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ASSISTANT DEPUTY MINISTER (INFRASTRUCTURE AND ENVIRONMENT)

Real Property Operations Group



Site Visit Briefing Service Contract Janitorial #1

Contract Section



RPOD(Gt)

WO P. Lepage

13/01/2021

Canada



Agenda

- Overview
- Specific requirements
- Pictures and site plans



Overview

- Work specified in this Service Contract covers the furnishing of all cleaning materials, labour, tools, equipment, supervision, travel and profit, required to provide complete janitorial services for the various buildings located at 5 CDSB Gagetown, as directed and specified herein.
- The complete and detailed description of work specified herein, is located in Section 01 11 00 "Summary of Work" and supplemented by Annex B "Cleaning Frequencies".



Overview (cont)

- The period of this Service Contract is from 01 April 2021 to 31 March 2022 with the option to renew two-one year periods.
- This presentation will be replacing the site visit for the requirements of this tender due to COVID restrictions.
- Refer to Instructions to Bidders for complete information, this presentation will only highlight notable requirements.



Specific Requirements: Equipment

- General equipment requirements are listed in the Summary of Work
- Equipment of note:
 - Wet/dry canister vacuums with an adaptable power head hook up and maximum noise level 60-70 dB. Supplied in sufficient numbers throughout the various buildings, in order to properly provide the cleaning services for the buildings listed in Annex A, at the required frequencies listed in Annex B.
 - One vacuum for each of the accommodation buildings listed in this specification; and
 - Two vacuums for building D-57.



Specific Requirements: Equipment

- Equipment of note (cont):
 - Floor maintainers/auto scrubbers, minimum working width 50cm. Supplied in sufficient numbers throughout the various buildings, in order to properly provide the cleaning services for the buildings listed in Annex A, at the required frequencies listed in Annex B.
 - Two scrubbers for D-57, (one per floor, as the second floor contains a running track).



Specific Requirements: Equipment

- Equipment of note (cont):
 - Floor machines, working width 50cm, dual speed of 75 RPM low and 300 RPM high floater type. Supplied in sufficient numbers throughout the various buildings, in order to properly provide the cleaning services for the buildings listed in Annex A, at the required frequencies listed in Annex B.
 - One machine for each of the accommodation buildings listed in this specification; and
 - Two machines for D-57 (one per floor).



Specific Requirements: Equipment

- Equipment of note (cont):
 - The Contractor will supply a pool vacuum for pool located at 5 CDSB Gagetown. One seasonal outdoor pool located at building A-42. The following will be considered minimum requirements:
 - Calculated ground speed = 15m/min;
 - Calculated scanning rate = 5.85sqm/min;
 - Suction rate (self controlled) = 300L/min;
 - Weight (w/o cable) = 10.7kg;
 - Input voltage = 115 V AC;
 - Output voltage = 30 V DC Nominal; and
 - Rated output = 115 V AC - 150 W.



Specific Requirements: Equipment

- Equipment of note (cont):
 - Contractor to supply one portable pool vacuum for outdoor pool. The following will be considered minimum requirement:
 - 2hp (220V);
 - 2" inlet and outlet;
 - 55 sq ft. filter at (8000 g/h); and
 - Stainless steel cart and non-marking tires.



Specific Requirements: Locations

- Accommodation Buildings:
 - All of these buildings contain rooms used for the purposes of living accommodations. Within this specification, accommodation spaces at 5 CDSB Gagetown are divided into three different types, based on the level of interior room cleaning services required, and are as follows:
 - Suites: These rooms have private bathrooms and kitchenettes. Suites will receive hotel-type cleaning services on a daily basis. Interior room cleaning services will include the cleaning of all items provided for convenience.
 - Enhanced: These rooms have private bathrooms. Enhanced rooms will receive hotel-type cleaning services daily.
 - Basic/regular: These rooms may or may not have private bathrooms. Basic/regular rooms will receive interior room cleaning services only upon occupant vacancy.
 - Details in the specific services and frequencies required for each type of room are listed by the room type in Annex B.



Specific Requirements: Locations

- Accommodation Buildings (cont):
 - Due to the nature of the operations of these buildings (i.e. room occupancy or vacancy), the exact daily cleaning requirements will vary. It is important that the scheduling of cleaning services is coordinated through the 5 CDSB Gagetown Accommodation Section and the Engineer.
 - A-4, A-7, A-9, A-10 and A-11: The officer and Senior NCO quarters. There are 13 suites and 277 of basic/regular rooms. Requirements for daily room cleaning will be given to the Contractor by the Engineer or his representative. Unoccupied rooms will be refreshed as required, at a minimum twice a week when unoccupied, and always thoroughly cleaned before and after occupancy. These three buildings operate in the same manner as a hotel and therefore the level of cleaning service required is expected to be of the same quality and quantity.



Specific Requirements: Locations

- **Recreation Buildings:**

- A-42: The outdoor pool. This is a recreational facility that is open to the public as well as the military. There is a single 25m pool, deck area and change rooms (with washrooms). The outdoor pool is seasonal (summer) cleaning only. Its operational time line will be determined based upon seasonal weather conditions. Once opened for the season, the outdoor pool is open from 1200-2100 daily, including holidays and weekends.
- A-15: The base arena. This is a recreational facility that is open to the public as well as military. Cleaners are required in the day and the evening, with the evening shift to end no earlier than 2230. The arena is open seven days a week, but closes for annual maintenance for approximately one month, once throughout the year (TBD annually, dates will be provided to the Contractor).
- A-29: The Base Golf and Curling Club. This is a recreational facility that is open to the public as well as military. Cleaners are required in the day, 7 days a week. The cleaning schedule will have to adjust for summer months due to washroom facilities located on the golf course, transportation will be provided to these two washroom facilities.



Specific Requirements: Locations

- Messes and Kitchen Facilities:
 - The Messes and the Base kitchen/dining hall are used for dinning and hospitality. They are open to the public, and are used on occasion to host various public functions.
 - A-4 and A-9: The two Senior NCO Messes. Mess facilities are used for social events and public functions, as well as bar facilities in the evenings. Please note that the bar areas are not included under this service contract, however, common spaces, washrooms, corridors, and offices are. Also, buildings A-4 and A-9 have accommodation spaces located on their second levels. Refer to section 3.3 "Accommodation Buildings".



Specific Requirements: Locations

- Essential Support Services Buildings:
 - Essential support service buildings operate 24 hours a day, 365 days a year. They provide essential services to 5 CDSB Gaagetown and in some cases, to the Town of Oromocto. The co-ordination and scheduling of cleaning tasks needs to reflect the operational needs of these buildings. As such, cleaning frequencies that are listed as daily in ANNEX B, need to be maintained for all operational days of the week (i.e. 7 days a week, 365 days a year, including holidays).
 - A-13: The Water Treatment Plant. In addition to operating 24 hours a day 365 days a year, due to the nature of the plant, floors will require daily cleaning, sweeping and mopping, this is to include the pump areas.
 - C-9: The Central Heating Plant.
 - F-19: The Main Gatehouse.



Specific Requirements: Locations

- Public Buildings:
 - Public buildings provide services to members of the military and their dependants, as well as members of the public service and their dependants, and to members of the general public. Due to their public nature and high traffic potential, special janitorial services and/or frequencies may be required.
 - F-12: The base theatre. The cleaning of the theatre space is not included in this contract, but the washrooms, front entrance, and office spaces are. However, when the theatre is booked for presentations, the theatre space will be required to be cleaned. This will be co-ordinated through the Engineer.
 - A-5 and A-42: The Base Museum and the Base Post Office.



Specific Requirements: Locations

- Drill Halls:
 - There are two large drill halls in this package. The drill floor itself (which is a large open area, similar to a gymnasium floor, that is clearly outlined and delineated within each building) is not included under the scope of routine cleaning in this specification. All other spaces will receive the cleaning services and frequencies as indicated in ANNEX B.
 - D-10, D-15: Large drill halls. They are used for ceremonies such as Change of Command parades.



Specific Requirements: Locations

- Large Building Complexes:
 - Buildings grouped under this classification are large building complexes. These buildings will receive the cleaning services and frequencies as indicated in ANNEX B. Due to their large size, these buildings will require single/multiple (as indicated below) full time, day cleaners. Many of these buildings also have specific equipment requirements listed above in subsection 2.5, Equipment.
 - B-10: This is the Base supply depot. It will have one full time cleaner.
 - B-18 and B-14: This is the 5 ESU complex. It will have one full time cleaner, and a second half-day cleaner.
 - D-56, D-57, and D-58: This is the RCR complex. It will have three full time day cleaners, and one half-day cleaner.



Specific Requirements: Locations

- Administrative Buildings:
 - Buildings grouped under this classification provide administrative (Admin) services. There are 28 buildings defined as Admin buildings under this specification. These buildings will receive the cleaning services and frequencies as indicated in ANNEX B.
 - Admin buildings located off base, but within a 5km radius, is: Canadian Forces Housing Agency (CFHA) building, F-20 (located right outside the main gate).
 - Admin buildings located within the base are: B-71, B-339, B-341, C-15, D-4, D-5, and D-17.



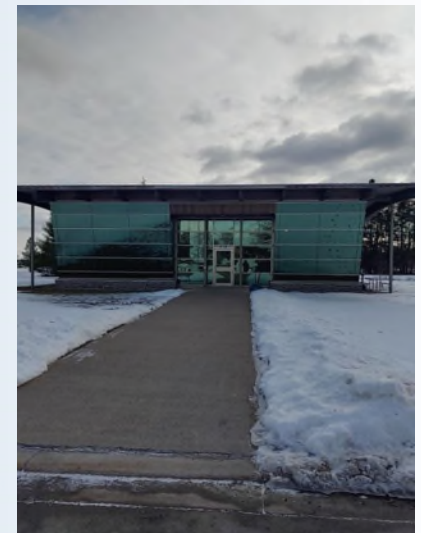
Specific Requirements: Locations

- Support Buildings:
 - Buildings grouped under this classification are used for the purposes of maintenance, storage and supply. There are 7 buildings defined as support buildings under this specification. These buildings will receive the cleaning services and frequencies as indicated in ANNEX B.
 - Support buildings are: B-1, B-7, B-9, B-19, B-45, B-58 and C-8.



Specific Requirements: Windows

- Buildings Windows:
 - Windows are to be cleaned inside and outside semi-annually (once in the spring and once in the fall of the year) for buildings listed in "Annex A" with the exception of buildings listed in sub-section 3.15.2. Window glass is to be cleaned the entire length and width of the glass.
 - All windows in building F-19 (Main Gate), are to be cleaned once a month on a regular basis as listed in "Annex B".
 - All window screens will be removed to clean the windows and installed after cleaning by the contractor at no additional charge. Fixed screens will be reported to the Engineer.





WHMIS

- Comply with regulations regarding Workplace Hazardous Materials Information System (WHMIS) regarding use, handling, storage and disposal of hazardous materials; and regarding labelling and provision of material safety data sheets acceptable to Human Resources and Skills Development Canada and Health Canada.
- The Contractor must provide proof that all staff working onsite have received WHMIS training prior to the employees commencing work.



