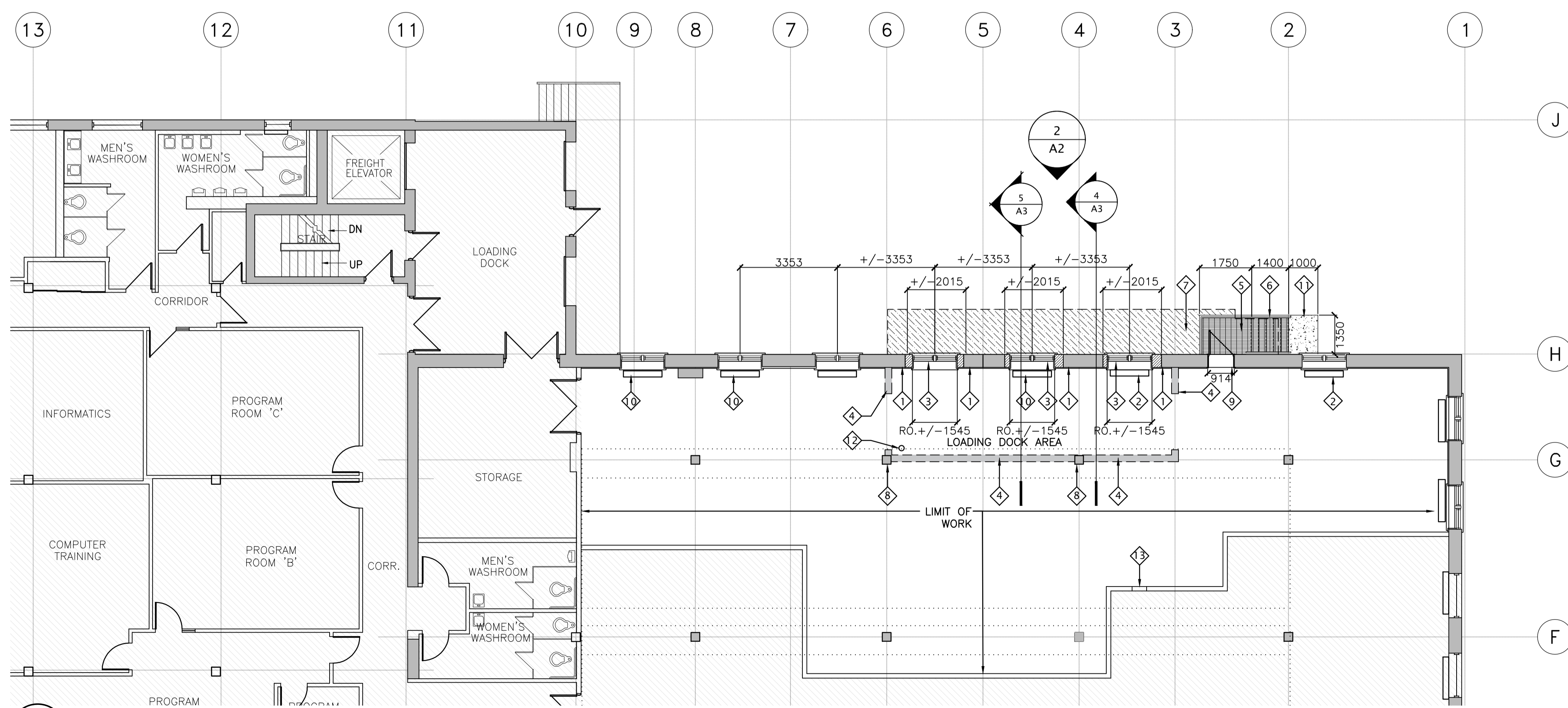


1 PLAN-DEMOLITION
SCALE 1:100



2 PLAN-CONSTRUCTION
SCALE 1:100

- ### DEMOLITION LEGEND
- TO BE DEMOLISHED
 - 1- DEMOLISH EXISTING INTERIOR MASONRY WALL - PATCH AND MAKE GOOD AT EXTERIOR WALL, FLOOR AND CEILING
 - 2- REMOVE OVERHEAD DOORS, FRAMES, TRACKS & GUARD RAILS. DEMOLISH EXISTING MASONRY WALL TO THE EXTENT OF ONE FULL BRICK. DO NOT CUT THE BRICK. ALL ELECTRICAL TO BE VERIFIED.
 - 3- INTERIOR DOORS AND FRAMES TO BE REMOVED. RETURN TO OWNER
 - 4- EXISTING BUMPER RAILS TO BE DEMOLISHED, EXISTING HEATERS TO BE TEMPORARILY REMOVED, INSPECTED, THOROUGHLY CLEANED, PREPARED FOR PRIMING & PAINTING AND RELOCATED UNDER NEW WINDOWS AS PER MECHANICAL AFTER NEW GWB AND BASE ARE INSTALLED
 - 5- DEMOLISH EXISTING CONCRETE PLATFORM (INCLUDING FOUNDATIONS AND FOOTING UP TO FACE OF BUILDING FOUNDATION WALL) DEMOLISH EXISTING STAIRS, HANDRAILS AND COLUMN
 - 6- REMOVE EXISTING DOCK LEVELER, STEEL FRAME & RAILING
