

FORMER TERRITORIAL COURTHOUSE NHSC

PHASE 2.3 STRUCTURAL & ROOF UPGRADE: ISSUED FOR TENDER 2021-01-29

Consultant
RATIO
 PROJECT NO: 4053



Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/Client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
 DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
 COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

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PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
 COVER SHEET**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
PRO 842	A2.000	1

Prime Consultant & Architect
 RATIO ARCHITECTURE INTERIOR DESIGN PLANNING INC

ARCHITECTURAL DRAWING LIST

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- A2.001 GENERAL NOTES & LEGENDS
- A2.110 OVERALL SITE PLAN
- A2.111 SITE PLAN
- A2.112 EXISTING PICTURES - EXTERIOR & BASEMENT
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- A2.310 BUILDING ELEVATIONS
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- A2.410 BUILDING SECTION
- A2.411 BUILDING SECTIONS
- A2.610 TYP PLAN & SECTION DETAILS
- A2.620 TYP SECTION DETAILS
- A2.621 TYP SECTION DETAILS

Structural Consultant
 STANTEC

STRUCTURAL DRAWING LIST

- S001 GENERAL NOTES
- S002 DESIGN TABLES
- S101 LEVEL 0 FOUNDATION PLAN
- S102 LEVEL 1 FLOOR FRAMING
- S103 LEVEL 2 FLOOR FRAMING
- S104 LEVEL 3 FLOOR/CEILING FRAMING
- S105 ROOF PLAN
- S106 CAP ROOF PLAN
- S501 SECTION DETAILS
- S502 SECTION DETAILS
- S503 SECTION DETAILS
- S504 DETAILS
- S505 DETAILS
- S506 DETAILS
- S601 DIAGRAMS
- S701 ISOMETRIC VIEW

Consultant

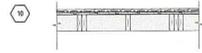
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PROJECT NO: 4053

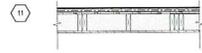
EXTERIOR WALLS



TYPICAL BASEMENT EXTERIOR WALL
 - EXISTING CONTINUOUS DRAIN MAT & PEEL & STICK MEMBRANE
 - EXISTING EXTERIOR SHEATHING
 - EXISTING WOOD STUDS - UPGRADE PER STRUCTURAL
 - NEW 200mm RIGID MINERAL WOOL INSULATION + 35mm AIR GAP
 - NEW INTERIOR STRUCTURAL PLYWOOD SHEATHING (PERFORATE AS PER BUILDING SECTIONS ON A2.40 & A2.41)



TYPICAL LEVEL 1&2 EXTERIOR WALLS
 - EXISTING WOOD CLADDING
 - EXISTING MEMBRANE (BUILDING PAPER)
 - EXISTING EXTERIOR SHEATHING
 - EXISTING WOOD STUDS - UPGRADE PER STRUCTURAL



TYPICAL LEVEL 1 EXTERIOR SHEARWALL
 - EXISTING WOOD CLADDING
 - EXISTING MEMBRANE (BUILDING PAPER)
 - EXISTING EXTERIOR SHEATHING
 - EXISTING WOOD STUDS - UPGRADE PER STRUCTURAL
 - NEW R-13 MINERAL WOOL INSULATION (CAVITY WALL)
 - NEW INTERIOR SHEATHING REFER TO STRUCTURAL



LEVEL 1 EXTERIOR EXTENSION EXISTING WALL
 - EXISTING WOOD CLADDING
 - EXISTING MEMBRANE (BUILDING PAPER)
 - EXISTING EXTERIOR SHEATHING
 - EXISTING WOOD STUDS - UPGRADE PER STRUCTURAL

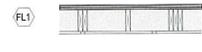


DORMER UPGRADED EXISTING SIDE WALL
 - NEW 25mm VERTICAL STANDING SEAM METAL CLADDING (SIM TO R1)-300mm WIDE PANELS
 - NEW 6mm PLYWOOD VERTICAL SPACING
 - NEW VAPOUR PERMEABLE SHEATHING MEMBRANE
 - NEW 16mm PLYWOOD SHEATHING ON
 - RETAINED FRAMING & SHEATHING
 - BORATE TREATMENT FOR ALL WOOD ELEMENTS

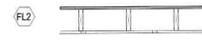


DORMER UPGRADED EXISTING FRONT WALL
 - NEW 15mm SHIPLAP WOOD CLADDING (TO MATCH BUILDING TYPICAL PROFILE) - PAINT
 - NEW 6mm PLYWOOD VERTICAL SPACING
 - NEW VAPOUR PERMEABLE SHEATHING MEMBRANE
 - NEW 16mm PLYWOOD SHEATHING ON
 - RETAINED FRAMING & SHEATHING
 - BORATE TREATMENT FOR ALL WOOD ELEMENTS

FLOOR ASSEMBLIES



EXISTING WOOD FLOOR STRUCTURE - UPGRADED
 - NEW PLYWOOD FLOOR SHEATHING - PER STRUCTURAL
 - EXISTING FLOOR SHEATHING
 - EXISTING WOOD FLOOR JOIST - UPGRADE PER STRUCTURAL (MAXIMUM T.O.F. ELEVATION DEVIATION = 1384)
 - NEW MIN. 19X38 STRAPPING @ MIN. 600mm O/C



NEW WOOD FLOOR STRUCTURE - LEVEL 1(A-B)
 - NEW PLYWOOD FLOOR SHEATHING - PER STRUCTURAL
 - NEW WOOD FLOOR JOIST - PER STRUCTURAL (MAXIMUM T.O.F. ELEVATION DEVIATION = 1384)
 - NEW MIN. 19X38 STRAPPING @ MIN. 600mm O/C

ROOF ASSEMBLIES



NEW METAL ROOF (STEEP SLOPES)
 • (REMOVE EXISTING STANDING SEAM METAL ROOFING, SHEATHING AND MEMBRANE.)
 • NEW STANDING SEAM METAL ROOF WITH 25mm HIGH DOUBLE STANDING SEAMS @NOM. 705 mm O.C.
 • NEW 8mm WOVEN DRAIN MAT.
 • NEW ROOF MEMBRANE
 • NEW PLYWOOD SHEATHING PER STRUCTURAL
 • REINSTALLED RETAINED EXISTING ROOF SHEATHING PLANKS.
 • EXISTING ROOF STRUCTURE - UPGRADED PER STRUCTURAL.

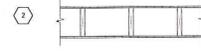


NEW METAL ROOF (LOW SLOPES)
 • (REMOVE EXISTING STANDING SEAM METAL ROOFING, SHEATHING AND MEMBRANE.)
 • NEW METAL STANDING SEAM ROOF WITH 50mm HIGH DOUBLE STANDING SEAMS @NOM. 705 mm O.C.
 • NEW 8mm WOVEN DRAIN MAT.
 • NEW ROOF MEMBRANE
 • NEW PLYWOOD SHEATHING PER STRUCTURAL
 • REINSTALLED RETAINED EXISTING ROOF SHEATHING PLANKS.
 • EXISTING ROOF STRUCTURE - UPGRADED PER STRUCTURAL.

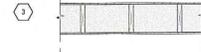


NEW METAL ROOF (CUPOLA & MESH EXTENSION)
 • REMOVE (WHERE APPLICABLE) EXISTING STANDING SEAM METAL ROOFING AND MEMBRANE - RETAIN SHEATHING (BORATE TREAT).
 • NEW METAL STANDING SEAM METAL ROOFING WITH 25mm HIGH DOUBLE STANDING SEAMS @NOM. 705mm O.C.
 • NEW 8mm WOVEN DRAIN MAT.
 • NEW ROOF MEMBRANE.
 • 12mm PLYWOOD SHEATHING
 • EXISTING ROOF SHEATHING PLANKS.
 • EXISTING ROOF STRUCTURE.

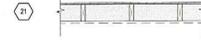
INTERIOR WALLS



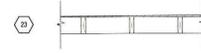
NEW BASEMENT SHEARWALLS, TYPICAL - REFER TO STRUCTURAL
 - NEW 12.5mm STRUCTURAL PLYWOOD SHEATHING
 - NEW 38mm X 235MM STUDS @ 300MM O.C. MAX.
 - NEW 12.5mm STRUCTURAL PLYWOOD SHEATHING



BASEMENT INTERIOR WALL
 - NEW 12.5mm STRUCTURAL PLYWOOD SHEATHING
 - EXISTING WOOD STUDS - UPGRADE PER STRUCTURAL
 - NEW 12.5mm STRUCTURAL PLYWOOD SHEATHING



INTERIOR WALLS UPGRADE - PLYWOOD 1 SIDE
 - NEW 12.5mm STRUCTURAL PLYWOOD SHEATHING
 - NEW 38mm STUDS & COLUMNS UPGRADE PER STRUCTURAL
 - EXISTING WOOD SHEATHING (WHERE PRESENT)



NEW INTERIOR WALLS IN CELL - PLYWOOD 1 SIDE
 - 12.5mm STRUCTURAL PLYWOOD SHEATHING - CONTINUOUS
 - NEW 38mm STUDS, DEPTH & SPACING TO MATCH ADJACENT



EXISTING INTERIOR WALL
 - EXISTING WOOD SHEATHING (WHERE PRESENT)
 - NEW 38mm STUDS & COLUMNS UPGRADE PER STRUCTURAL



NEW ATTIC WALL
 - NEW STRUCTURAL PLYWOOD SHEATHING
 - NEW 38mm STUDS & COLUMNS, PER STRUCTURAL



EXISTING WALL
 - NO STRUCTURAL UPGRADE

GENERAL SYMBOL LEGEND

- 1 D10.00 → CALLOUT NUMBER
- SHEET NUMBER
- x → CONSTRUCTION ASSEMBLY TYPE
- ROOM NAME → ROOM TAG WITH NUMBER (PHASE 3 INFO)
- 100384 T/O FLOOR → ELEVATION HEIGHT
- 305 AFF → HEIGHT OF CEILING ABOVE FINISHED FLOOR
- 101 → DOOR TAG
- WINDOW TAG
- CP-1 → FINISHES TAG
- FINISH PATTERN START POINT
- CENTRELINE INDICATOR
- X → KEYNOTE
- CEILING WALL BASE FLOOR → ROOM FINISHES TAG
- ENTRANCE ARROW
- EXIT ARROW

TYPICAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	HB	HOSE BIB
AHJ	AUTHORITIES HAVING JURISDICTION	M OR (m)	METRE
BIS	BOTH SIDES	MM OR (mm)	MILLIMETRES
BCBC	BRITISH COLUMBIA BUILDING CODE (CURRENT EDITION)	P-T	PRESSURE TREATED
BF	BARRIER FREE	PL	PROPERTY LINE
CW	COMPLETE WITH	RD	ROOF DRAIN
CJ	CONTROL JOINT	RP	ROCK PIT
CL	CENTRE LINE	RWL	RAIN WATER LEADER
CLR	DENOTES CLEAR DIMENSION REQUIRED	SC	SMALL CAR
CONC	CONCRETE	SM	SQUARE METRES
DW	DRYWALL	T/O	TOP OF
FRL	FIRE RESISTANCE RATING	TYP	TYPICAL
		UIS	UNDERSIDE
		UNO	UNLESS NOTED OTHERWISE
		W	WITH
		WD	WOOD

GENERAL ARCHITECTURAL NOTES:

- REFER TO THE SPECIFICATIONS DIVISION 1 FOR THE SPECIFIC GENERAL REQUIREMENTS OF THE WORK.
- ALL ARCHITECTURAL WORK SHALL BE UNDERTAKEN IN COORDINATION WITH STRUCTURAL WORK. ENSURE THE PROPER SEQUENCING OF ALL WORK TO MINIMIZE THE DISRUPTION OF THE EXISTING BUILDING FABRIC.
- COORDINATE ALL STRUCTURAL & ARCHITECTURAL DIMENSIONS & DETAILS TOGETHER AND ADVISE THE DEPARTMENTAL REPRESENTATIVE OF ANY DISCREPANCIES BEFORE COMMENCING THE WORK.
- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE DEPARTMENTAL REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE DESIGN BEFORE COMMENCING THE WORK.
- PERFORM THE WORK AT A MINIMUM, IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA 2015 AS ADOPTED BY THE GOVERNMENT OF YUKON. OBTAIN A BUILDING PERMIT FROM THE GOVERNMENT OF YUKON, AND OTHER PERMITS AS APPLICABLE FOR THE WORK. PERMIT FEES SHALL BE BORNE BY THE CONTRACTOR.
- REFER TO DRAWING SHEETS A2.112 TO A2.116 AND SPECIFICATIONS APPENDIX D FOR PHOTO DOCUMENTATION OF COURTHOUSE EXISTING CONDITIONS. NOTE TYPICAL REQUIREMENTS FOR THE PROTECTION OF HERITAGE ELEMENTS.
- FLOOR LEVEL ELEVATIONS SHOWN ON DRAWINGS ARE NOMINAL ONLY. REFER TO ACTUAL SITE CONDITIONS AND CONFIRM ELEVATION DATA.
- FIRE WATCH: PROVIDE FULL-TIME FIRE WATCH WHEN THE FIRE ALARM SYSTEM IS DISABLED. PROVIDE A FIRE ALARM SYSTEM IMPAIRMENT PLAN FOR APPROVAL BY THE DEPARTMENTAL REPRESENTATIVE BEFORE COMMENCING WORK. REFER TO SECTION 28.31.01 - FIRE ALARM SYSTEMS FOR SPECIFIC REQUIREMENTS

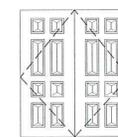
ARCHITECTURAL HERITAGE NOTES:

- THE FORMER TERRITORIAL COURTHOUSE (AKA THE COURTHOUSE) IS A FEDERAL CLASSIFIED HERITAGE BUILDING, AND PART OF A NATIONAL HISTORIC SITE.
- REFER TO SPECIFICATION SECTION 01 11 55 - GENERAL INSTRUCTIONS, PART 1.3.2.5 HERITAGE - SPECIAL CONDITIONS FOR THE RETENTION AND PROTECTION OF THE COURTHOUSE'S HERITAGE VALUE.
- RETENTION OF HERITAGE VALUE: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.5 FOR THE EXPECTED STANDARD OF CARE.
- PROTECTION OF HERITAGE ELEMENTS: REFER TO SECTION 01 51 00 - TEMPORARY FACILITIES, PART 1.2 FOR THE PROTECTION OF HERITAGE ELEMENTS, INCLUDING THE PROVISION OF A HERITAGE PROTECTION PLAN FOR APPROVAL BY THE DEPARTMENTAL REPRESENTATIVE BEFORE COMMENCING THE WORK.
- REPAIR OF HERITAGE ELEMENTS DAMAGED IN THE COURSE OF THE WORK: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS PART 1.6 FOR REQUIRED REPAIR PROCEDURES, AT THE DIRECTION OF THE DEPARTMENTAL REPRESENTATIVE, AT NO COST TO THE OWNER.
- FOR THE DORMERS, SOFFITS, ROOF FASCIA AND FRONT DOOR REHABILITATION, REFER TO SECTION 06 03 20 - CONSERVATION TREATMENT FOR PERIOD FINISH CARPENTRY.
- REFER ALSO TO THE DEMOLITION NOTES ON DRAWING SHEETS A2.212 TO A2.217

DOOR SCHEDULE										
NO	LEAF QTY	DOOR						GLAZING TYPE	HDW SET NO	REMARKS
		WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH			
100	PAIR	2 x 735	2230	45	1	WD	PNTD	-	1	WEST MAIN ENTRY / OWNER SUPPLIED DOORS.

DOORS (xxx)

PANEL TYPE



Seal



1	ISSUED FOR PHASE 2.3 TENDER	2021-01-28
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Designed by/Concept par
Hazen Sise
 Drawn by/Dessiné par
SH
 PCA PROJECT LEAD
TRAVIS WEBER
 PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

**PHASE 2
GENERAL NOTES & LEGENDS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.001	1



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C Rincon

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TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
OVERALL SITE PLAN**

Project No./No. du projet

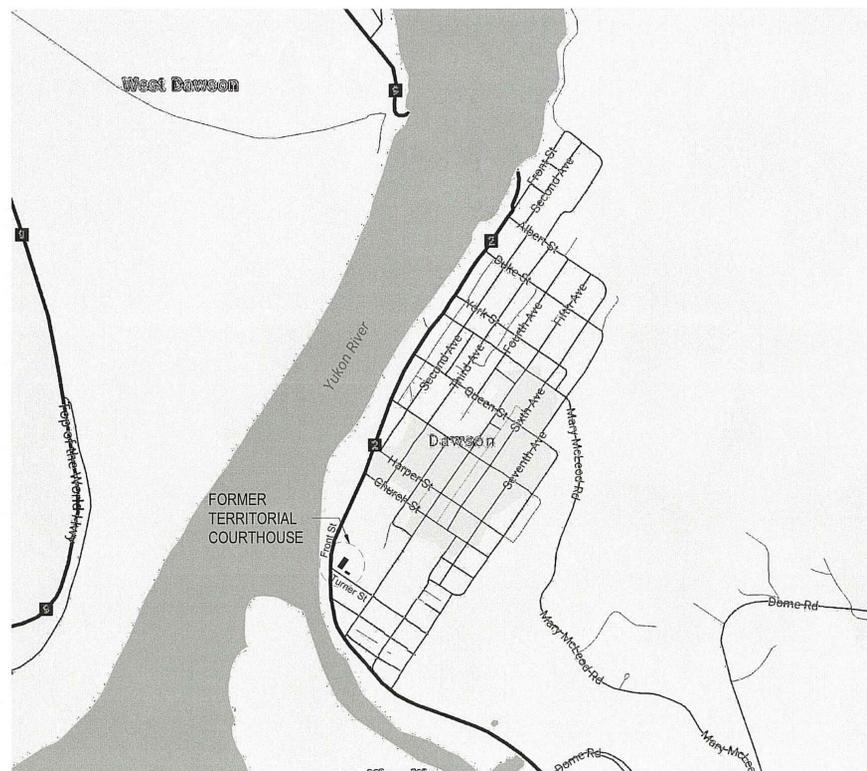
PRO 842

Sheet/Feuille

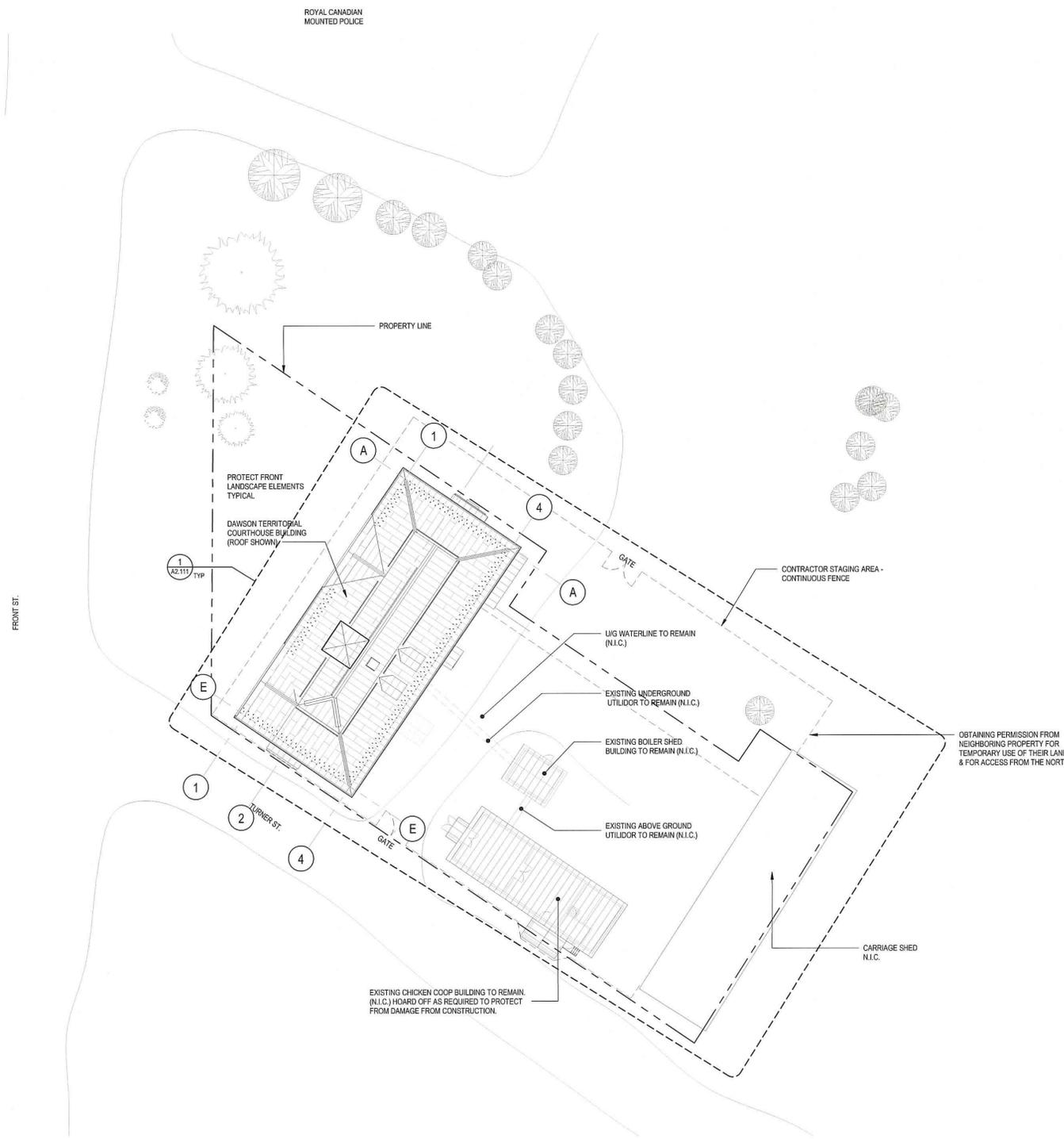
A2.110

Revision no./
La Révision
no.