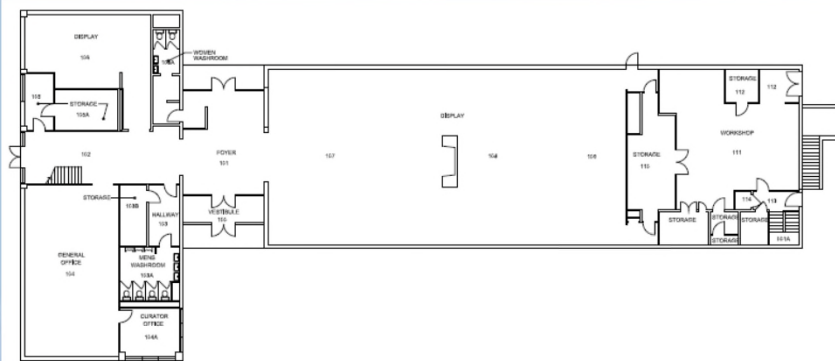
Building Location



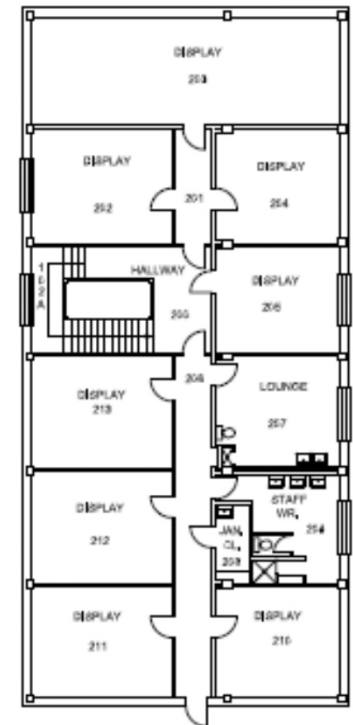


Pictures and Site Plan A-5

A-5 Museum



FIRST FLOOR PLAN - A5

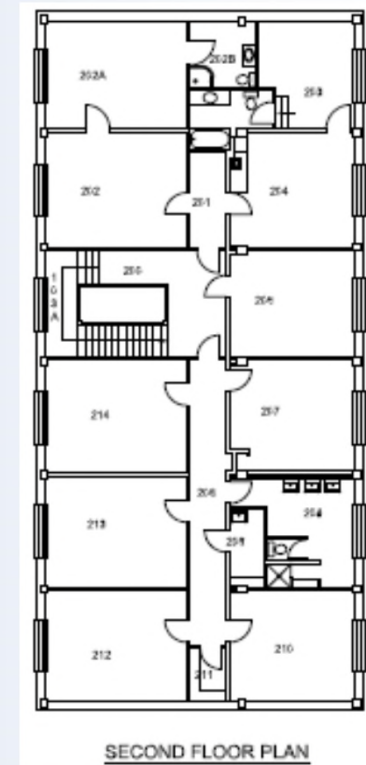
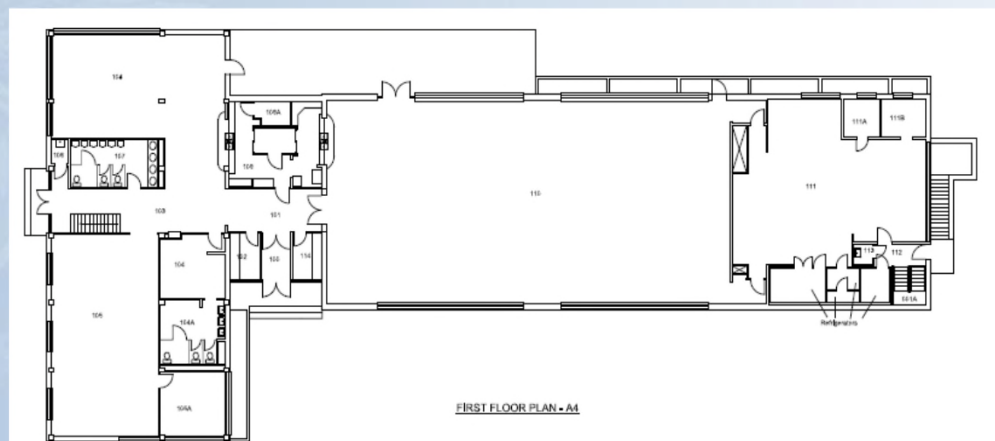
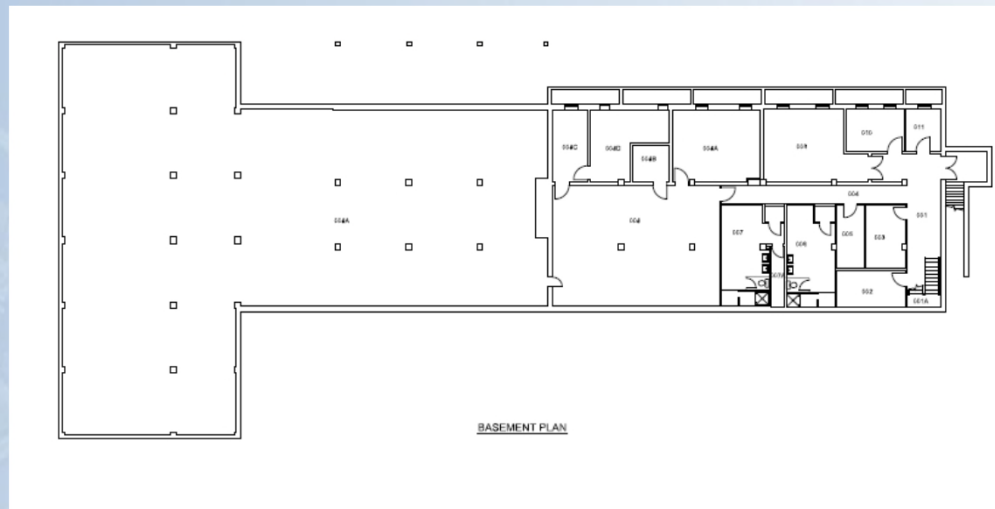


SECOND FLOOR PLAN - A5



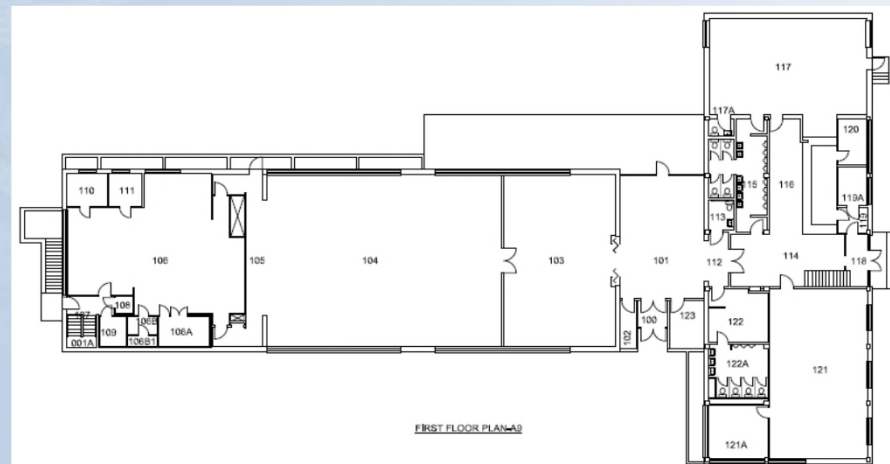
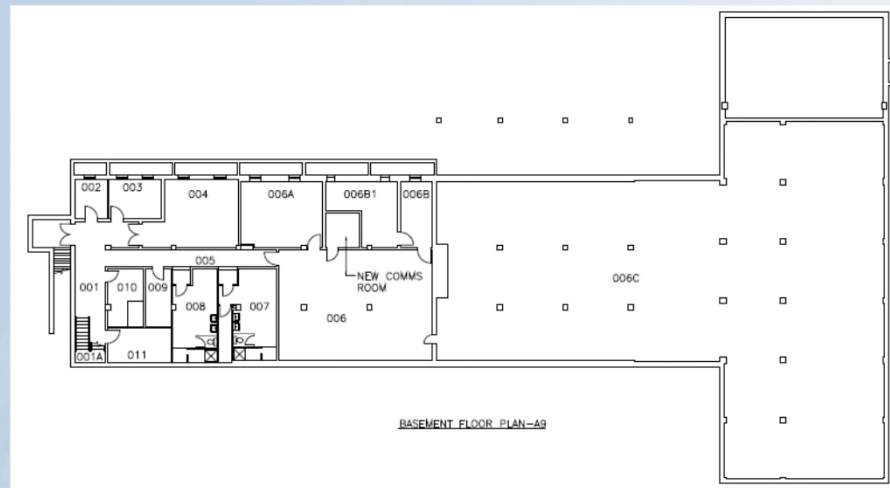
Pictures and Site Plan (Cont) A-4

- Senior NCO Mess A-4





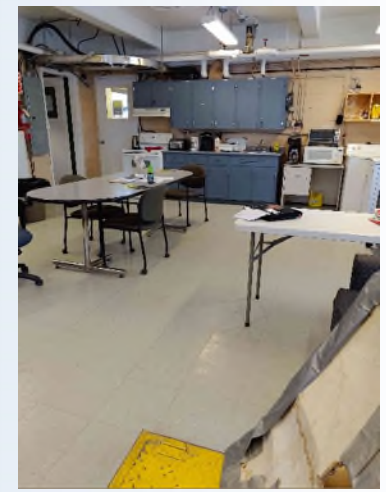
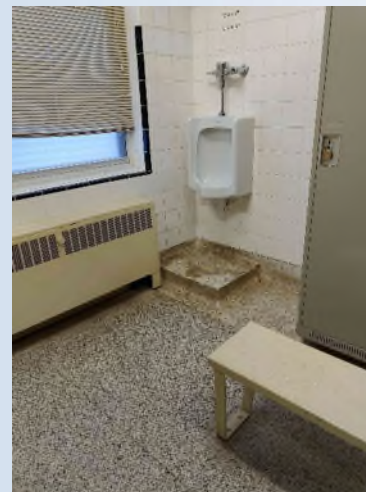
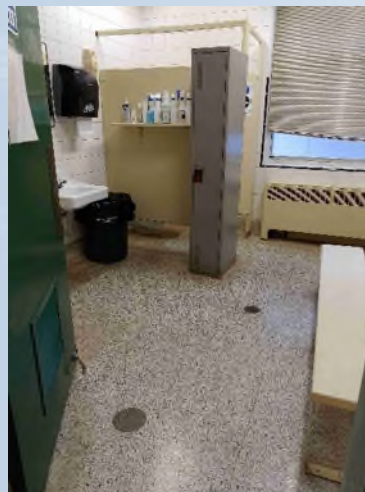
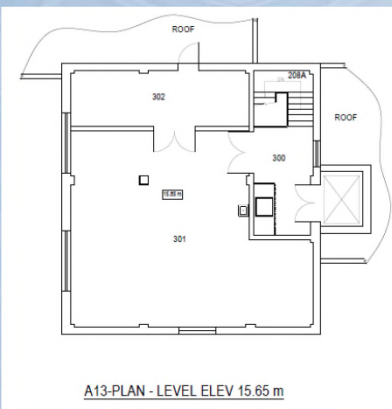
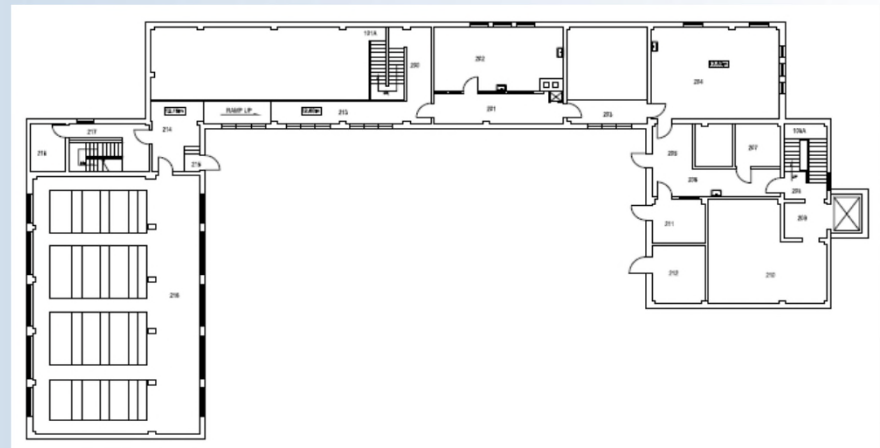
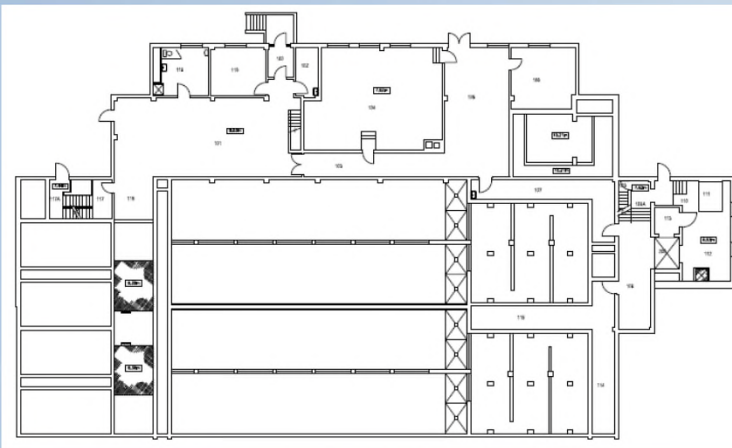
- Senior and Nco Mess A-9





