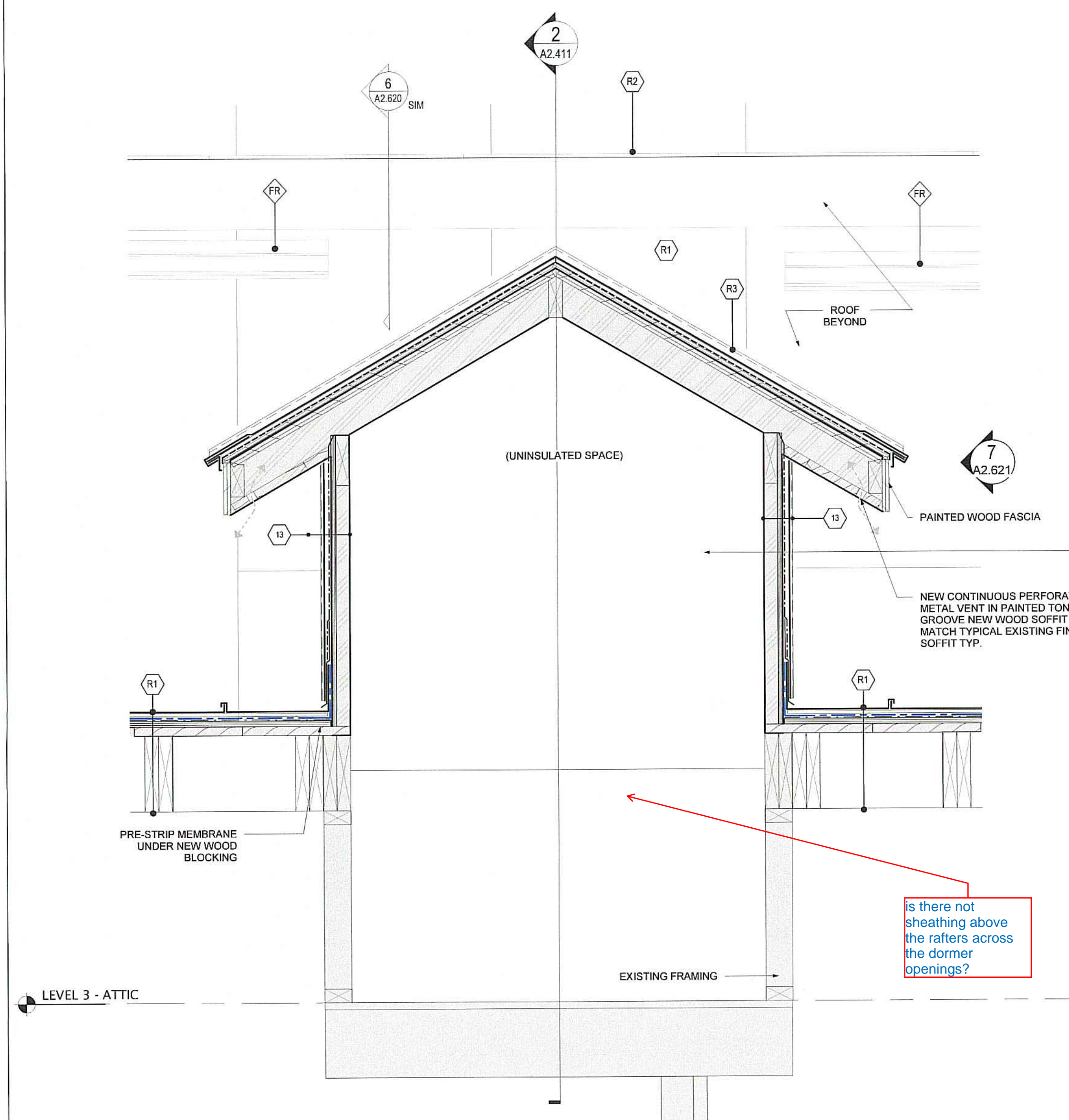
PRO 842

Sheet / Feuille

A2.621

