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| 04 | | |
| 03 | ISSUED FOR TENDER - R1 | 2018-10-03 |
| 02 | ISSUED FOR TENDER | 2018-03-14 |
| 01 | 99 % CONSTRUCTION DOCUMENTATION | |
| revision | | date |

Do not scale drawings. Verify all dimensions and conditions on site and immediately notify the Departmental Representative of all discrepancies.

| | |
|---|-------------------------------------|
| A | Detail No. |
| B | drawing no. - where detail required |
| C | drawing no. - where detailed |

project title
titre du projet
TORONTO Ontario
PUBLIC WORKS GOVERNMENT
SERVICE CANADA
330-338 KEELE ST.

drawing title
titre du dessin
ELEVATIONS

drawn by
dessiné par
Marian Stiedl

designed by
conçu par
Architecture49

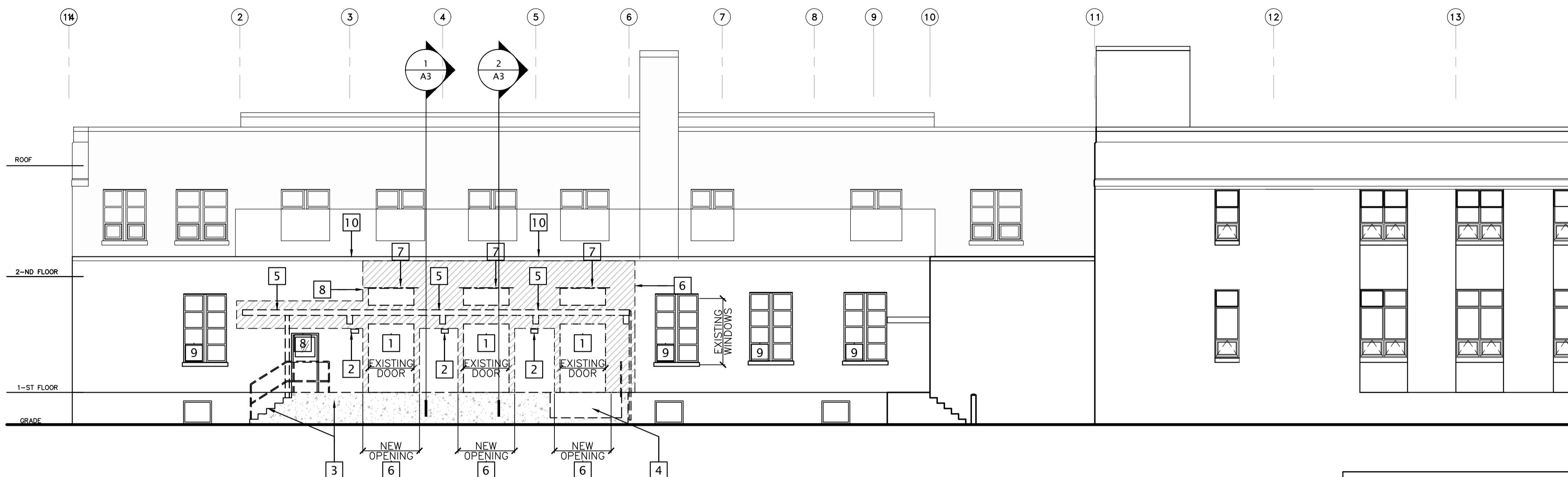
approved by
approuvé par

bid
offre

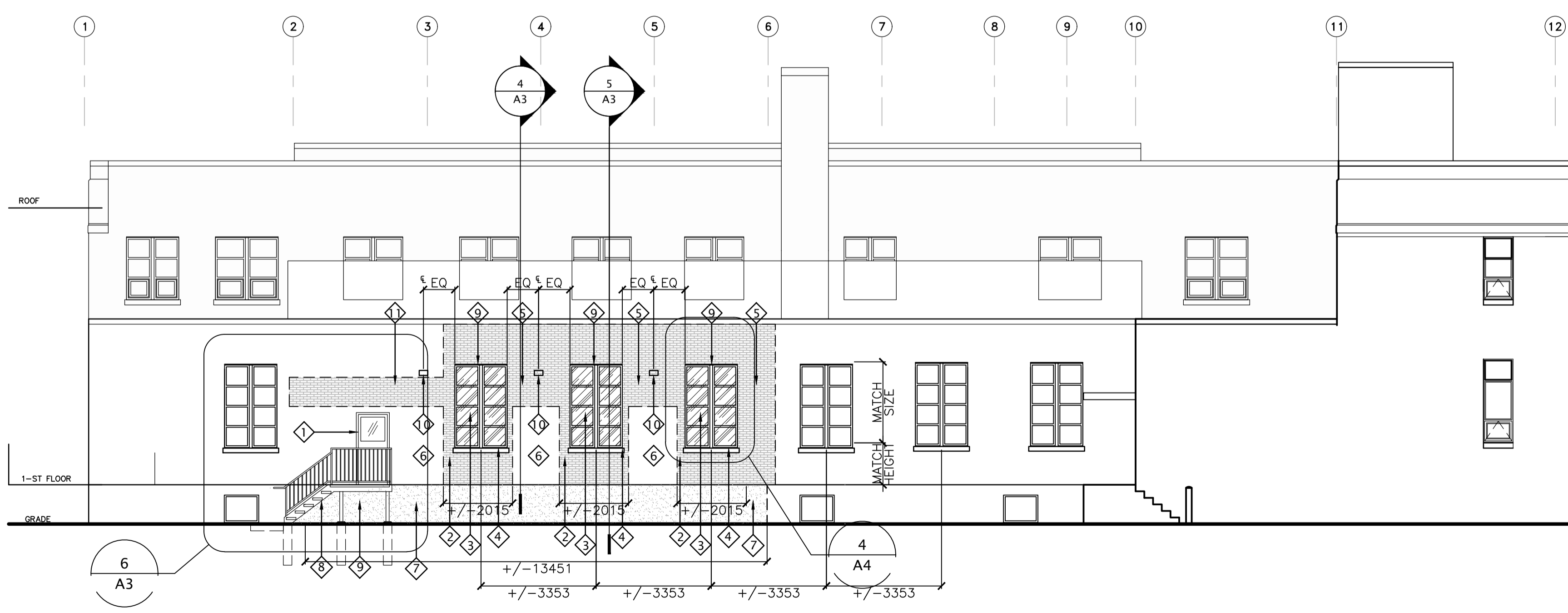
project date
date du projet
2018-03-14

project no.
no. du projet
R.083503.001

drawing no.
dessiné no.
A2



1 ELEVATION-DEMOLITION
SCALE 1:100



2 ELEVATION-CONSTRUCTION
SCALE 1:100

CONSTRUCTION LEGEND

| | |
|--------------------|--|
| [Hatched] | TO BE DEMOLISHED |
| [Dotted] | NEW PARGED CONCRETE FOUNDATION ALL (MATCH EXISTING FINISH, COLOUR) |
| [Horizontal Lines] | REUSE SALVAGED BRICK WOVEN INTO EXISTING |
| [Vertical Lines] | NEW WINDOWS (SIZE & TYPE TO MATCH EXISTING) |

- DEMOLITION LEGEND**