1



1 LOCATION MAP
A2.110 1:250



2 OVERALL SITE PLAN
A2.002 1:250

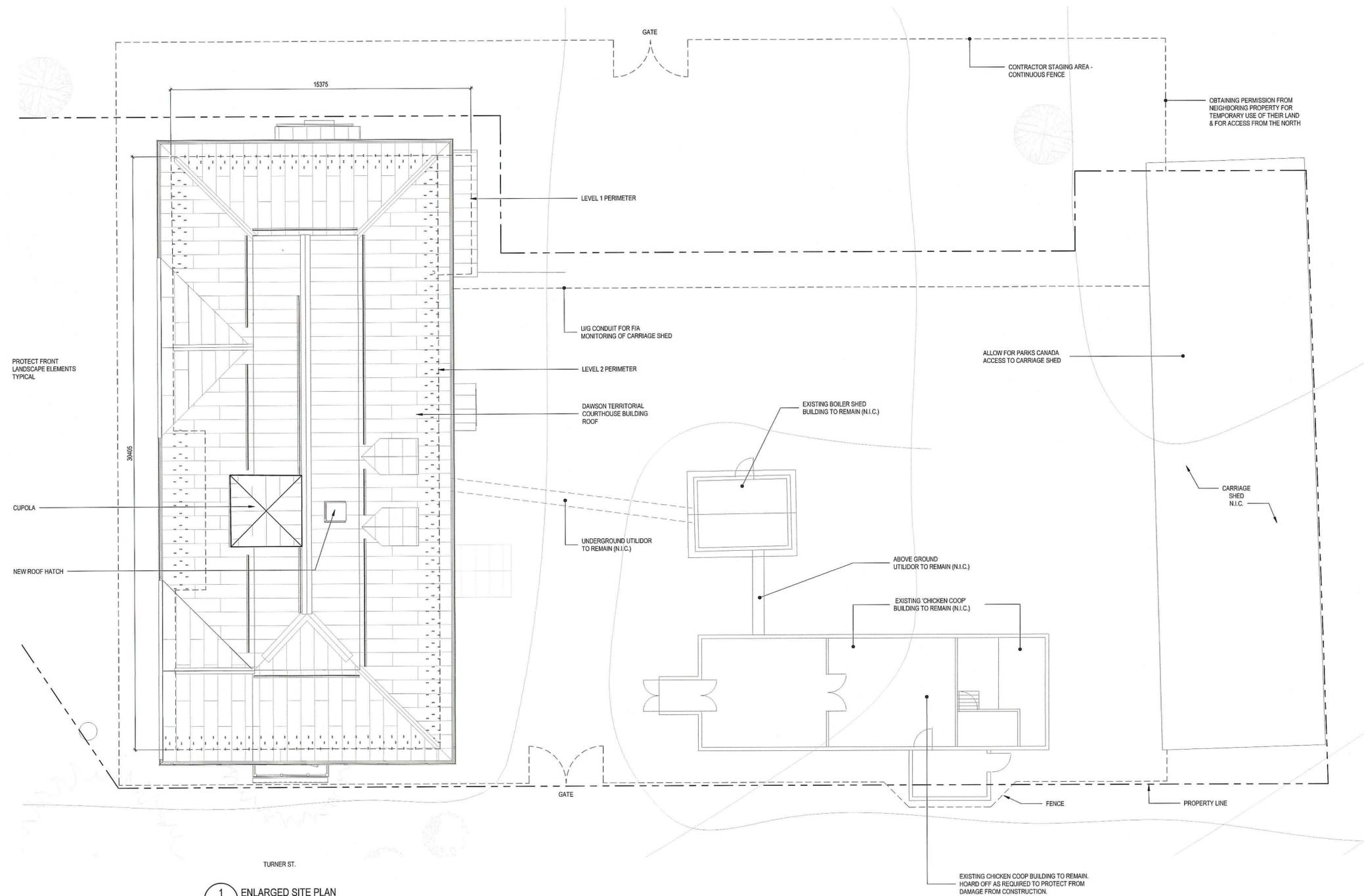


NORTH

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PROTECT FRONT LANDSCAPE ELEMENTS TYPICAL

1 ENLARGED SITE PLAN
A2.111 1:100



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TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

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**PHASE 2
SITE PLAN**

Project No./No. du projet PRO 842	Sheet/Feuille A2.111	Revision no./ La Révision no. 1
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1 EXISTING PHOTOGRAPH



2 EXISTING PHOTOGRAPH



3 EXISTING PHOTOGRAPH



4 EXISTING PHOTOGRAPH

PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

- PROTECT DECORATIVE SCROLLWORK & LETTERING IN TWO (2) PEDIMENTS
- TEMPORARILY REMOVE, RETAIN AND REINSTALL GUTTERS AND DIVERSERS, RETAIN DOWNPIPE IN PLACE TYP.
- PROTECT WOOD COLUMNS, MOULDINGS, BALUSTRADES & RAILS
- PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS



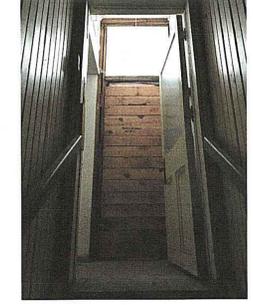
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6 EXISTING PHOTOGRAPH



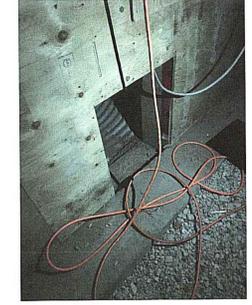
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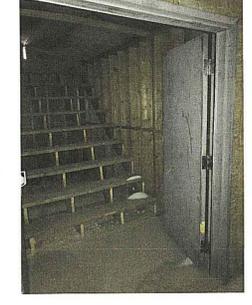
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9 EXISTING PHOTOGRAPH



10 EXISTING PHOTOGRAPH



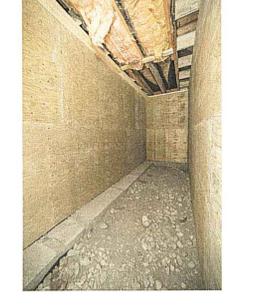
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12 EXISTING PHOTOGRAPH



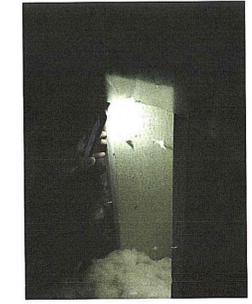
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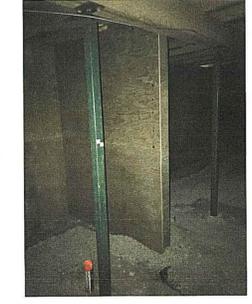
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15 EXISTING PHOTOGRAPH



16 EXISTING PHOTOGRAPH



17 EXISTING PHOTOGRAPH



18 EXISTING PHOTOGRAPH



19 EXISTING PHOTOGRAPH



20 EXISTING PHOTOGRAPH

NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS
REFER TO PLANS FOR LOCATIONS (TYPICAL)



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**PHASE 2
EXISTING PICTURES -
EXTERIOR & BASEMENT**

Project No./No. du projet PRO 842	Sheet/Feuille A2.112	Revision no./ La Révision no. 1
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1 EXISTING PHOTOGRAPH



2 EXISTING PHOTOGRAPH



3 EXISTING PHOTOGRAPH



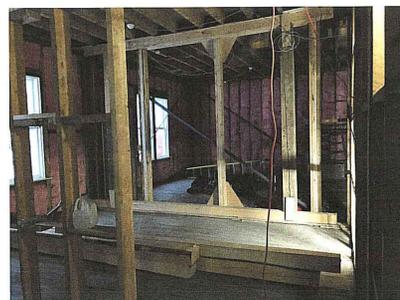
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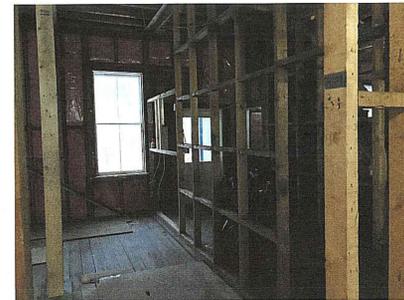
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6 EXISTING PHOTOGRAPH



7 EXISTING PHOTOGRAPH



8 EXISTING PHOTOGRAPH



9 EXISTING PHOTOGRAPH



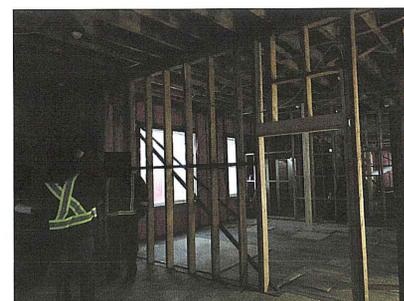
10 EXISTING PHOTOGRAPH



11 EXISTING PHOTOGRAPH



12 EXISTING PHOTOGRAPH



13 EXISTING PHOTOGRAPH



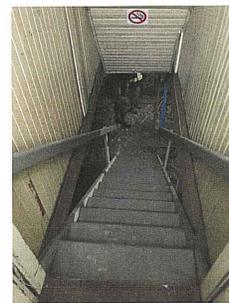
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16 EXISTING PHOTOGRAPH



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PHASE 2

EXISTING PICTURES - LEVEL 1

Project No./No. du projet

PRO 842

Sheet/ Feuille

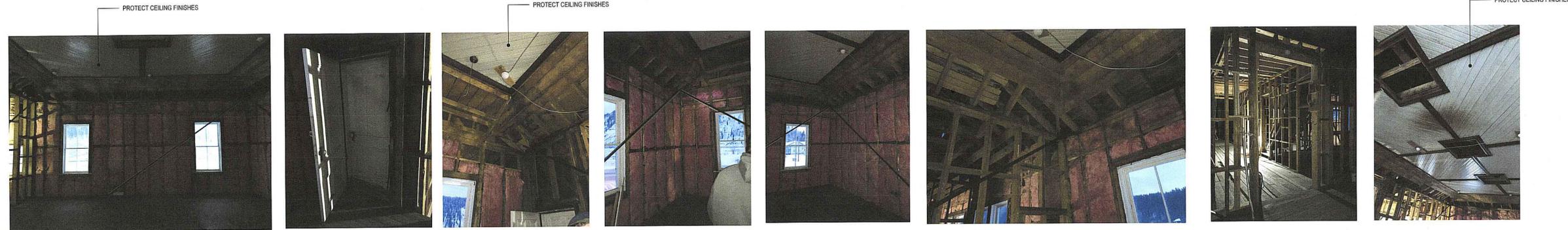
A2.113

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La Révision
no.

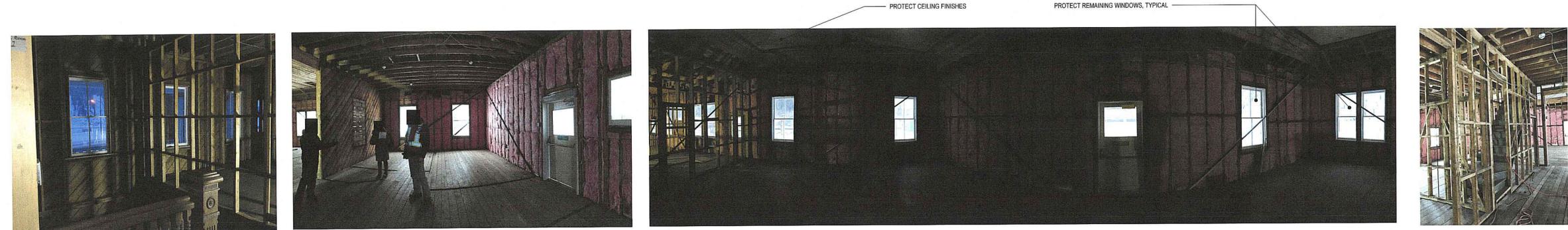
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NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS (TYPICAL)



1 EXISTING PHOTOGRAPH 2 EXISTING PHOTOGRAPH 3 EXISTING PHOTOGRAPH 4 EXISTING PHOTOGRAPH 5 EXISTING PHOTOGRAPH 6 EXISTING PHOTOGRAPH 7 EXISTING PHOTOGRAPH 8 EXISTING PHOTOGRAPH



9 EXISTING PHOTOGRAPH 10 EXISTING PHOTOGRAPH 11 EXISTING PHOTOGRAPH 12 EXISTING PHOTOGRAPH



13 EXISTING PHOTOGRAPH 14 EXISTING PHOTOGRAPH 15 EXISTING PHOTOGRAPH 16 EXISTING PHOTOGRAPH 17 EXISTING PHOTOGRAPH



18 EXISTING PHOTOGRAPH



19 EXISTING PHOTOGRAPH

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client: **PARKS CANADA**

Project title/Titre du projet:
**301 FRONT STREET
 DAWSON, YT Y0B 1G0
 FORMER TERRITORIAL
 COURTHOUSE NHSC**

Consultant Signature Box Only
 Designed by/Concept par: **Hazen Sise**
 Drawn by/Dessine par: **SH**
 PCA PROJECT LEAD: **TRAVIS WEBER**
 PCA PROJECT MANAGER: **JOSHUA KUMMERFIELD**

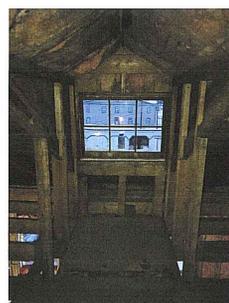
Drawing title/Titre du dessin:
**PHASE 2
 EXISTING PICTURES - LEVEL 2**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
PRO 842	A2.114	1

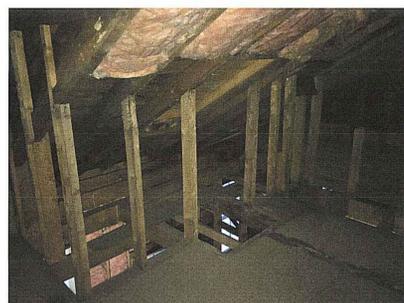
Consultant

RATIO

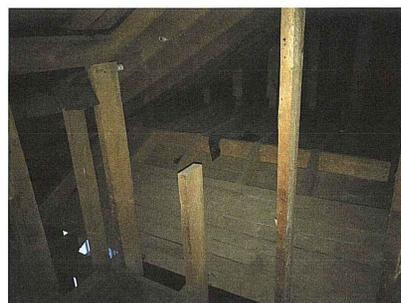
PROJECT NO: 4053



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2 EXISTING PHOTOGRAPH



3 EXISTING PHOTOGRAPH



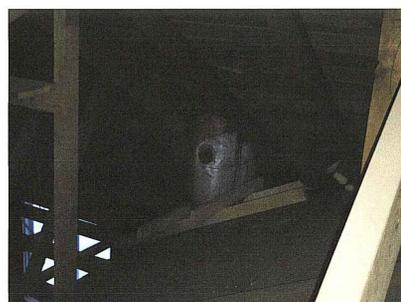
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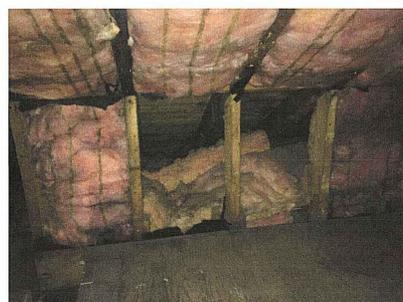
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6 EXISTING PHOTOGRAPH



7 EXISTING PHOTOGRAPH



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9 EXISTING PHOTOGRAPH



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11 EXISTING PHOTOGRAPH



12 EXISTING PHOTOGRAPH

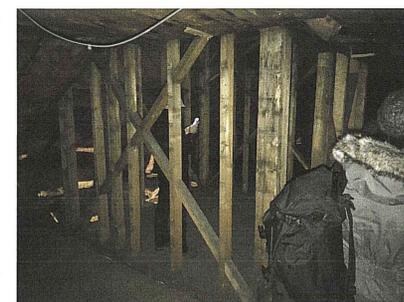
PROTECT REMAINING WINDOWS, TYPICAL



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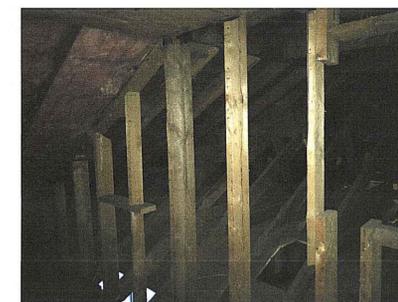
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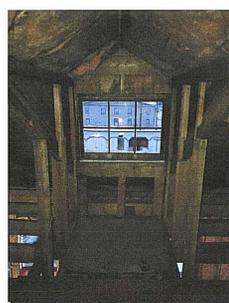
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16 EXISTING PHOTOGRAPH



17 EXISTING PHOTOGRAPH



18 EXISTING PHOTOGRAPH



19 EXISTING PHOTOGRAPH



20 EXISTING PHOTOGRAPH
1:75



21 EXISTING PHOTOGRAPH
1:75



22 EXISTING PHOTOGRAPH
1:75



23 EXISTING PHOTOGRAPH
1:75

NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS (TYPICAL)



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

PARKS CANADA

Project Title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE NHSC

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing Title/Titre du dessin

PHASE 2
EXISTING PICTURES - LEVEL 3
- ATTIC

Project No./No. du projet

PRO 842

Sheet/Feuille

A2.115

Revision no./
La Revision no.

1

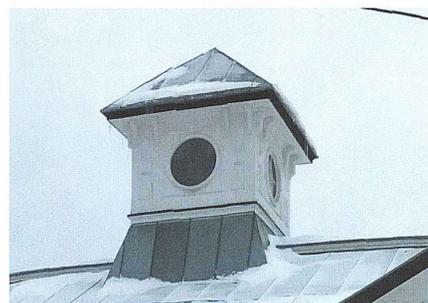
Consultant

RATIO

PROJECT NO: 4053

NOTE: THESE IMAGES INDICATE THE GENERAL EXISTING CONDITION OF THE DAWSON TERRITORIAL COURTHOUSE INTERIORS, NOT THE SUM TOTALITY OF THE WORK - REFER TO ACTUAL CONDITIONS

REFER TO PLANS FOR LOCATIONS (TYPICAL)



1 EXISTING PHOTOGRAPH



2 EXISTING PHOTOGRAPH



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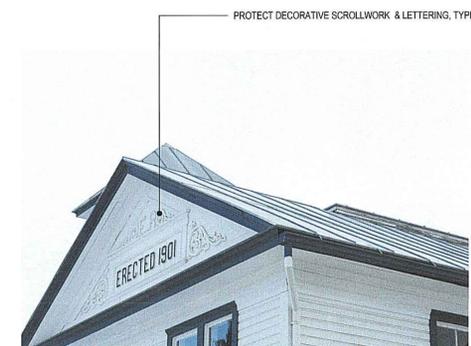
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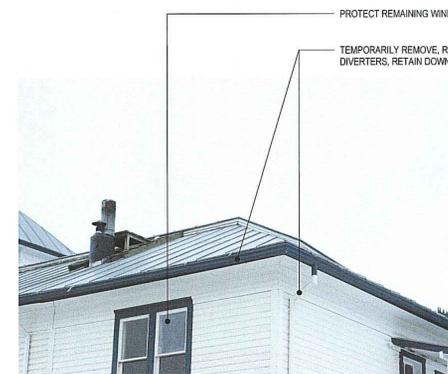
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15 EXISTING PHOTOGRAPH



16 EXISTING PHOTOGRAPH

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-28

Client/client
PARKS CANADA

Project title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0**

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise

Drawn by/Dessiné par
SH

PCA PROJECT LEAD
TRAVIS WEBER

PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

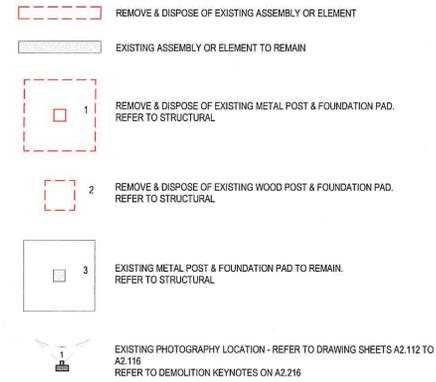
Drawing title/Titre du dessin
**PHASE 2
EXISTING PICTURES - ROOF**

Project No./No. du projet PRO 842	Sheet/Feuille A2.116	Revision no./ La Révision no. 1
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DEMOLITION KEYNOTES

00	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
01	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS	REMOVE & DISPOSE.
02	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
03	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS.
04	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
05	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
06	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED.
07	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

DEMOLITION LEGEND:



DEMOLITION NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE.
- DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION.
- AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED.
- REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL.
- FLOORS:
 - REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 - RETAIN FLOOR SHEATHING
- REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION.
- REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1+2.
- ROOFS:
 - REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE
 - ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
 - PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE.
- REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES.
- CHANCE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK.
- REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
- REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL.