Pictures and Site Plan (Cont) A-13

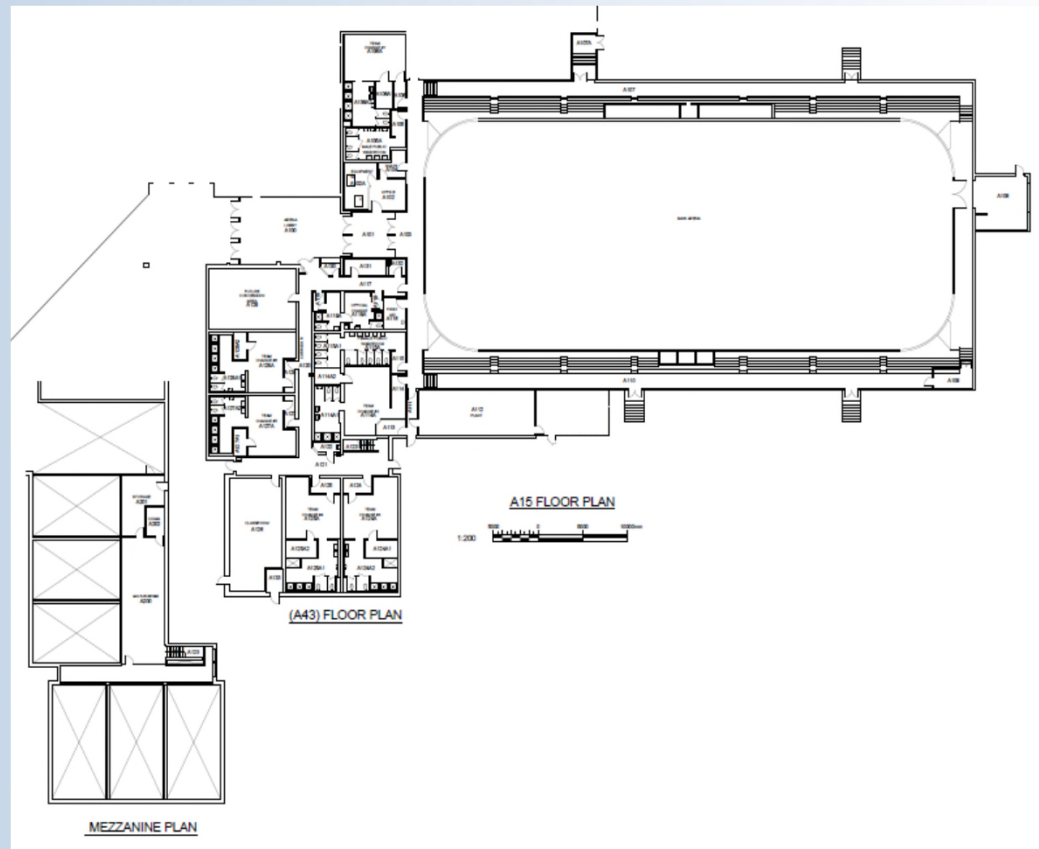
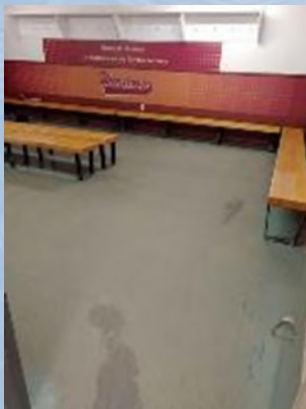
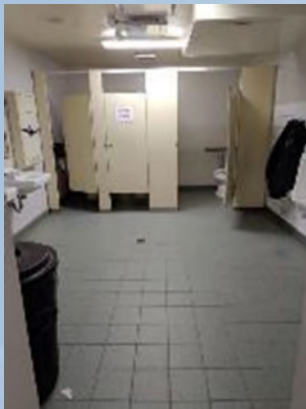
Water Treatment Plant





Pictures and Site Plan (Cont) A-15

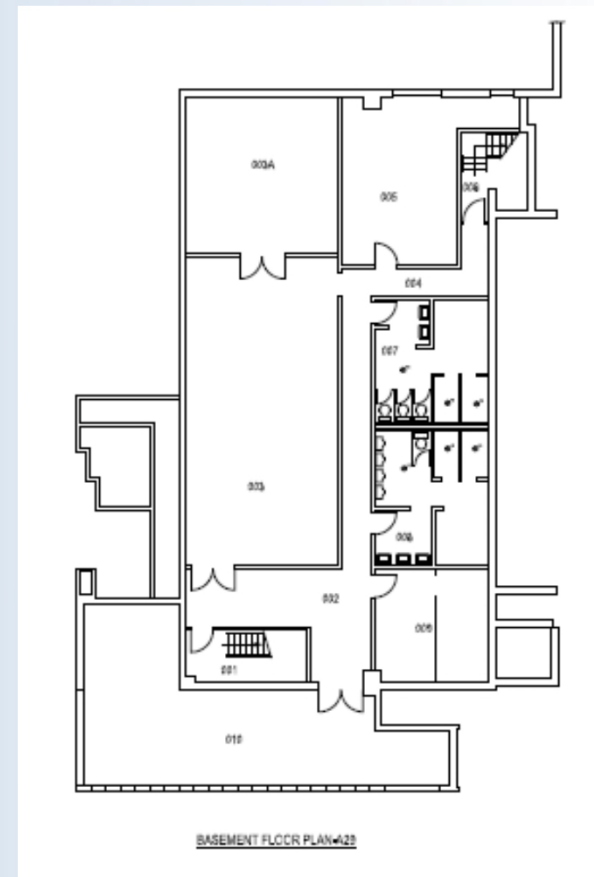
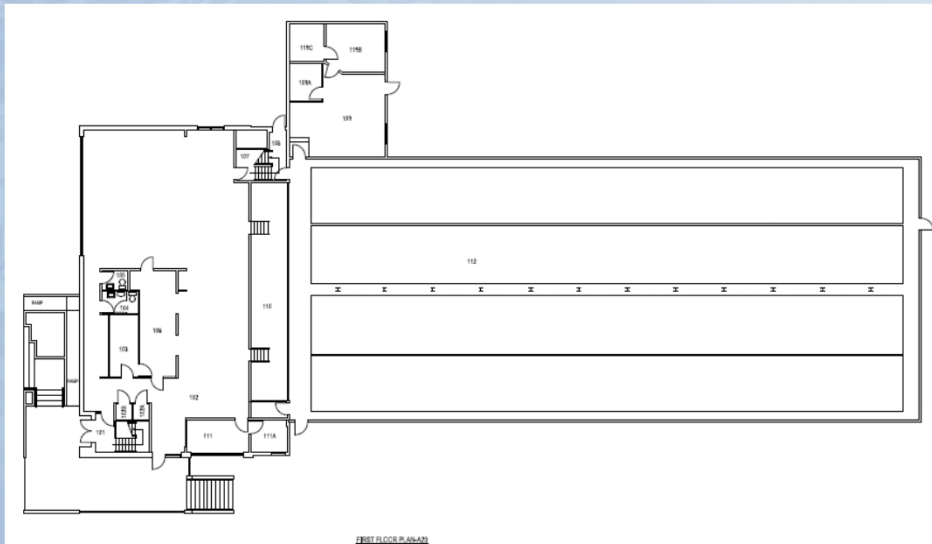
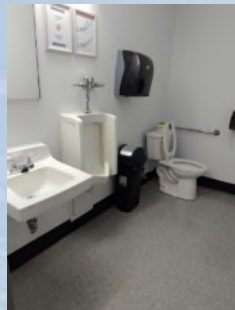
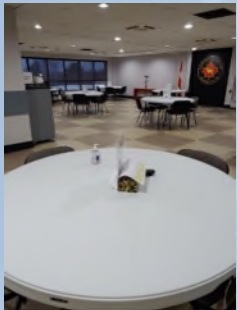
Arena





Pictures and Site Plan (Cont) A-29

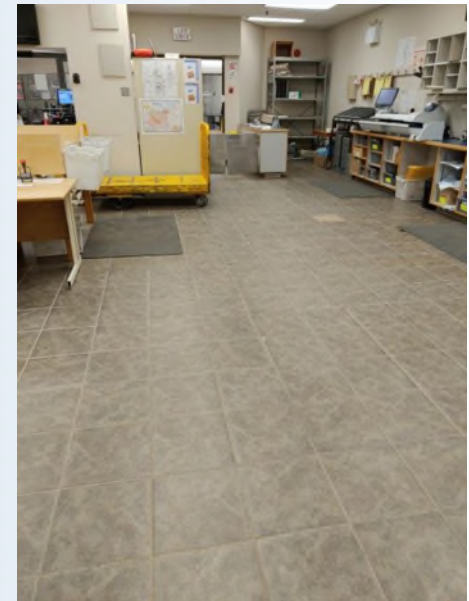
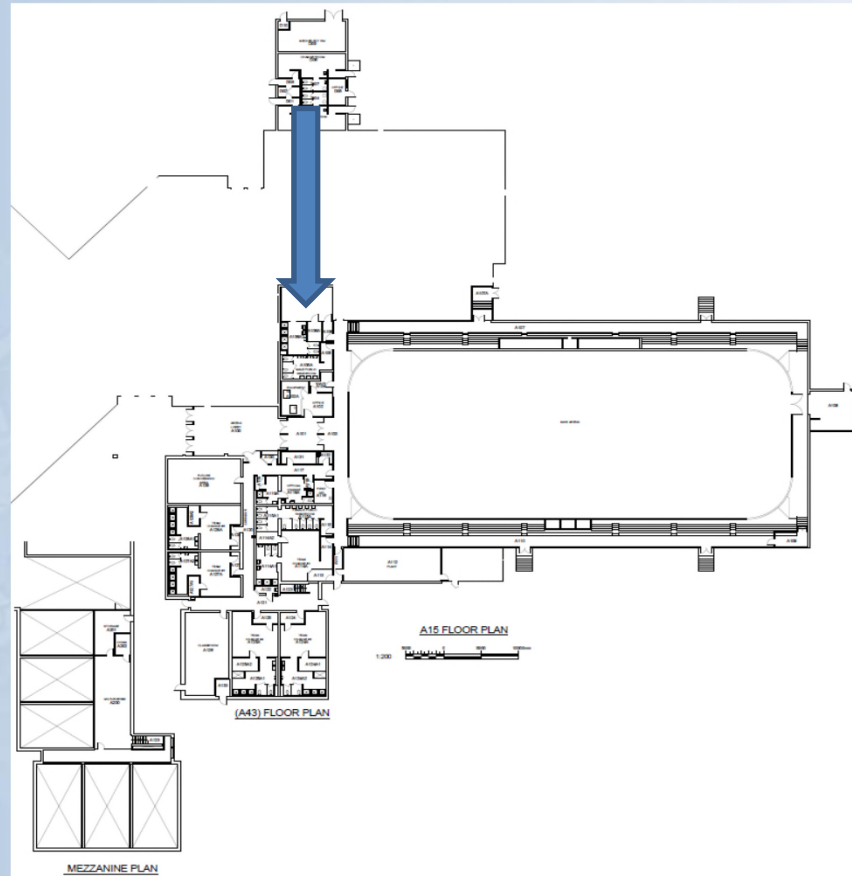
- Golf and Curling Club