- REMOVE OVERHEAD DOORS, FRAMES, TRACKS & GUARD RAILS. ALL ELECTRICAL TO BE VERIFIED.
 - REMOVE 3 EXTERIOR LIGHT FIXTURES & CONDUITS. REINSTALL AS PER INSTRUCTIONS ON ELECTRICAL DRAWINGS.
 - DEMOLISH EXISTING CONCRETE PLATFORM (INCLUDING FOUNDATIONS AND FOOTING) STAIRS, HANDRAILS AND COLUMN
 - REMOVE EXISTING DOCK LEVELLER, BUMPERS, STEEL FRAME & RAILING
 - EXISTING CANOPY, CONCRETE BEAM INCL. MASONRY WALL ABOVE & DOWNSPOUT TO BE DEMOLISHED. CONTRACTOR WILL BE REQUIRED TO PROVIDE SHORING TO TEMPORARILY SUPPORT THE EXISTING CONCRETE ROOF STRUCTURE IN ORDER TO PERMIT THE DEMOLITION OF PORTIONS OF THE LOAD BEARING EXTERIOR MASONRY WALL. SHORING WILL BE REMOVED ONLY AFTER COMPLETION OF THE NEW EXTERIOR MASONRY WALL.
 - DEMOLISH EXISTING WALL ALONG MORTAR JOINTS TO THE EXTENT OF ONE WHOLE BRICK (TYPICAL AT ALL DOORS). APPROX. AREA +/- 43m²
 - REMOVE EXISTING WINDOWS. REMOVE EXISTING BRICK ALONG MORTAR JOINTS TO THE EXTENT OF ONE WHOLE BRICK. DO NOT CUT THE BRICK (TYPICAL AT ALL WINDOWS). REMOVE STEEL LINTEL OVER TRANSOM REMOVE EXISTING LOOSE LINTELS
 - EXISTING DOOR TO REMAIN
 - EXISTING WINDOW TO REMAIN, MATCH ALL NEW WINDOWS TO MATCH THESE. EXISTING METAL ROOF FLASHING TO REMAIN & TO BE PROTECTED DURING DEMOLITION WORK
 - EXISTING WINDOW TO REMAIN, MATCH ALL NEW WINDOWS TO MATCH THESE.
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 - EXISTING WINDOW TO REMAIN, MATCH ALL NEW WINDOWS TO MATCH THESE.