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2'S TENDER	2021-01-29

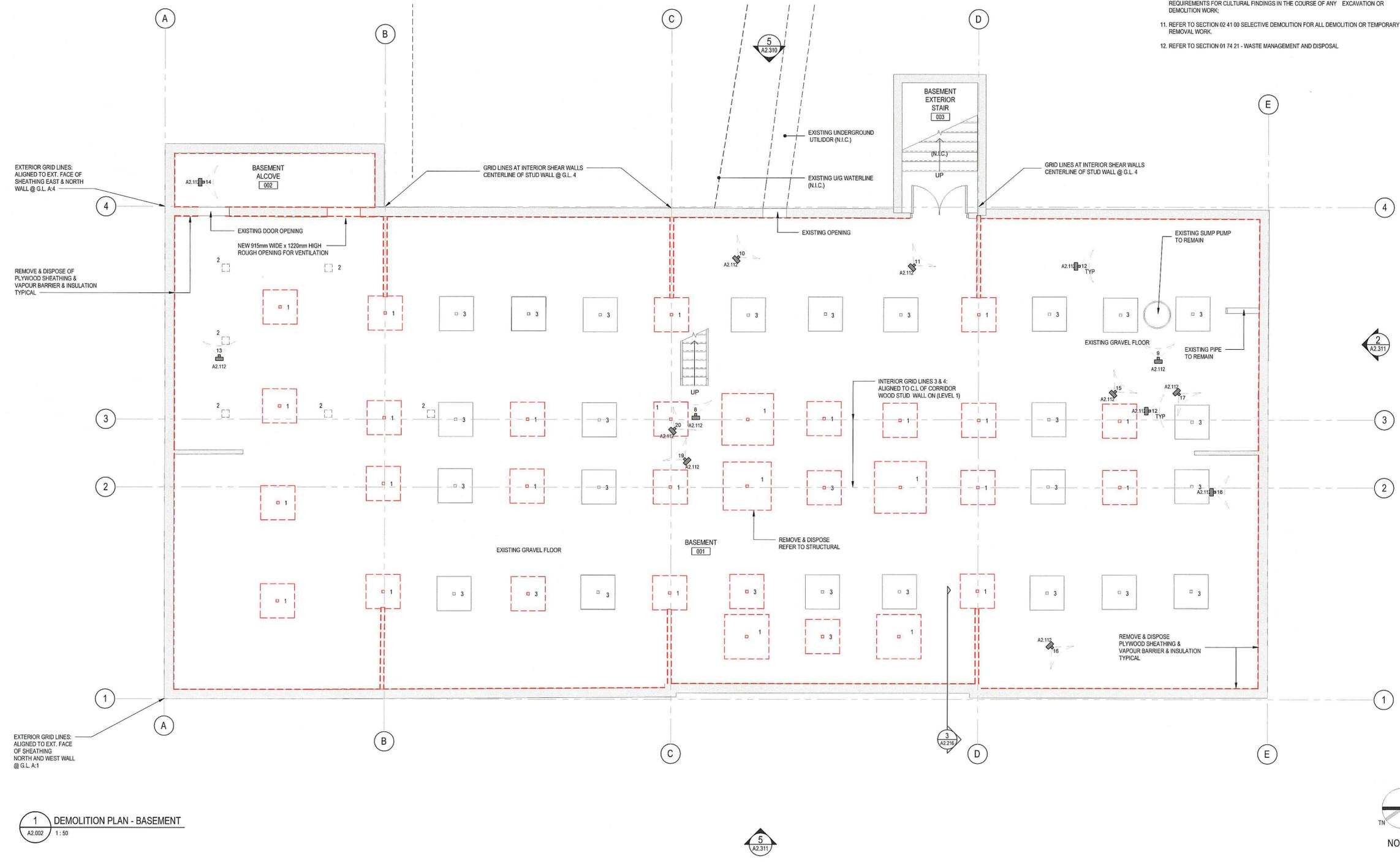
Client/Client: **PARKS CANADA**

Project title/Titre du projet:
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only
Designed by/Concept par: **Hazen Site**
Drawn by/Dessiné par: **SH**
PCA PROJECT LEAD: **TRAVIS WEBER**
PCA PROJECT MANAGER: **JOSHUA KUMMERFIELD**

Drawing title/Titre du dessin:
**PHASE 2
DEMOLITION PLAN -
BASEMENT**

Project No./No. du projet: PRO 842	Sheet/ Feuille: A2.212	Revision no./La Revision no.: 1
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1 DEMOLITION PLAN - BASEMENT
A2.002 1:50

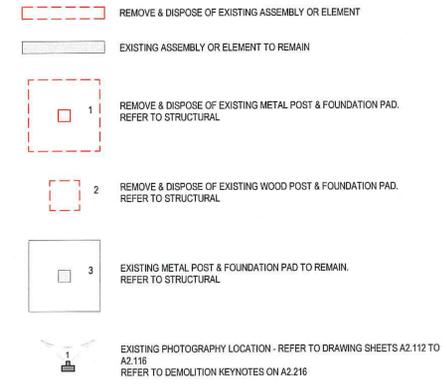


DEMOLITION KEYNOTES

D0	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
D1	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
D2	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
D3	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS.
D4	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
D5	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
D6	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED.
D15	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

DEMOLITION LEGEND:



DEMOLITION NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE.
- DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION.
- AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED.
- REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL.
- FLOORS:
 - REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 - RETAIN FLOOR SHEATHING
- REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION.
- REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1+2.
- ROOFS:
 - REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE.
 - ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS.
 - PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE.
- REMIEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES.
- CHANGE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK.
- REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
- REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL.

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

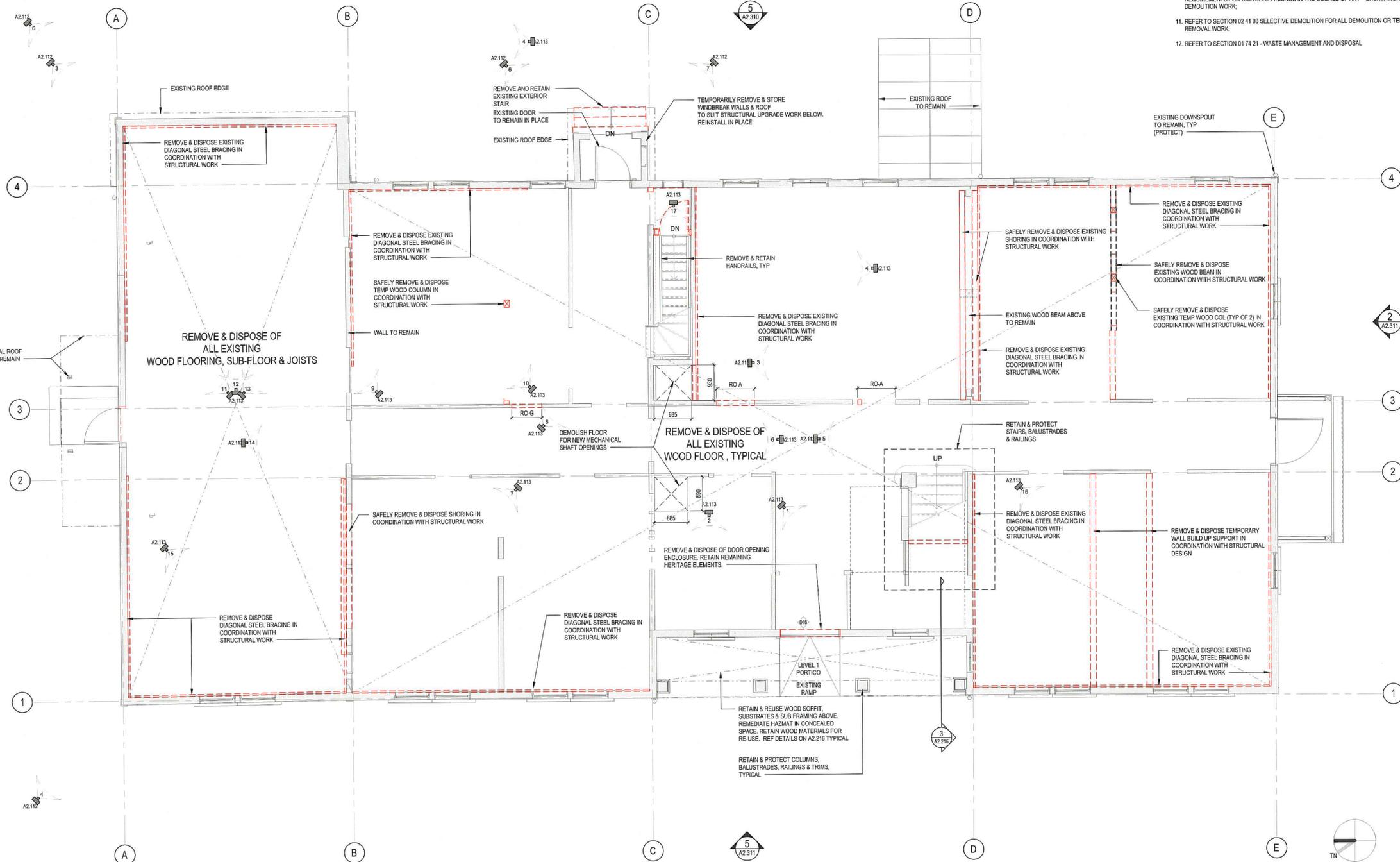
**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise
Drawn by/Dessiné par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD
Drawing title/Titre du dessin

**PHASE 2
DEMOLITION PLAN - LEVEL 1**

Project No./No. du projet	Sheet/Feuille	Revision no./La Révision no.
PRO 842	A2.213	1



1 DEMOLITION PLAN - LEVEL 1
1:50

Consultant

RATIO

PROJECT NO: 4053

DEMOLITION KEYNOTES

01	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE. REFER TO NOTE 8.
02	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
03	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
04	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS.
04	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
05	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
06	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE-INSTALL AS DETAILED.
06	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

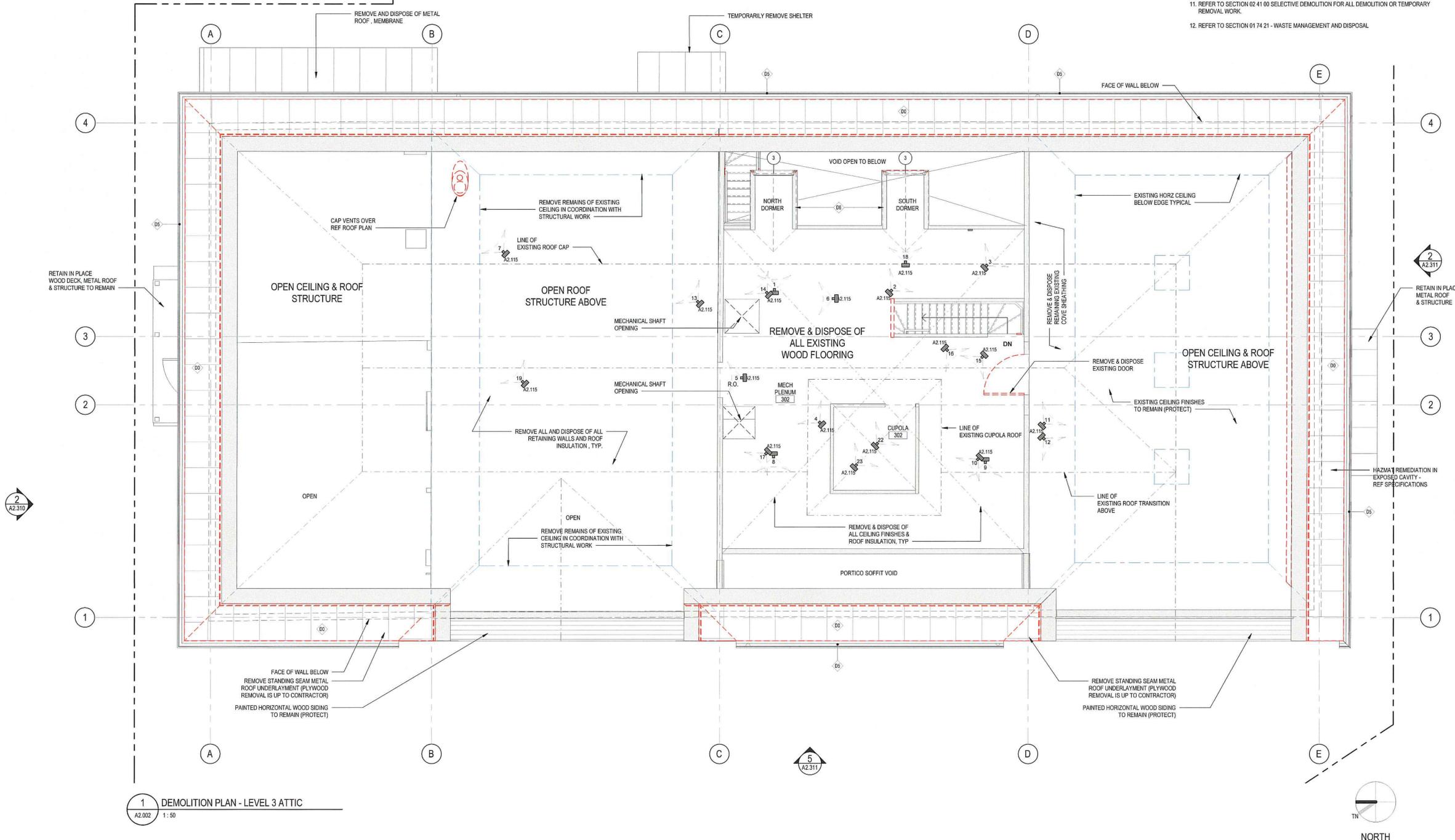
ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1675	2185	
RO-F	2	2-3/D	1675	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

DEMOLITION LEGEND:

- REMOVE & DISPOSE OF EXISTING ASSEMBLY OR ELEMENT
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
- 1 REMOVE & DISPOSE OF EXISTING METAL POST & FOUNDATION PAD. REFER TO STRUCTURAL
- 2 REMOVE & DISPOSE OF EXISTING WOOD POST & FOUNDATION PAD. REFER TO STRUCTURAL
- 3 EXISTING METAL POST & FOUNDATION PAD TO REMAIN. REFER TO STRUCTURAL
- EXISTING PHOTOGRAPHY LOCATION - REFER TO DRAWING SHEETS A2.112 TO A2.116 REFER TO DEMOLITION KEYNOTES ON A2.216

DEMOLITION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE
2. DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION
3. AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED
4. REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL
5. FLOORS:
 1. REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 2. RETAIN FLOOR SHEATHING
6. REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
7. REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1&2
8. ROOFS:
 1. REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE
 2. ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
 3. PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE
9. REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES, AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES
10. CHANGE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK.
11. REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
12. REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL



1 DEMOLITION PLAN - LEVEL 3 ATTIC
A2.002 1:50



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 3 TENDER	2021-01-28

PARKS CANADA

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise

Drawn by/Dessine par
SH

PCA PROJECT LEAD
TRAVIS WEBER

PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

PHASE 2
**DEMOLITION PLAN - LEVEL 3 -
ATTIC**

Project No./No. du projet	Sheet/Feuille	Revision no./ La Revision no.
PRO 842	A2.215	1

Consultant

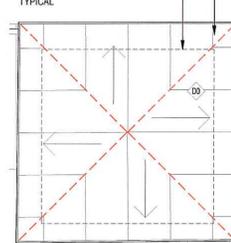
RATIO

PROJECT NO: 4053

DEMOLITION KEYNOTES

D0	EXISTING METAL ROOF	REMOVE & DISPOSE OF METAL ROOF, UNDERLAYMENT APPURTENANCES, FLASHING & HARDWARE, REFER TO NOTE 8.
D1	EXISTING METAL EXHAUST STACKS & FIXED WOOD LADDERS.	REMOVE & DISPOSE.
D2	EXISTING ROOF HATCH.	REMOVE & DISPOSE.
D3	EXISTING WOOD SOFFIT & SUBSTRATE, HAZMAT.	RETAIN SOFFIT, MITIGATE HAZMAT FROM ABOVE. ALLOW FOR CONTINUOUS PERFORATED METAL VENT PER DETAILS
D4	EXISTING WOOD GAMBREL TRANSITION FASCIA	REMOVE & DISPOSE.
D5	EXISTING GUTTER	TEMPORARILY REMOVE GUTTERS & DIVERTERS
D6	DORMERS TYPICAL	REMOVE DORMERS IN 1 PIECE EACH. PROVIDE TEMPORARY BRACING TO ENSURE INTEGRITY. RETAIN FOR RESTORATION AND RE INSTALL AS DETAILED
D7B	MAIN ENTRY - GROUND FLOOR	REMOVE MAIN ENTRY DOOR TEMPORARY INFILL PANEL. RETAIN INTACT GLAZED TRANSOM, CASING & TRIMS.