Pictures and Site Plan (Cont) A-42

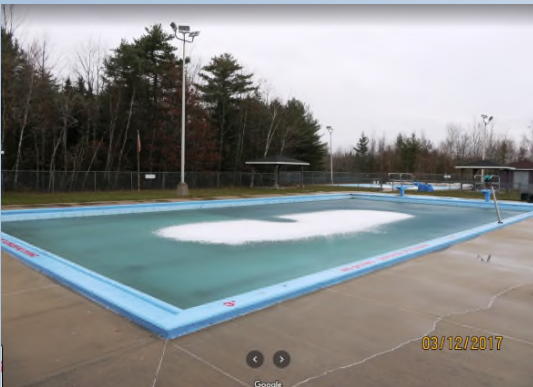
Post Office located beside the arena



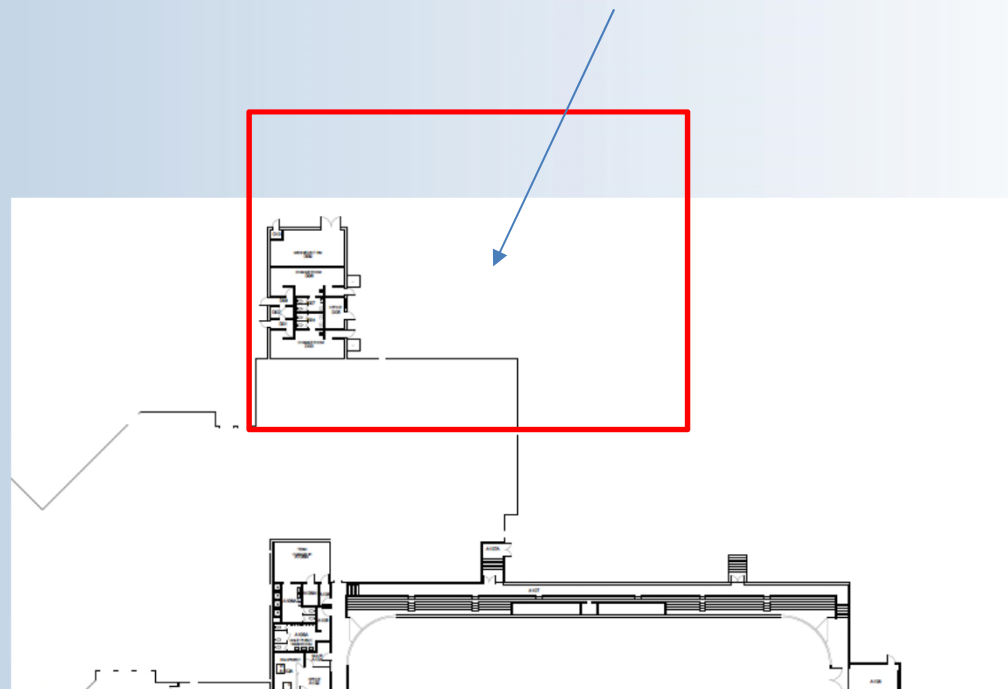


Pictures and Site Plan (Cont) A-42

- Outside Pool

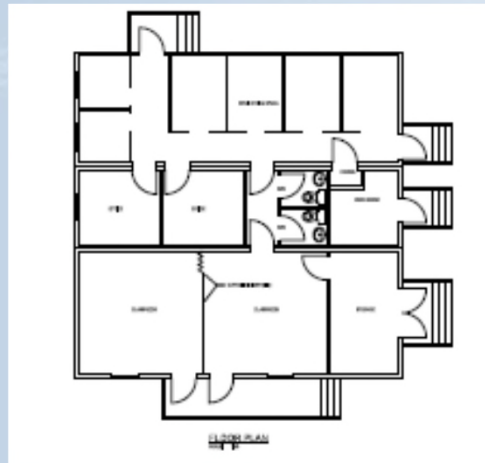
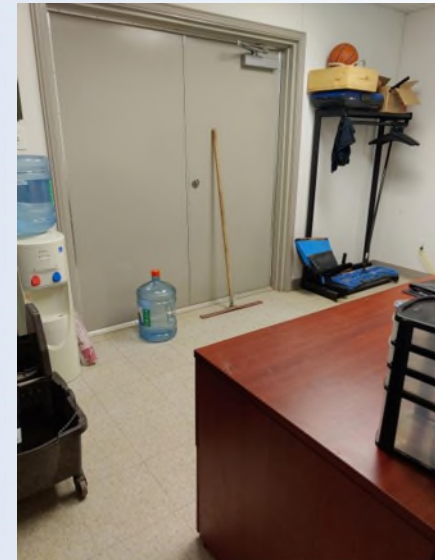
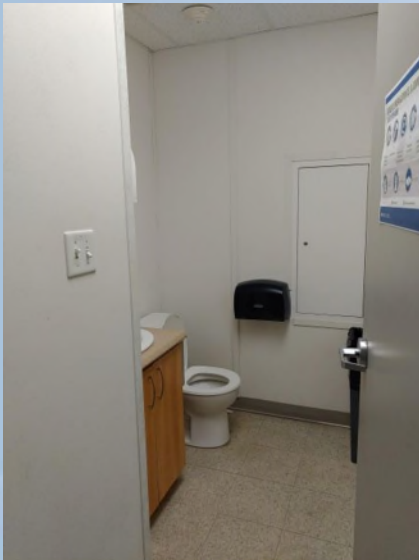


Outside pool location and changing/washroom



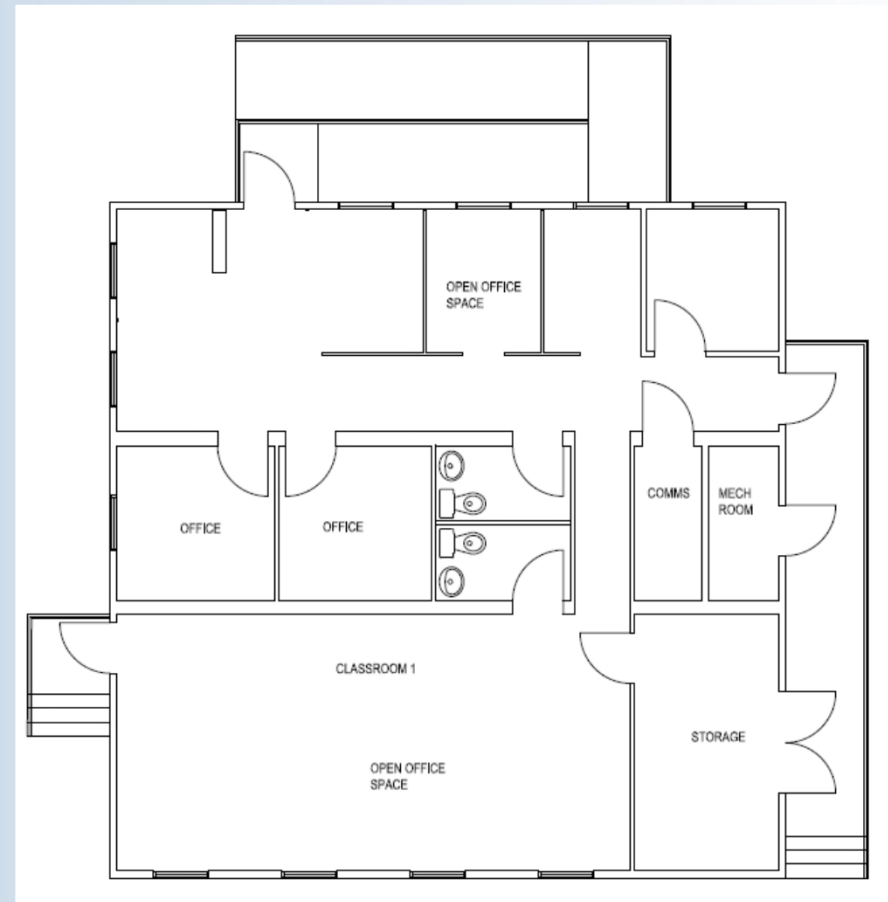


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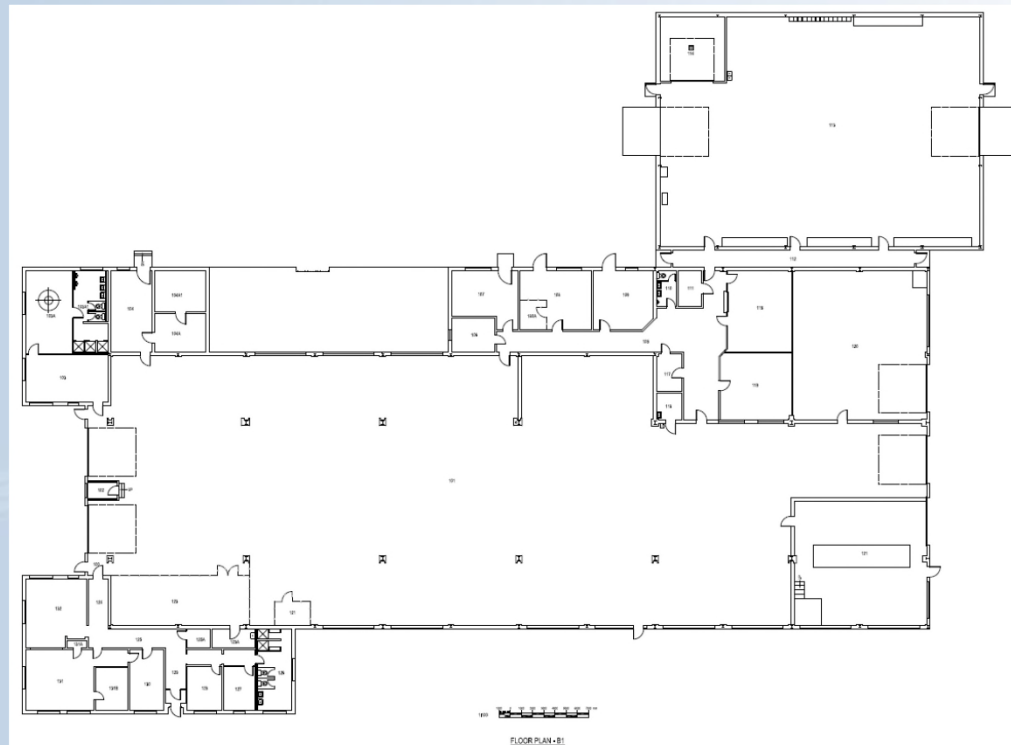
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Pictures and Site Plan (Cont) B-1

- Garage B-1





Pictures and Site Plan (Cont) B-7

- Garage





Pictures and Site Plan (Cont) B-9

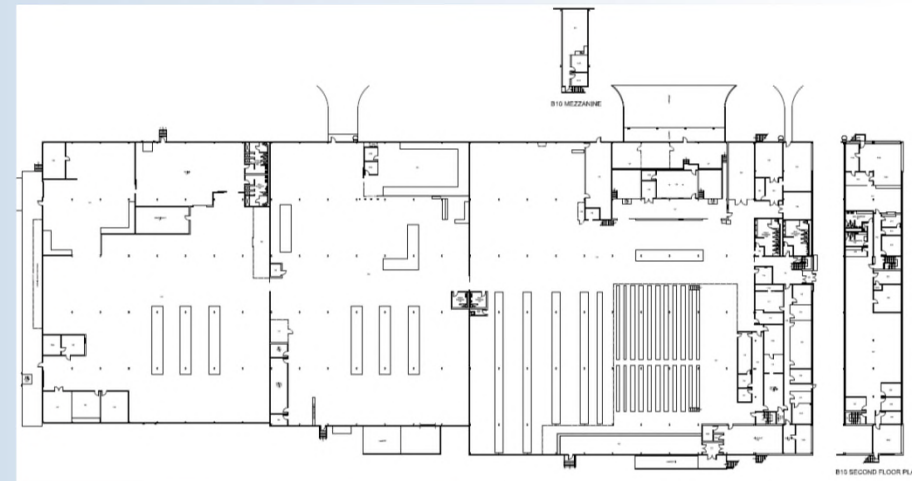
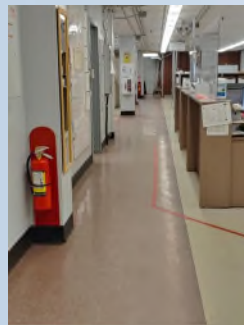
- Garage