- EXISTING DOOR, FRAME & HARDWARE TO REMAIN. DOOR & FRAME TO BE REPAINTED
- EXISTING WALL ASSEMBLY AS PER ARCHITECTURAL DRAWING A 236-2 FROM Jan. 1935: 240mm BRICK, 200mm CMU, 19mm BACK PLASTER. EXPLORATORY OPENING WOULD BE REQUIRED TO CONFIRM CURRENT CONDITION NEW WALL ASSEMBLY: 95mm BRICK VENEER TO BE ALIGNED WITH EXISTING EXTERIOR BRICK FACING, AIR SPACE, 290mm CMU (AS PER STRUCTURAL), 16mm FURRING, 16mm PAINTED GYPSUM BOARD TO BE ALIGNED WITH EXISTING INTERIOR WALL FINISH. REUSE EXISTING, SALVAGED BRICK TO INTEGRATE INTO EXISTING. DO NOT CUT BRICKS BUT WEAVE NEW INTO EXISTING. APPROX. AREA +/- 43m²
- NEW ALUMINUM WINDOWS, THERMALLY BROKEN WITH DOUBLE GLAZED SEALED UNITS, TO MATCH EXISTING ADJACENT WINDOW IN COLOUR, FINISH & PROFILE, WINDOW DIMENSION: +/- 1525 x 2400mm
- NEW STONE WINDOW SILL TO MATCH EXISTING ON SITE (SAME TYPE, PROFILE, MATERIAL)
- EXISTING CANOPY & BEAM TO BE DEMOLISHED. CONTRACTOR WILL BE REQUIRED TO PROVIDE SHORING TO TEMPORARILY SUPPORT THE EXISTING CONCRETE STRUCTURE IN ORDER TO PERMIT THE DEMOLITION OF PORTIONS OF THE LOAD BEARING EXTERIOR MASONRY WALL. SHORING WILL BE REMOVED ONLY AFTER COMPLETION OF THE NEW EXTERIOR MASONRY WALL AS PER ASSEMBLY IN NOTE 2.
- EXISTING WALL BETWEEN FORMER DOORS TO REMAIN. REPAIR AS REQUIRED IF DAMAGED BY DEMOLITION.
- PATCH & REPAIR EXISTING FOUNDATION WALL AND APPLY NEW PARGING COAT TO THE FACE OF EXISTING FOUNDATION WALL (MATCH EXISTING FINISH) FOLLOWING REMOVAL OF CONCRETE PLATFORM
- NEW STAIR AND RAILING (SEE DETAILS 6, 7 & 8 ON DRAWING A3)
- NEW LINTEL ABOVE NEW WINDOW (SEE DETAIL A4-2)
- REINSTALL EXISTING LIGHT FIXTURES AS PER ELECTRICAL DRAWING
- INVESTIGATE BRICK FACING DURING DEMOLITION. IF BRICK IS DAMAGED WHERE WOODEN CANOPY IS REMOVED REPLACE WITH NEW BRICK.

EXISTING BUILDING AND ADJACENT INTERIOR SPACES TO REMAIN. ALL INTERIOR LIGHTING FIXTURES, WALLS AND FLOORING FINISH TO STAY AS IS. PATCH AND MAKE GOOD ALL SURFACES DAMAGED OR AFFECTED BY DEMOLITION AND CONSTRUCTION REGARDLESS OF PROJECT SCOPE.