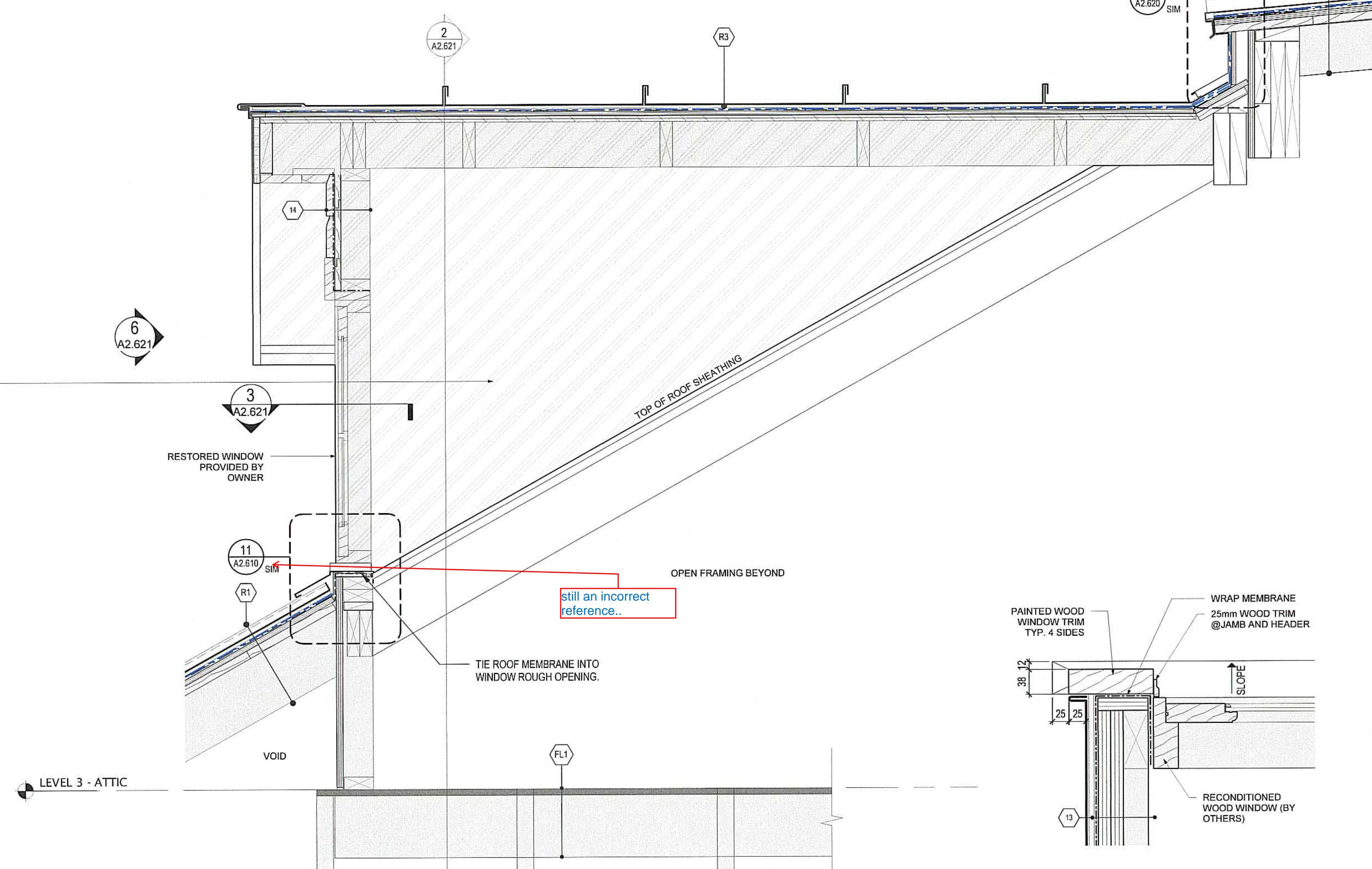
Revision no. /
La Révision
no.