 - 7- EXISTING CANOPY, CONCRETE BEAM INCL. MASONRY WALL & DOWNSPOUT TO BE DEMOLISHED. CONTRACTOR WILL BE REQUIRED TO PROVIDE SHORING TO TEMPORARILY SUPPORT THE EXISTING CONCRETE STRUCTURE IN ORDER TO PERMIT THE DEMOLITION OF PORTIONS OF THE LOAD BEARING EXTERIOR MASONRY WALL. SHORING WILL BE REMOVED ONLY AFTER COMPLETION OF THE NEW EXTERIOR MASONRY WALL.
 - 8- REMOVE EXISTING WINDOWS, REMOVE EXISTING BRICK ABOVE LOADING DOCK DOORS, ALONG MORTAR JOINTS TO THE EXTENT OF ONE WHOLE BRICK, DO NOT CUT THE BRICK (TYPICAL AT ALL WINDOWS)
 - 9- REMOVE ALL EXTERIOR SIGNAGE, LIGHT FIXTURES & CONDUITS. EXTERIOR LIGHTING TO BE RECOVERATED FOR RE-INSTALLATION. SEE ELECTRICAL DRAWINGS AND DRAWING A2
 - 10- EXISTING DOOR TO REMAIN
- EXISTING BUILDING AND ADJACENT INTERIOR SPACES TO REMAIN. ALL INTERIOR LIGHTING FIXTURES, WALLS AND FLOORING FINISH TO STAY AS IS. PATCH AND MAKE GOOD ALL SURFACES DAMAGED OR AFFECTED BY DEMOLITION AND CONSTRUCTION REGARDLESS OF PROJECT SCOPE.

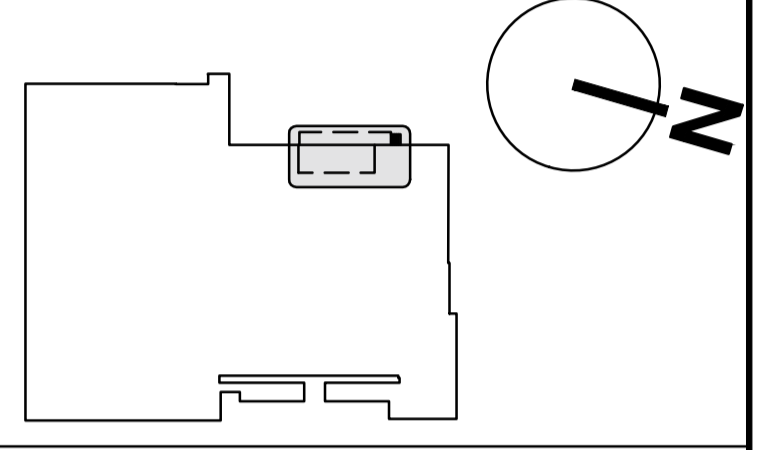
- ### CONSTRUCTION LEGEND
- GWB GYPSUM WALL BOARD
 - RO ROUGH OPENING
 - TO BE DEMOLISHED
 - EXISTING WALLS & COLUMNS
 - NEW WALL COMPOSITION TO MATCH EXISTING
 - AREA TO PATCH, MAKE GOOD AND MATCH EXISTING