REMOVE STANDING SEAM METAL ROOF UNDERLAYMENT (PLYWOOD REMOVAL IS UP TO CONTRACTOR)
PERIMETER OF BLDG BELOW TYPICAL



2 DEMOLITION PLAN - CUPOLA ROOF
1:50

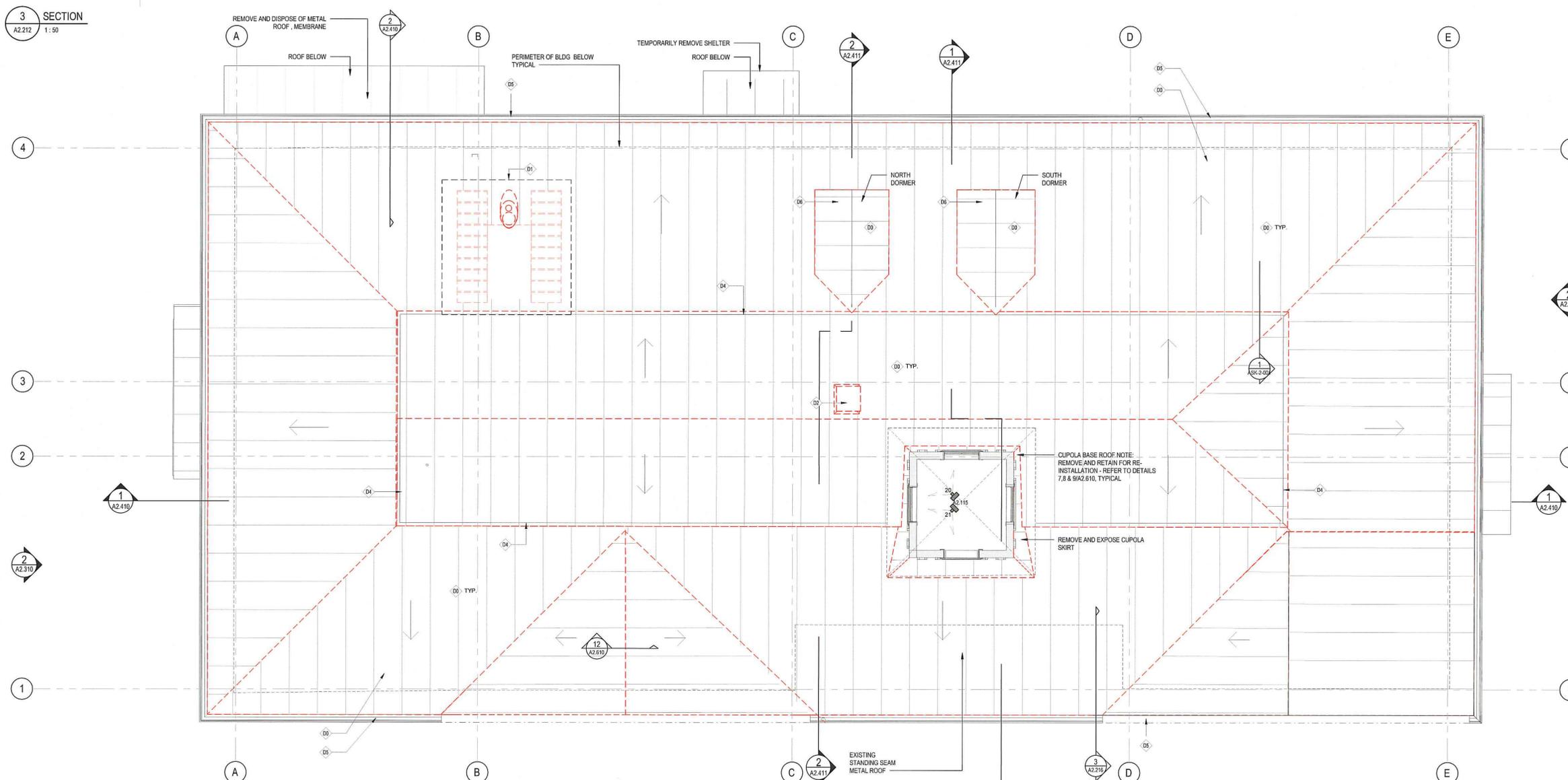
DEMOLITION LEGEND:

- REMOVE & DISPOSE OF EXISTING ASSEMBLY OR ELEMENT
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN
- 1 REMOVE & DISPOSE OF EXISTING METAL POST & FOUNDATION PAD. REFER TO STRUCTURAL.
- 2 REMOVE & DISPOSE OF EXISTING WOOD POST & FOUNDATION PAD. REFER TO STRUCTURAL.
- 3 EXISTING METAL POST & FOUNDATION PAD TO REMAIN. REFER TO STRUCTURAL.
- EXISTING PHOTOGRAPHY LOCATION - REFER TO DRAWING SHEETS A2.112 TO A2.116 REFER TO DEMOLITION KEYNOTES ON A2.216

DEMOLITION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING ALL WINDOWS AND GLAZING IN PLACE
2. DISMANTLE AND REMOVE BUILDING ELEMENTS TO BE RETAINED AND RE-USED IN SUCH A MANNER AS TO RETAIN THEIR HERITAGE VALUE AND THEIR INTACT CONDITION TO SUIT THE INTENDED RE-INSTALLATION
3. AVOID UNNECESSARY DAMAGE TO THE REMAINING EXISTING BUILDING ELEMENTS DO NOT CUT, REMOVE OR ALTER REMAINING MATERIAL UNLESS SPECIFICALLY NOTED
4. REMOVE AND DISPOSE OF ALL TEMPORARY METAL AND WOOD BRACING AND SHORING. REFER TO STRUCTURAL
5. FLOORS:
 1. REMOVE AND DISPOSE OF ALL LAYERS OF FLOOR FINISHES
 2. RETAIN FLOOR SHEATHING
6. REMOVE AND DISPOSE OF ALL EXISTING BASEMENT EXTERIOR WALL SHEATHING (INTERIOR SIDE ONLY), VAPOUR BARRIER MEMBRANE AND BATT FILL INSULATION
7. REMOVE AND DISPOSE OF REMAINING ATTIC CEILING FINISHES AND INSULATION, AND INSULATION AND VAPOUR BARRIER ON LEVELS 1&2
8. ROOFS:
 1. REMOVE AND DISPOSE OF EXISTING ROOF METAL CLADDING, UNDERLAYMENT, FLASHING AND HARDWARE
 2. ROOF SHEATHING - RETAIN IN PLACE, OR TEMPORARILY REMOVE (IN WHOLE PIECES) PORTIONS OF ROOF SHEATHING, FOR REINSTALLATION, TO SUIT STRUCTURAL UPGRADE WORK. REPLACE DAMAGED PLANKS WITH LIKE. AVOID CUTTING SHEATHING PLANKS
 3. PROVIDE A ROOF SHEATHING WORK PLAN AS PART OF THE HERITAGE PROTECTION PLAN, DENOTING AREAS OF ROOF SHEATHING TEMPORARY REMOVAL, AND SHEATHING PLANKS REQUIRING CUTTING, FOR REVIEW AND APPROVAL OF THE DEPARTMENTAL REPRESENTATIVE
 9. REMEDIATE ASBESTOS-CONTAINING MATERIAL FROM EXISTING SOFFITS AND OTHER VOID SPACES. AS NOTED. ENSURE PROCEDURES PER SPECIFICATIONS SECTION 02 82 00.02 - ASBESTOS ABATEMENT INTERMEDIATE PROCEDURES
 10. CHANGE FIND PROTOCOL: REFER TO SECTION 01 14 00 - WORK RESTRICTIONS, PART 1.7 FOR REQUIREMENTS FOR CULTURAL FINDINGS IN THE COURSE OF ANY EXCAVATION OR DEMOLITION WORK.
 11. REFER TO SECTION 02 41 00 SELECTIVE DEMOLITION FOR ALL DEMOLITION OR TEMPORARY REMOVAL WORK.
 12. REFER TO SECTION 01 74 21 - WASTE MANAGEMENT AND DISPOSAL

3 SECTION
A2.212
1:50



1 DEMOLITION PLAN - ROOF PLAN
A2.002
1:50

Seal



Revision/Revisión	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
DEMOLITION PLAN - ROOF
PLAN**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision
PRO 842	A2.216	1

Consultant

RATIO

PROJECT NO: 4053

ARCHITECTURAL LEGEND:

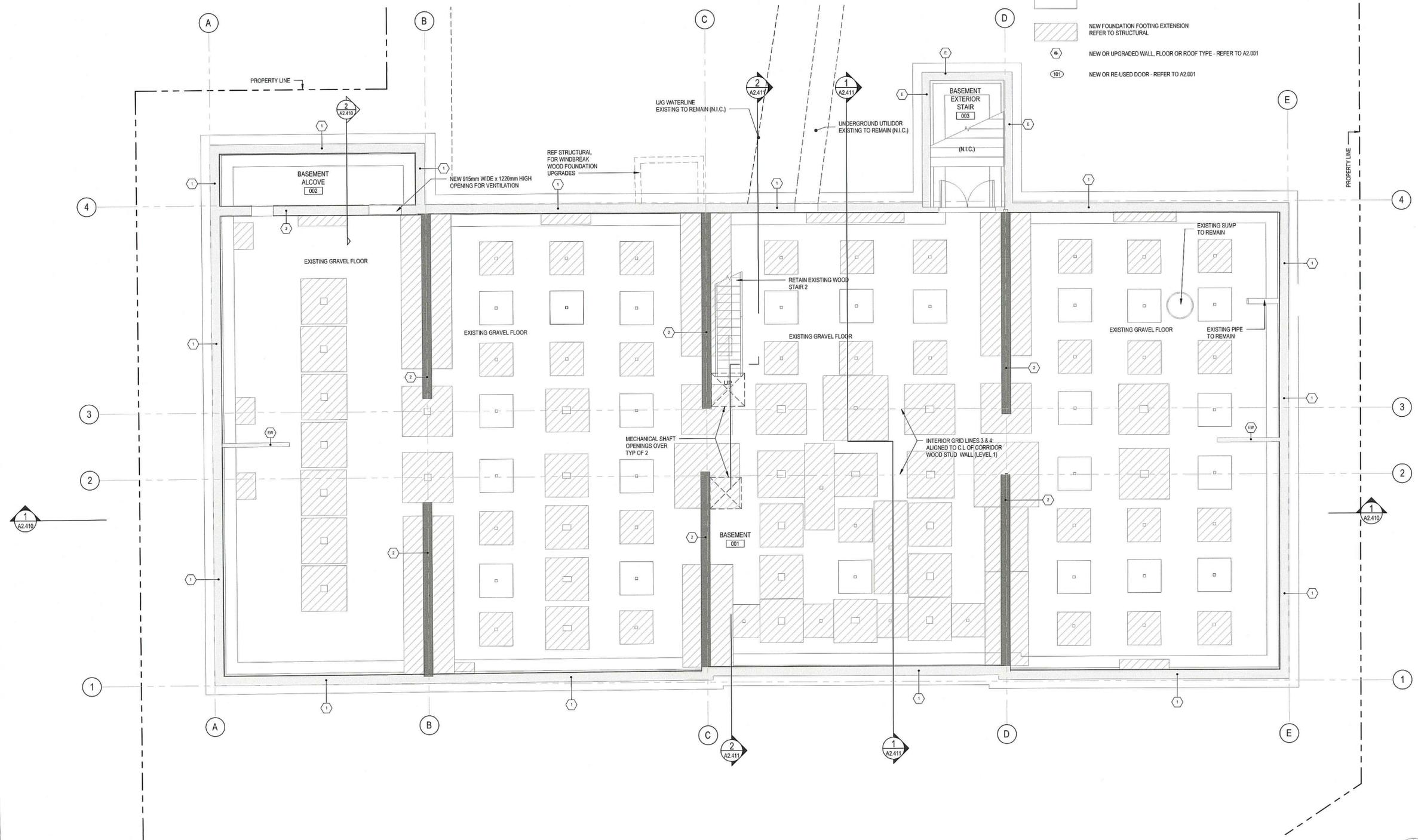
-  EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
-  NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
-  EXISTING WALL TO REMAIN, NO CHANGES
-  NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
-  EXISTING POST AND FOUNDATION PAD TO REMAIN
-  NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
-  NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
-  NEW OR RE-USED DOOR - REFER TO A2.001

ARCHITECTURAL NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1998 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 FLOOR PLAN - BASEMENT
1:50

Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client
PARKS CANADA

Project title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0
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Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Dessiné par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

Drawing title/Titre du dessin
**PHASE 2
FLOOR PLAN - BASEMENT**

Project No./No. du projet PRO 842	Sheet/ Feuille A2.220	Revision no./ La Révision no. 1
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Consultant

RATIO

PROJECT NO: 4053

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

ARCHITECTURAL LEGEND:

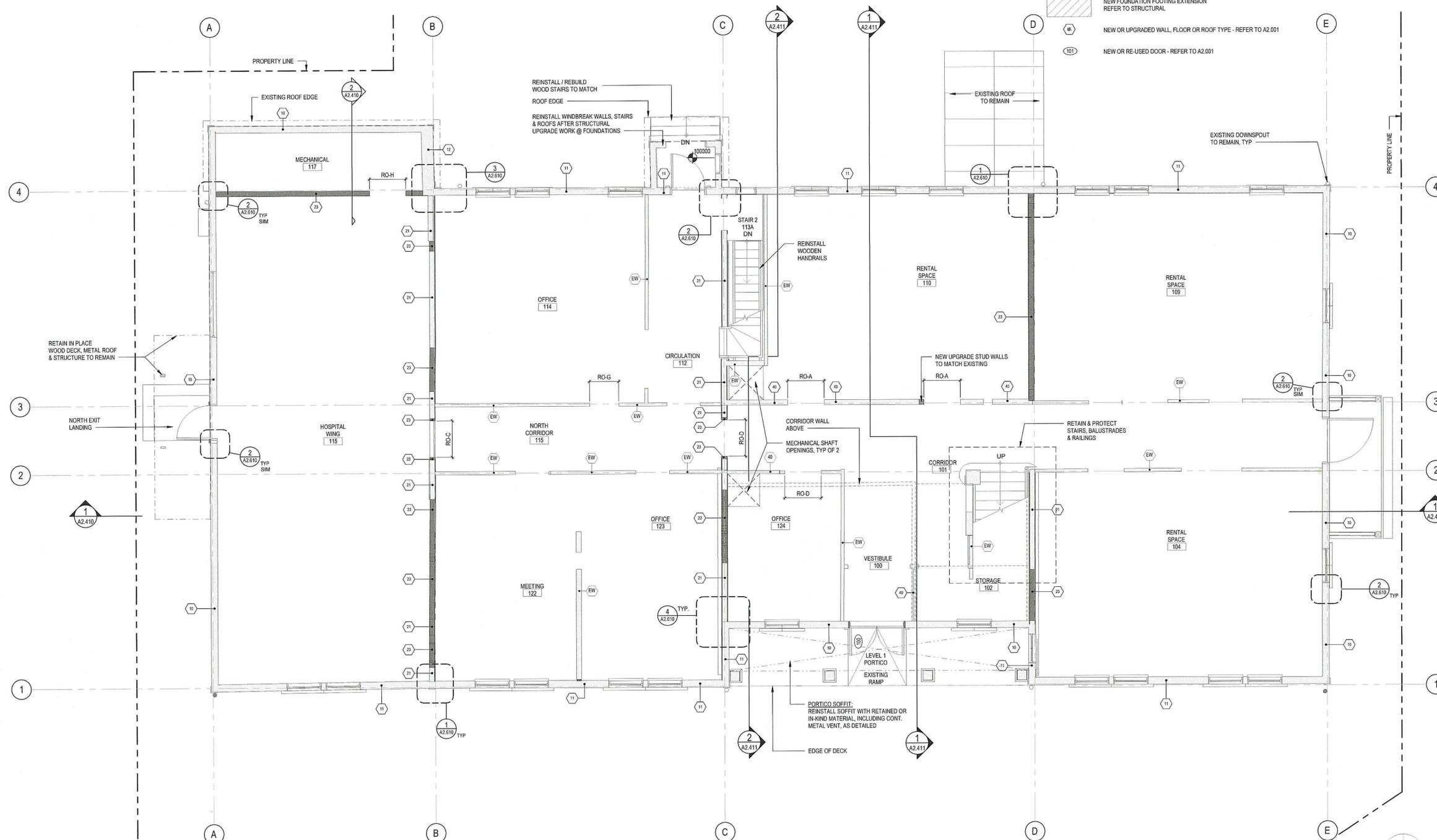
-  EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
-  NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
-  EXISTING WALL TO REMAIN, NO CHANGES
-  NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
-  EXISTING POST AND FOUNDATION PAD TO REMAIN
-  NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
-  NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
-  NEW OR RE-USED DOOR - REFER TO A2.001

ARCHITECTURAL NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
- INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
- INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

- ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
- FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 FLOOR PLAN LEVEL 1
1:50

Scale



1 ISSUED FOR PHASE 2.3 TENDER 2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise
Drawn by/Designe par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

**PHASE 2
FLOOR PLAN - LEVEL 1**

Project No./No. du projet: **PRO 842**
Sheet/Feuille: **A2.221**
Revision no./Loi Revision no.: **1**

Consultant

RATIO
PROJECT NO: 4053

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

ARCHITECTURAL LEGEND:

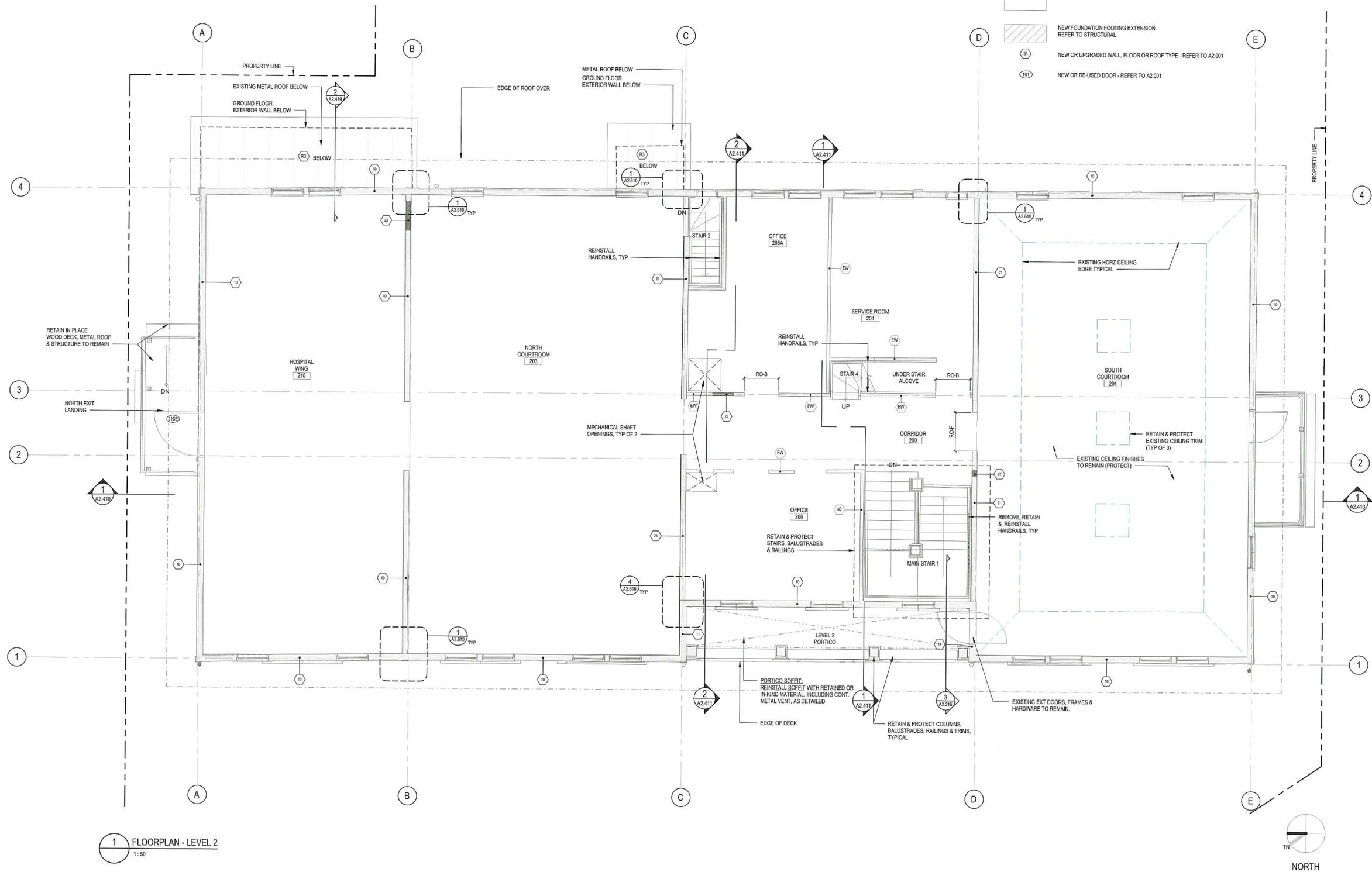
-  EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
-  NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
-  EXISTING WALL TO REMAIN, NO CHANGES
-  NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
-  EXISTING POST AND FOUNDATION PAD TO REMAIN
-  NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
-  NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
-  NEW OR RE-USED DOOR - REFER TO A2.001

ARCHITECTURAL NOTES:

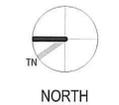
1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTYARD.
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1989 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 FLOORPLAN - LEVEL 2
1:50



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client
PARKS CANADA

Project title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Dessiné par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

Drawing title/Titre du dessin
**PHASE 2
FLOOR PLAN - LEVEL 2**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.222	1

Consultant

RATIO

PROJECT NO: 4053

ROUGH OPENING SCHEDULE					
#	Level	Gridlines	Req'd min. R.O. width (mm)	Req'd min. R.O. height (mm)	Remarks
RO-A	1	3/C-D	965	2185	2 ROs
RO-B	2	3/C-D	915	2185	2 ROs
RO-C	1	2-3/B	965	2185	
RO-D	1	2-3/C	965	2185	
RO-E	2	2-3/C	1575	2185	
RO-F	2	2-3/D	1575	2185	
RO-G	1	3/B-C	790	2185	
RO-H	1	4/A-B	965	2185	

ARCHITECTURAL LEGEND:

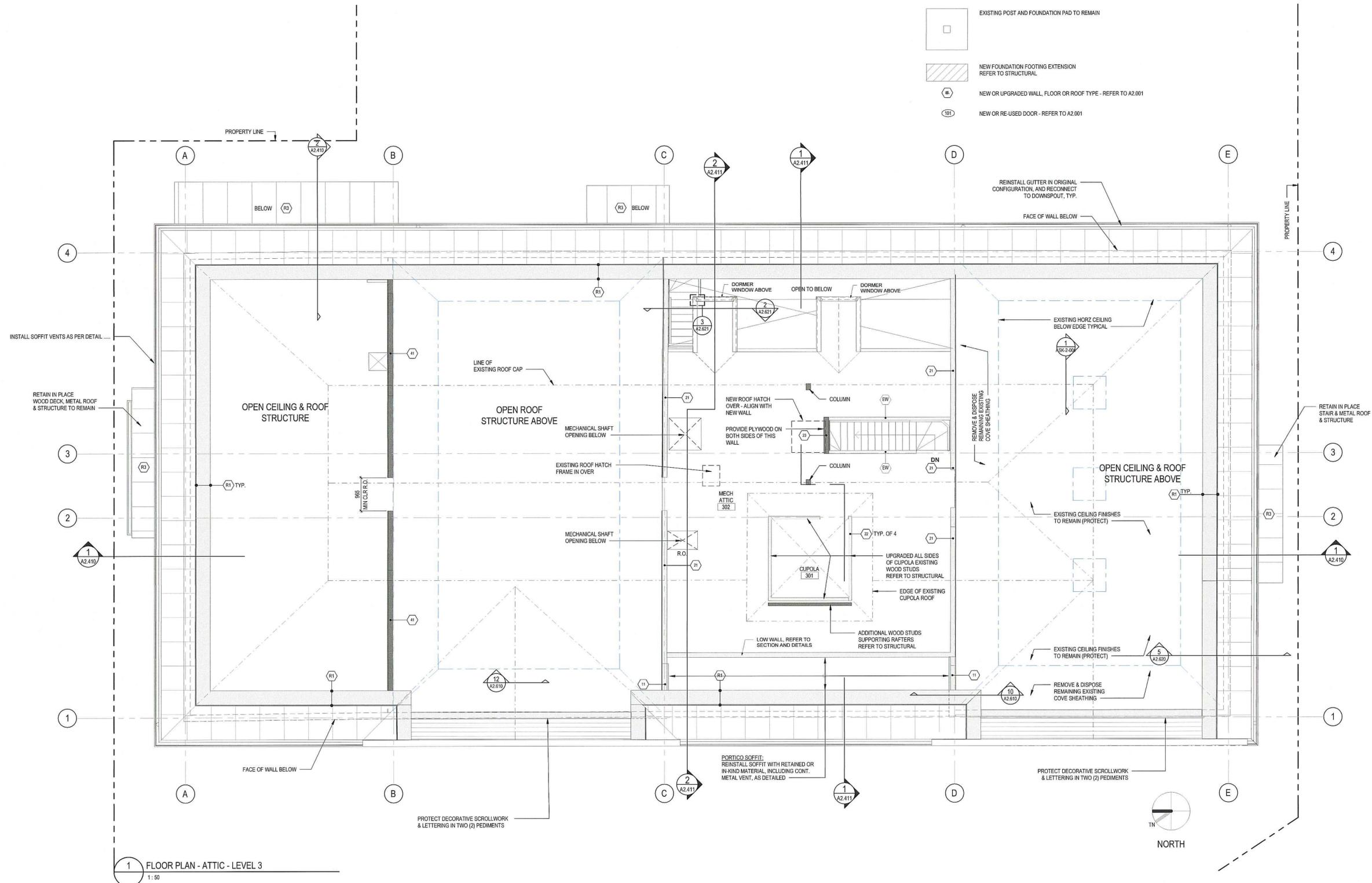
- EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001

ARCHITECTURAL NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
- INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
- INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

- ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
- FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 FLOOR PLAN - ATTIC - LEVEL 3
1:50

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client: **PARKS CANADA**

Project title/Titre du projet:
**301 FRONT STREET
DAWSON, YT Y0B 1G0**

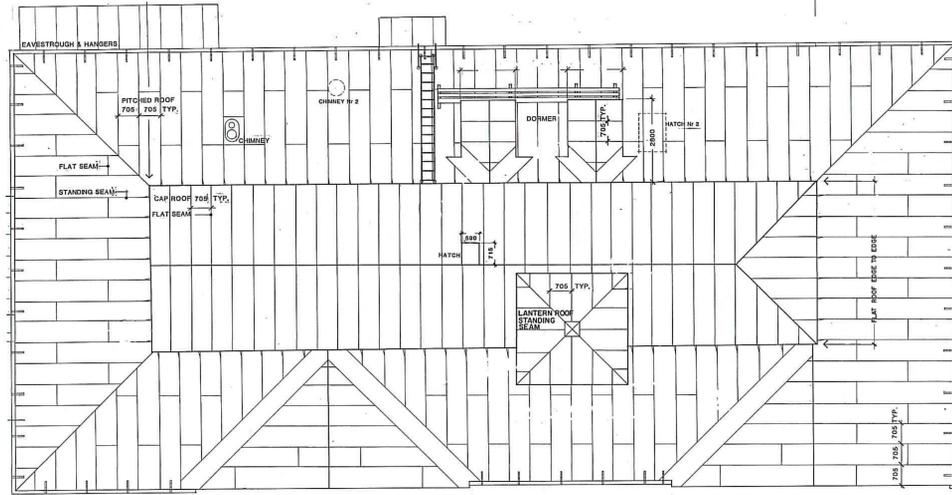
**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

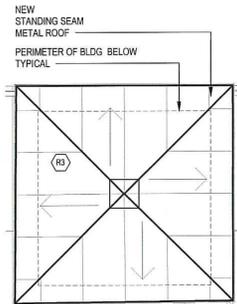
Designed by/Concept par: **Hazen Sise**
 Drawn by/Dessine par: **SH**
 PCA PROJECT LEAD: **TRAVIS WEBER**
 PCA PROJECT MANAGER: **JOSHUA KUMMERFIELD**

Drawing title/Titre du dessin:
**PHASE 2
FLOOR PLAN - LEVEL 3 - ATTIC**

Project No./No. du projet	Sheet/Feuille	Revision no./ La Révision no.
PRO 842	A2.223	1



3 PRECEDENT 1988 ROOF PLAN
A2.224 1:100



2 CUPOLA ROOF
1:50

ARCHITECTURAL NOTES:

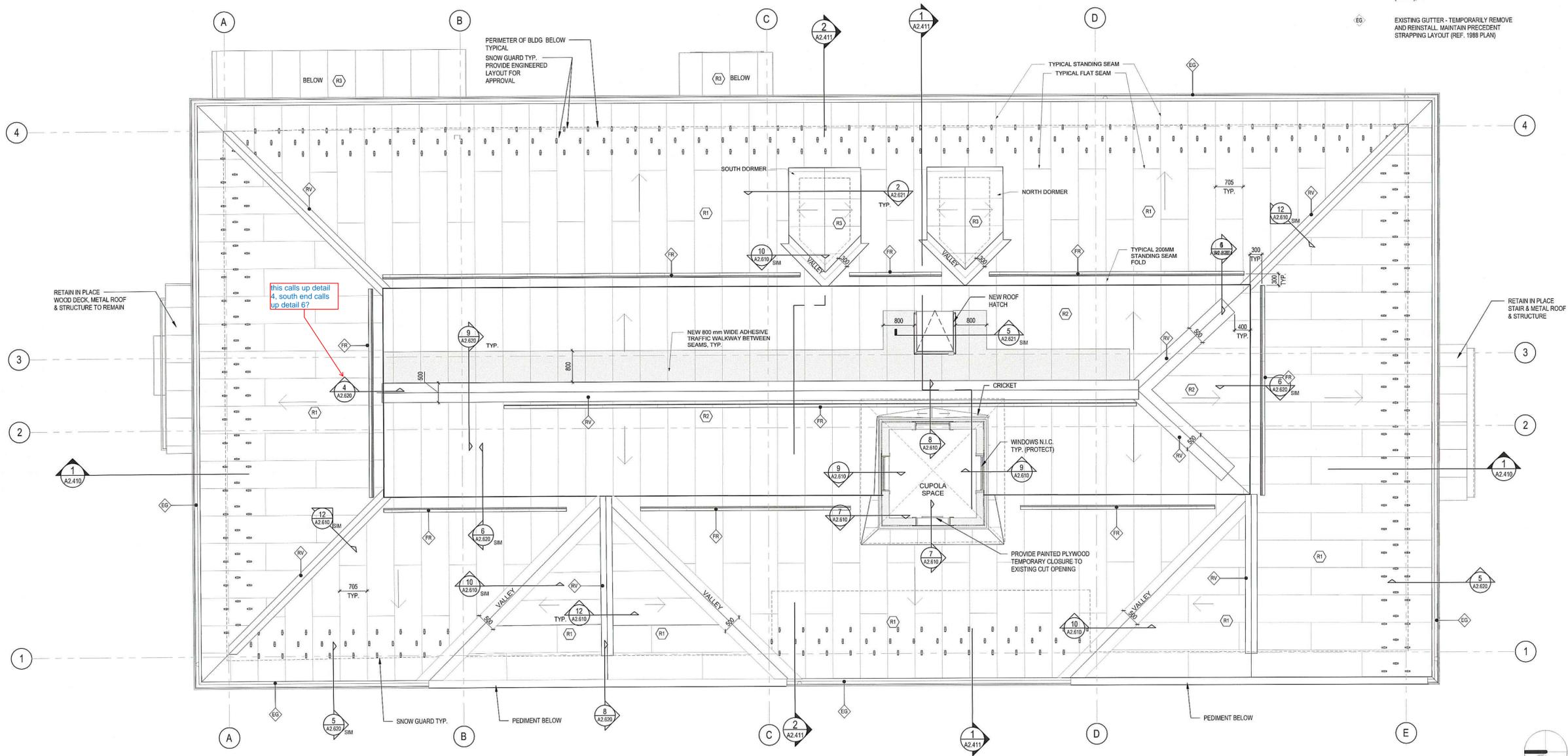
1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224

ARCHITECTURAL LEGEND:

- EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
- NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
- EXISTING WALL TO REMAIN, NO CHANGES
- NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
- EXISTING POST AND FOUNDATION PAD TO REMAIN
- NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
- NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
- NEW OR RE-USED DOOR - REFER TO A2.001
- FALL RESTRAINT SYSTEM
- VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.
- EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL, MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)



1 ROOF PLAN
A2.002 1:50



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

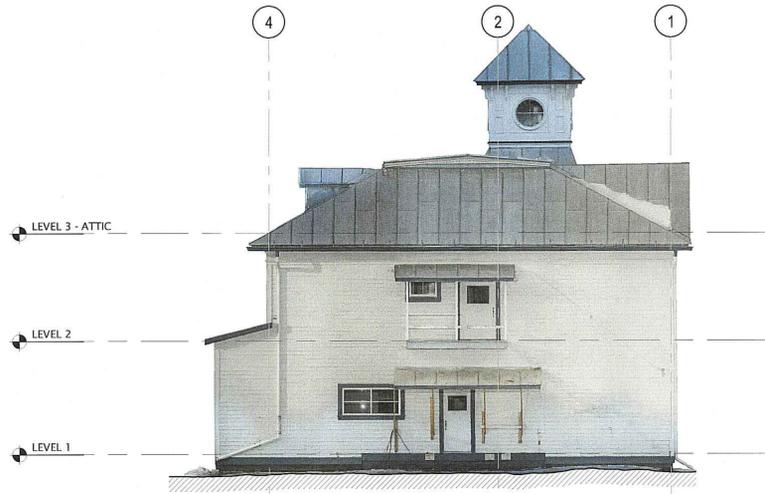
Client/client
PARKS CANADA

Project title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Dessiné par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD
Drawing title/Titre du dessin

**PHASE 2
ROOF PLAN**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.224	1



1 NORTH ELEVATION - EXISTING CONDITION
A3.223 1:100



4 EAST ELEVATION - EXISTING CONDITION
A3.223 1:100

ELEVATION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE

FR FALL RESTRAINT SYSTEM

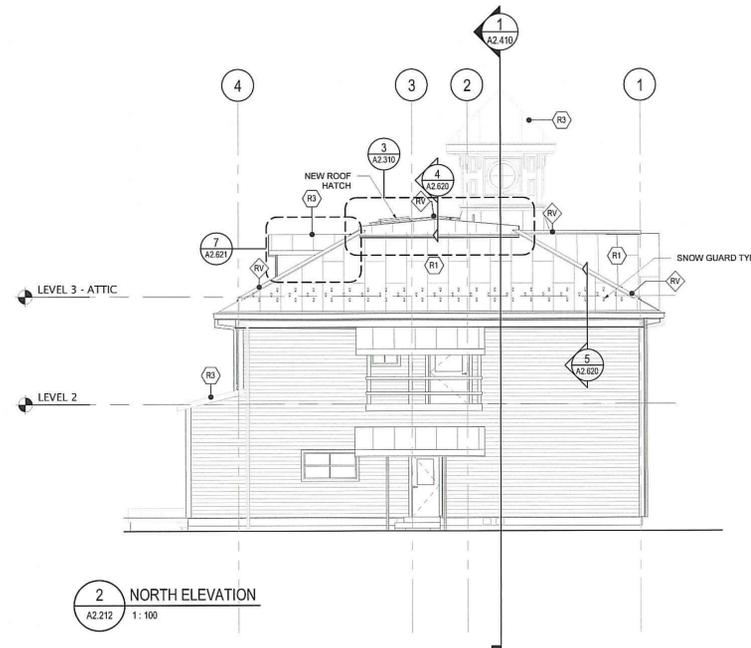
RV VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.

EG EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1999 PLAN)

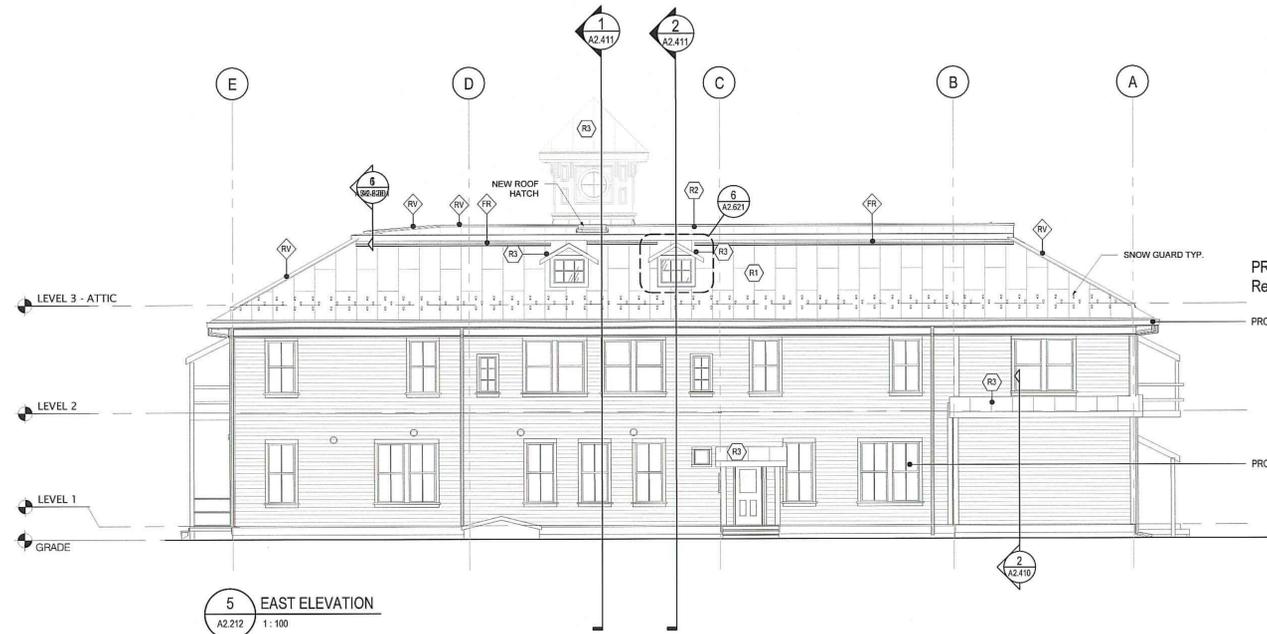
PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

PROTECT GUTTERS, FASCIA & DOWNSPOUTS

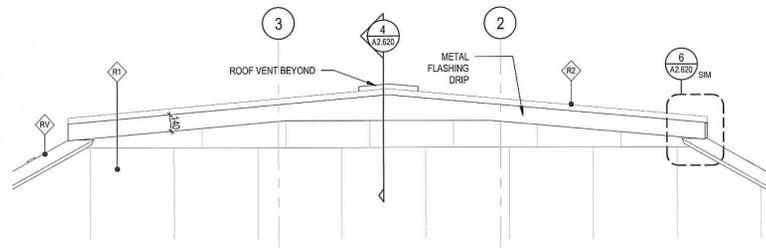
PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS



2 NORTH ELEVATION
A2.212 1:100



5 EAST ELEVATION
A2.212 1:100



3 DETAIL ELEVATION - NORTH ROOF TRANSITION
A2.310 1:25



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client
PARKS CANADA

Project Title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Dessine par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

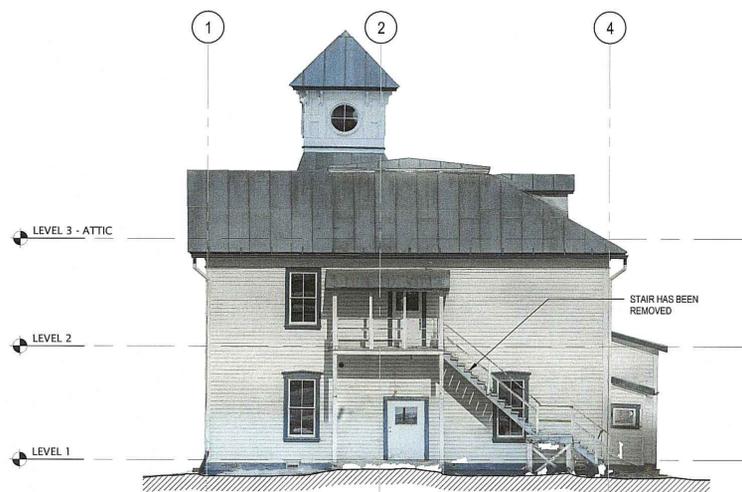
Drawing Title/Titre du dessin
**PHASE 2
BUILDING ELEVATIONS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.310	1