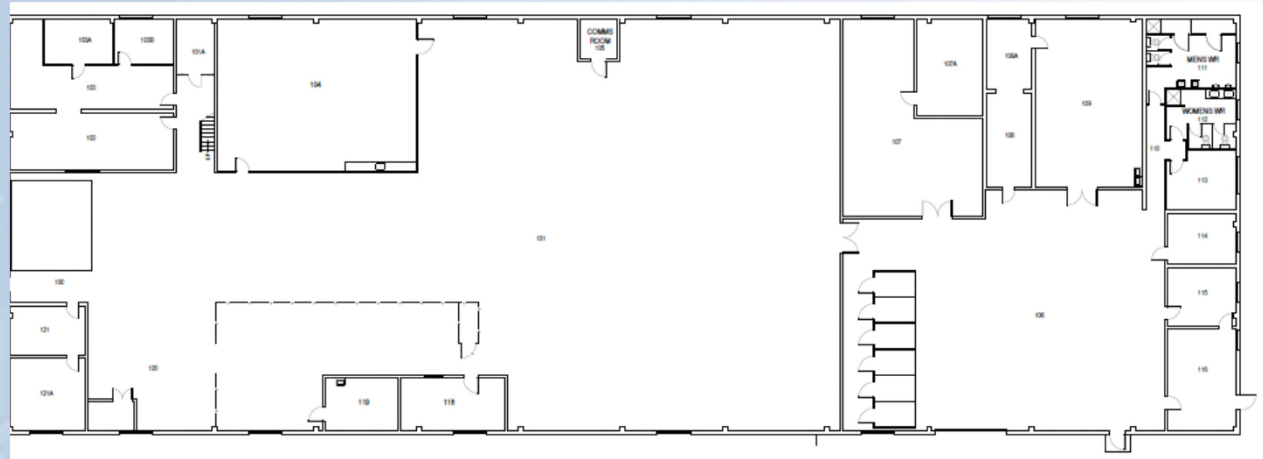




Pictures and Site Plan (Cont) B-10

Base Supply



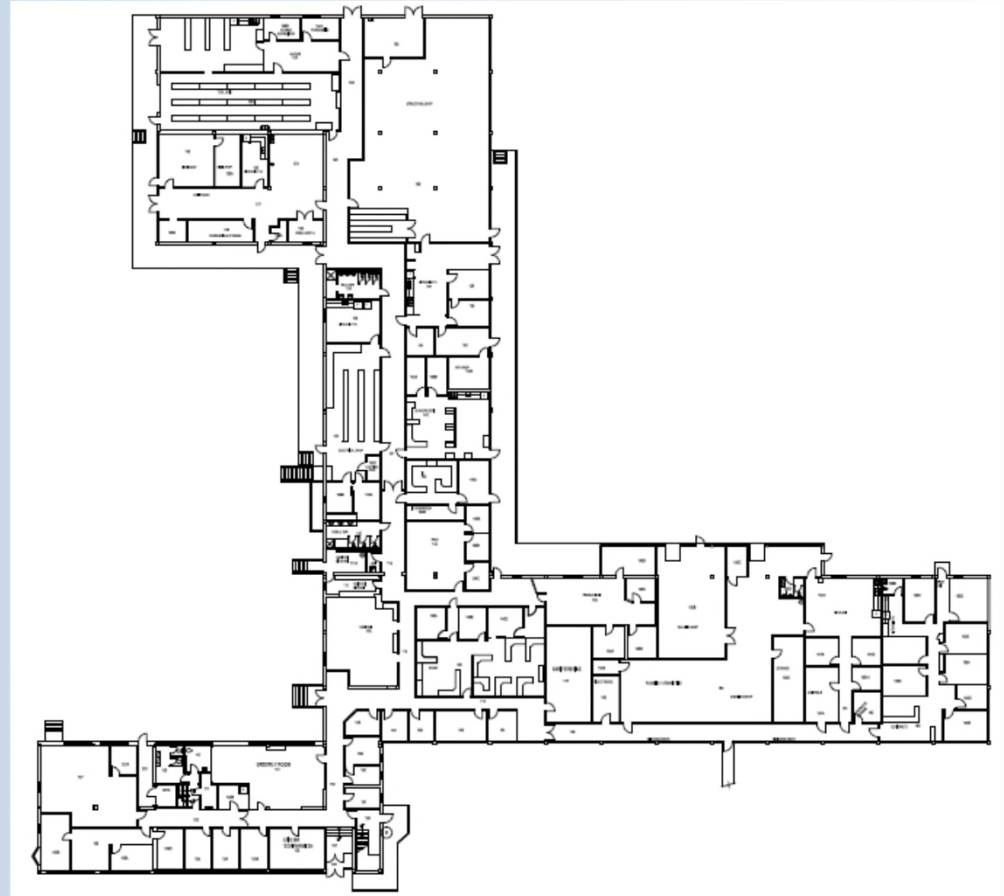




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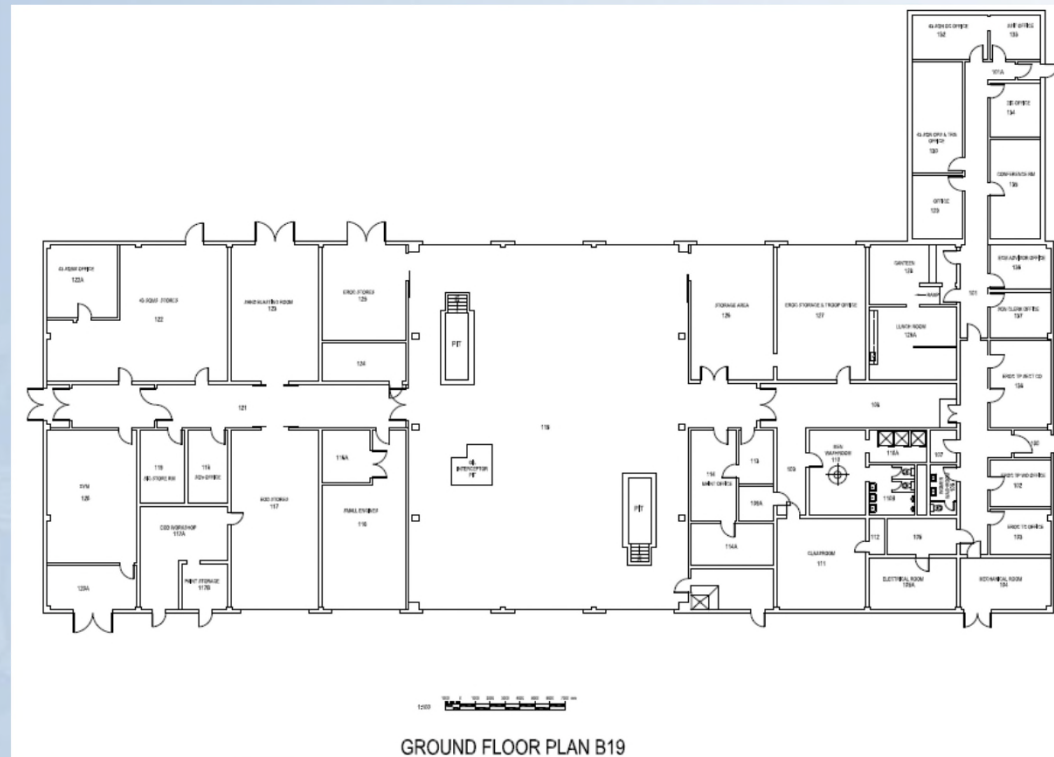
B18 - SECOND FLOOR PLAN





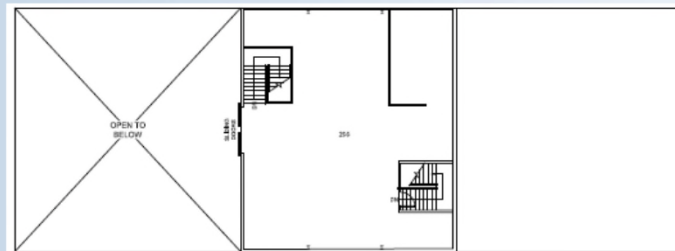
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- Garage

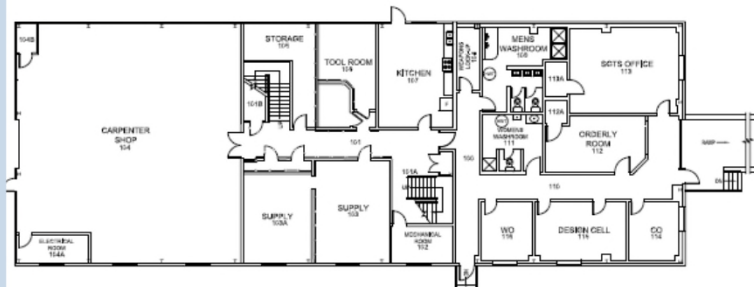




Pictures and Site Plan (Cont) B-45



SECOND FLOOR PLAN B45



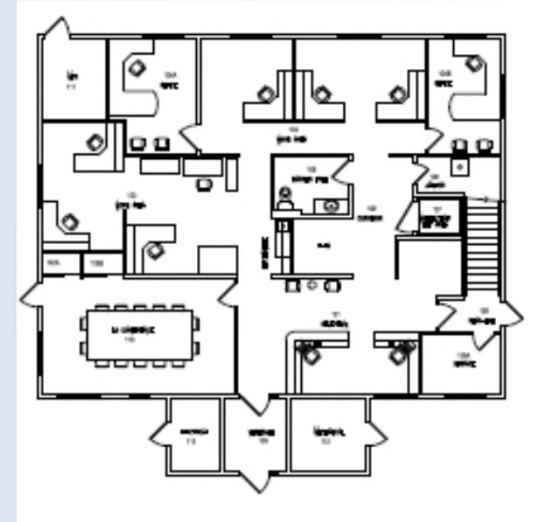
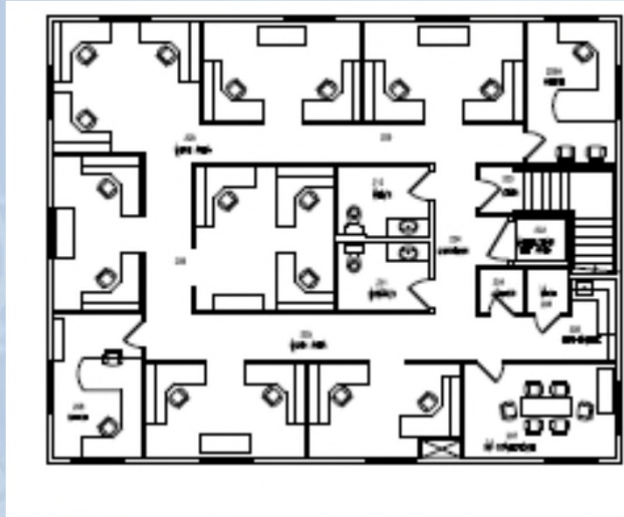
GROUND FLOOR PLAN B45





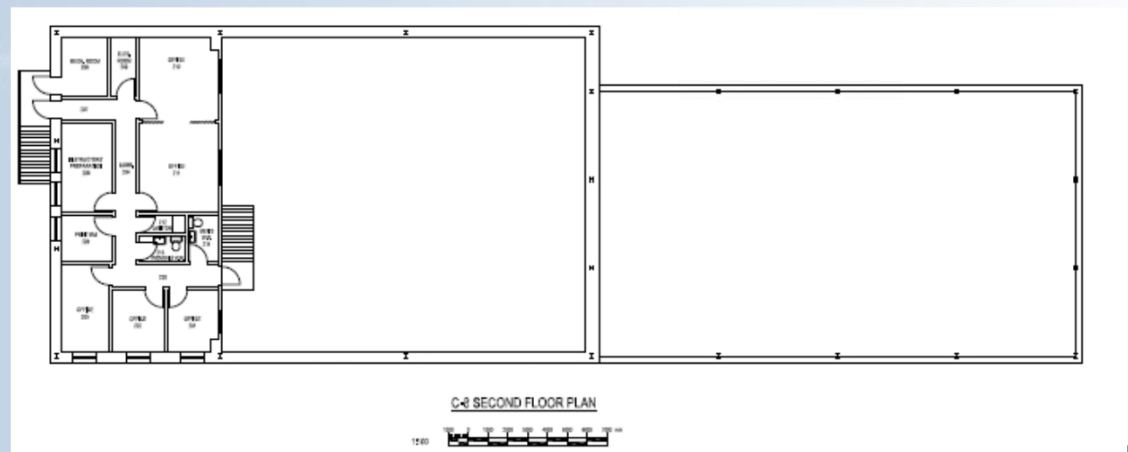
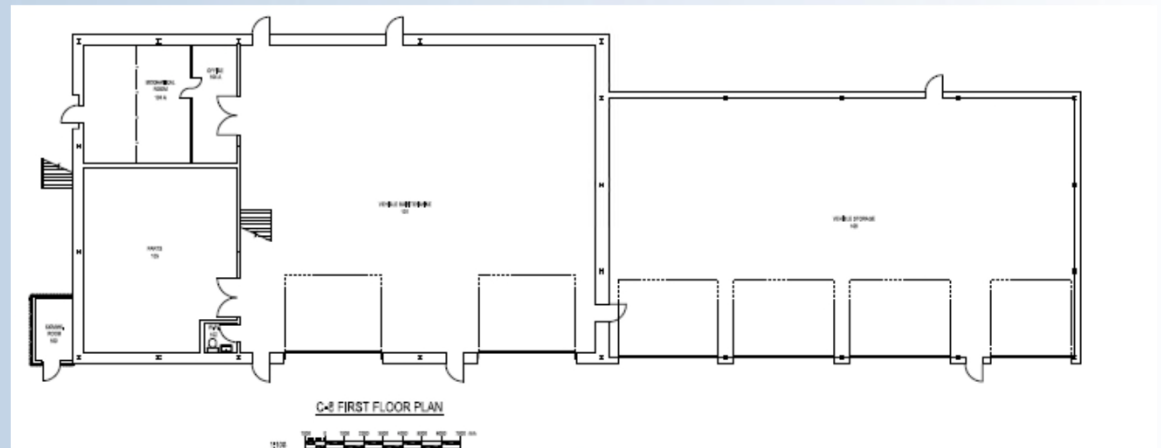