1

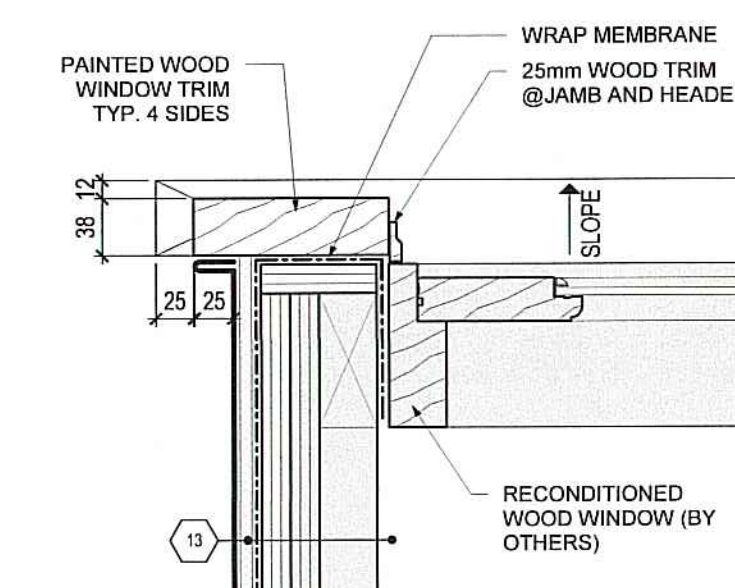


2 SECTION DETAIL - DORMER UPGRADE, N-S SECTION
1:10

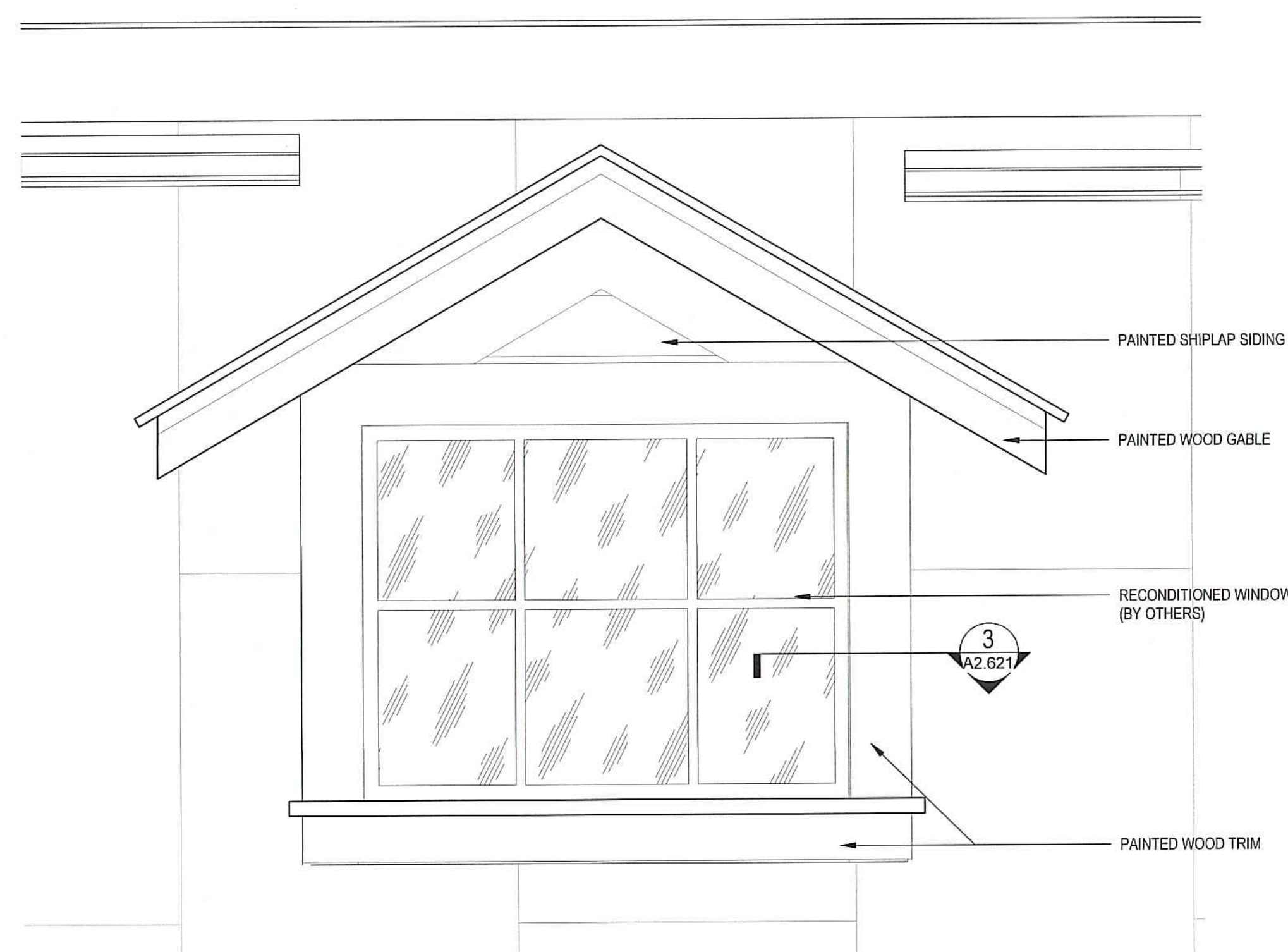
PROTECT DORMER ELEMENTS.
PROVIDE TEMPORARILY BRACING
AND REMOVE WHOLE DORMER
ASSEMBLY AND LOWER TO GRADE.
REFURBISH AS INDICATED AND
REINSTALL ON UPGRADED ROOF
STRUCTURE IN ORIGINAL LOCATION.
COMPLETE MEMBRANES AND
CLADDINGS AND TIE IN TO
ADJACENT ROOFS. REMOVE
TEMPORARILY BRACING. REFER TO
SECTION 06 03 20 - CONSERVATION
TREATMENT FOR PERIOD FINISH
CARPENTRY