- 1- EXISTING WALL CONSTRUCTION TO BE VERIFIED DURING DEMOLITION. NEW WALL TO MATCH EXISTING ADJACENT WALLS IN CONSTRUCTION. NEW GWB TO ALIGN WITH EXISTING INTERIOR GWB FACE. PRIME AND PAINT TO MATCH EXISTING SURFACES.
- 2- EXISTING HEATERS, INSPECTED, THOROUGHLY CLEANED, PREPARED FOR PRIMING & PAINTING AND RELOCATED UNDER NEW WINDOWS AS PER MECHANICAL AFTER NEW GWB AND BASE ARE INSTALLED
- 3- NEW ALUMINUM WINDOWS, THERMALLY BROKEN WITH DOUBLE GLAZED SEALED UNITS, TO MATCH EXISTING ADJACENT WINDOW IN COLOUR, FINISH & PROFILE. WINDOW DIMENSION: +/- 1521 x 2416mm
- 4- REPAIR AND GRIND SMOOTH CONCRETE FLOOR WHERE WALLS WERE DEMOLISHED AND SEAL WITH CLEAR SEALER
- 5- NEW GALVANIZED STEEL STAIR AND RAILING, SEE DETAILS 6, 7 & 8 ON DRAWING A3
- 6- ATTACH GALVANIZED STEEL HANDRAIL ONTO STRINGER
- 7- REPAIR ASPHALT WHERE CONCRETE PLATFORM WAS REMOVED & AREAS ADJACENT AFFECTED BY THE WORK
- 8- EXISTING COLUMN: GRIND SURFACE SMOOTH TO REMOVE EXCESS MORTAR. FINISH TO MATCH EXISTING
- 9- PATCH & PAINT DOOR & FRAME INTERIOR AND EXTERIOR FACE
- 10- NEW CAST IRON RADIATORS. REFER TO M1-102
- 11- 1000X1300X150MM CONCRETE LANDING ON 24" COMPACTED GRAVE, 0-3/4" @ 95% PROCTOR MODIFIED
- 12- EXISTING FLUE TO BE REMOVED AT ROOF REFER TO M1-101. BLOCK OPENING WITH SHEET METAL & REPAIR/PATCH EXISTING ROOF OPENING TO MATCH EXISTING ELASTOMERIC MEMBRANE ROOF C/W +/-3" ROOF INSULATION, VAPOUR BARRIER & TWO PLY FINISH MEMBRANE.
- 13- NEW OPENING IN WALL FOR 500X300 DUCK & FIRE DOPPER. REFER TO M1-102
- 14- IN THE AREA OF THE EXISTING LOADING DOCK, PATCH AND PAINT EXISTING CONCRETE SLAB AT CEILING AND GRIND SMOOTH. REPAIR AS NECESSARY AND SEAL WITH CONCRETE SEALER

Public Works and Government Services Canada
Travaux publics et Services gouvernementaux Canada

ARCHITECTURE 49
201-1300 Yonge Street
Toronto, ON M4T 1X3
TEL: +1416.368.6987 | WEB: architecture49.com

WSP
300-2611 QUEENSWAY DRIVE
OTTAWA, ONTARIO CANADA K2B 8K2
TELEPHONE: (613) 829-2800
FAX: (613) 829-8299



| | | |
|----------|---------------------------------|------------|
| 04 | | |
| 03 | ISSUED FOR TENDER - R1 | 2018-10-03 |
| 02 | ISSUED FOR TENDER | 2018-03-14 |
| 01 | 99 % CONSTRUCTION DOCUMENTATION | |
| revision | | date |

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

| | |
|---|---|
| A | Detail No. |
| B | No. du détail |
| C | drawing no. - where detail required dessin no. - où détail exigé |
| | drawing no. - where detailed dessin no. - où détaillé |

project title
titre du projet
TORONTO Ontario
PUBLIC WORKS GOVERNMENT SERVICE CANADA
330-338 KEELE ST.

drawing title
titre du dessin
PLANS

drawn by
dessiné par
Marian Stiedl

designed by
conçu par
Architecture49

approved by
approuvé par

bid offer
offre

project date
date du projet
2018-03-14

project no.
no. du projet
R.083503.001

drawing no.
dessiné no.
A1