Consultant

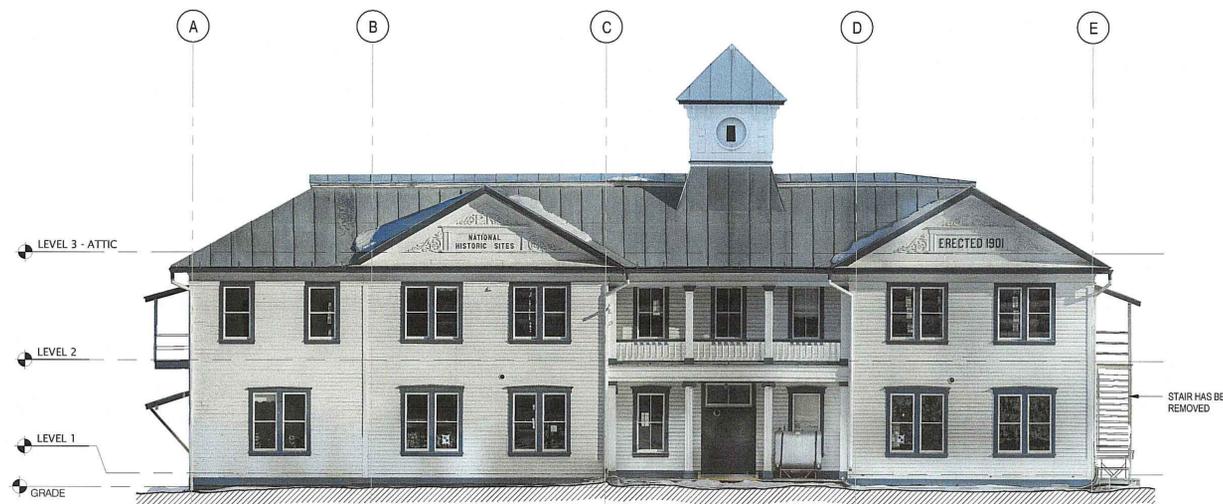
RATIO

PROJECT NO: 4053



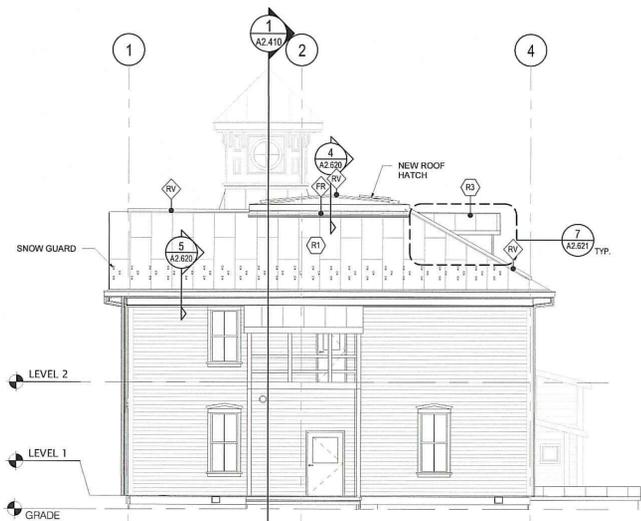
1 SOUTH ELEVATION - EXISTING CONDITION

A3.223 1:100



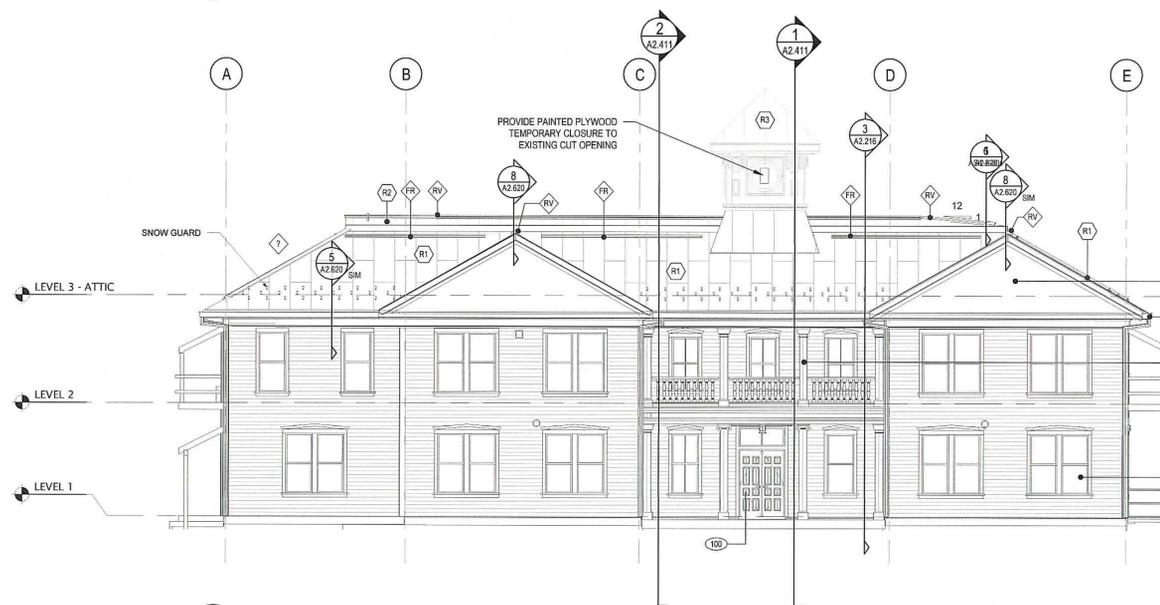
4 WEST ELEVATION - EXISTING CONDITION

A3.223 1:100



2 SOUTH ELEVATION

A2.212 1:100



5 WEST ELEVATION

A2.212 1:100

ELEVATION NOTES:

1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE

- FR FALL RESTRAINT SYSTEM
- RV VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.
- EG EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL. MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)

PROTECTION OF EXTERIOR ELEMENTS, TYPICAL:
Refer to Specification Section 01 51 00

- PROTECT DECORATIVE SCROLLWORK & LETTERING IN TWO (2) PEDIMENTS
- PROTECT GUTTERS, FASCIA & DOWNSPOUTS
- PROTECT WOOD COLUMNS, MOULDINGS, BALLUSTRADES & RAILS
- PROTECT REMAINING WINDOWS, DOORS CASINGS & TRIMS

Seal



Revision/	Description/Description	Date/Date
1	ISSUED FOR PHASE 2 TENDER	2021-01-29

Client/client

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

**PHASE 2
BUILDING ELEVATIONS**

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Révision no.
PRO 842	A2.311	1

Consultant

RATIO

PROJECT NO: 4053

ARCHITECTURAL NOTES:

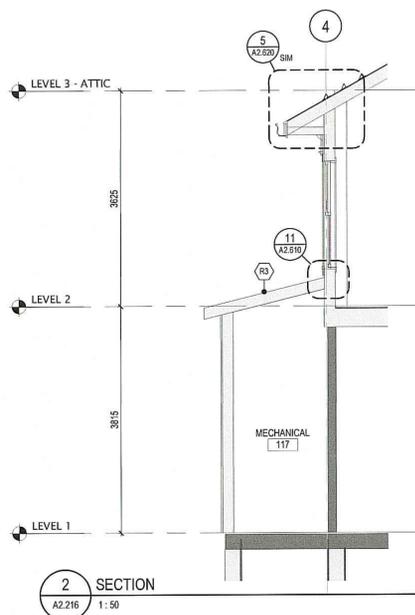
1. PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
2. INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
3. INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

ROOF NOTES:

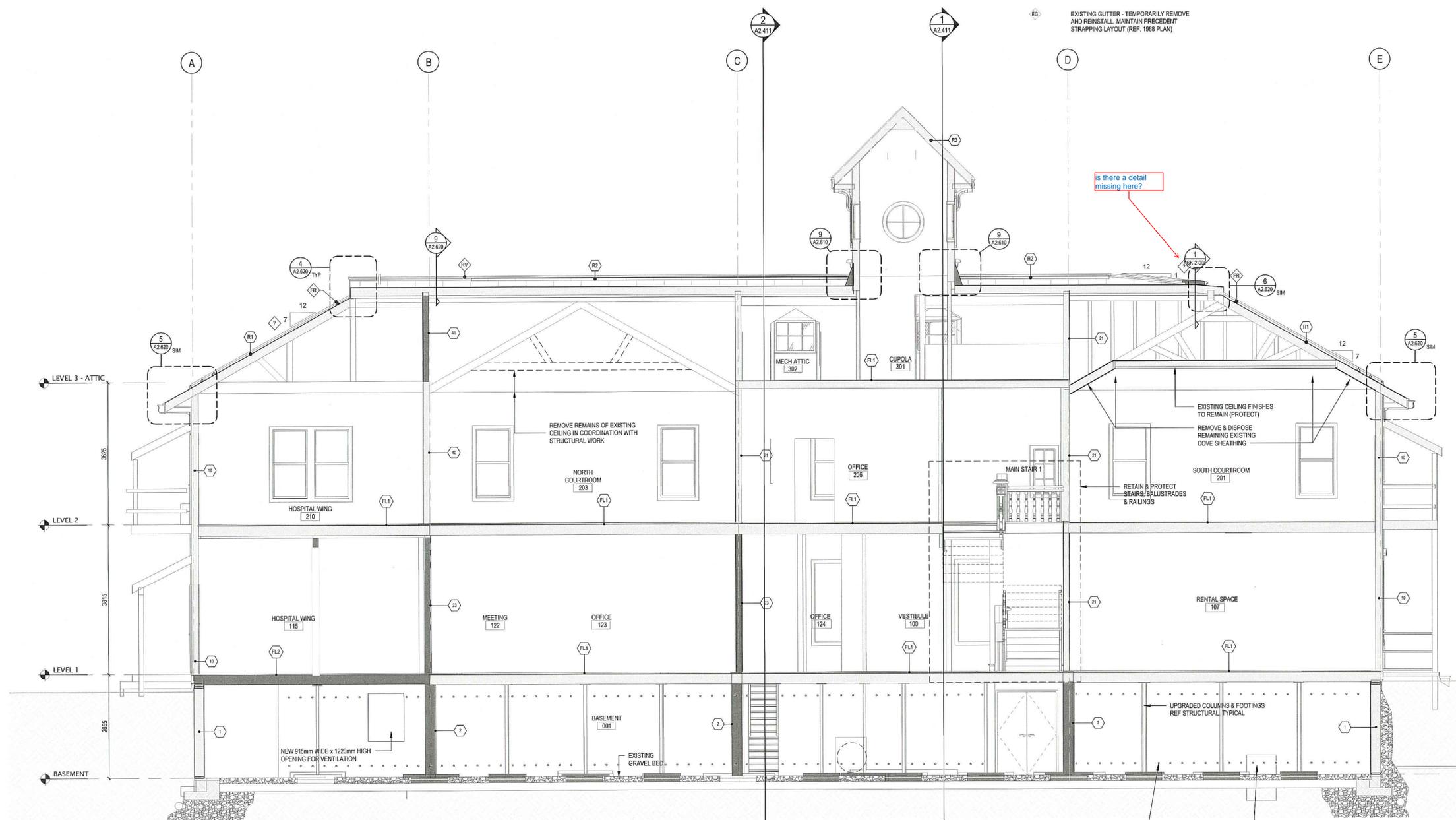
1. ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
2. FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224

ARCHITECTURAL LEGEND:

-  EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
-  NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
-  EXISTING WALL TO REMAIN, NO CHANGES
-  NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
-  EXISTING POST AND FOUNDATION PAD TO REMAIN
-  NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
-  NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
-  NEW OR RE-USED DOOR - REFER TO A2.001
-  FALL RESTRAINT SYSTEM
-  VENTED RIDGE @ 2 PEAKED ROOF SECTIONS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.
-  EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL, MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)



2 SECTION
A2.216 1:50



1 BUILDING SECTION
A2.216 1:50

TYPICAL INTERIOR PLYWOOD SHEATHING @ WALL TYPE 1
PROVIDE CONTINUOUS 38MM DIAMETER HOLES @300MM O.C.
MAX IN 2 LINES 300mm ABOVE BASE AND 300mm BELOW HEAD
FOR FULL PERIMETER OF BUILDING

Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

PARKS CANADA

Project Title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0**

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par
Hazen Sise

Drawn by/Dessiné par
SH

PCA PROJECT LEAD
TRAVIS WEBER

PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

Drawing Title/Titre du dessin

**PHASE 2
BUILDING SECTION**

Project No./No. du projet
PRO 842

Sheet/Feuille
A2.410

Revision no./
La Revision
no.
1



Consultant

RATIO

PROJECT NO: 4053

ARCHITECTURAL LEGEND:

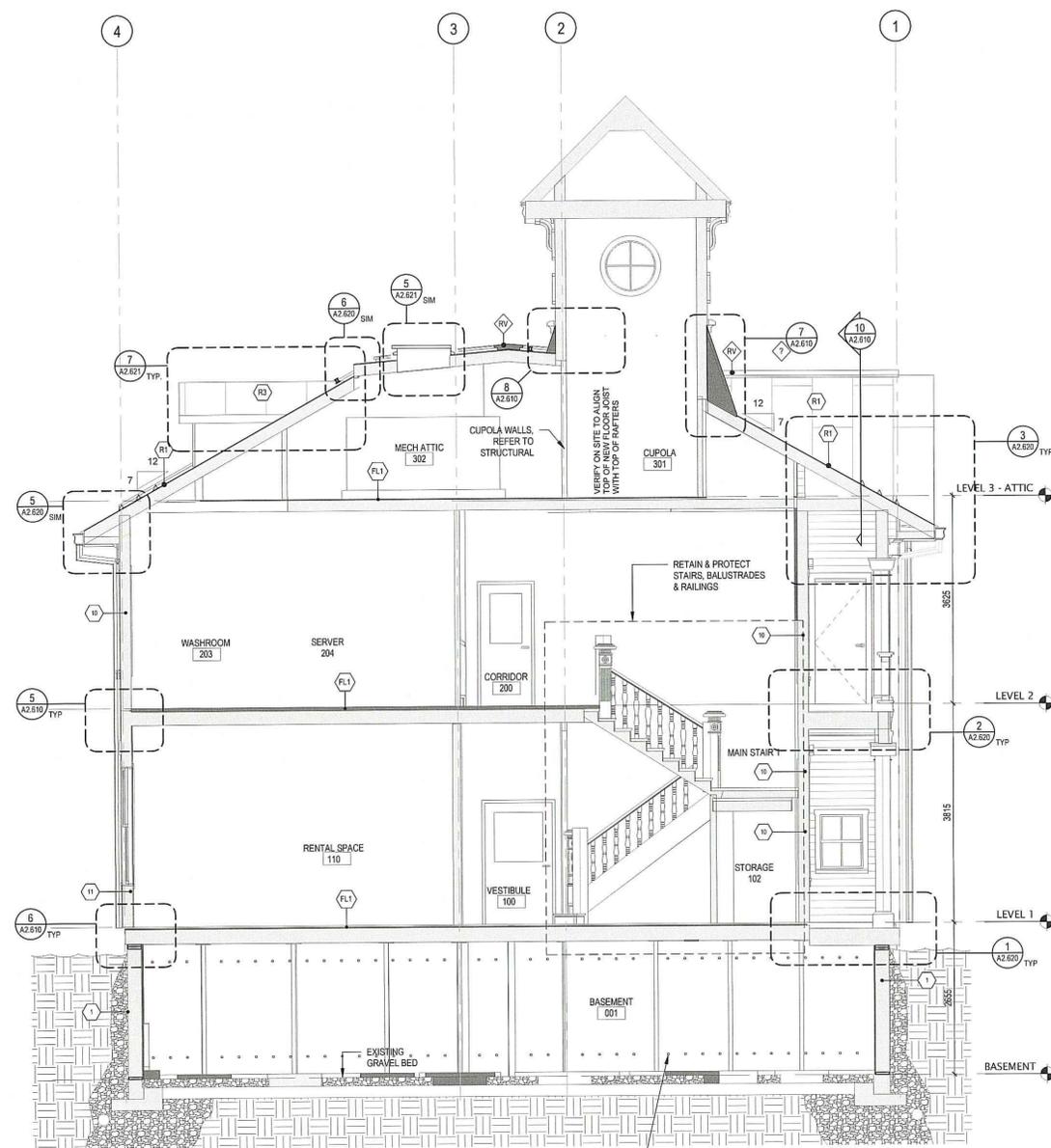
-  EXISTING ASSEMBLY OR ELEMENT TO REMAIN REFER TO STRUCTURAL FOR UPGRADES
-  NEW OR INFILL WALL OR FLOOR REFER TO STRUCTURAL
-  EXISTING WALL TO REMAIN, NO CHANGES
-  NEW METAL POST AND FOUNDATION PAD REFER TO STRUCTURAL
-  EXISTING POST AND FOUNDATION PAD TO REMAIN
-  NEW FOUNDATION FOOTING EXTENSION REFER TO STRUCTURAL
-  NEW OR UPGRADED WALL, FLOOR OR ROOF TYPE - REFER TO A2.001
-  NEW OR RE-USED DOOR - REFER TO A2.001
-  FALL RESTRAINT SYSTEM
-  VENTED RIDGE @ 2 PEAKED ROOF SEGMENTS - USE RCABC DETAIL ASM 10.4.3 (RIDGE), DIMENSIONS AS INDICATED.
-  EXISTING GUTTER - TEMPORARILY REMOVE AND REINSTALL. MAINTAIN PRECEDENT STRAPPING LAYOUT (REF. 1988 PLAN)

ARCHITECTURAL NOTES:

- PROVIDE PROTECTION OF HERITAGE ELEMENTS, AS NOTED AND PER THE APPROVED HERITAGE PROTECTION PLAN, INCLUDING RETAINING ALL WINDOWS AND GLAZING IN PLACE
- INSTALL STRUCTURAL COLUMNS FLUSH WITH EXISTING FRAMING WHERE FEASIBLE. ENSURE NO NEW STRUCTURAL ELEMENTS ARE PROUD OF SURROUNDING FRAMING IN CORRIDORS, MAIN STAIRS AND THE SOUTH COURTROOM
- INFILL NOTED WALL OPENINGS AS SCHEDULED, FLUSH WITH SURROUNDING EXISTING FRAMING

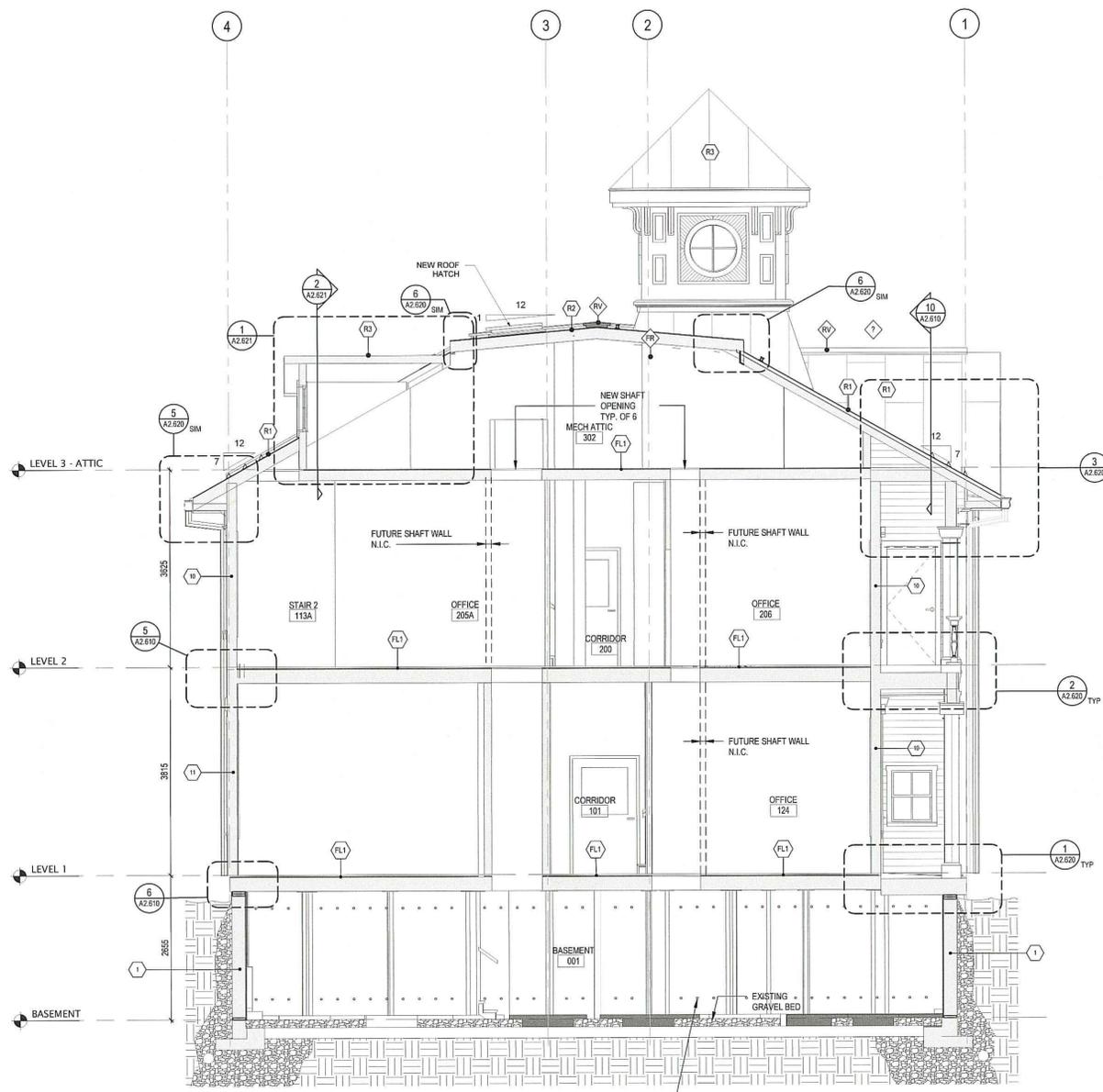
ROOF NOTES:

- ROOF PANEL LAYOUT: FOLLOW PANELS CONFIGURATION, SIZES, SEAM LOCATIONS (STANDING AND FLAT) PER 1988 ROOF PLAN
- FOLD DOWN THE TOP 200mm OF ROOF R1 (STEEP SLOPE) STANDING SEAM PER DETAIL 4/A2.224



1 BUILDING SECTION
A2.216 1:50

TYPICAL INTERIOR PLYWOOD SHEATHING @ WALL TYPE 1
PROVIDE CONTINUOUS 38MM DIAMETER HOLES @300MM O.C.
MAX IN 2 LINES 300mm ABOVE BASE AND 300mm BELOW HEAD
FOR FULL PERIMETER OF BUILDING



2 BUILDING SECTION
A2.216 1:50

TYPICAL INTERIOR PLYWOOD SHEATHING @ WALL TYPE 1
PROVIDE CONTINUOUS 38MM DIAMETER HOLES @300MM O.C.
MAX IN 2 LINES 300mm ABOVE BASE AND 300mm BELOW HEAD
FOR FULL PERIMETER OF BUILDING