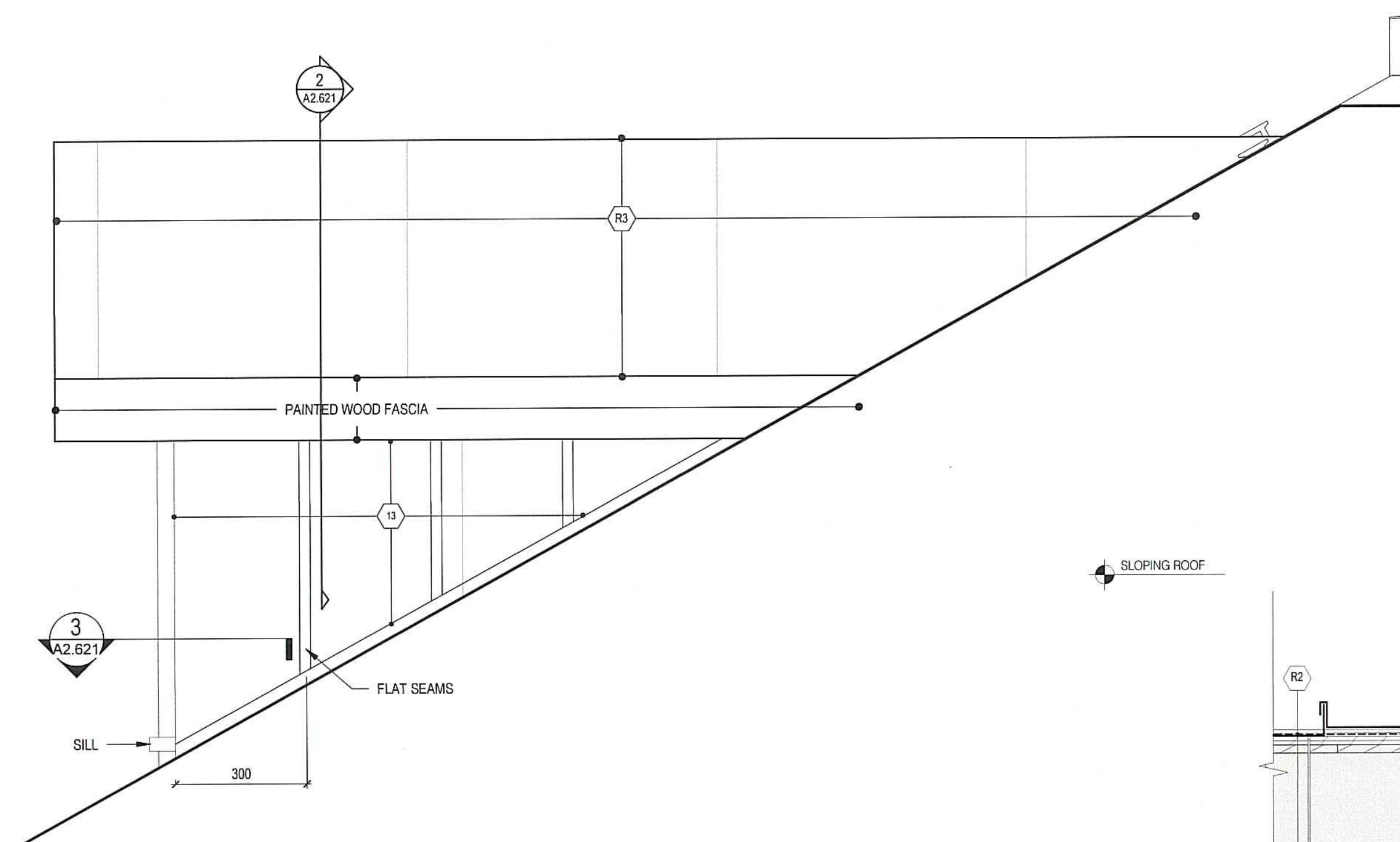
1 SECTION DETAIL - DORMER UPGRADE, E-W SECTION
1:10