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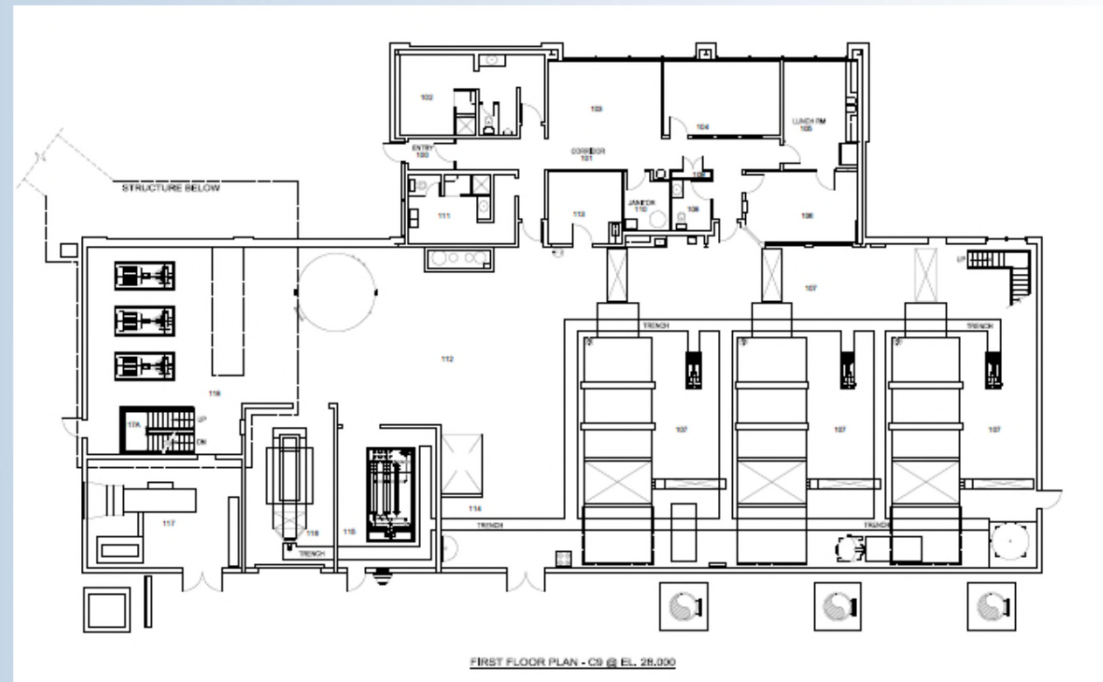
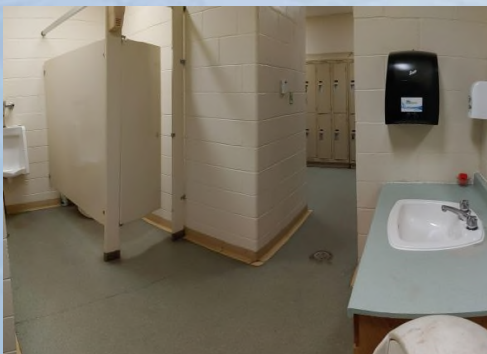
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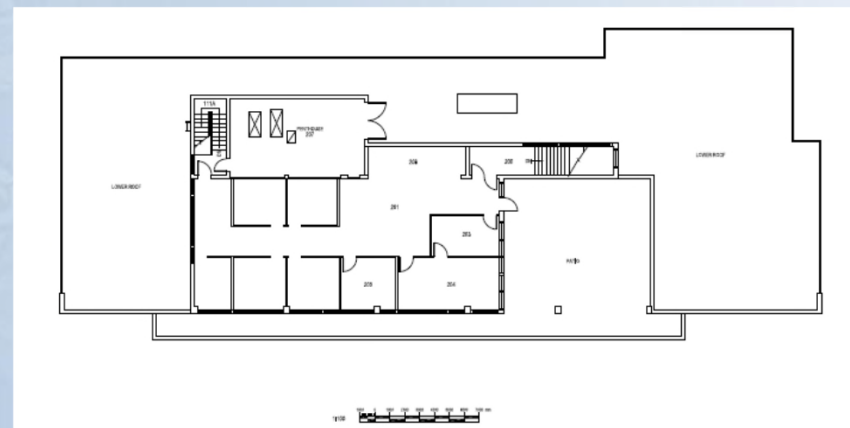


Pictures and Site Plan (Cont) C-9

- Heating Plant









Pictures and Site Plan (Cont) D-10

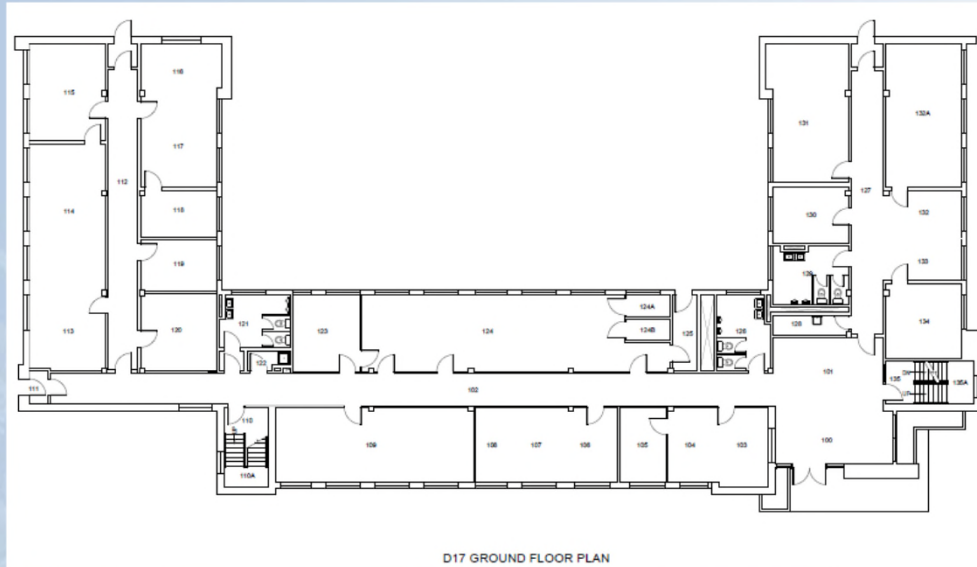
- Drill Hall





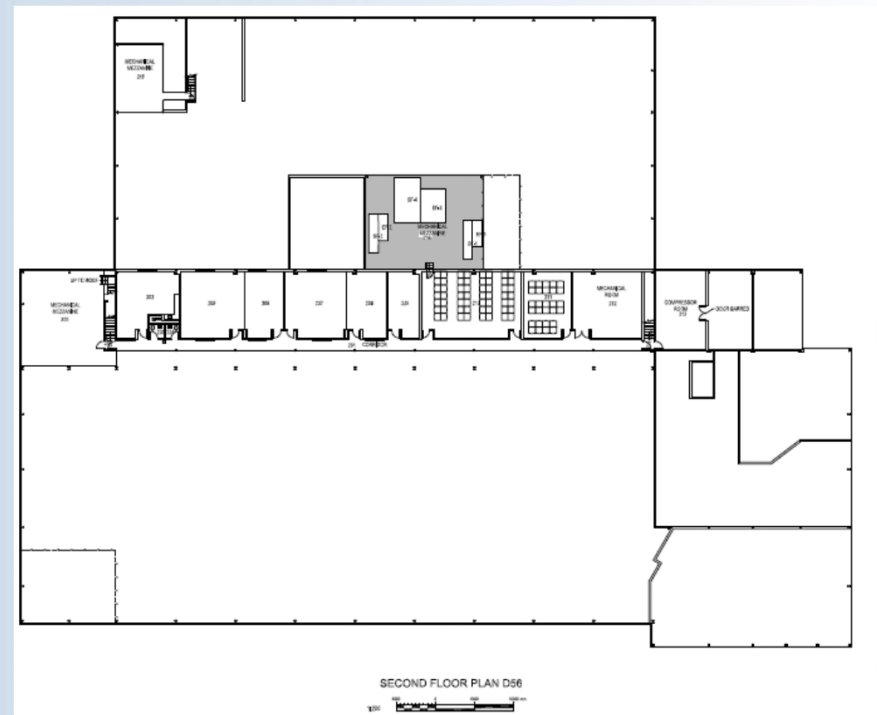
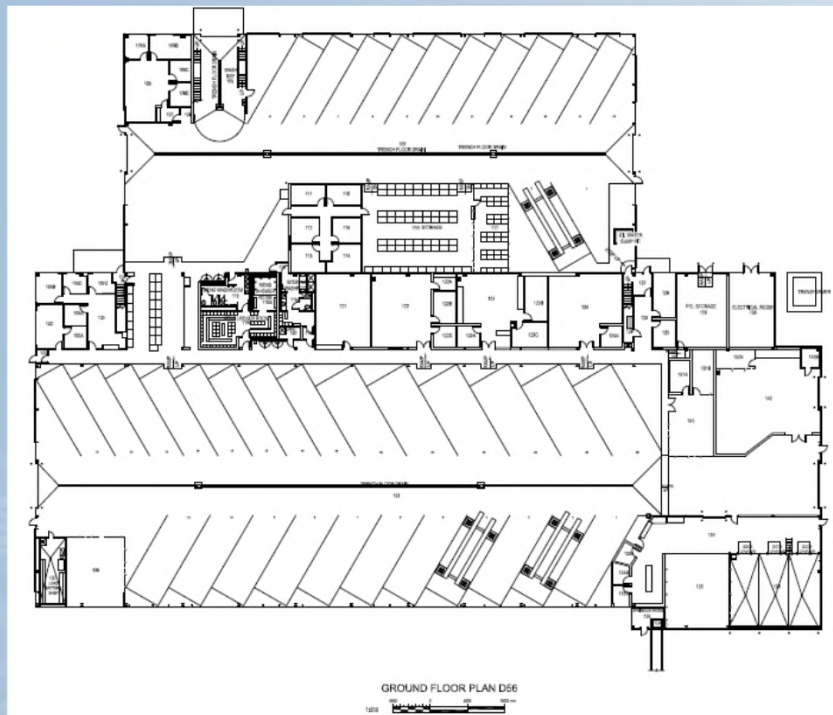


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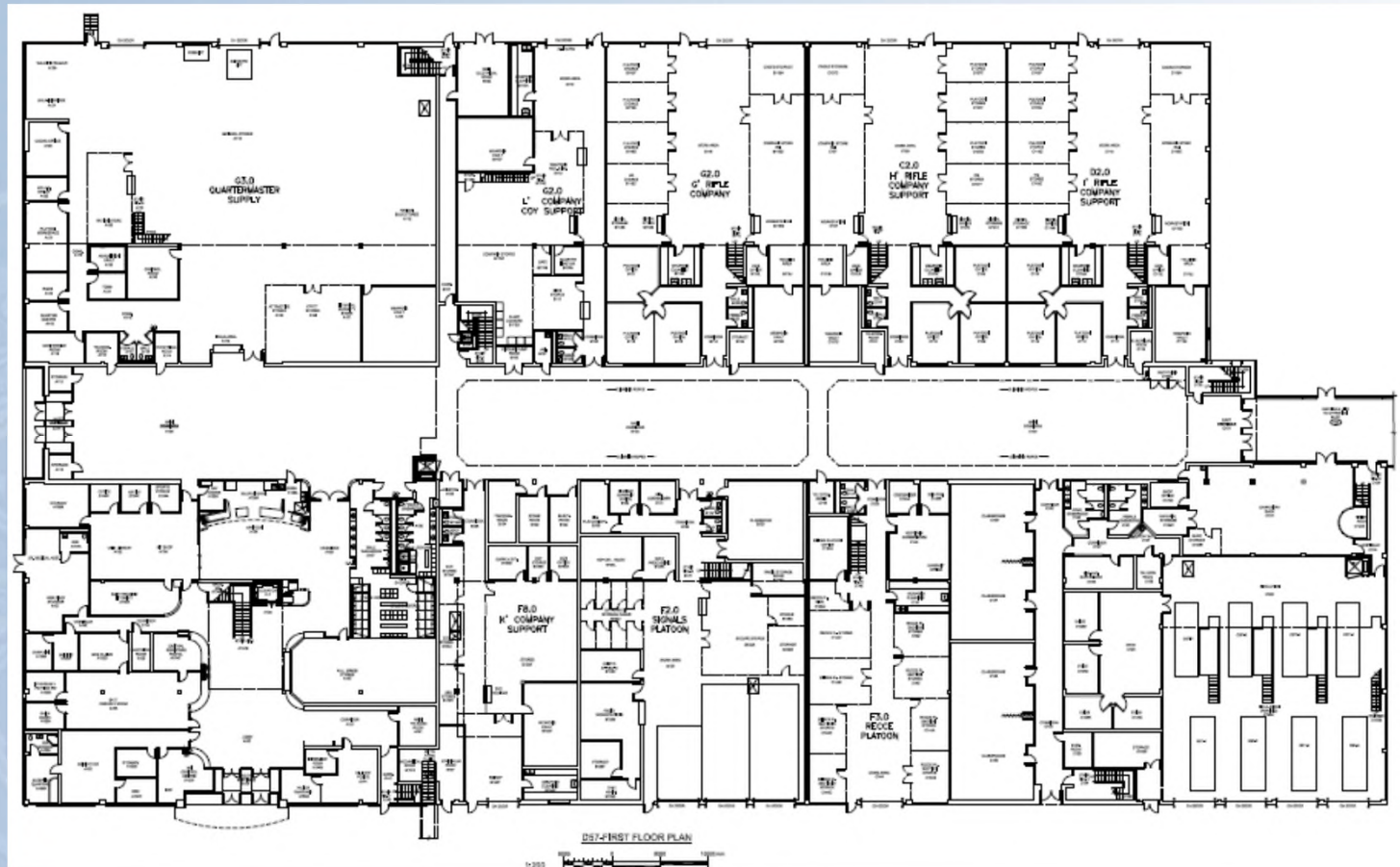