Seal



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

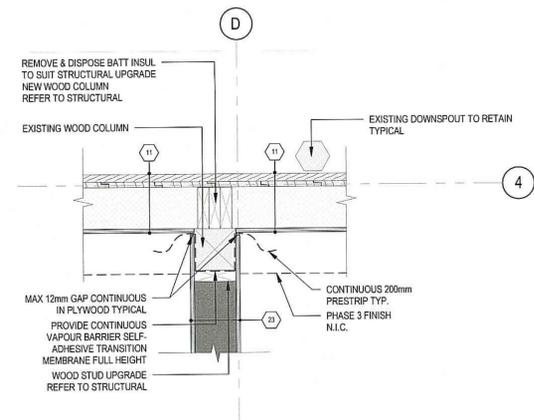
Client/client **PARKS CANADA**

Project title/Titre du projet
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

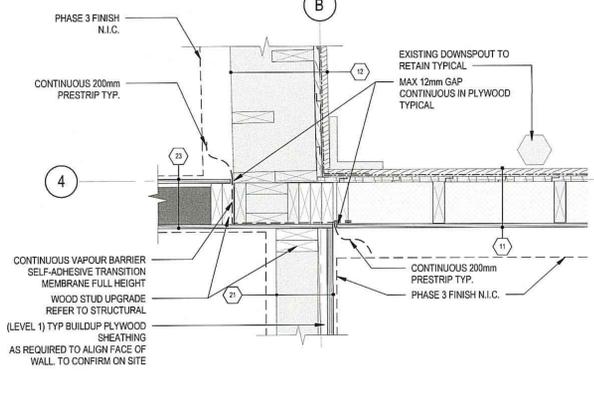
Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Dessine par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD
Drawing title/Titre du dessin

**PHASE 2
BUILDING SECTIONS**

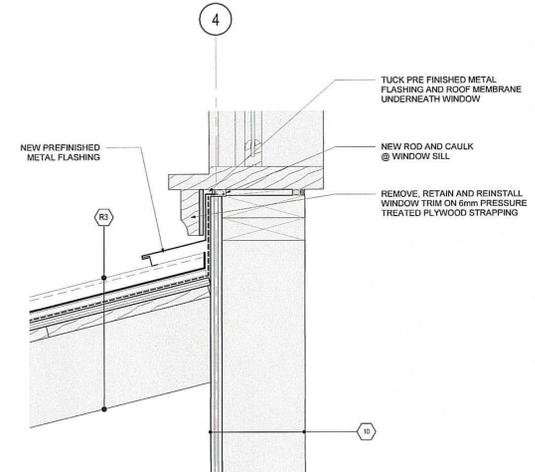
Project No./No. du projet PRO 842	Sheet/Feuille A2.411	Revision no./ La Révision no. 1
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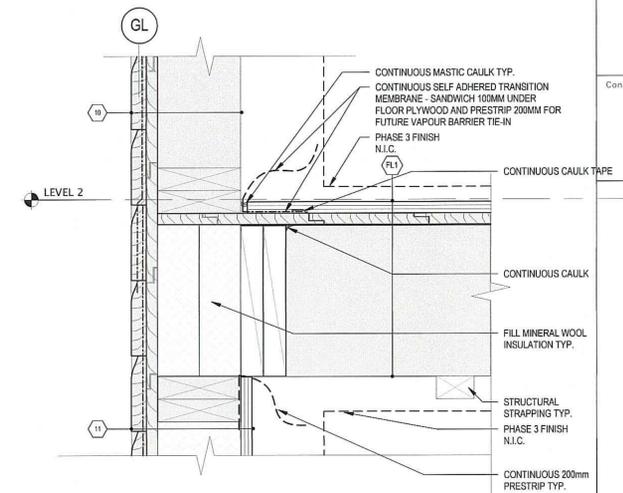
1 PLAN DETAIL - WALLS BETWEEN RENTAL SPACE 109 & 110
A2.221 1:10



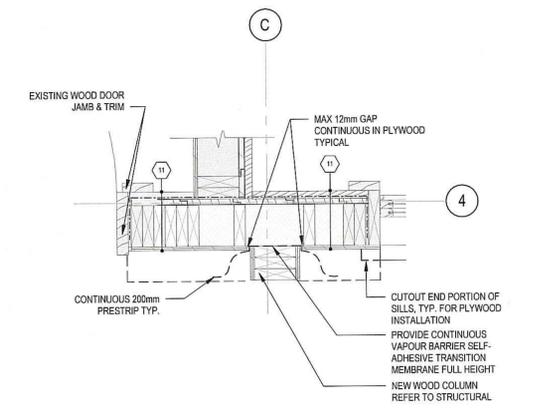
3 PLAN DETAIL - WALLS BETWEEN STAFF ROOM 116, MECHANICAL 117 & OFFICE 114
A2.221 1:10



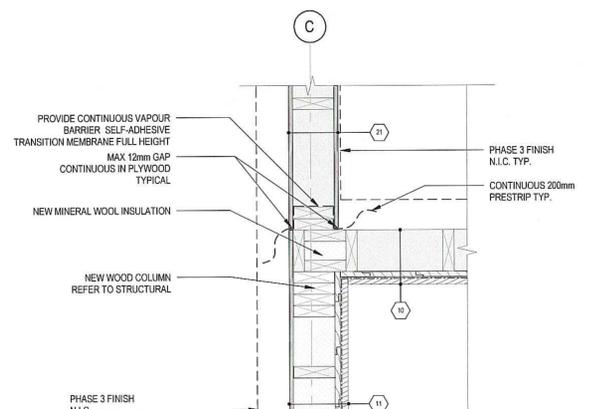
11 SECTION DETAIL - MECHANICAL ROOF
A2.410 1:5



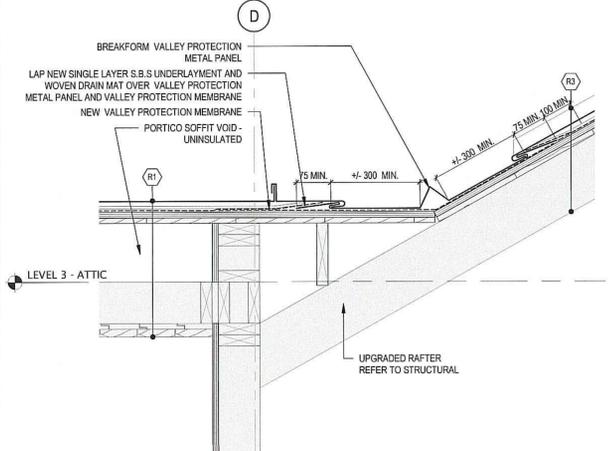
5 SECTION DETAIL - TYP WALL & FLOOR TERMINATION @ LEVEL 2 ENCLOSURE
A2.411 1:5



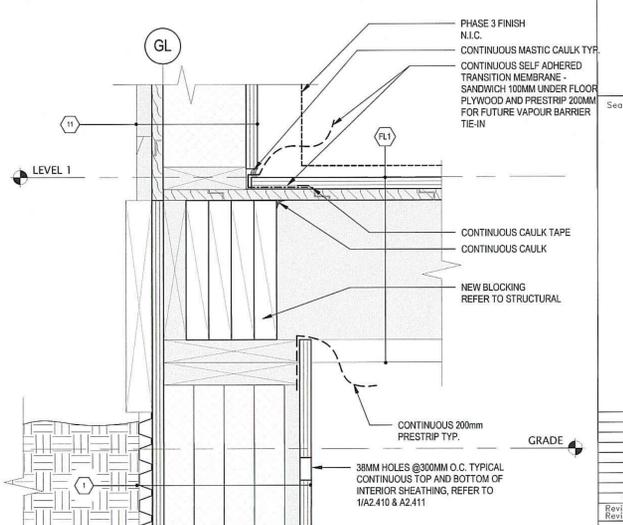
2 PLAN DETAIL - TYPICAL DOORS & WINDOWS
A2.221 1:10



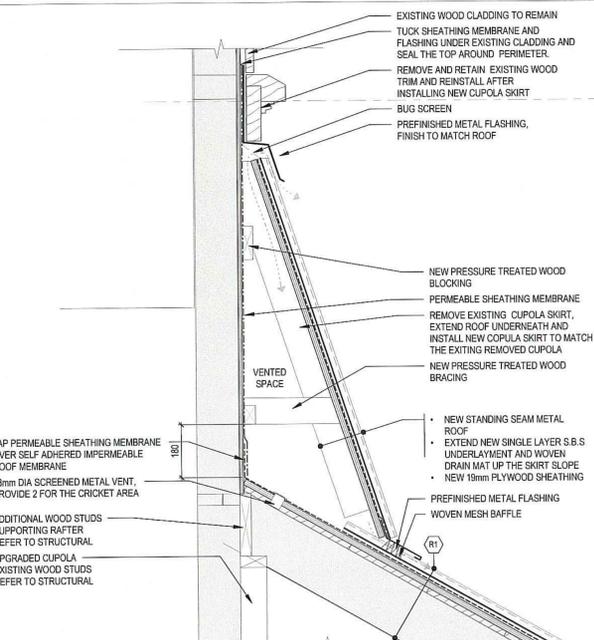
4 PLAN DETAIL - WALLS @ MAIN ENTRY
A2.221 1:10



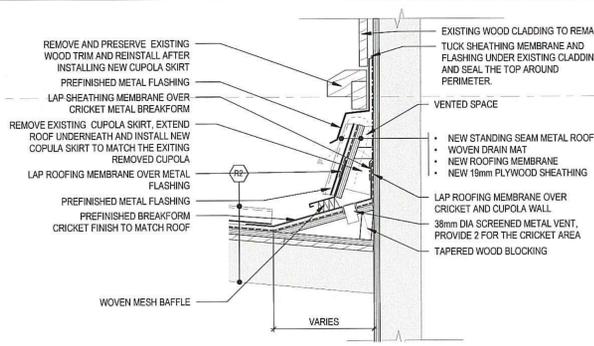
10 SECTION DETAIL - PORTICO & ROOF VALLEY
A2.216 1:10



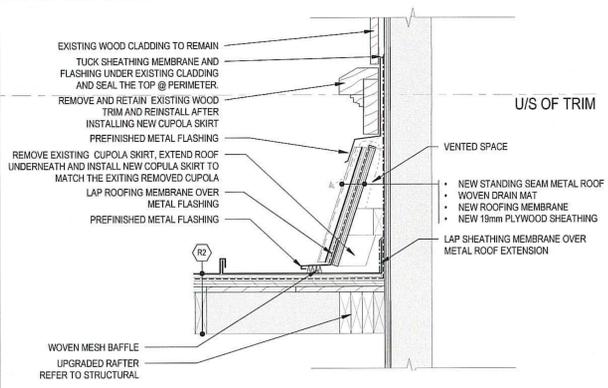
6 SECTION DETAIL - TYP WALL & FLOOR TERMINATION @ GRADE ENCLOSURE
A2.411 1:5



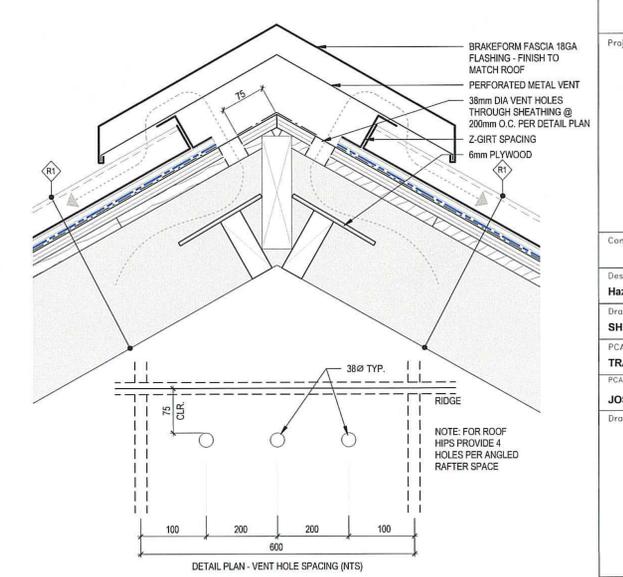
7 SECTION DETAIL - CUPOLA BASE ROOF WEST, NEW CONSTRUCTION
A2.224 1:10



8 SECTION DETAIL - CUPOLA BASE ROOF EAST, NEW CONSTRUCTION
1:10



9 SECTION DETAIL - CUPOLA BASE ROOF NORTH & SOUTH, NEW CONSTRUCTION
1:10



12 SECTION DETAIL - NEW ROOF VENT @ R1 HIP & RIDGES
A2.216 1:5

Scale



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-26

Client/client
PARKS CANADA

Project title/Titre du projet
301 FRONT STREET DAWSON, YT Y0B 1G0
FORMER TERRITORIAL COURTHOUSE NHSC

Consultant Signature Box Only
Designed by/Concept par
Hazen Sise
Drawn by/Designe par
SH
PCA PROJECT LEAD
TRAVIS WEBER
PCA PROJECT MANAGER
JOSHUA KUMMERFIELD

Phase 2
TYP PLAN & SECTION DETAILS

Project No./No. du projet	Sheet/ Feuille	Revision no./ La Revision no.
PRO 842	A2.610	1



Consultant

RATIO

PROJECT NO: 4053

DETAILS NOTES

- 1 25mm WOOD ROOF SHEATHING ORIGINAL
- 2 18mm PLYWOOD STRUCTURAL SHEATHING
- 3 EXISTING METAL GUTTER - TEMPORARILY REMOVE AND REINSTALL INCLUDING STRAPPING. (REPLACE FERRULE AND SPIKE)
- 4 EXISTING 19X210mm FASCIA BOARD, PAINTED
- 5 SEPARATION MEMBRANE
- 6 METAL HOOK SECUREMENT STRIP
- 7 CONTINUOUS BREAKFORM METAL FLASHING
- 8 EAVE PROTECTION, SELF ADHERED
- 9 UNDERLAYMENT - SBS
- 10 WOVEN DRAIN MATT - 8mm
- 11 METAL ROOF CLADDING PANEL
- 12 DOUBLE STANDING SEAM BEYOND
- 13 CONTINUOUS GALVANIZED METAL CLOSURE ANGLE WITH DRIP TO UPS OF SHEATHING
- 14 REMOVE PART OF SOFFIT FOR CONTINUOUS METAL 50mm PERFORATED VENT STRIP
- 15 CONTINUOUS METAL OUTSIDE SECUREMENT CLIP
- 16 CONTINUOUS METAL GIRT
- 17 WOVEN MESH BAFFLE
- 18 GALVANIZED 170mm FERULE

Seal



Revision/Revisión	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

PARKS CANADA

Project title/Titre du projet

301 FRONT STREET
DAWSON, YT Y0B 1G0

**FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only

Designed by/Concept par

Hazen Sise

Drawn by/Dessiné par

SH

PCA PROJECT LEAD

TRAVIS WEBER

PCA PROJECT MANAGER

JOSHUA KUMMERFIELD

Drawing title/Titre du dessin

PHASE 2

TYP SECTION DETAILS

Project No./No. du projet

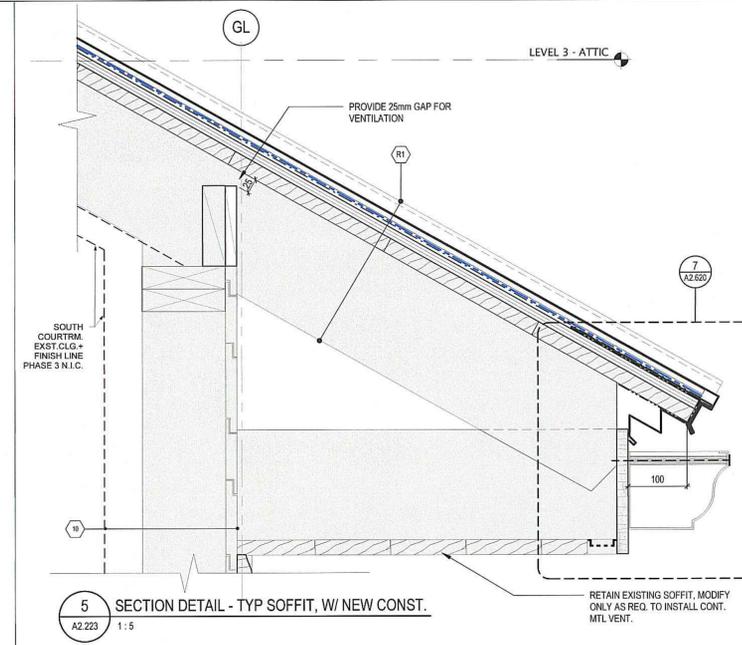
PRO 842

Sheet/Fauille

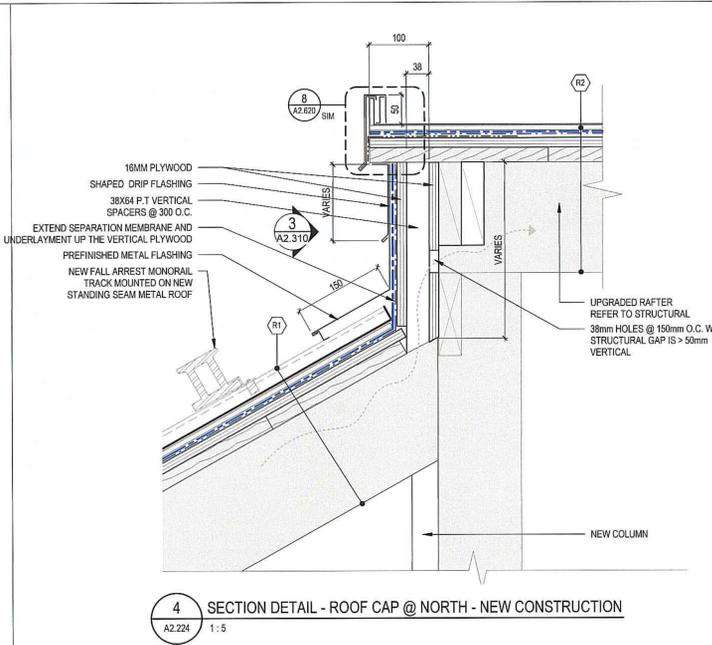
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Revision no./
La Révisión no.