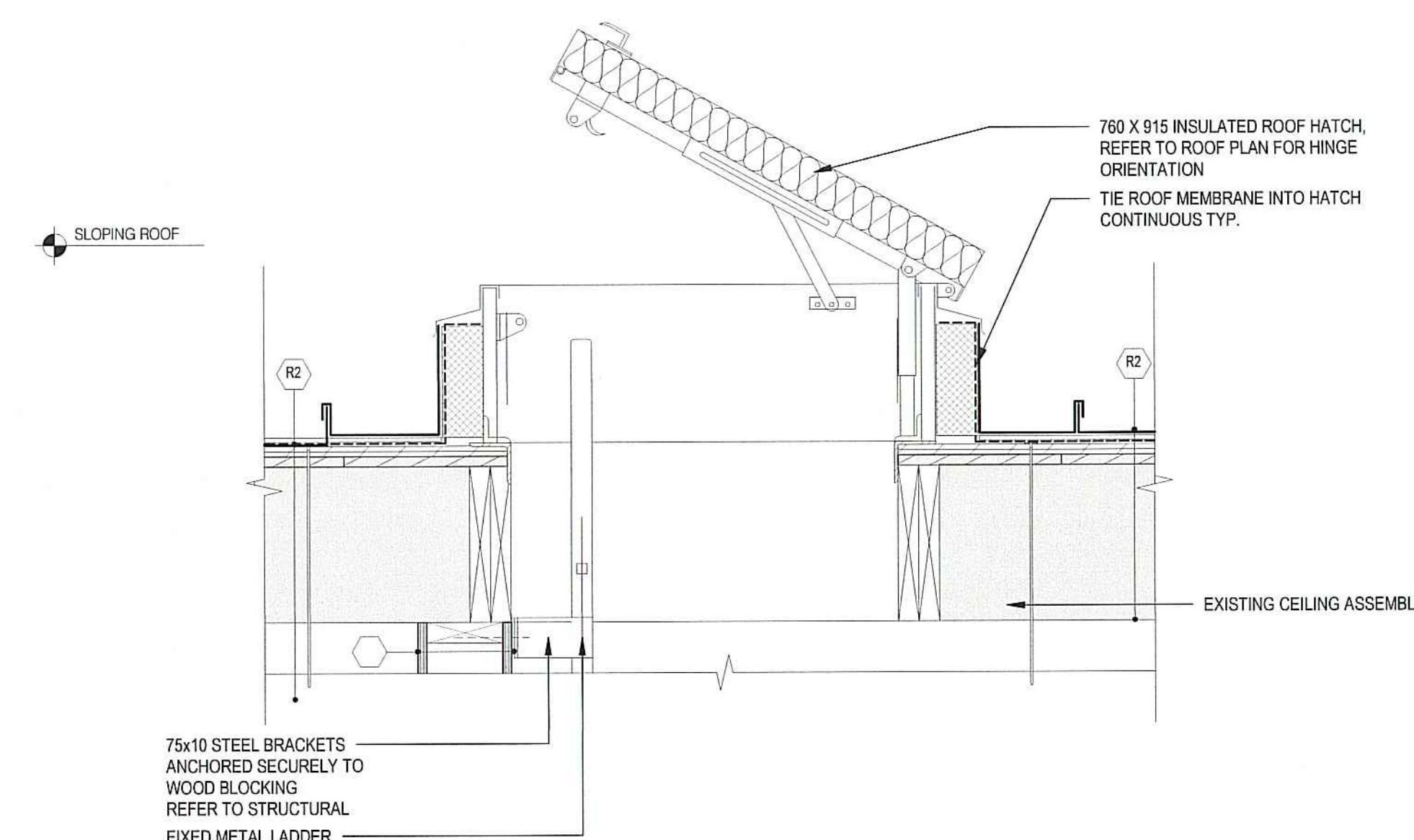
3 PLAN DETAIL - DORMER OUTSIDE CORNER
1:5



6 ELEVATION - DORMER UPGRADE-FRONT
1:10



7 ELEVATION - DORMER UPGRADE-SIDE
1:10



5 SECTION DETAIL - NEW ROOF HATCH
1:10