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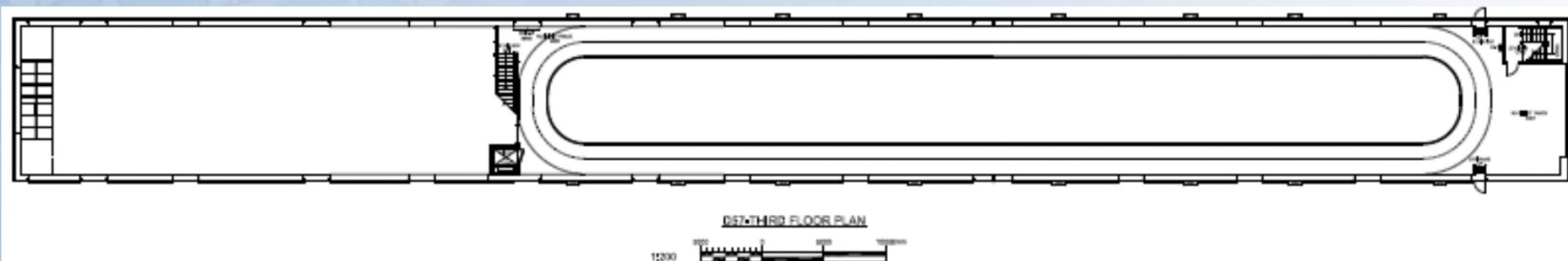
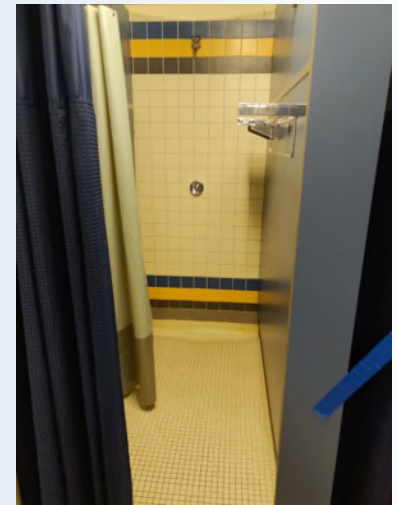
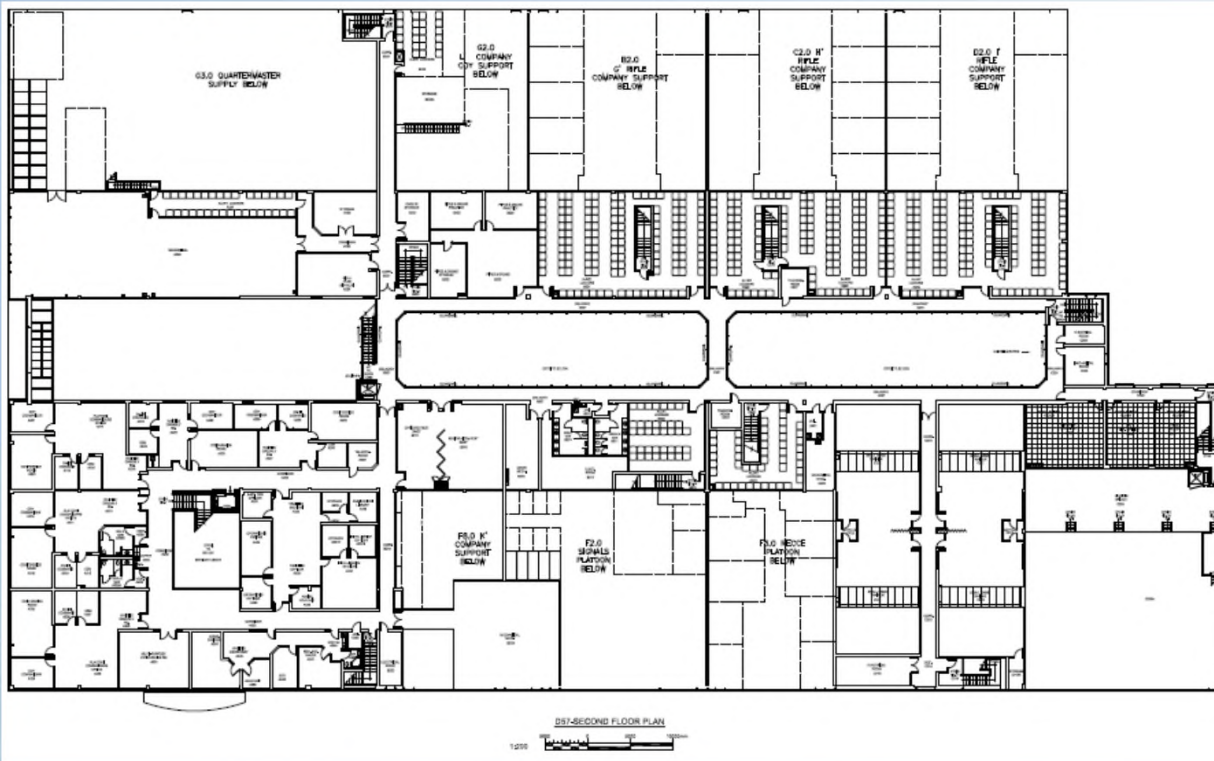


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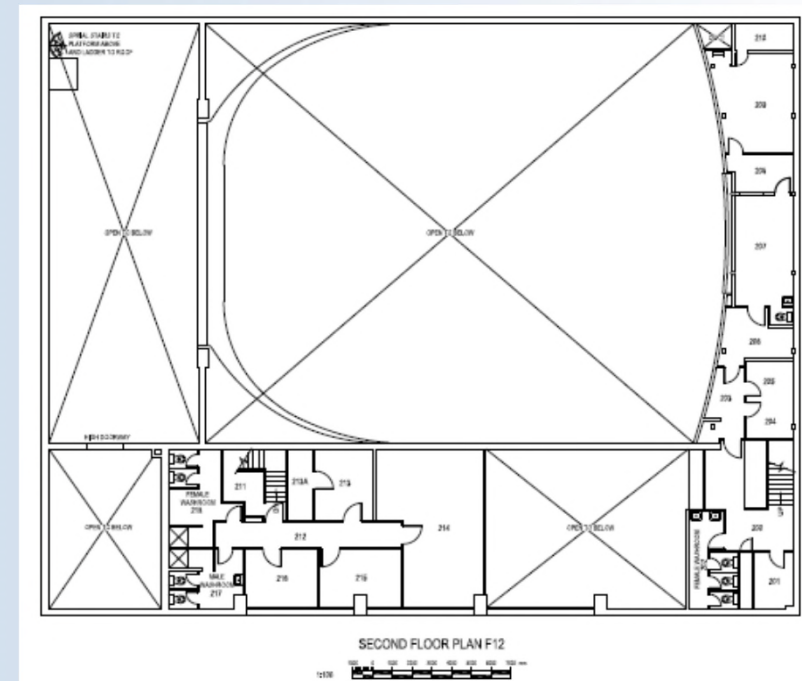
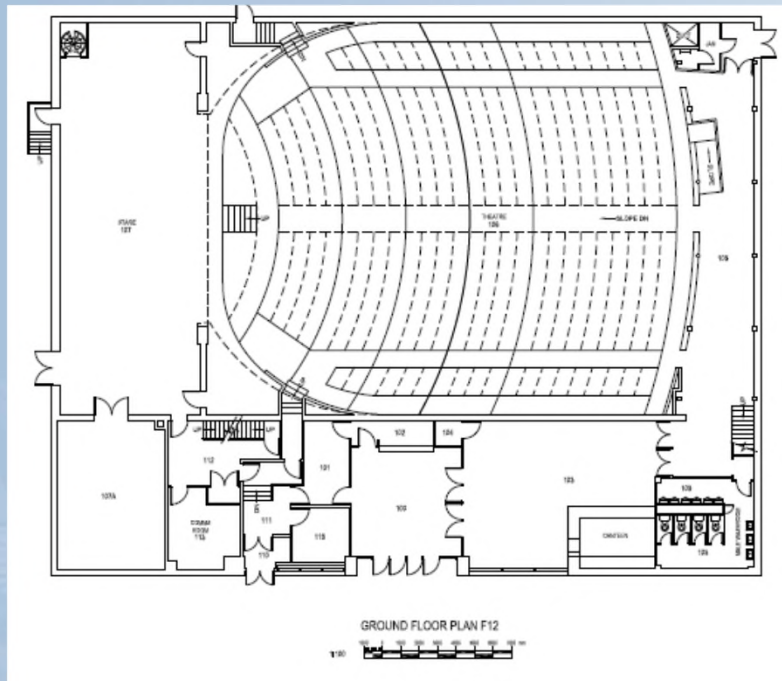


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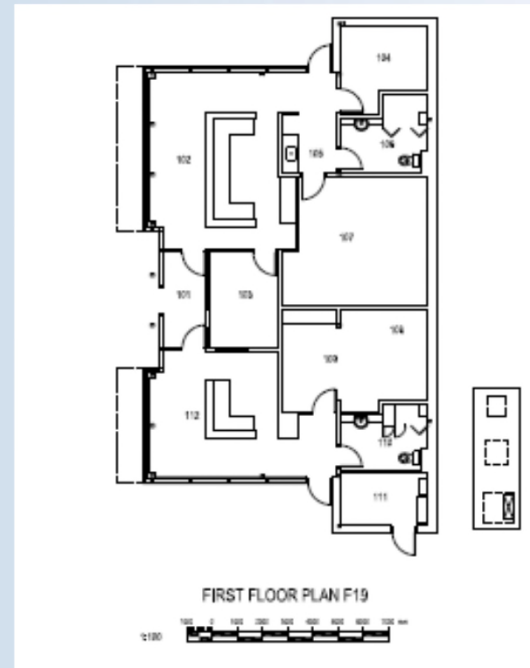