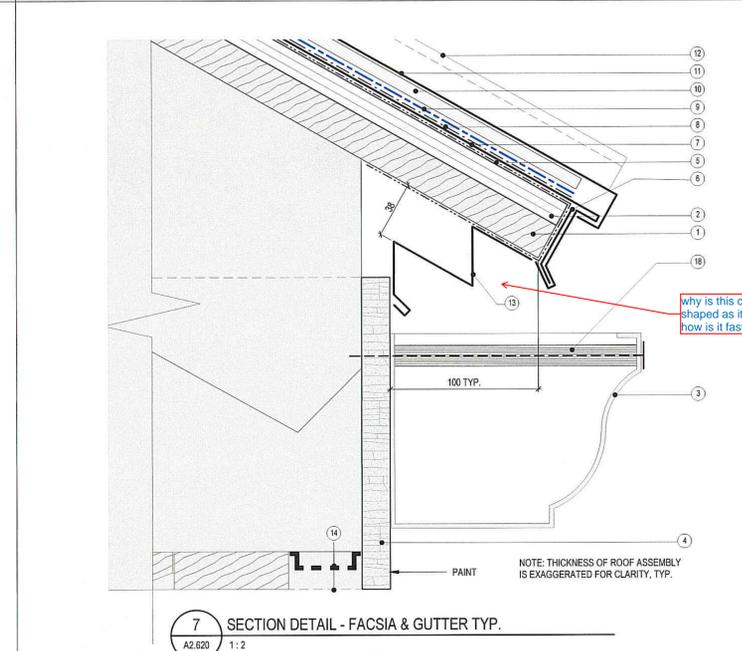
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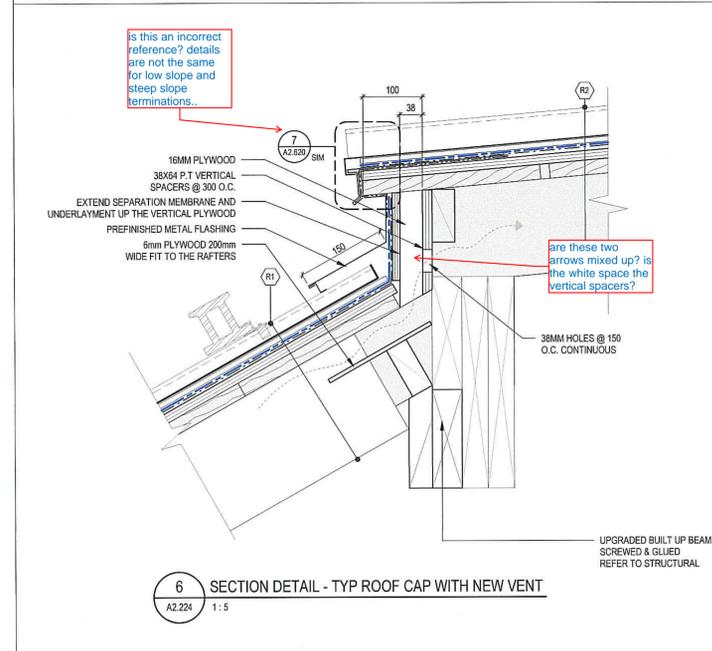
5 SECTION DETAIL - TYP SOFFIT, W/ NEW CONST.
A2.223 1:5



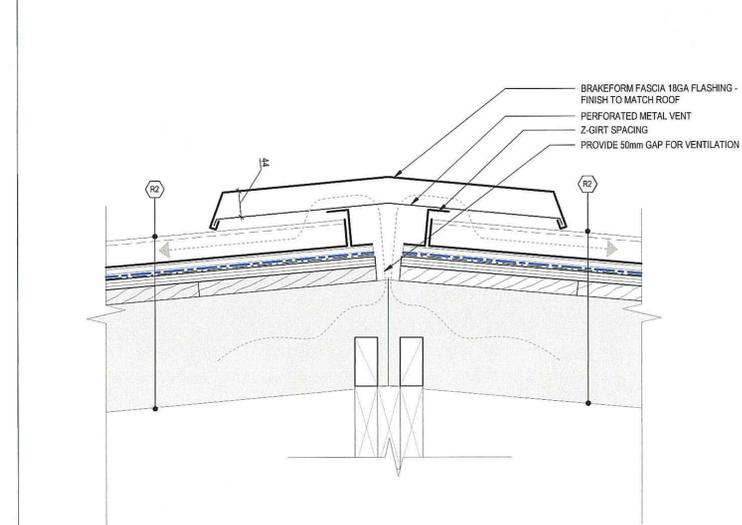
4 SECTION DETAIL - ROOF CAP @ NORTH - NEW CONSTRUCTION
A2.224 1:5



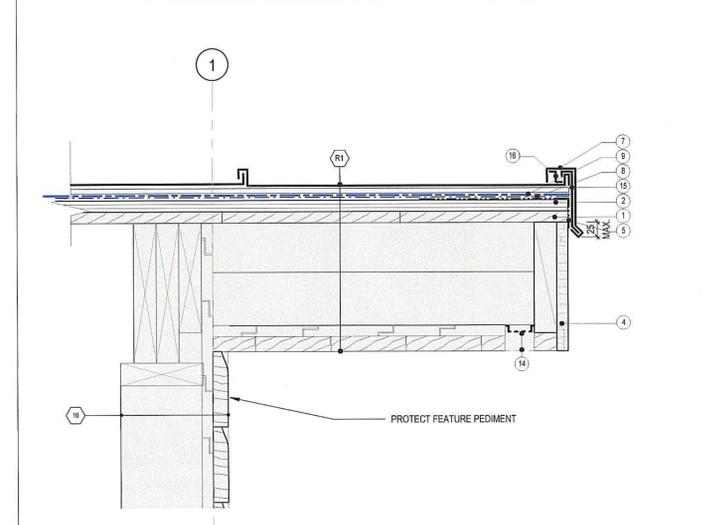
7 SECTION DETAIL - FASCIA & GUTTER TYP.
A2.620 1:2



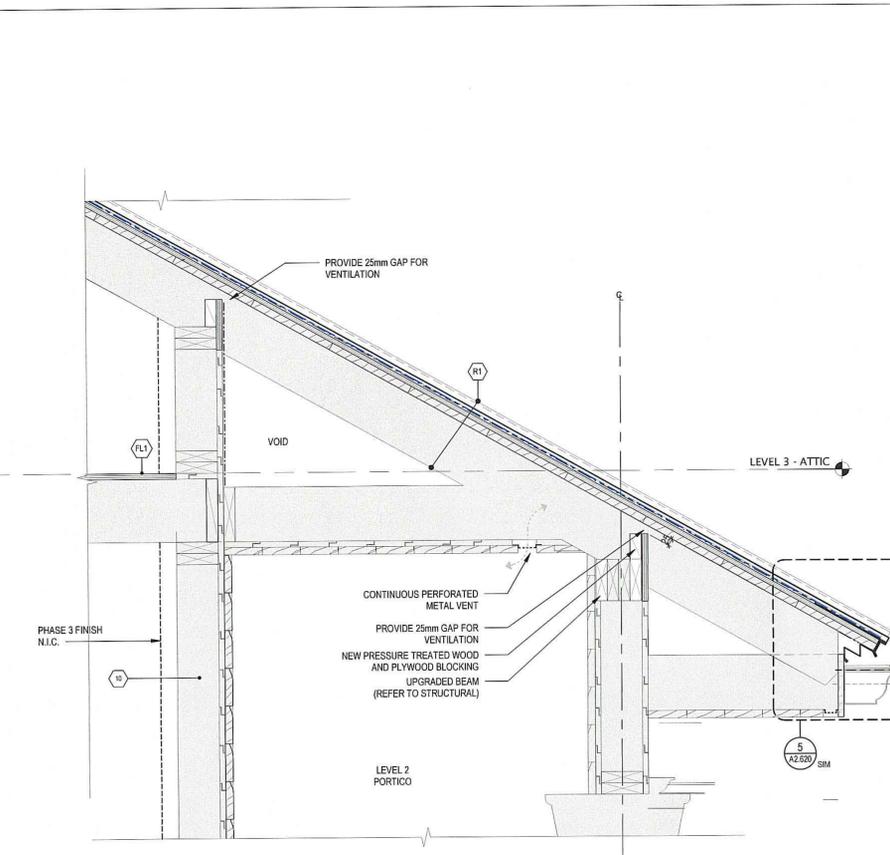
6 SECTION DETAIL - TYP ROOF CAP WITH NEW VENT
A2.224 1:5



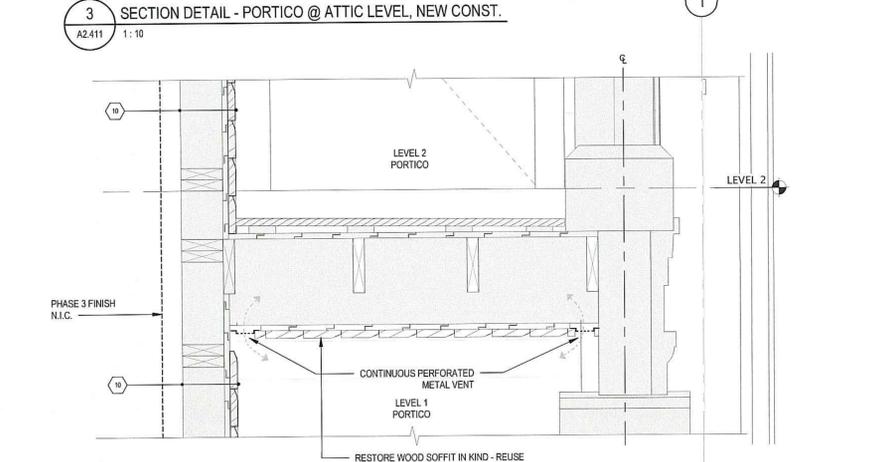
9 SECTION DETAIL - NEW ROOF VENT @ R2 RIDGE
A2.224 1:5



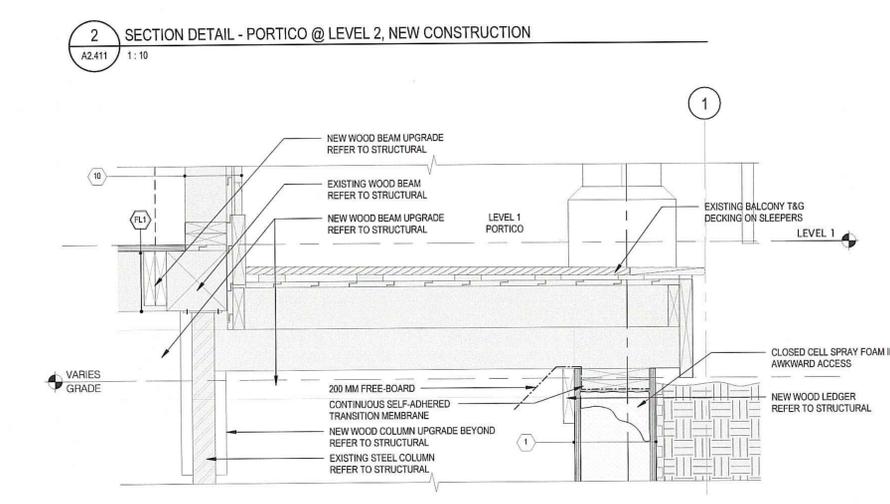
8 SECTION DETAIL - TYP GABLE-END
1:5



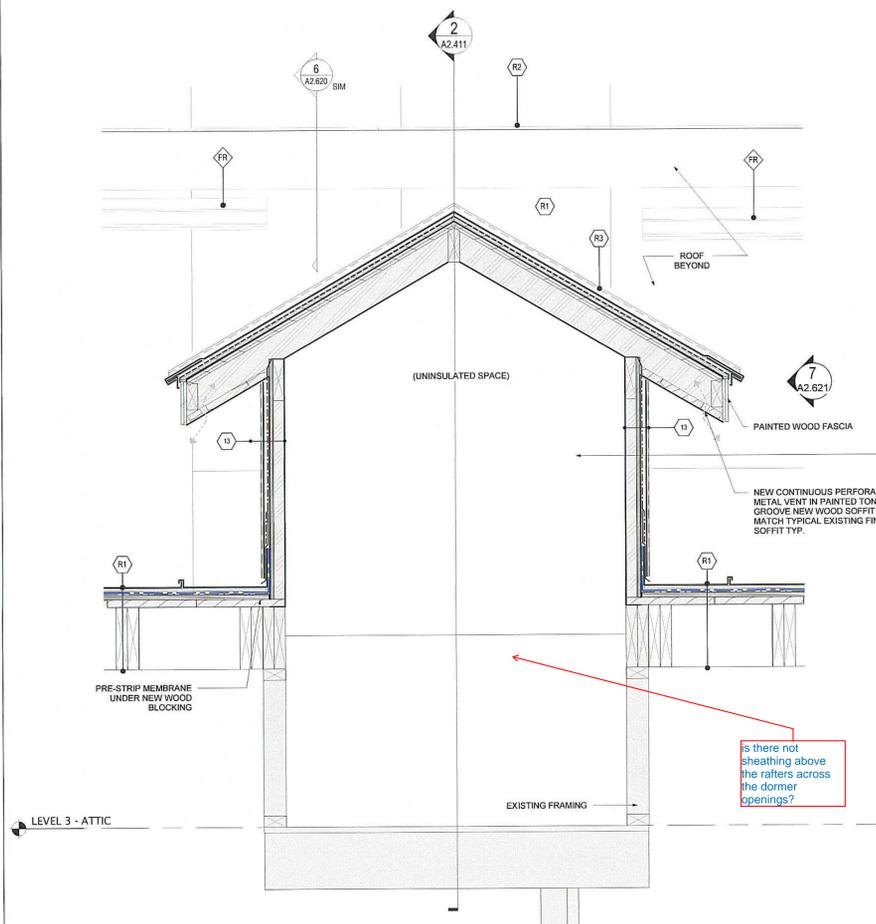
3 SECTION DETAIL - PORTICO @ ATTIC LEVEL, NEW CONST.
A2.411 1:10



2 SECTION DETAIL - PORTICO @ LEVEL 2, NEW CONSTRUCTION
A2.411 1:10

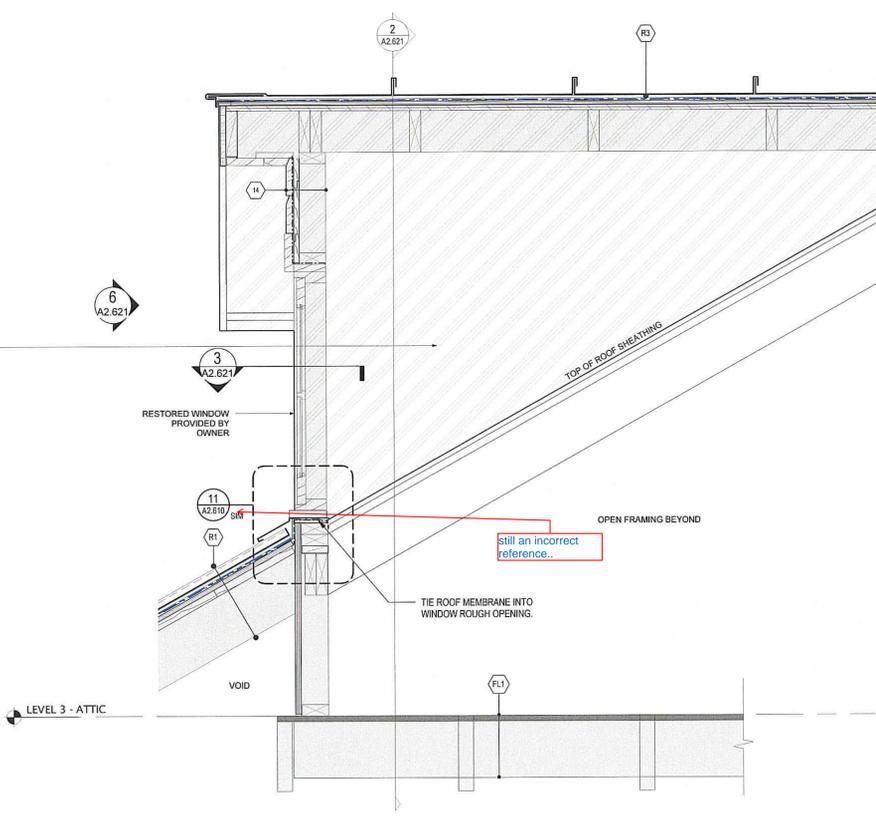


1 SECTION DETAIL - PORTICO @ LEVEL 1, NEW CONSTRUCTION
A2.411 1:10

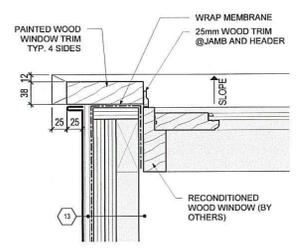


2 SECTION DETAIL - DORMER UPGRADE, N-S SECTION
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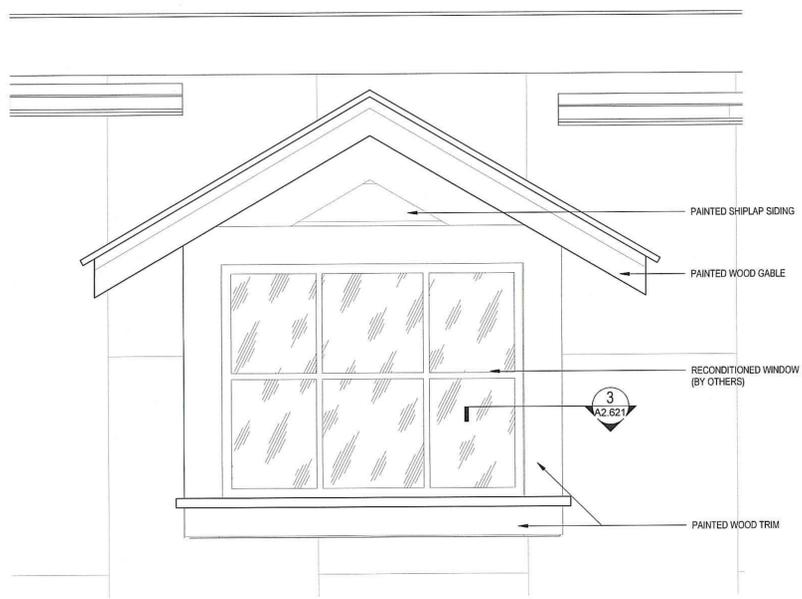
PROTECT DORMER ELEMENTS. PROVIDE TEMPORARILY BRACING AND REMOVE WHOLE DORMER ASSEMBLY AND LOWER TO GRADE. REFURBISH AS INDICATED AND REINSTALL ON UPGRADED ROOF STRUCTURE IN ORIGINAL LOCATION. COMPLETE MEMBRANES AND CLADDINGS AND TIE IN TO ADJACENT ROOFS. REMOVE TEMPORARILY BRACING. REFER TO SECTION 06 03 25 - CONSERVATION TREATMENT FOR PERIOD FINISH CARPENTRY



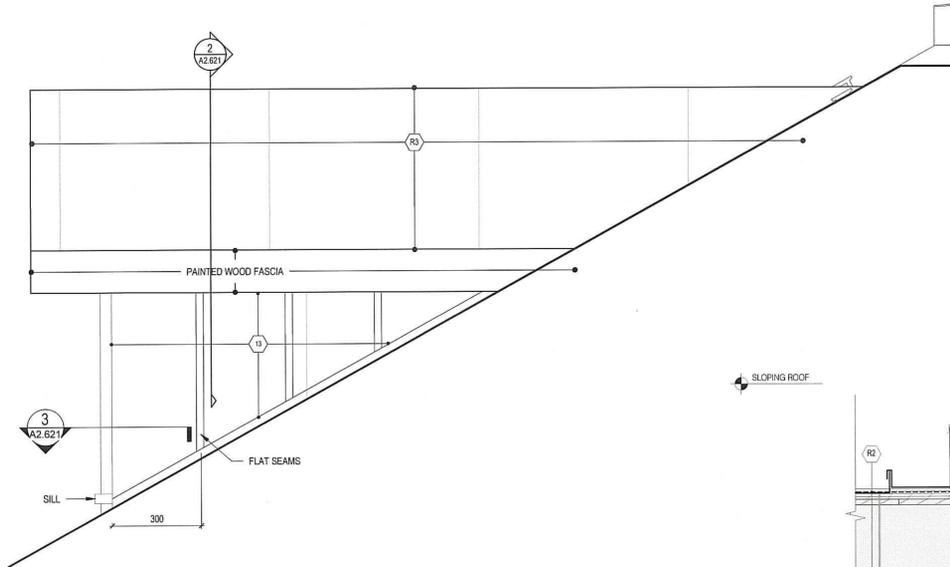
1 SECTION DETAIL - DORMER UPGRADE, E-W SECTION
1:10



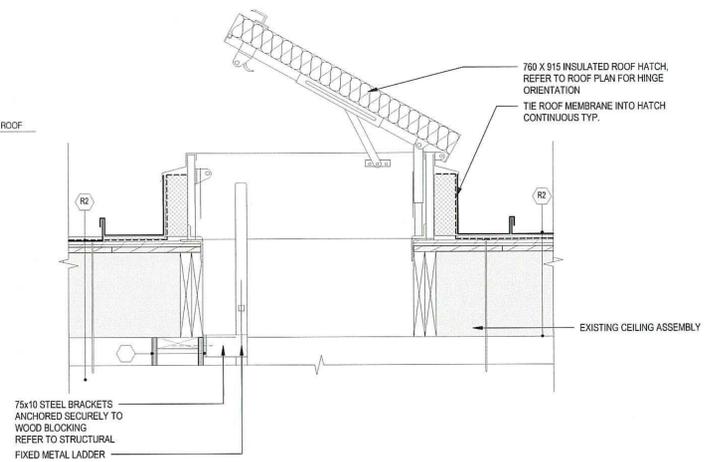
3 PLAN DETAIL - DORMER OUTSIDE CORNER
1:5



6 ELEVATION - DORMER UPGRADE-FRONT
1:10



7 ELEVATION - DORMER UPGRADE-SIDE
1:10



5 SECTION DETAIL - NEW ROOF HATCH
1:10



Revision/Revision	Description/Description	Date/Date
1	ISSUED FOR PHASE 2.3 TENDER	2021-01-29

Client/client: **PARKS CANADA**

Project title/Titre du projet:
**301 FRONT STREET
DAWSON, YT Y0B 1G0
FORMER TERRITORIAL
COURTHOUSE NHSC**

Consultant Signature Box Only
Designed by/Concept par: **Designer**
Drawn by/Dessiné par: **SH**
PCA PROJECT LEAD: **TRAVIS WEBER**
PCA PROJECT MANAGER: **JOSHUA KUMMERFIELD**

TYP SECTION DETAILS

Project No./No. du projet: PRO 842	Sheet/Fuille: A2.621	Revision no./ La Revision no.: 1
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