Pictures and Site Plan (Cont) F-12





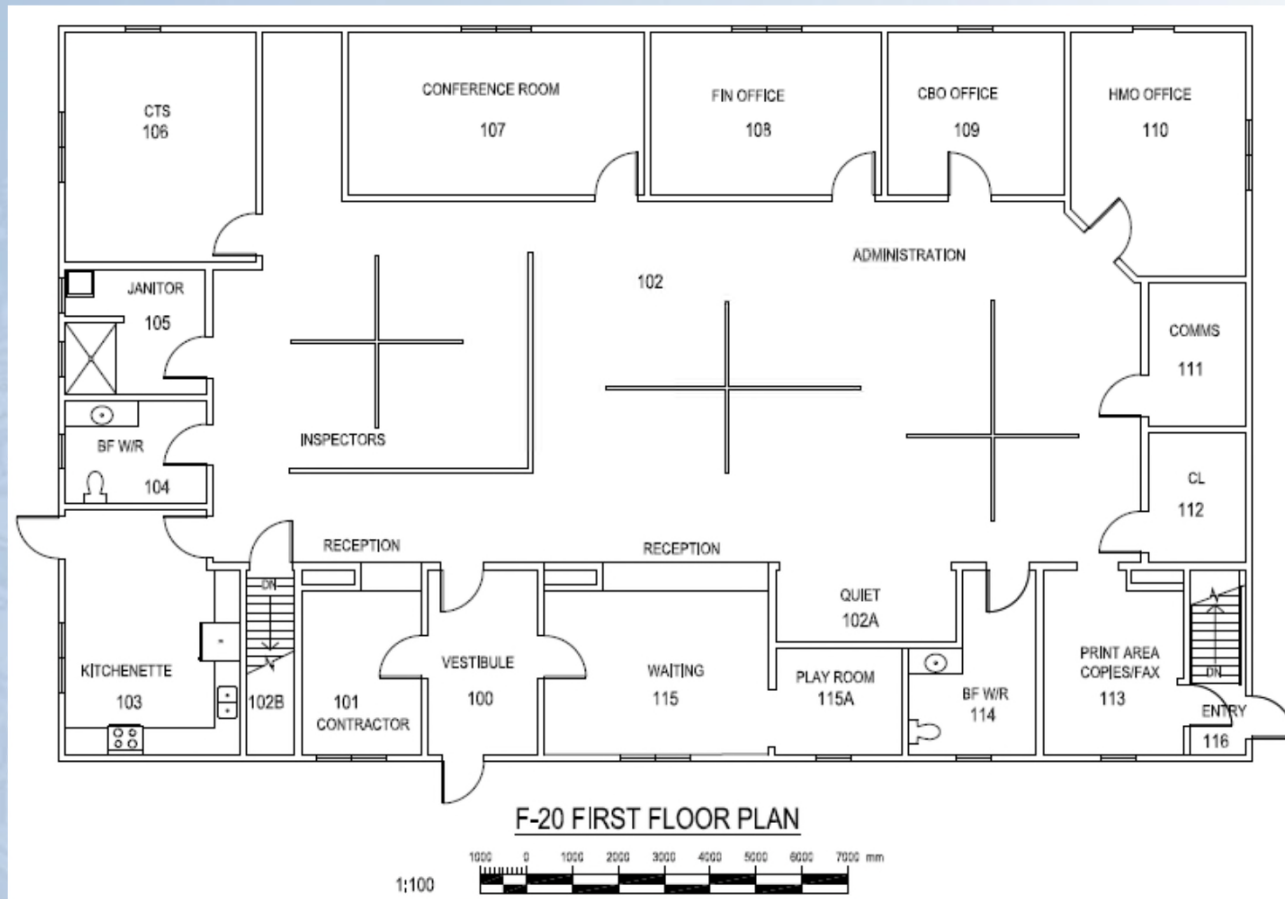
Pictures and Site Plan (Cont) F-19



Windows need to be done monthly as per Section 01 11 00 paragraph 3.12

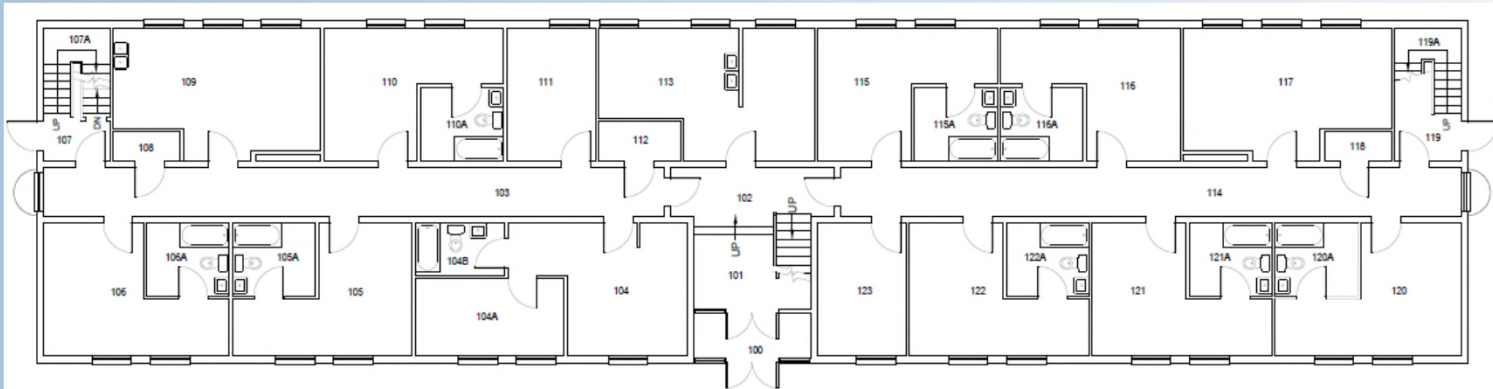


Pictures and Site Plan (Cont) F-20

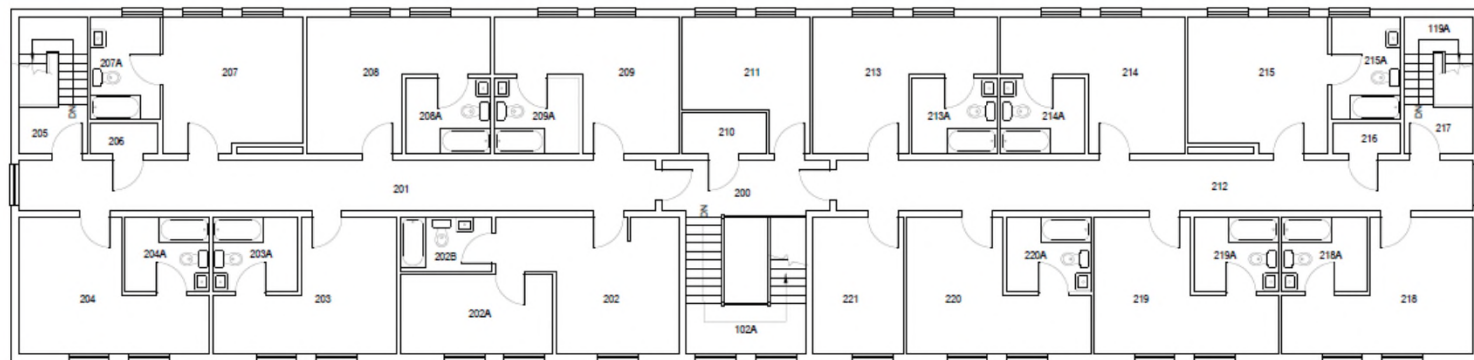




Pictures and Site Plan (Cont) A-7-10-11



A7 GROUND FLOOR PLAN

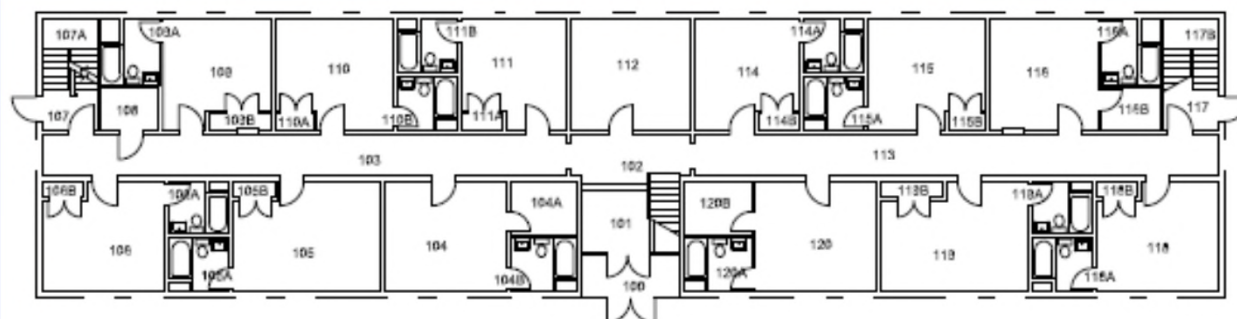


A7 SECOND FLOOR PLAN

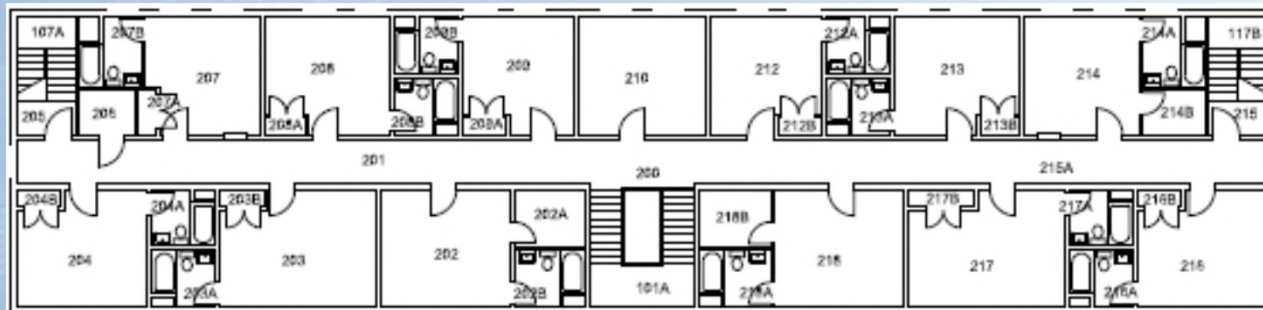
Building A-7-10-11 are Quarters that look identical.



Pictures and Site Plan (Cont) A-7-10-11



FIRST FLOOR PLAN-A10

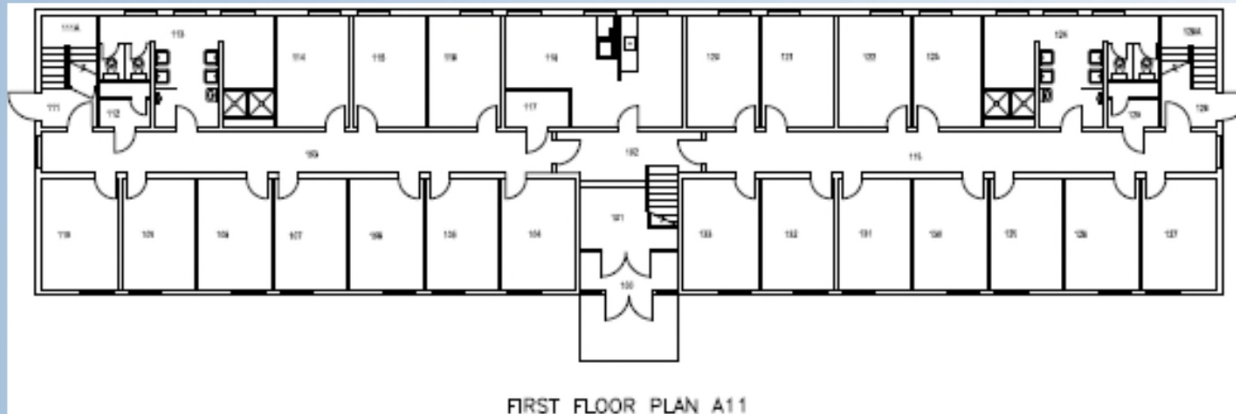


SECOND FLOOR PLAN-A10

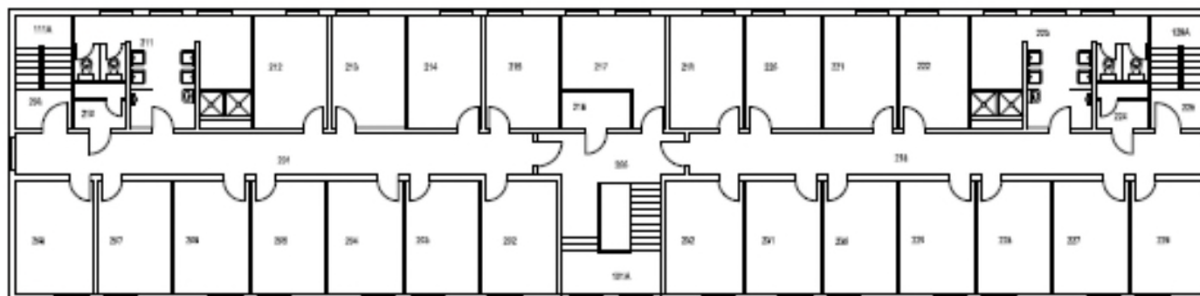




Pictures and Site Plan (Cont) A-7-10-11



FIRST FLOOR PLAN A11



SECOND FLOOR PLAN A11

